

Liability Note

The Contractor shall verify and be responsible for all dimensions. DO NOT scale this drawing - any errors or omissions shall be reported to Stantec without delay.

Legend

- SITE BOUNDARY
- PHASE LIMIT
- EXISTING PHASE 1 & 2
- ▼ PRINCIPAL ENTRANCE
- ▼ SECONDARY ENTRANCE
- Ⓡ DEPRESSED CURB WITH DETECTABLE WARNING SURFACE (PHASE 3)

NOTES:

1. TO BE READ IN CONJUNCTION WITH ALL OTHER PLANS
2. SEE ARCHITECT PLANS FOR DETAILED BUILDING INFORMATION.
3. UNDERGROUND PARKING FOR ALL PHASES ACCESSED THROUGH EXISTING UNDERGROUND PARKING ENTRANCE.
4. PODIUM PARKING FOR PHASE 3 ACCESSED DIRECTLY FROM HEWITT STREET. SEE ACCESS REVIEW LETTER, LEA CONSULTING NOVEMBER 5, 2019.
5. NORTH UNITS ENTRY, LEVELS 3 AND 4, OVERHANG PROPERTY LIMIT BY 2.0m.
6. GARBAGE TO BE STORED INTERNALLY AND BROUGHT OUT FOR COLLECTION BY BUILDING MANAGER ON PICK UP DAY.

Revision	By	Appd.	YY.MM.DD
4. SITE PLAN APPROVAL - SUB 1	AB	BB	22.05.23
3. FOR SITE PLAN CONSULTATION	AB	BB	21.11.26
2. AS PER CITY & UDPRP COMMENTS	AB	BB	20.12.10
1. ADDITIONAL PARKING	AB	BB	20.05.29
Revision			
5. SITE PLAN APPROVAL - SUB 1	AB	BB	22.05.23
4. FOR SITE PLAN CONSULTATION	AB	BB	21.11.26
3. FOR ZBA APPLICATION	AB	BB	20.12.10
2. FOR ZBA APPLICATION	AB	BB	20.05.29
1. FOR ZBA APPLICATION	AB	BB	19.06.19
Issued			
	By	Appd.	YY.MM.DD

File Name:	AB	BB	AB	19.06.19
161413817.rvt	Dwn.	Chkd.	Dsgn.	YY.MM.DD

Permit-Seal



Client/Project

East Village Holdings Limited
File No. Z-9155 & SPC21-210

Phase 3 - 729, 735, 737 Dundas St,
393 Hewitt St, 400 Lyle St & 700 King St
London, ON Canada

Title

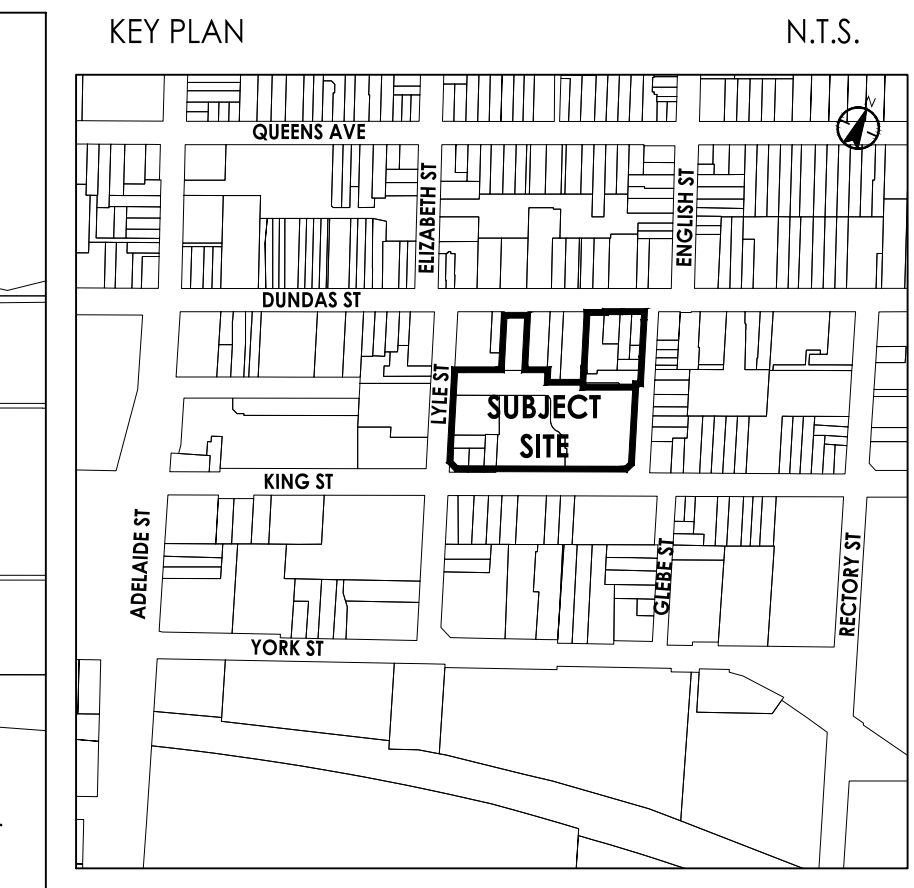
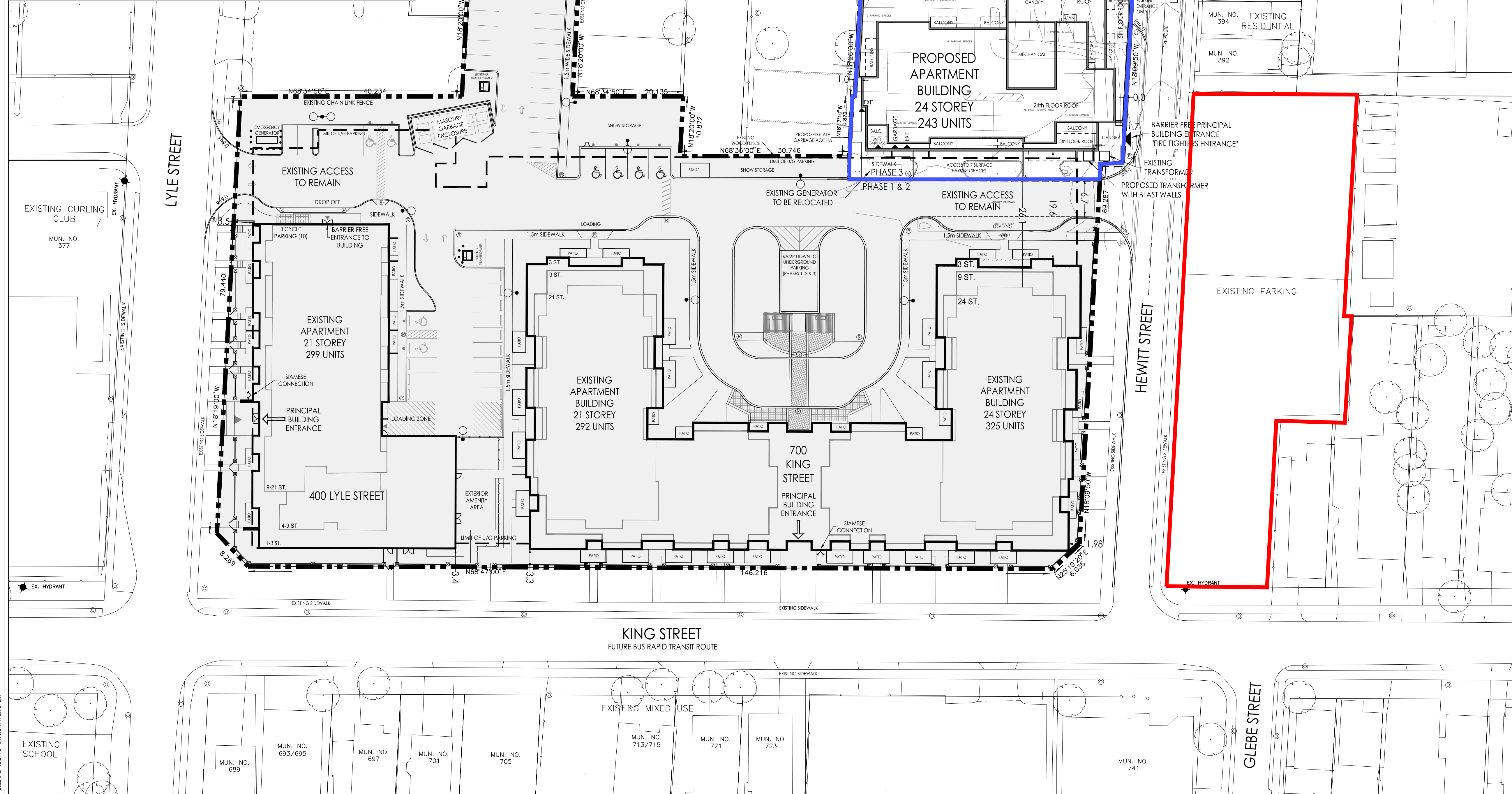
Site Plan
Existing and Proposed - Full Site

Project No.	Scale	Revision
161413817	HORZ - 1 : 400 4 0 8m	
Drawing No.	Sheet	Revision
SP-1	1 of 2	4

EXISTING ZONE	Existing Phase I & II		Proposed Phase III		All Phases Combined	
	700 King St. & 400 Lyle St. (Approved Site Plan)	BDC(24)D160H36B-32	729, 735, 737 Dundas St. & 393 Hewitt St. (Fourth Tower)	BDC(24)D160H36B-32 & BDC(19)D250H46	BDC(24)D160H36B-32 & BDC(19)D250H46	BDC(24)D160H36B-32
PROPOSED ZONE	hBDC(24)D160H36B-32*					
Regulations	Required	Provided	Provided	Provided	Provided	Provided
TOTAL AREA	N/A	1,551 ha	0.120 ha = Additional Area	243 Units = Residential	1,551 Units	1,551 Units
TOTAL UNITS	N/A	816 Residential Units	243 Units = Residential	243 Units = Residential	1,551 Units	1,551 Units
PERMITTED USES	Apartment Building Ground Floor Commercial	Apartment Building	Apartment Building with Ground Floor Commercial	Apartment Buildings and Ground Floor Commercial	Apartment Buildings and Ground Floor Commercial	Apartment Buildings and Ground Floor Commercial
LOT FRONTAGE MINIMUM	8.0m	146.2 m = King St	49.5 m = Dundas St	49.5 m Dundas St	49.5 m Dundas St	49.5 m Dundas St
PHASE 1 & 2 EXTERIOR SIDE YARD SETBACK	0.0m Minimum* 4.5m Maximum* (Z-1-212904)	2m = King St 2m = Hewitt St 3.5m = Lyle St	N/A	N/A	2m = King St 2m = Hewitt St 3.5m = Lyle St	2m = King St 2m = Hewitt St 3.5m = Lyle St
PHASE 3 GROUND FLOOR COMMERCIAL SPACE MINIMUM	850m ² (Z-1-212904)	N/A	900m ² Across 5 Actual Units, See Density Note Below	900m ²	900m ²	900m ²
PHASE 3 GROUND FLOOR CEILING HEIGHT MINIMUM	4.5m* (Z-1-212904)	N/A	4.57m	4.57m	4.57m	4.57m
PHASE 3 FRONT YARD SETBACK MINIMUM	9m = Above 4th Storey* 25m = Above 6th Storey* (Z-1-212904)	N/A	1.2m = Dundas St 9m = Above 4th Storey 25.2m = Above 6th Storey	1.2m = Dundas St 9m = Above 4th Storey 25.2m = Above 6th Storey	1.2m = Dundas St 9m = Above 4th Storey 25.2m = Above 6th Storey	1.2m = Dundas St 9m = Above 4th Storey 25.2m = Above 6th Storey
PHASE 3 EXTERIOR SIDE YARD SETBACK MINIMUM	0m	N/A	0m = Hewitt St	0m = Hewitt St	0m = Hewitt St	0m = Hewitt St
PHASE 3 INTERNAL SIDE YARD SETBACK ABUTTING A NON-RESIDENTIAL ZONE MINIMUM	0m	N/A	0.4m = West	0.4m = West	0.4m = West	0.4m = West
PHASE 3 TOWER FLOOR PLATE AREA	1,075m ² Above 6th Storey (Z-1-212904)	N/A	1,075m ²	1,075m ²	1,075m ²	1,075m ²
LOT COVERAGE MAXIMUM	70% (5,600 m ²)	38.1%	2,822 m ² Additional Coverage	50.9%	8,422m ²	50.9%
HEIGHT MAXIMUM	82.0m* (Z-1-212904)	80.4 m	80.4 m	80.4 m	80.4 m	80.4 m
DENSITY - UNITS PER HECTARE MAXIMUM	750 uph (Z-1-212904)	590 uph	243 Residential Units Added 800m ² Commercial = "9 Units Added"	706 uph (1,188 Units)	706 uph (1,188 Units)	706 uph (1,188 Units)
OFF-STREET PARKING MINIMUM	800 Spaces* (Z-1-212904)	2 = Surface 513 = Underground	28 = Surface Removed 346 = Underground/Podium	51 = Surface 849 = Underground/Podium	849 = Underground/Podium	849 = Underground/Podium
ACCESSIBLE PARKING	2 = 2% of Total Spaces (20)	12 = Accessible Spaces	10 = Accessible Spaces	318 = Total Net Spaces	910 = Total Spaces	910 = Total Spaces
BICYCLE PARKING MINIMUM	Secured = 465 Spaces* (Z-1-212904)	280 Spaces	183 Spaces - Residential 2 Spaces - Commercial	465 Spaces	465 Spaces	465 Spaces

*AS PER APPROVED ZONING BY LAW Z-1-212904 (APPLICATION Z-9155) - CURRENTLY UNDER LPAT APPEAL (CASE NO. PL210168) v.2022.05.17

NOTES:
- NO LANDSCAPE OFFENSIVE REQUIREMENTS WITHIN BDC ZONE
- PHASE 3 FALLS WITHIN STANDARD AREA 1
- BALCONY ENCROACHMENT PERMITTED IN ALL YARDS, 1.5m PROVIDED THE PROJECTION IS NO CLOSER THAN 1.5m TO THE LOT LINE (Z-1-152397 & Z-1-212904)
- FOR DENSITY PURPOSES ONLY, CITY OF LONDON CALCULATES "COMMERCIAL UNITS" AT A RATE OF 100m² = 1 UNIT. ONLY 5 ACTUAL COMMERCIAL UNITS PROPOSED
- EXISTING PHASE 1 & 2 CONSTRUCTED BASED ON PREVIOUSLY APPROVED ZONING BY LAW Z-1-152397



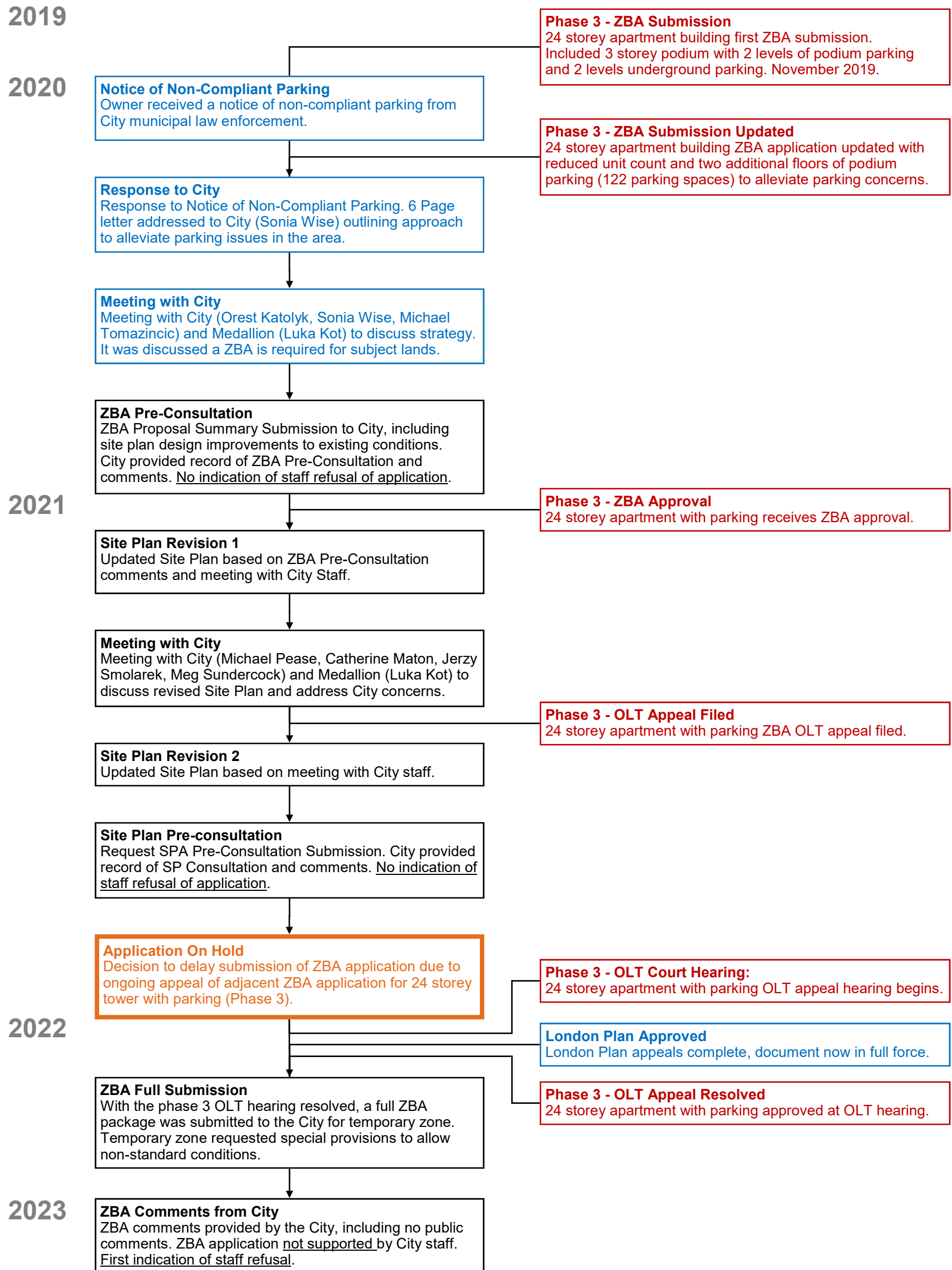
Project Chronology

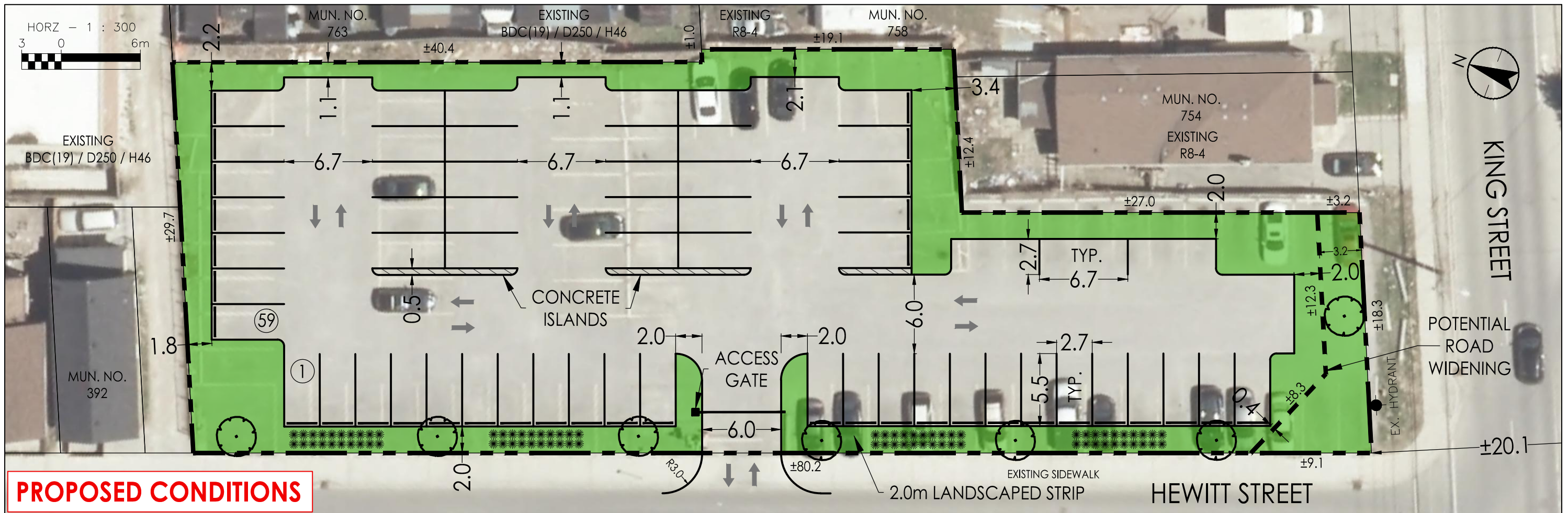
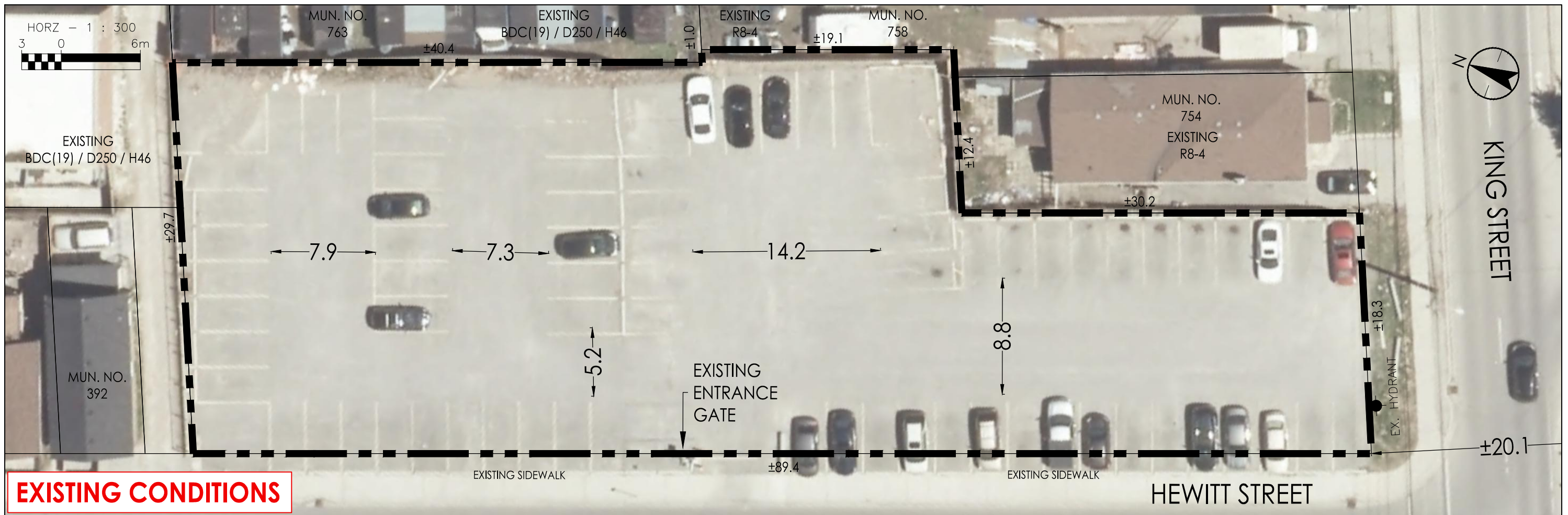
376-390 Hewitt Street & 748 King Street, London
 Zoning By-Law Amendment - File No. Z-9576

PROPOSED DEVELOPMENT

The purpose of the ZBA application is to allow the existing at grade asphalt parking lot to be permitted through a temporary zone, until the construction of a new 24 storey apartment tower with additional parking (phase 3) can be built across the street (File Z-9155). Once the tower has been constructed and temporary zoning expired, the temporary parking lot will be closed.

Zoning By-Law Chronology









ISSUE		
NO.	DATE	DESCRIPTION
1	2021.10.20	ISSUED FOR SPA
2	2022.04.07	ISSUED FOR SPA2
3	2022.05.19	ISSUED FOR SPA3
NO.	DATE	DESCRIPTION
REVISION		

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PROJECT NAME

Medallion Residential Tower
 Dundas - Hewitt
 London, ON

DRAWING TITLE

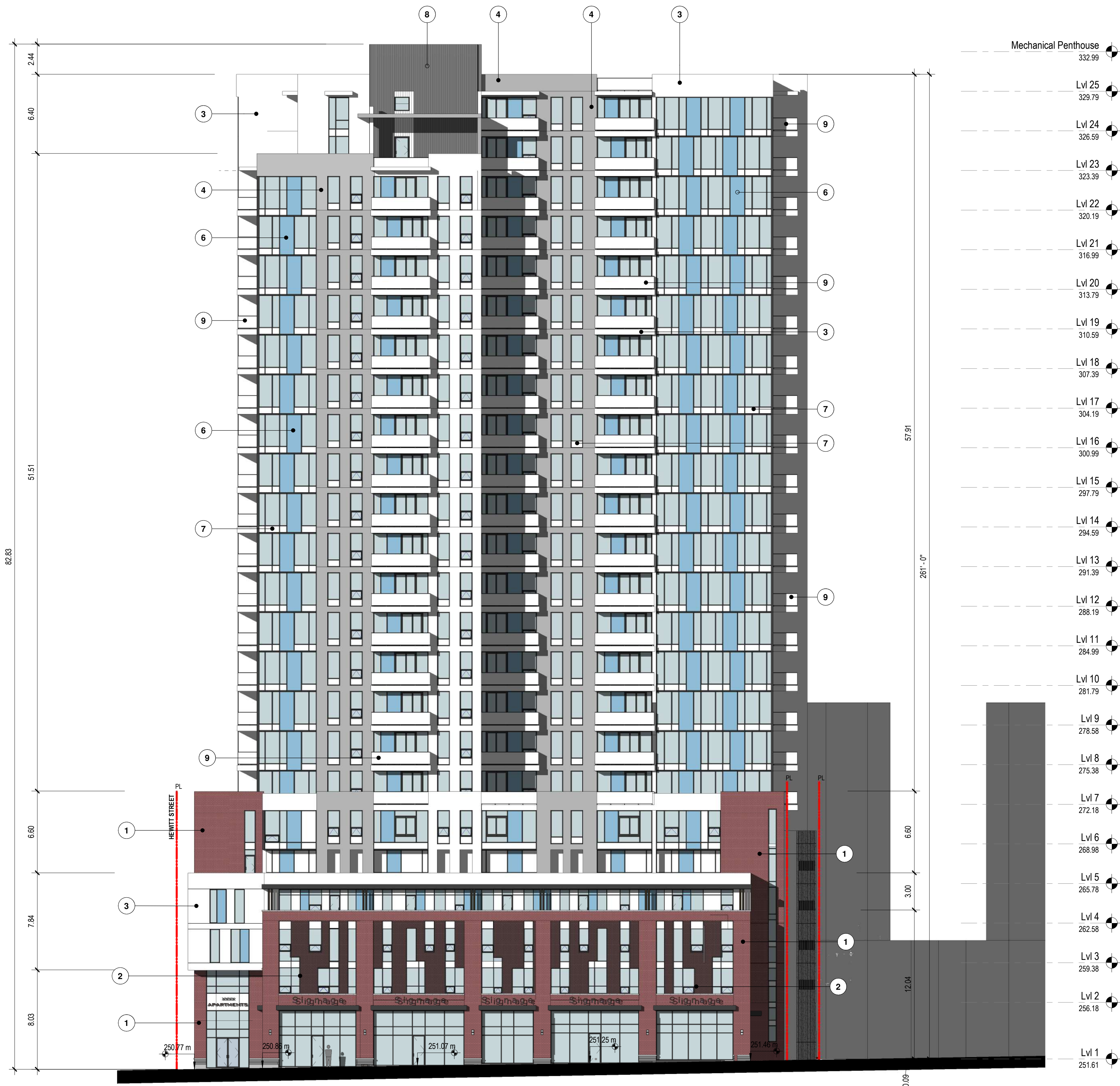
North Elevation

DRAWING INFO.

Project Number 18 023
 Date 10/18/21
 Scale As indicated
 Drawn by Author
 Checked by Checker

SHEET NO.

SPA-10



Symbol	Panel Type	Symbol	Panel Type
①	BRICK MANUFACTURER : TBD COLOUR : TO MATCH ADJACENT BUILDING	⑦	PAINTED SPANDREL PANEL MANUFACTURER : TBD COLOUR : WHITE
②	BRICK MANUFACTURER : TBD COLOUR : BROWN	⑧	METAL PANEL MANUFACTURER : TBD COLOUR : GREY
③	PAINTED CONCRETE MANUFACTURER : TBD COLOUR : WHITE	⑨	PERFINISHED GLASS RAILING SYSTEM MANUFACTURER : TBD COLOUR : FROSTED
④	PAINTED CONCRETE MANUFACTURER : TBD COLOUR : LIGHT GREY	⑩	PERFINISHED WINDOW/ DOOR MANUFACTURER : TBD COLOUR: BLACK
⑤	PAINTED CONCRETE MANUFACTURER : TBD COLOUR : MEDIUM DARK GREY	⑪	PERFORATED METAL PANEL MANUFACTURER : TBD COLOUR: BRONZE
⑥	PAINTED SPANDREL PANEL MANUFACTURER : TBD COLOUR : STEEL BLUE		



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PROJECT NAME

Medallion Residential Tower
 Dundas - Hewitt
 London, ON

DRAWING TITLE

East Elevation

DRAWING INFO.

Project Number
 Date
 Scale
 Drawn by
 Checked by

SHEET NO.



Symbol	Panel Type	Symbol	Panel Type
1	BRICK MANUFACTURER : TBD COLOUR : TO MATCH ADJACENT BUILDING	7	PAINTED SPANDEL PANEL MANUFACTURER : TBD COLOUR : WHITE
2	BRICK MANUFACTURER : TBD COLOUR : BROWN	8	METAL PANEL MANUFACTURER : TBD COLOUR : GREY
3	PAINTED CONCRETE MANUFACTURER : TBD COLOUR : WHITE	9	PREFINISHED GLASS RAILING SYSTEM MANUFACTURER : TBD COLOUR : FROSTED
4	PAINTED CONCRETE MANUFACTURER : TBD COLOUR : LIGHT GREY	10	PREFINISHED WINDOW/ DOOR MANUFACTURER : TBD COLOUR : BLACK
5	PAINTED CONCRETE MANUFACTURER : TBD COLOUR : MEDIUM DARK GREY	11	PERFORATED METAL PANEL MANUFACTURER : TBD COLOUR : BRONZE
6	PAINTED SPANDEL PANEL MANUFACTURER : TBD COLOUR : STEEL BLUE		



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Dundas - Hewitt
London, ON

DRAWING TITLE

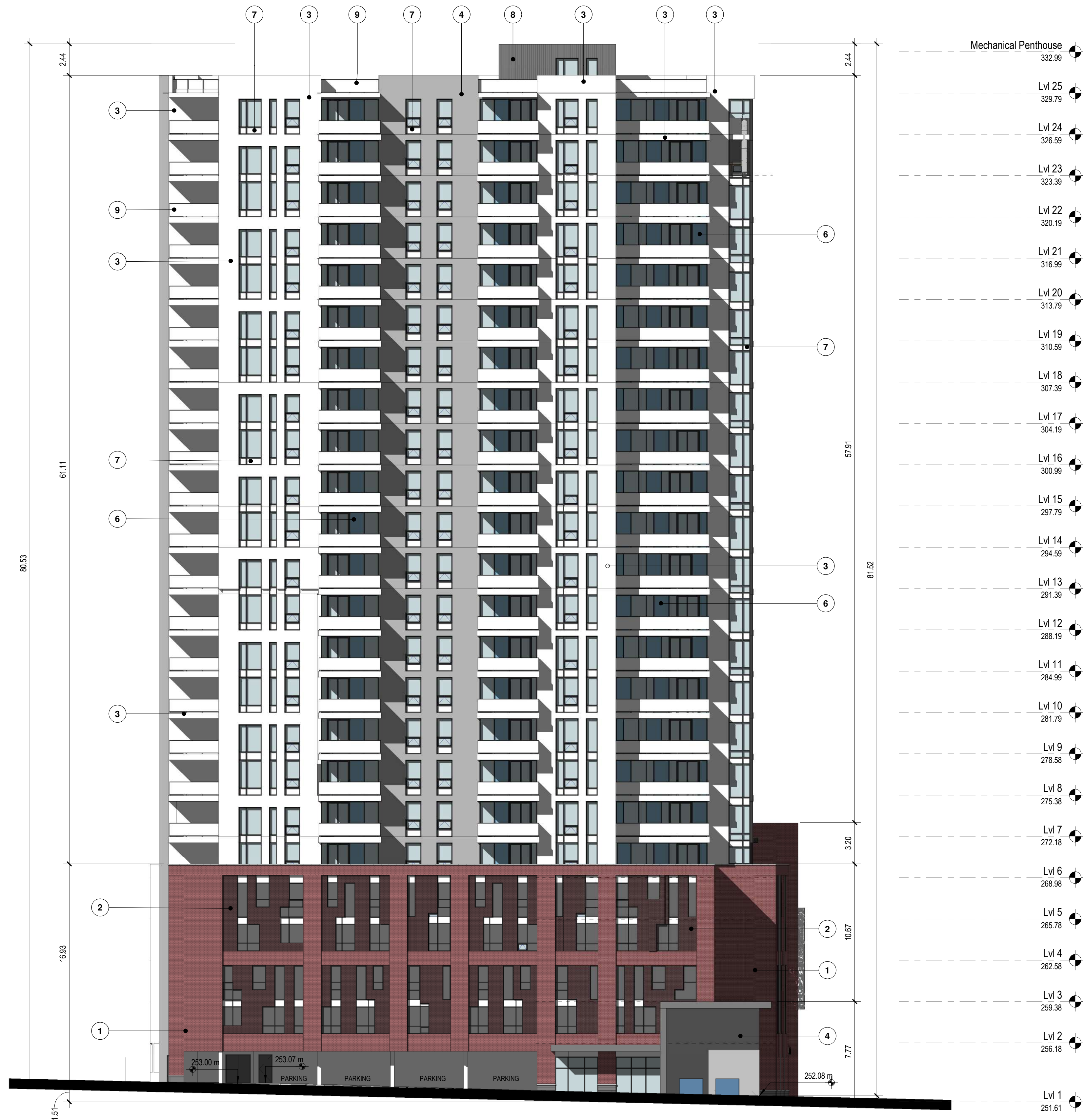
South Elevation

DRAWING INFO.

Project Number 18 023
Date 10/18/21
Scale As indicated
Drawn by Author
Checked by Checker

SHEET NO.

SPA-12



Symbol	Panel Type	Symbol	Panel Type
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	BRICK MANUFACTURER : TBD COLOUR : BROWN		METAL PANEL MANUFACTURER : TBD COLOUR : GREY
	PAINTED CONCRETE MANUFACTURER : TBD COLOUR : WHITE		PREFINISHED GLASS RAILING SYSTEM MANUFACTURER : TBD COLOUR : FROSTED
	PAINTED CONCRETE MANUFACTURER : TBD COLOUR : LIGHT GREY		PREFINISHED WINDOW/ DOOR MANUFACTURER : TBD COLOUR: BLACK
	PAINTED CONCRETE MANUFACTURER : TBD COLOUR : MEDIUM DARK GREY		PERFORATED METAL PANEL MANUFACTURER : TBD COLOUR: BRONZE
	PAINTED SPANDREL PANEL MANUFACTURER : TBD COLOUR : STEEL BLUE		



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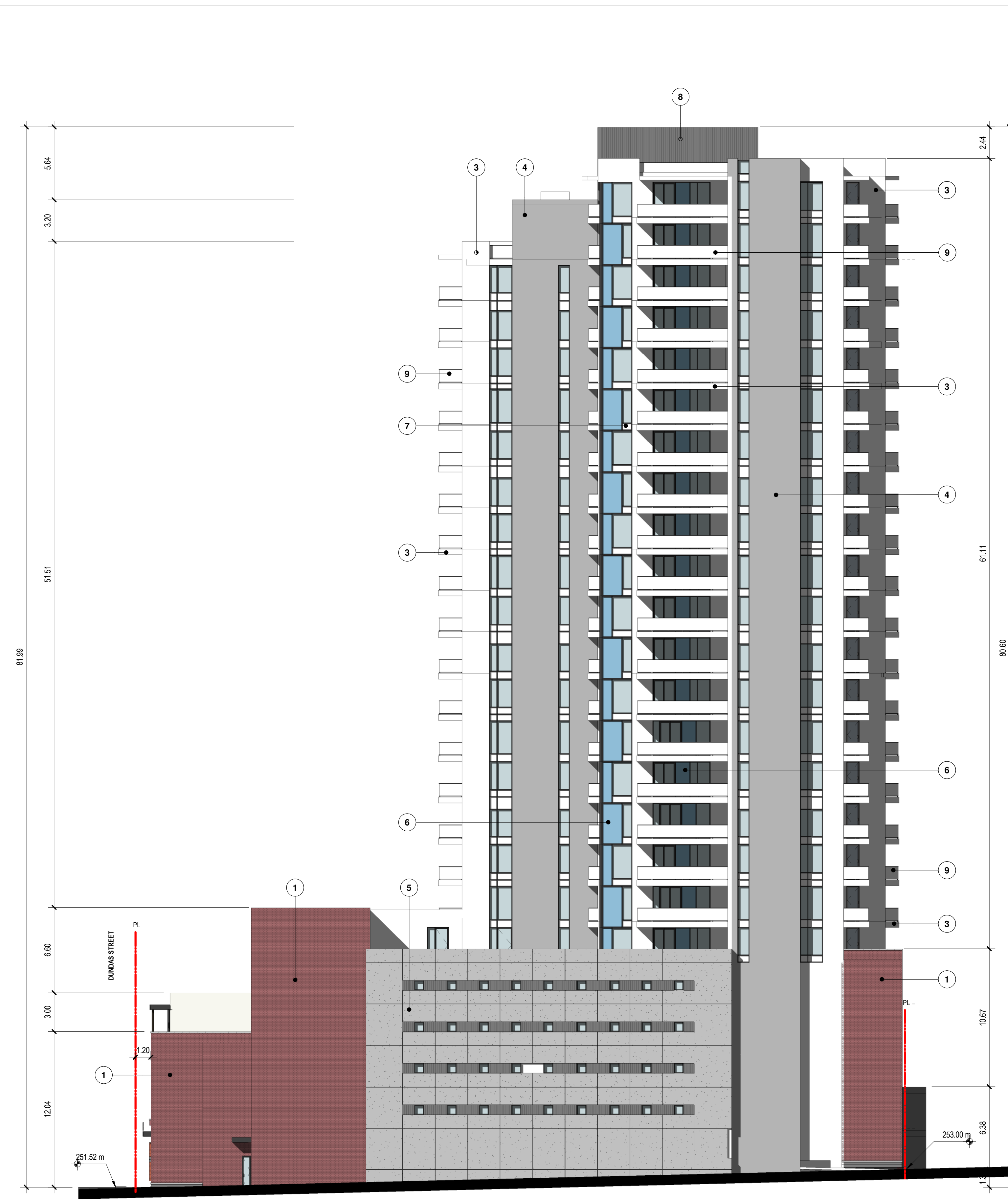
West Elevation

DRAWING INFO.

Project Number 18 023
Date 10/18/21
Scale As indicated
Drawn by Author
Checked by Checker

SHEET NO.

SPA-13



- Mechanical Penthouse 332.99
- Lvl 25 329.79
- Lvl 24 326.59
- Lvl 23 323.39
- Lvl 22 320.19
- Lvl 21 316.99
- Lvl 20 313.79
- Lvl 19 310.59
- Lvl 18 307.39
- Lvl 17 304.19
- Lvl 16 300.99
- Lvl 15 297.79
- Lvl 14 294.59
- Lvl 13 291.39
- Lvl 12 288.19
- Lvl 11 284.99
- Lvl 10 281.79
- Lvl 9 278.58
- Lvl 8 275.38
- Lvl 7 272.18
- Lvl 6 268.98
- Lvl 5 265.78
- Lvl 4 262.58
- Lvl 3 259.38
- Lvl 2 256.18
- Lvl 1 251.61

Exterior Finish Legend			
Symbol	Panel Type	Symbol	Panel Type
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