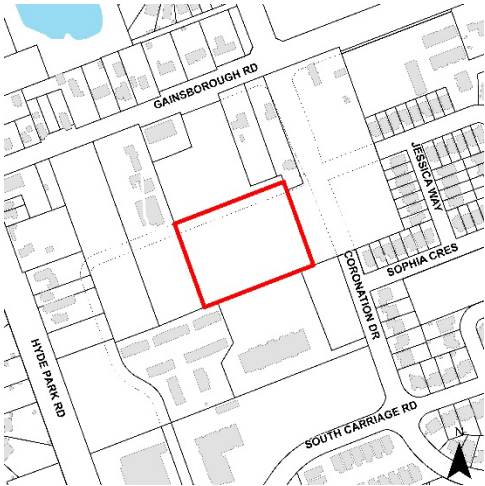




REVISED NOTICE OF PLANNING APPLICATION

Official Plan and Zoning By-law Amendment

978 Gainsborough Road



File: OZ-9247

Applicant: Highland Communities Ltd.

What is Proposed?

Official Plan and Zoning amendment to allow:

- Two, 17-storey residential apartment buildings interconnected by a 6-storey podium with a total of 476 residential units and density of 370 units per hectare (uph).
- Special policy is requested to permit a maximum density of 370 uph and a maximum height of 17-storeys.
- Special zoning provisions are requested for reduced yard depths, increased height, increased density and increased lot coverage.

LEARN MORE & PROVIDE INPUT

Please provide any comments by **June 11, 2023**

Alanna Riley

ariley@london.ca

519-661-CITY (2489) ext. 4579

Development Services, City of London, 300 Dufferin Avenue, 6th Floor,
London ON PO BOX 5035 N6A 4L9

File: OZ-9247

london.ca/planapps

You may also discuss any concerns you have with your Ward Councillor:

Corrine Rahman

crahman@london.ca

519-661-CITY (2489) ext. 4007

**If you are a landlord, please post a copy of this notice where your tenants can see it.
We want to make sure they have a chance to take part.**

Date of Notice: May 11, 2023

Application Details

Requested Amendment to The London Plan

Request to amend a site-specific policy to allow a maximum density of 370 units per hectare and a maximum height of 17-storeys on the subject lands.

Requested Zoning By-law Amendment

To change the zoning from Holding Residential R9 Special Provision (h-5.h-11.h-17. R9-7(17).H50) to a Holding Residential R9 Special Provision (h-5.h-11.h-17. R9-7().H60 Zone to permit the development of two, 17 storey residential apartment buildings interconnected by a 6-storey podium with a total of 476 residential units. Changes to the currently permitted land uses and development regulations are summarized below.

Both The London Plan and the Zoning By-law are available at london.ca.

Current Zoning

Zone: Holding Residential R9 Special Provision (h-5.h-11.h-17. R9-7(17).H50)

Permitted Uses: Apartment buildings, Lodging house class 2, Senior citizens apartment buildings, Handicapped persons apartment buildings, and Continuum-of-care facilities.

Special Provisions:

Additional Permitted Uses - Townhouse or Stacked Townhouses

Regulations :

Density (minimum) 125uph,

Density (maximum) 150 uph,

Yard Depth - Abutting the 0.0 m Commercial Zone to the South (minimum)

Yard Depth Abutting Dalmagarry Road and Tokala Trail 5.0 m (maximum)

East Yard Depth (min) 5.0 m (16.4 ft.)

Proposed Zoning

Zone: Holding Residential R9 Special Provision (h-5.h-11.h-17. R9-7().

Permitted Uses: Apartment buildings, Lodging house class 2, Senior citizens apartment buildings, Handicapped persons apartment buildings, and Continuum-of-care facilities. Special Provisions:

Special Provisions include: a minimum westerly interior side yard setback of 18.0m whereas 21.2m is required; a minimum rear yard setback of 17.5m whereas 21.2m is required; a maximum building height of 60.0m whereas 50.0m is permitted; a maximum lot coverage of 38% whereas 34% is permitted; and, a maximum density of 370 UPH whereas 150 UPH is permitted. The City may also consider the use of additional special provisions, or additional zoning amendments as part of this application.

Planning Policies

Any change to the Zoning By-law must conform to the policies of The London Plan.

The subject lands are in the Neighbourhood Place Type/High Density Residential Overlay in The London Plan.

How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the Official Plan designation, London Plan Place Type and the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. The ways you can participate in the City's planning review and decision-making process are summarized below.

See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at london.ca/planapps
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Planning & Development staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

This request represents residential intensification as defined in the policies of the Official Plan. Under these policies, Planning & Development staff and the Planning and Environment Committee will also consider detailed site plan matters such as fencing, landscaping, lighting, driveway locations, building scale and design, and the location of the proposed building on the site. We would like to hear your comments on these matters.

Attend a Future Public Participation Meeting

The Planning and Environment Committee will consider the requested Official Plan and zoning changes on a date that has not yet been scheduled. The City will send you another notice inviting you to attend this meeting, which is required by the Planning Act. You will also be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the [Neighbourgood](#) website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

What Are Your Legal Rights?

Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed official plan amendment and/or zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at docservices@london.ca. You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Clerk of the Committee.

Right to Appeal to the Ontario Land Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

For more information go to <https://olt.gov.on.ca/appeals-process/forms/>.

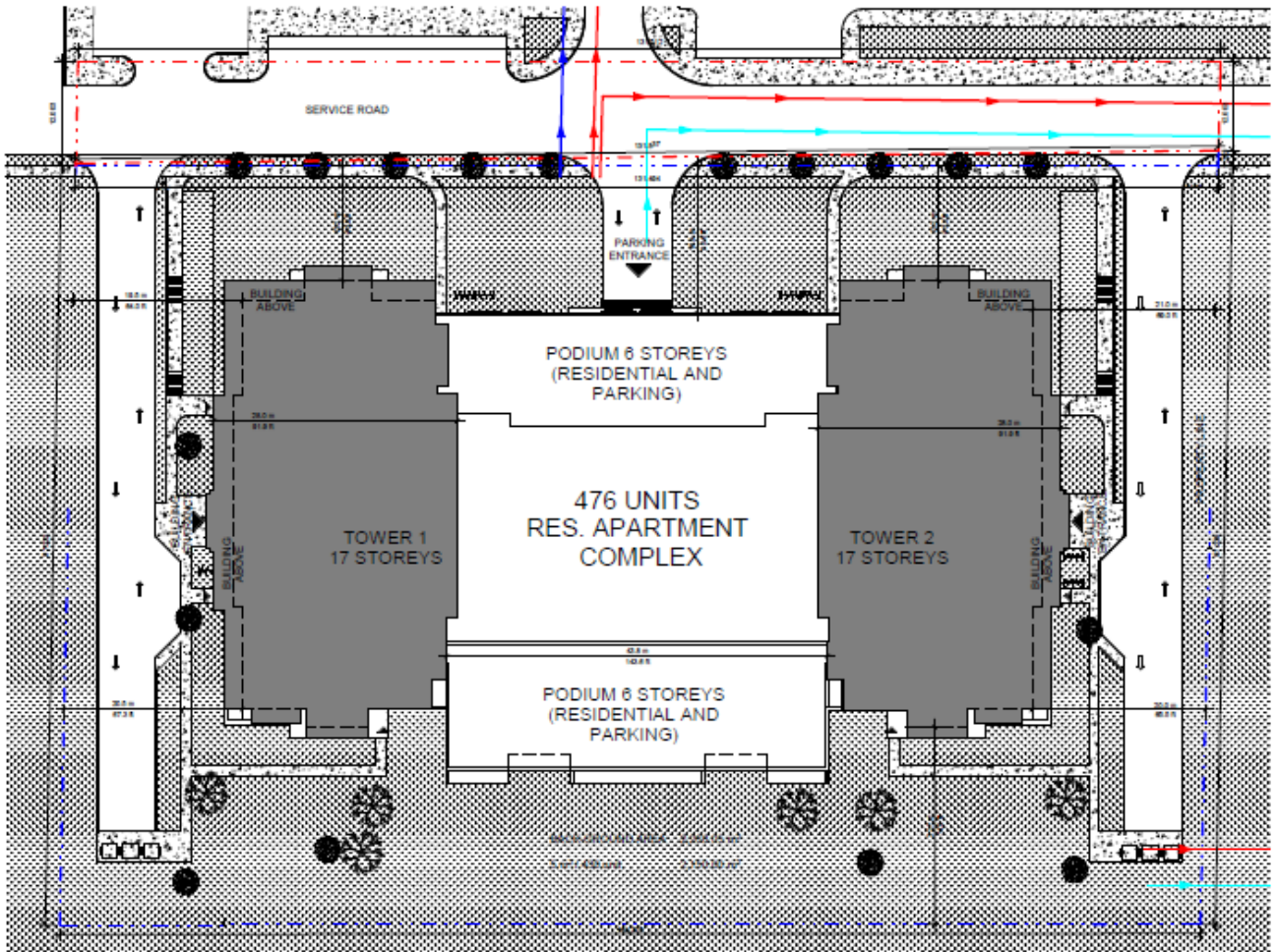
Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Evelina Skalski, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

Accessibility

Alternative accessible formats or communication supports are available upon request. Please contact plandev@london.ca for more information.

Site Concept



Proposed Site Plan

Building Rendering



Proposed Front Elevation

The above image represents the applicant's proposal as submitted and may change.