

Bill No.
2022

By-law No. Z.-1-22

A by-law to amend By-law No. Z.-1 to rezone an area of land located at 1067, 1069, 1071 Wellington Road.

WHEREAS Century Centre Developments Inc. has applied to rezone an area of land located at 1067, 1069, 1071 Wellington Road, as shown on the map attached to this by-law, as set out below;

AND WHEREAS upon approval of Official Plan Amendment Number ____ this rezoning will conform to the Official Plan;

THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

- 1) Schedule "A" to By-law No. Z.-1 is amended by changing the zoning applicable to lands located at 1067, 1069, 1071 Wellington Road, as shown on the attached map comprising part of Key Map No. A111, from an Associated Shopping Area (ASA1/ASA3) Zone to a Business District Commercial Special Provision Bonus (BDC(_)*B-(_)) Zone.
- 2) Section Number 4.3 4) of the General Provisions is amended by adding the following Special Provision:

B-(_) 1067, 1069, 1071 Wellington Road

The Bonus Zone shall be implemented through one or more agreements to facilitate a high-quality, mixed-use development of three buildings with 5 towers as follows: a building along Wellington Road with two 27 storey towers; a building along Montgomery Road with a 10 storey tower and a 20 storey tower, a building along Bradley Avenue with a 27 storey tower; and a maximum density of 566 units per hectare (1,272 units). The development will generally implement the Site Plan attached as Schedule "1" to the amending by-law except where the regulation is more specific and provide for the following:

1) High Level of Design Standards

The building design and site plan contained in Schedule "1" of the amending by-law is being bonused for features which serve to support the City's objectives of promoting a high standard of design to be implemented through a development agreement:

i) Building Height

Montgomery Road

- a. A building height not exceeding 10-storeys in height for Tower C (currently facing Montgomery Road and the adjacent residential zone).

ii) Minimum Design Standards

Podium Features

- a. Step-back along Wellington Road to enhance a pedestrian oriented street wall;
- b. Abundant use of clear glass material and clear glazing with interior spaces visible from the outdoors, with overhead projecting canopies for all entrances and lining the pedestrian-oriented street wall frontages.

- c. A significant break in the podium along Wellington Road as shown on the site plan at the midpoint of the building between Towers A and B, to break up the long façade and promote a human scale, pedestrian oriented environment.

Tower Features

- a. Step-back of the towers, from the podium to the greatest extent possible on all street facing facades;
- b. A slender point-tower form for all towers not exceeding 1,050m² floorplate above the 8th storey;
- c. Mitigation of building mass with a high proportion of glass materials and a relatively low proportion of exposed concrete or similar materials and use of clear glass balcony barriers;
- d. Further mitigation of building mass by varying and articulating the plane of all facades.

Building Cap Features

- a. The use of building step-back at the top storey, with mechanical penthouse completely concealed in the building's top storey.

iii) Site Landscaping

All-season landscaping and foundation planting along any large expanses of walls facing public streets, internal drive aisles, and mid-block connections.

2) Provision of Affordable Housing

- i) A total of 10% of the lift (93 affordable housing units based on 1,272 units) will be provided in the development, representative of the bedroom and unit mix of the overall building;
- ii) The affordable housing units should be evenly distributed throughout the individual buildings to the greatest extent possible;
- iii) Rents not exceeding 80% of the Canada Mortgage and Housing Corporation (CMHC) Average Market Rent (AMR) for the London Census Metropolitan Area (CMA) at the time of building occupancy; where AMR is defined at the one-bedroom, two-bedroom and three-bedroom rate for the London CMA at the time of building occupancy;
- iv) The duration of affordability set at 50 years from the point of initial occupancy of the respective building;
- v) The proponent enter into a Tenant Placement Agreement (TPA) with the City of London to align the affordable units with priority populations;
- vi) These conditions to be secured through an agreement entered on title with associated compliance requirements and remedies.

The following special regulations apply within the bonus zone:

- a) Regulations
 - i) Height (Maximum) 27 storeys or 96m (315 ft) whichever is less
 - ii) Density (Maximum) 566 Units Per Hectare

iii)	Residential Parking Rate (Minimum)	1 space per unit
iv)	Commercial and Retail Parking Rate (Minimum)	1 space per 20sqm of gross floor area
v)	Tower Floorplate Above the 8 th storey (Maximum)	1,050sqm (11,302sq ft)
vi)	Tower width to length ratio above the 8 th storey (Maximum)	1 : 2
vii)	Building setback above 6 th storey along Wellington Road (Minimum)	3m (9.8 ft)

3) Section Number 25.4 of the Business District Commercial (BDC) Zone is amended by adding the following Special Provision:

BDC() 1067, 1069, 1071 Wellington Road

- a) Additional Permitted Uses
 - i) Apartment Buildings, including residential units on the first (ground) floor
- b) Regulations
 - i) The front lot line shall be interpreted to be Wellington Road

The inclusion in this By-law of imperial measure along with metric measure is for the purpose of convenience only and the metric measure governs in case of any discrepancy between the two measures.

This By-law shall come into force and be deemed to come into force in accordance with Section 34 of the *Planning Act, R.S.O. 1990, c. P13*, either upon the date of the passage of this by-law or as otherwise provided by the said section.

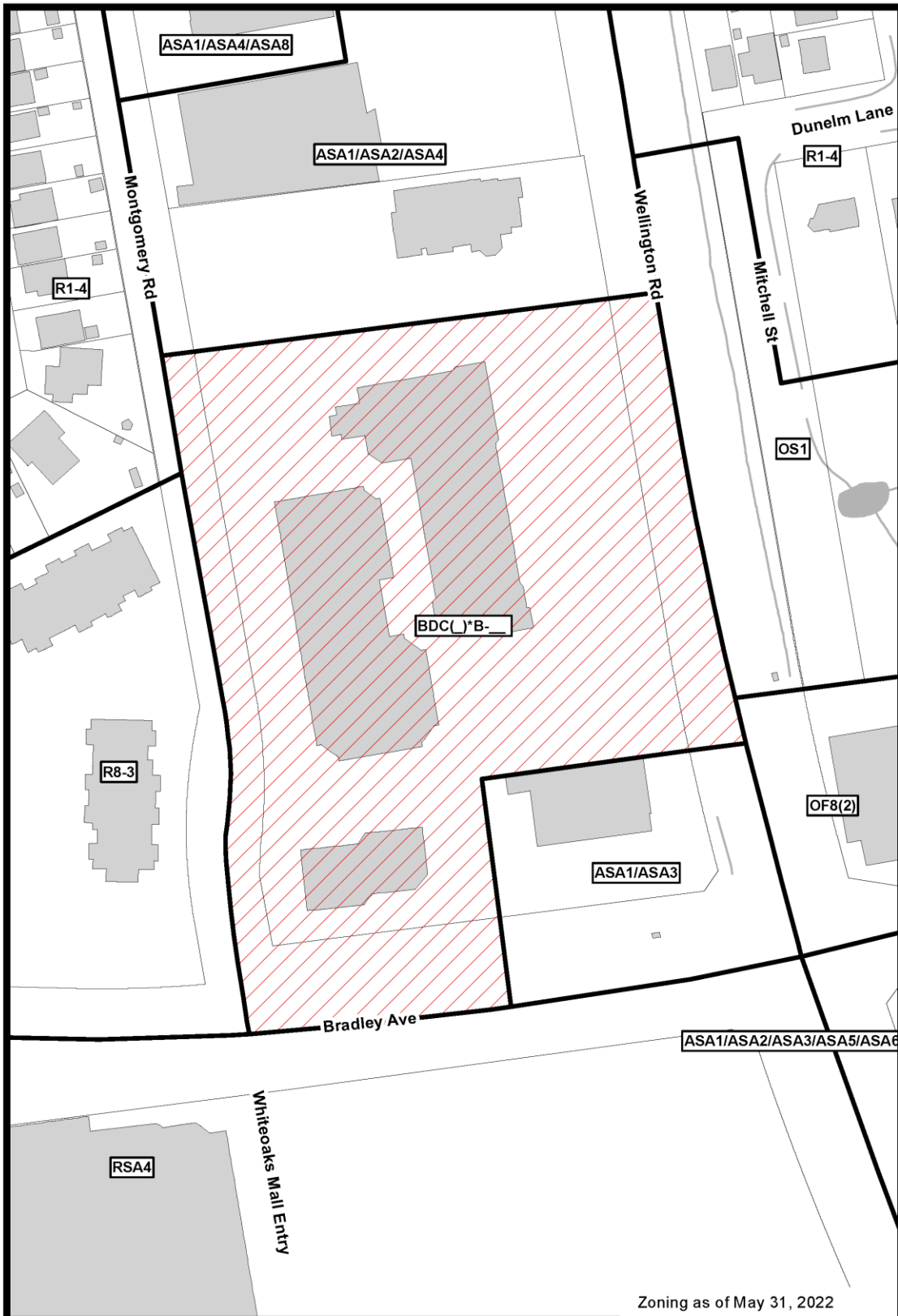
PASSED in Open Council on August 2, 2022


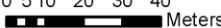

Ed Holder
Mayor

Michael Schulthess
City Clerk

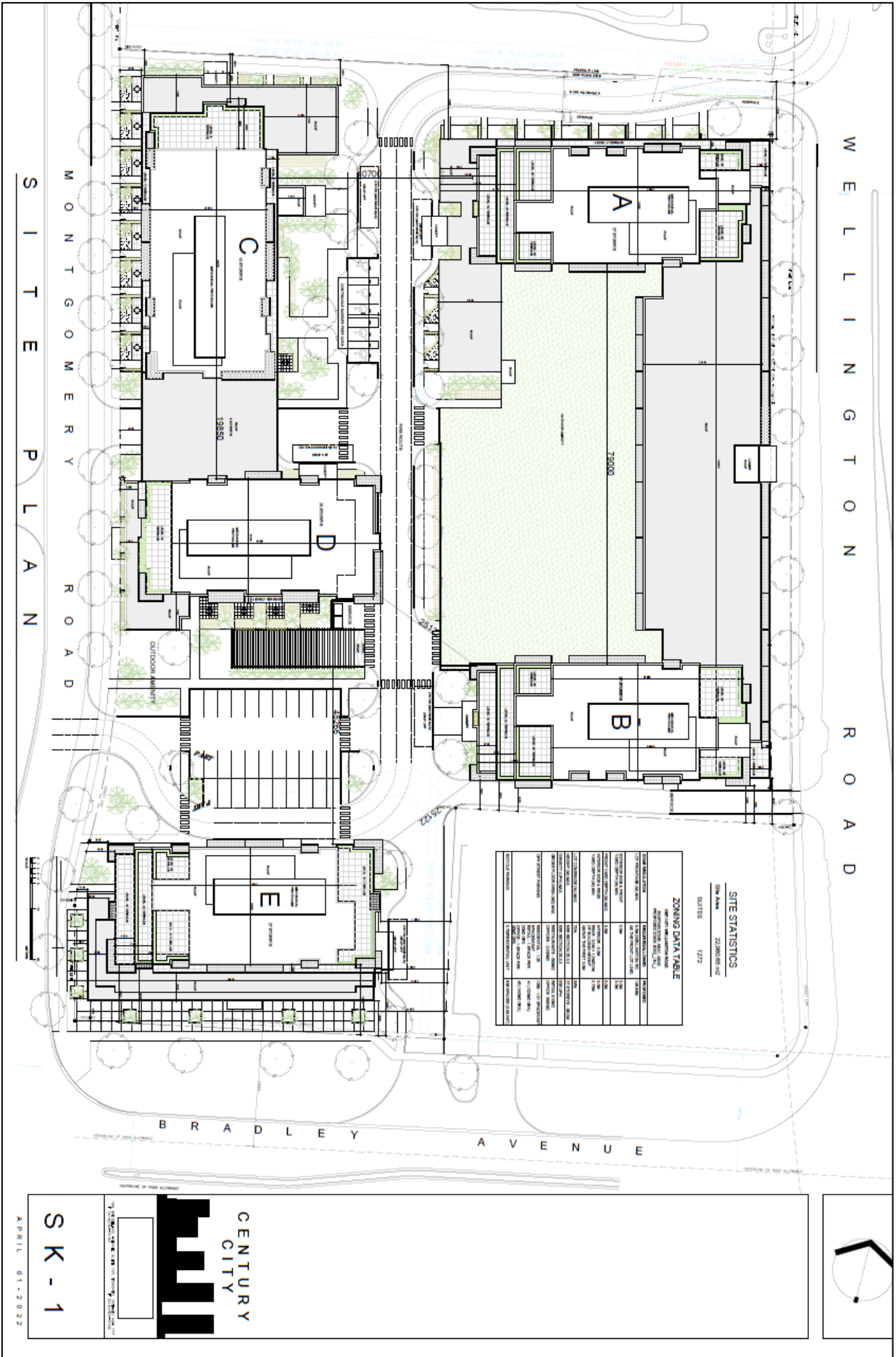
First Reading – August 2, 2022
Second Reading – August 2, 2022
Third Reading – August 2, 2022

AMENDMENT TO SCHEDULE "A" (BY-LAW NO. Z.-1)



<p>File Number: O-9263/Z-9264 Planner: SW Date Prepared: 2022/06/27 Technician: rc By-Law No: Z.-1-</p>	<p>SUBJECT SITE </p> <p>1:1,500</p> <p>0 5 10 20 30 40 Meters </p> <p></p>
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Schedule 1



SITE STATISTICS

Site Name: CENTURY CITY
 SITES: 1272

ZONING DATA TABLE

USE: OFFICE BUILDING (B1)

PARAMETER	MINIMUM	MAXIMUM
MINIMUM LOT AREA	1000	1000
MINIMUM FRONT SETBACK	5	5
MINIMUM SIDE SETBACK	5	5
MINIMUM REAR SETBACK	5	5
MINIMUM FRONT YIELD	10	10
MINIMUM SIDE YIELD	10	10
MINIMUM REAR YIELD	10	10
MINIMUM FRONT SETBACK	5	5
MINIMUM SIDE SETBACK	5	5
MINIMUM REAR SETBACK	5	5
MINIMUM FRONT YIELD	10	10
MINIMUM SIDE YIELD	10	10
MINIMUM REAR YIELD	10	10
MINIMUM FRONT SETBACK	5	5
MINIMUM SIDE SETBACK	5	5
MINIMUM REAR SETBACK	5	5
MINIMUM FRONT YIELD	10	10
MINIMUM SIDE YIELD	10	10
MINIMUM REAR YIELD	10	10

CENTURY CITY

SK - 1

APRIL 01 - 2022