

Bill No. 183
2023

By-law No. Z.-1-23

A by-law to amend By-law No. Z.-1 to rezone an area of land located at 129-131 Base Line Road West.

WHEREAS 2796538 Ontario Inc. c/o RPH Dev has applied to rezone an area of land located at 129-131 Base Line Road West, as shown on the map attached to this by-law, as set out below;

AND WHEREAS this rezoning conforms to the Official Plan;

THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

1) Schedule "A" to By-law No. Z.-1 is amended by changing the zoning applicable to lands located at 129-131 Base Line Road West, as shown on the attached map comprising part of Key Map No. A107, from a Residential R9 (R9-7*H32) Zone to a Holding Residential R9 Special Provision (h*R9-7(_)*H51) Zone.

2) Section Number 14.4 of the Residential R9 Zone is amended by adding the following Special Provision:

) R9-7() 129-131 Base Line Road West

a) Regulations

- | | |
|---|----------------------------|
| i) Front Yard Setback
(Minimum) | 2.0 metres
(6.6 feet) |
| ii) East Interior Side Yard Setback
(Minimum) | 5.0 metres
(16.4 feet) |
| iii) West Interior Side Yard Setback
(Minimum) | 13.0 metres
(42.7 feet) |
| iv) East and Rear Yard Setback
from Underground Parking Structure
to Property Line
(Minimum) | 3.0 metres
(9.8 feet) |
| v) Surface Parking Spaces
(Maximum) | 36 spaces |
| vi) The main building entrance shall be oriented to Base Line Road West. | |
| vii) Density
(Maximum) | 306 units per hectare |
| viii) Height
(Maximum) | 51 metres (or 14 Storeys) |

The inclusion in this By-law of imperial measure along with metric measure us for the purpose of convenience only and the metric measure governs in case of any discrepancy between the two measures.

This By-law shall come into force and be deemed to come into force in accordance with Section 34 of the *Planning Act, R.S.O. 1990, c. P13*, either upon the date of the passage of this by-law or as otherwise provided by the said section.

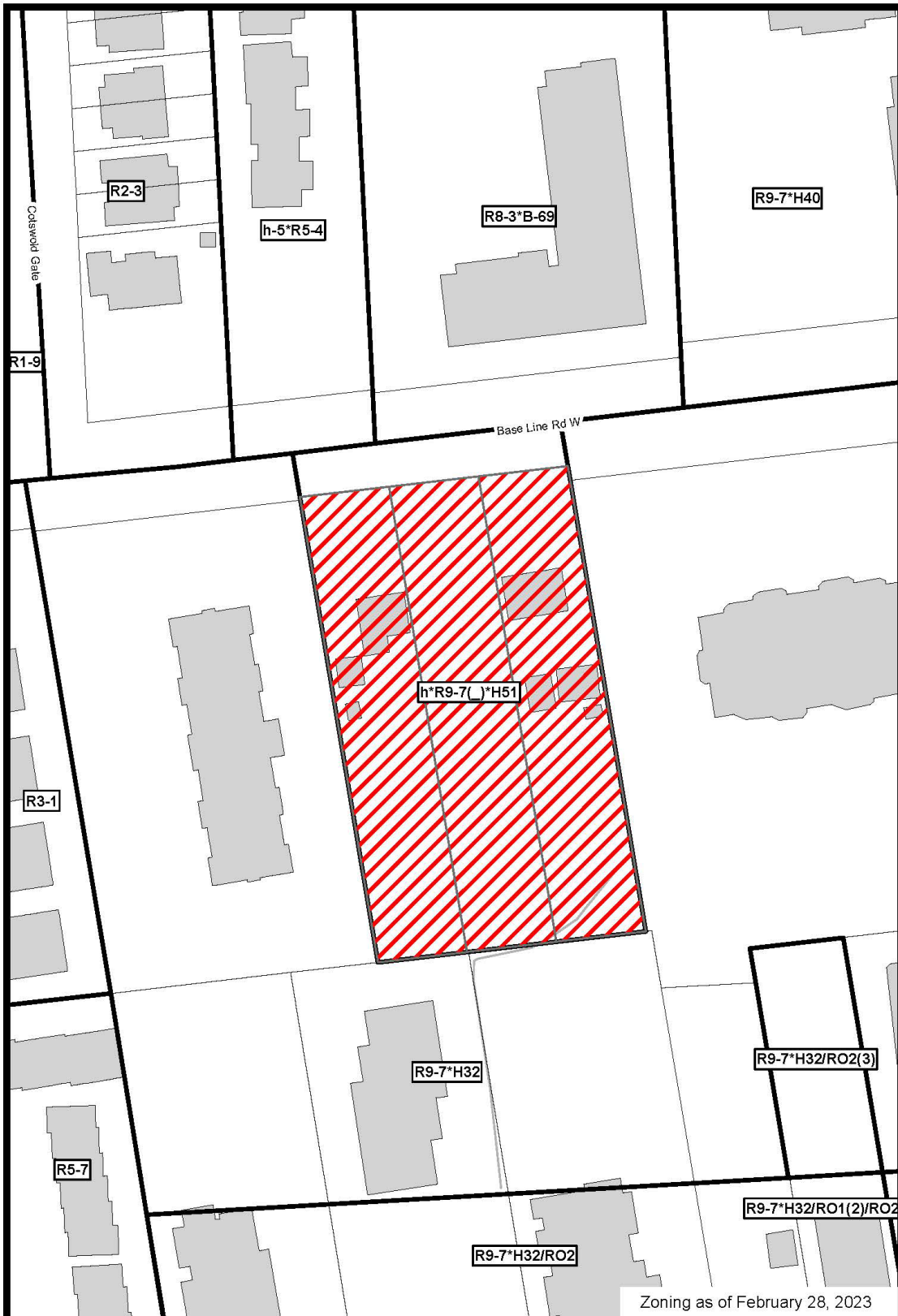
PASSED in Open Council on June 6, 2023.

Josh Morgan
Mayor

Michael Schulthess
City Clerk

First Reading – June 6, 2023
Second Reading – June 6, 2023
Third Reading – June 6, 2023

AMENDMENT TO SCHEDULE "A" (BY-LAW NO. Z.-1)



File Number: Z-9578
Planner: NP
Date Prepared: 2023/5/24
Technician: JI
By-Law No: Z.-1-

SUBJECT SITE 

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