

To the Chair and Members, Planning and Environment Committee

I, Bartosz Storonianski owner of 13 Blackfriars st, London Ontario; am writing to the committee with a request to be allowed to repair my building that was damaged due to a fire in November 2011.

After the initial struggle with the aftermath of the fire and dealing with the insurance company, I proceeded to go to the city hall to find out what would be the processes in rebuilding the property. I was surprised to find out that the property that I purchased April 14th 2004 as a triplex with a one commercial unit was not the legal use of the property I was told and assured at time of purchase.

After months of discussions and research with the zoning department and several meetings at the city hall. A large meeting was set up by city hall after a new cast on CTV that resulted from neighbourhood outrage, I met with and many of the department heads; I was told I could rebuild 2 residential units with 5 bedrooms and a studio retail unit.

I was also asked to do a preliminary drawing and bring it in for approval from zoning. I followed the directions and provided a floor plan to the zoning department. I waited for an answer did not get one until I came in a week later and was told there doesn't seem to be any issue that I should be able to build that. I had my designer draw up plans that I could submit to the Upper Thames Conservations Authority. I attempted to get a hold of Mark Snowsell, for 2 weeks straight to get the permit from them to have it ready with my plans for the permit, he was unreachable until a day before I got my final plans. I finally got direction what to do and paid my permit fee to Upper Thames Conservation Authority. My full plans with all engineering details were delivered to me the after I finally got a hold of the Mark Snowsell at the Conservations authority.

The day I picked up my full plans I came in to the city to present the plans to zoning and apply for a permit I handed them to the Lou Pompili where he informed me that things have changed and we have more complications after a few days, Lou got back to me and he mentioned that would I would have to speak to this particular committee for permission.

As it stands now I have been informed with that a new by law that has been put in place, that will not be allowed to touch the property for a full year, and at that point I am not sure what will happen. This home stands almost directly beside the Blackfriars Bridge it is an eyesore to everyone that enters the neighbourhood from downtown. The neighbourhood has made numerous attempts to have the city put pressure on me to rebuild it.

I have numerous conversations with property standards on a regular basis due to neighbours being upset with state of the property I have attempted to secure it but on a regular basis it is broken into and I receive calls in the middle of the night from London police to come and secure the property. Most of the neighbours have expressed their concerns to the Judy Bryant the areas councillor and all want it rebuilt.

The Blackfriars bridge is closed till the end of August for maintenance, so the road is rarely used at this time. I would like to take the building down during this opportunity as the lower traffic will allow for easy construction and the least disruption to the neighbourhood.

The proposed plan has the same foot print of the original building but will have major exterior enhancements to conform to the neighbourhood. I am planning to change the sided elevation with brick and change the south west roof line for it to look much more like the neighbourhood. The layout of the property will consist of a 4 bedroom unit and 5 bedroom unit with a small studio retail unit. Thank you for your time and please consider allowing me to get rid of that large eyesore and finish what I have been attempting to do for over a year and a half now thank you.

Regards,

Bartosz Storonianski









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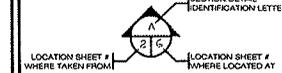
DATE REVISIONS

DATE	REVISIONS



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SECTION SYMBOL



LOCATION SHEET # 1 WHERE TAKEN FROM

PROJECT TITLE:
TWO STORY DUPLEX W/RETAIL
FRONT RETAIL- 349 SQ. FT.
MIDDLE UNIT- 1203 SQ.FT.
REAR UNIT- 990 SQ.FT.

MODEL:

CLIENT:
BART STORONIAKSI
LOCATION:
13 BLACKFRIARS ST
LONDON, ONTARIO

SHEET TITLE:
FLOOR PLANS

DRAWN BY:
CRAIG DUTOT
SCALE:
1/4" = 1'-0"
DATE:
MAY 2013

SHEET:
2 OF 6

STAIRS:
MAX. RISE = 7.75"
MIN. RISE = 4.75"
MIN. RUN = 8.14"
MIN. TREAD = 9.14"
MIN. NOSING = 1"
MIN. HEADROOM = 6'-5"
MIN. WIDTH = 2'-0"
UNIFORM SLOPE

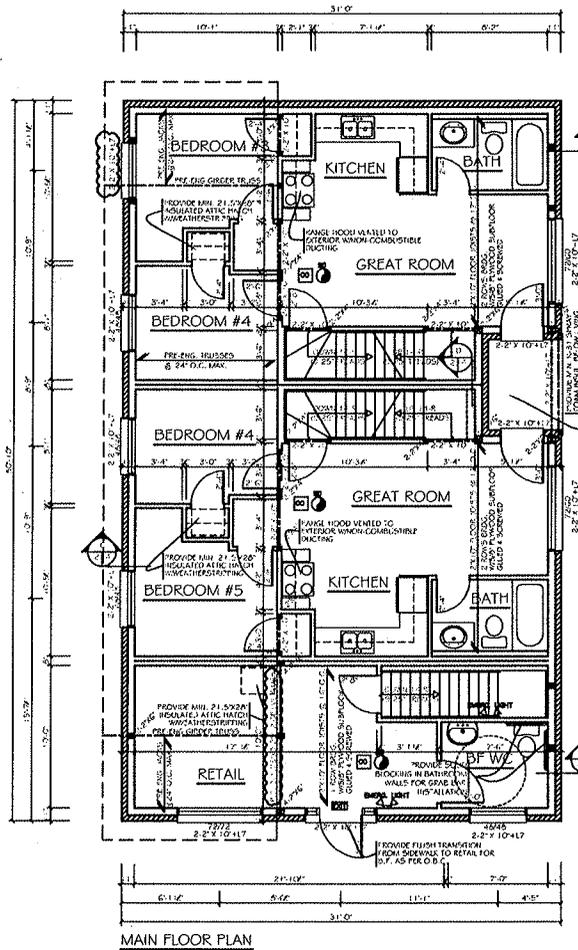
HANDRAILS - MIN. HEIGHT = 31"
MAX. HEIGHT = 36"

GUARDS - MIN. HEIGHT = 30"
4" RAIL OPENINGS
NON-COMBUSTIBLE

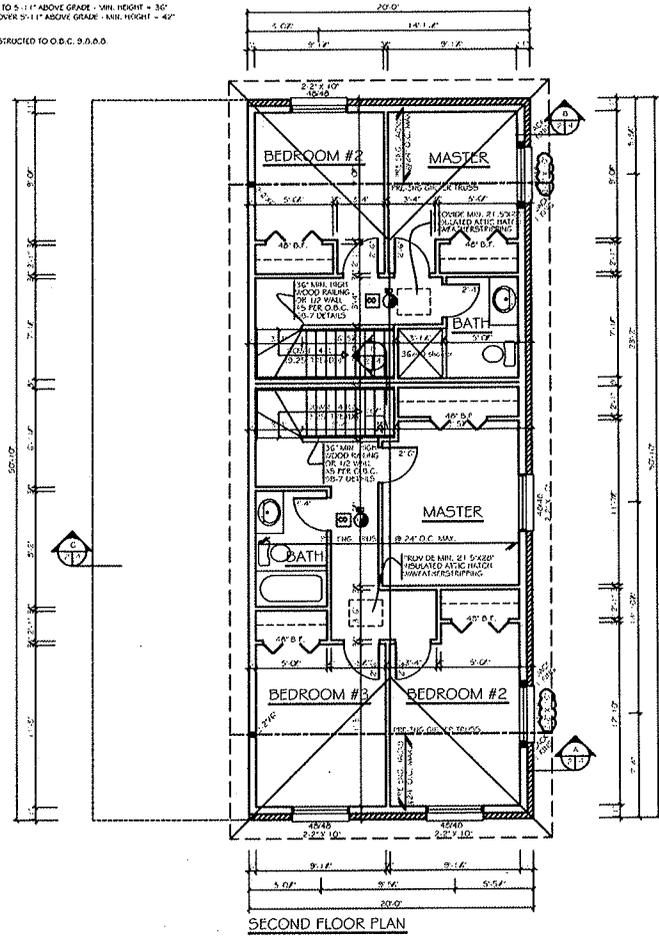
EXTERIOR GUARDS - 2'-0" TO 5'-11" ABOVE GRADE - MIN. HEIGHT = 36"
COVER 3'-11" ABOVE GRADE - MIN. HEIGHT = 42"

ALL GUARDS TO BE CONSTRUCTED TO O.B.C. 9.3.0.0.

ROOF LIGHTS NOTES:
20 MIN. O.C. @ 30.5. 2.6
14" TYP. TYP.
12" 7.100" X 4" X 1/2"
13" 5.700" X 3.100" X 3/8"
14" 4.700" X 3.100" X 3/8"
15" 4.700" X 3.100" X 3/8"
16" 4.5.100" X 1/4"
17" 3.100" X 1/4"
UNLESS SUPPORTING STRUCTURE
VEHICLES SHALL HAVE MIN. 6" OF
BEARING AT EACH END.



MAIN FLOOR PLAN



SECOND FLOOR PLAN

CONCRETE STRENGTH AS PER OBC 9.3.1.8
GARBOIT FLOOR MIN. 32 M.P.A. CONCRETE W/B-S/A
FRONT CONCRETE PORCH MIN. 32 M.P.A. CONCRETE W/B-S/A
GARAGE FLOOR MIN. 32 M.P.A. CONCRETE W/B-S/A
BASEMENT FLOOR MIN. 25 M.P.A. CONCRETE
FOUNDATION WALLS & FOOTINGS MIN. 20 M.P.A. CONCRETE

SEC. 9.23.0.1. (1) BEAMS SHALL HAVE EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 3 1/2" LENGTH OF BEARING AT END SUPPORTS. EXCEPT AS INDICATED IN NOTES TO TABLE A-4 TO A-11, WOOD HEADERS SHALL HAVE 1 1/2" END BEARING FOR SPANS UP TO 6'-0" AND 2" END BEARING FOR SPANS OVER 6'-0" UNLESS NOTED OTHERWISE.

SEC. 9.23.0.1. (2) FLOOR JOISTS SHALL HAVE NOT LESS THAN 1 1/2" LENGTH OF END BEARING.

FOR PRE-ENGINEERED ITEMS WHICH ARE CLOUDED REFER TO STRIK, BALDWIN & ASSOC. LETTER FOR OTHER PRE-ENG. ITEMS REFER TO TRUSS COMPANY DIMS/DETAILS. IF THERE ARE ANY DISCREPANCIES ENGINEERING LETTERING/DETAIL SHALL TAKE PRECEDENCE.

FRONT PORCH DIMS & RETAIL
OCCUPANCY TYPE - RESIDENTIAL (R) + RETAIL (R)
FLOOR AREA - 1,000 SQ. FT. BEAR UNIT = 990 SQ. FT.
FRONT RETAIL = 349 SQ. FT.

CONCRETE LISTS
NUMBER OF BEAMS - 10 (MIN. 10 TO BEAMS) (R) + 4 PERSONS REAR UNIT (R) + 3 PERSONS RETAIL (R)

SHAKES FREE DESIGN
TYPICAL UNIFORM FREE DESIGN
CONFORM TO SECTION 3.2 OF THE 2006 OBC
AND ALL OF ITS SUB-SECTIONS

MECHANICAL/ELECTRICAL BY OTHERS

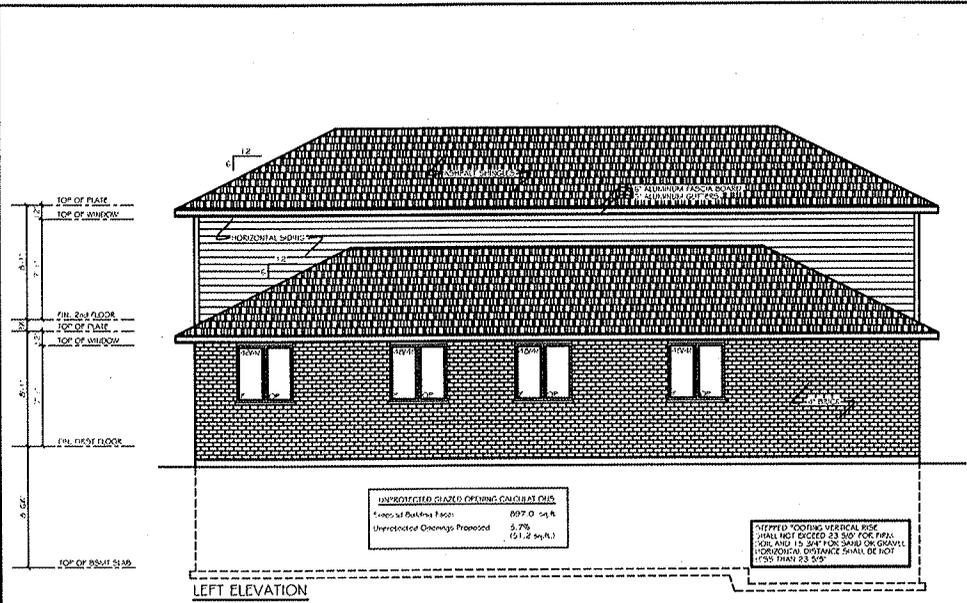
PERMEATIONS OF FIRE SEPARATION CURS
FIRE SEPARATION CURS SHALL CONFORM TO O.B.C. 9.12.5. 9.10.2.3. 4 ANY OTHER APPLICABLE SECTIONS.

PROVIDE TO BE VACANT BELOW RETAIL SHEETS OWNER PROVIDES A 1" FIRE SEPARATION BETWEEN FLOORS.

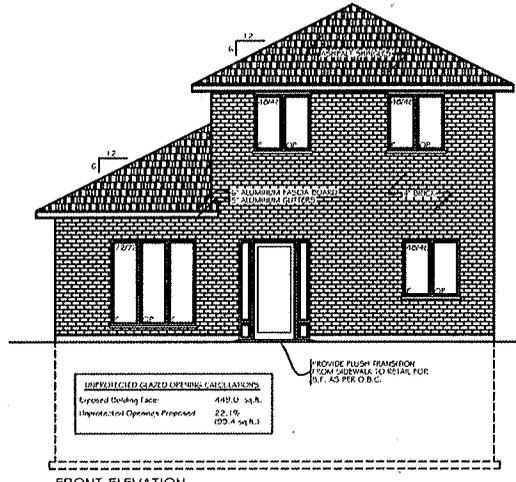
5" MINIMUM 4" FRAMING
- SILL FOOTINGS - MAX. RISE 2'-0". MIN. RUN 2'-0" ON FIRM SOIL
- MAX. RISE 1'-4". MIN. RUN 2'-0" ON SHALY SOIL OR GRAVEL
- ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED SOIL MIN. 4'-0" BELOW FINISHED GRADE
- ALL SITES UNFIT FOR MASONRY TO HAVE MIN. 6" BEARING EACH END
- PROVIDE SOLID HOODING @ 4" O.C. OR DOUBLE JOISTS BELOW ALL NON-COMBUSTIBLE PARTITIONS PARALLEL WITH FLOOR JOISTS
- PROVIDE DOUBLE JOISTS AROUND ALL FLOOR OPENINGS FOR STAIRS
- HOOD SUPPORTED ON CONCRETE IN CONTACT WITH THE GROUND SHALL BE SEPARATED FROM THE CONC. BY 2" MIN. POLY
- WHERE CORNER FLOORING IS INSTALLED SUBFLOOR SHALL BE REINFORCED AS PER O.B.C. 9.23.3.
- WALL STUDS SHALL CONFORM TO O.B.C. 9.23.3

MISCELLANEOUS:
- WALLS AND CEILING BETWEEN DWELLING UNIT AND GARAGE TO BE GAS PROOF AND INSULATED
- PROVIDE MIN. 6" HEADROOM BELOW ALL FFMS & DECKS
- ALL EXTERIOR PAINTS TO BE VENTED TO EXTERIOR
- FRANK DOORS TO BE VENTED TO EXTERIOR WHICH COMBUSTIBLE DECK
- UNDECK: ALL DOORS WITHOUT RETURN AIR SHUT
- SHOCK DETECTORS AND CO SMOKE DET. TO BE LOCATED ON EACH FLOOR LEVEL AND NOT TO BE INTERCONNECTED
- ALL LIGHTING AND ELECTRICAL TO O.B.C. 9.3.4
- ALL INSULATED WALL, CEILING, AND FLOOR ASSEMBLIES SHALL INCLUDE AN AIR BARRIER SYSTEM TO O.B.C. 9.25.3.
- ALL INSULATED WALL, CEILING, AND FLOOR ASSEMBLIES SHALL BE CONSTRUCTED WITH A VAPOR BARRIER TO O.B.C. 9.25.4.
- PAINT PROTECTION FOR SHINGLES AND SHAKES SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 9.26.3.

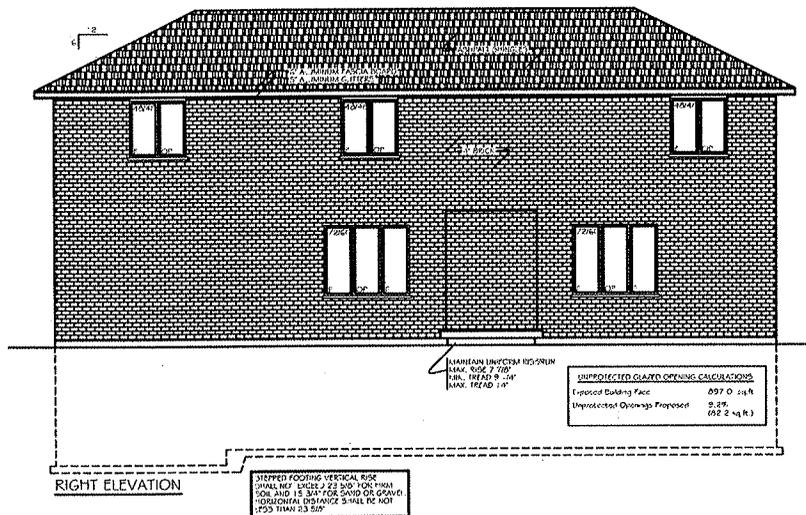
LOCALS & WINDOWS:
- ALL EXTERIOR DOORS AND WINDOWS TO COMPLY WITH FORCED ENTRY REQUIREMENTS O.B.C. 9.6.0. 9.7.5.
- FLOOR LEVELS CONTAINING MOSEKOS TO HAVE ONE OPERABLE WINDOW WITH A MIN. UNOBSTRUCTED OPEN AREA OF 3.0 SQ. FT. WITH NO IMPEDIMENT LESS THAN 15"
- DOORS BETWEEN DWELLING UNIT & GARAGE TO BE AN EXTERIOR TYPE DOOR ON THE FLOOR AND WEATHERSTRIPPING
- MAIN ENTRANCE DOORS TO HAVE DOOR VEEVER UNLESS TRANSOM/TRANSIT GUARDS IS PROVIDED IN DOOR OR A Sidelight



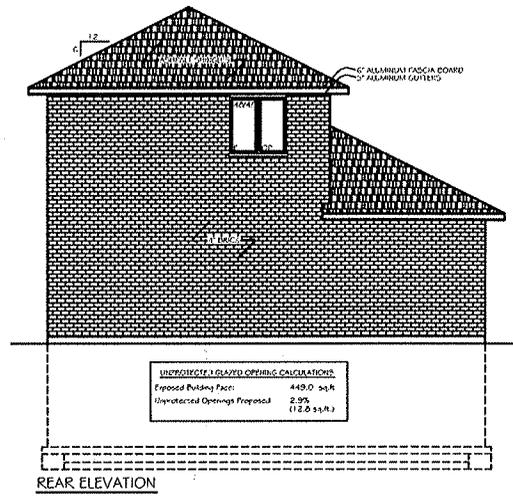
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



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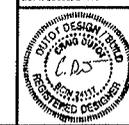
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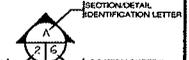
DATE	REVISIONS

DUTOT DESIGN SERVICES
BCIN: 20096, 24117



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SECTION SYMBOL



LOCATION SHEET # 1 WHERE TAKEN FROM LOCATION SHEET # 2 WHERE LOCATED AT

PROJECT TITLE:
**TWO STORY DUPLEX W/RETAIL
FRONT RETAIL- 349 SQ. FT.
MIDDLE UNIT- 1203 SQ.FT.
REAR UNIT- 990 SQ.FT.**

MODEL:

CLIENTS:
BART STORONIANSKI

LOCATION:
**13 BLACKFRIARS ST
LONDON, ONTARIO**

SHEET TITLE:
ELEVATIONS

DRAWN BY:
CRAIG DUTOT

SCALE:
1/4" = 1'-0"

DATE: **MAY 2013** SHEET: **3 OF 6**

3

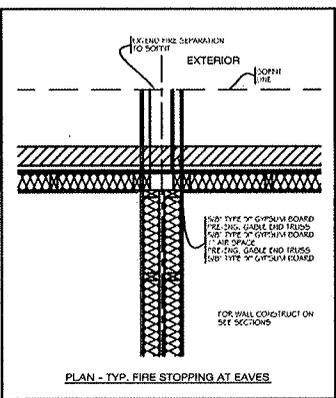
STAIRS:
 MAX. RISE = 7 7/8"
 MIN. RISE = 4 7/8"
 MIN. RUN = 11 1/4"
 MIN. TREAD = 9 1/4"
 MIN. NOSING = 1"
 MIN. HEADROOM = 6'-5"
 MIN. WIDTH = 2'-10"
 UNIFORM RISER RUN

"HANDRAILS - MIN. HEIGHT = 31"
 MAX. HEIGHT = 36"
 GUARDS - MIN. HEIGHT = 36"
 MAX. OPENINGS = 4"
 NON-CUMBERABLE

EXTERIOR GUARDS - 2" O" TO 5'-1" ABOVE GRADE - MIN. HEIGHT = 36"
 COVER 5'-1" ABOVE GRADE - MIN. HEIGHT = 42"

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SEC. 9.23.9.1. (1) FLOOR JOISTS SHALL HAVE NOT LESS THAN 1 1/2" LENGTH OF END BEARING.



NOTES: SOFFIT VENTING IS LEGAL. MEASUREMENTS SHALL BE TAKEN TO PREVENT INTRUSION FROM BLOCKING THE SOFFIT VENTS AND TO MAINTAIN THE OPEN PATH FOR CIRCULATION OF AIR FROM THE VENTS INTO THE ATTIC OR ROOF SPACE AND TO MINIMIZE AIR FLOW INTO THE ATTIC OR ROOF SPACE. SEAL THE SOFFIT VENTS TO MAINTAIN THE THERMAL PERFORMANCE OF THE MATERIAL.

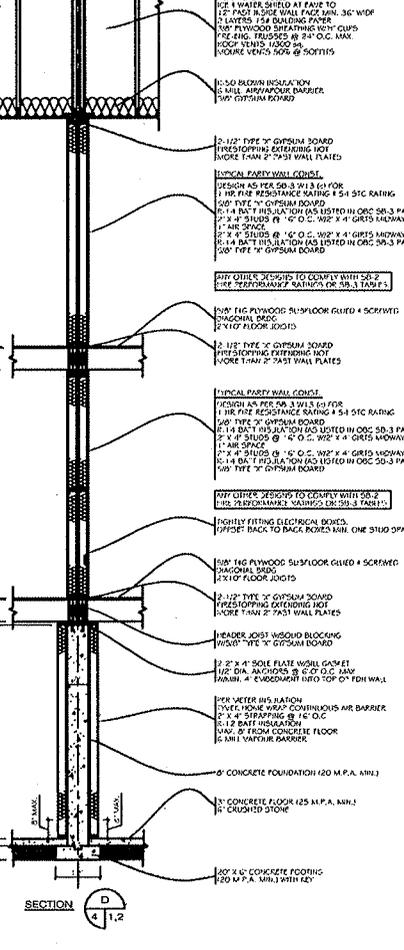
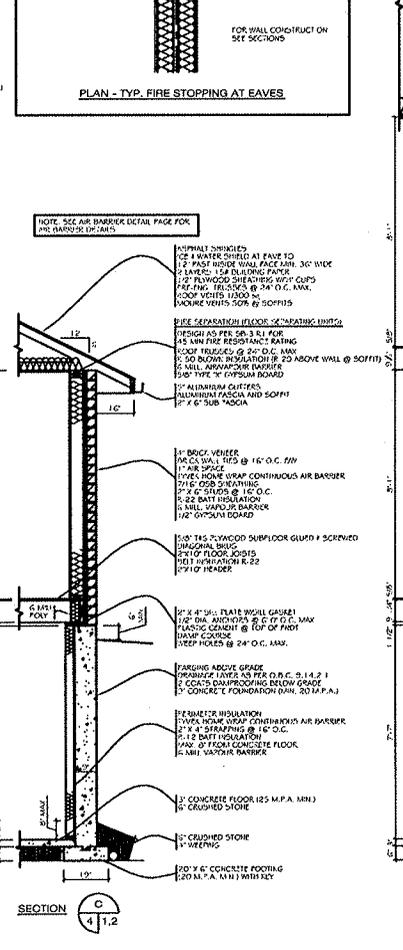
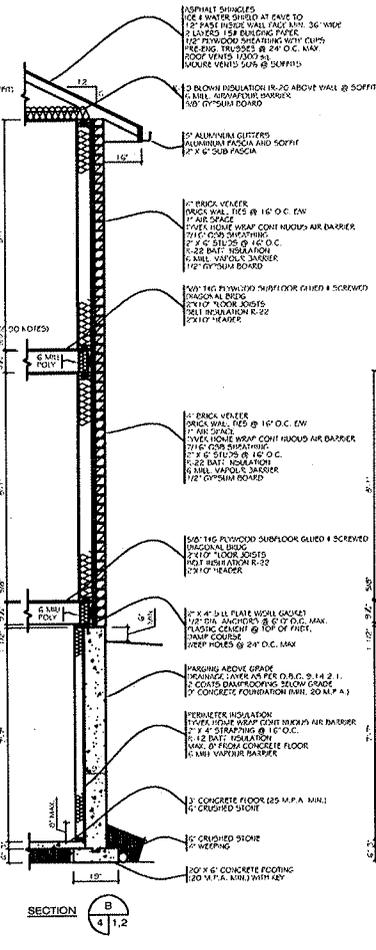
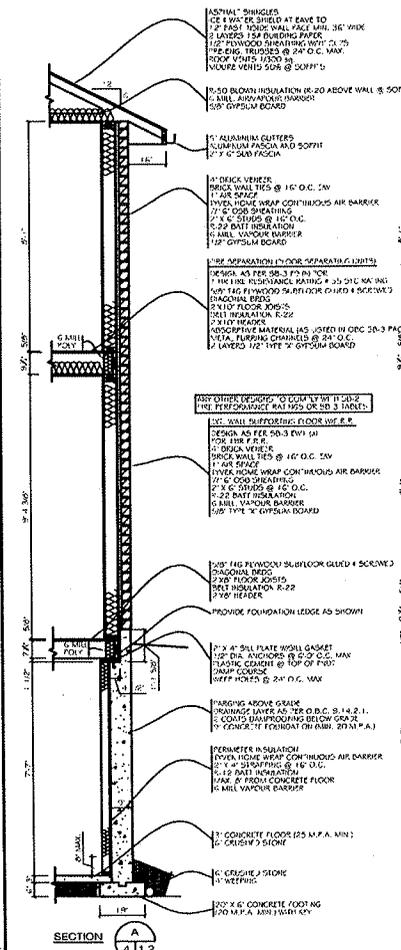
NOTE: SEE AIR BARRIER DETAIL PAGE FOR THE BARRIER DETAILS.

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DUTOT DESIGN services

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DATE	REVISIONS

DUTOT DESIGN SERVICES
 BCNR 20095, 24117

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SECTION SYMBOL

SECTION/DETAIL IDENTIFICATION LETTER

LOCATION SHEET # 1 WHERE TAKEN FROM

LOCATION SHEET # 2 WHERE LOCATED AT

PROJECT TITLE:
TWO STORY DUPLEX W/RETAIL FRONT RETAIL - 349 SQ. FT. MIDDLE UNIT - 1203 SQ. FT. REAR UNIT - 990 SQ. FT.

MODEL:

CLIENT:
BART STORONIANSKI

LOCATION:
13 BLACKFRIARS ST LONDON, ONTARIO

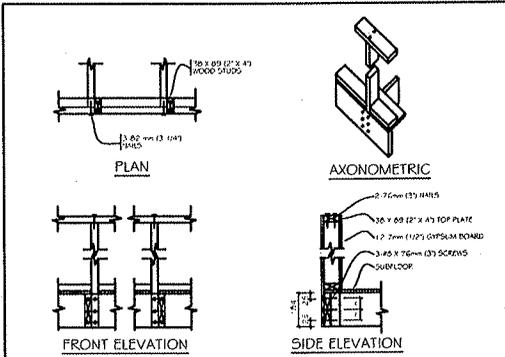
SHEET TITLE:
SECTIONS

DRAWN BY:
CRAG DUTOT

SCALE:
1/2"=1'-0"

DATE:
MAY 2013

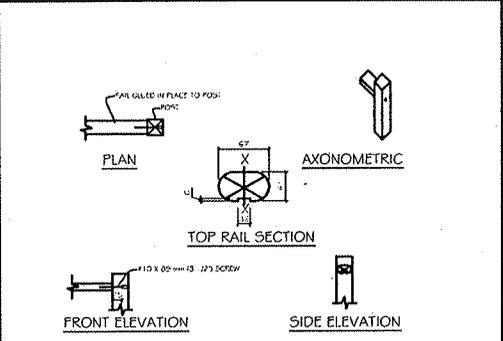
SHEET:
4 OF 6



SB-7 DETAIL 1D-1
INTERIOR CONNECTION: WOOD STUD AND GYPSUM BOARD GUARD

NOTES:
 1. FASTEN FLYWOOD OR GYPSUM TO STUDS WITH 50mm (2") NAILS AT 150mm (6") O.C. ALONG EDGES AND AT 300mm (12") O.C. ALONG INTERMEDIATE SPACES.
 2. GYPSUM BOARD DOWELLED ON PLAN, FRONT ELEVATION, AND AXONOMETRIC FOR CLARITY.
 3. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
 4. PROVIDE A STABLE POINT OF TURN OR SICKLE SUPPORT AT EACH END OF THE GUARD.

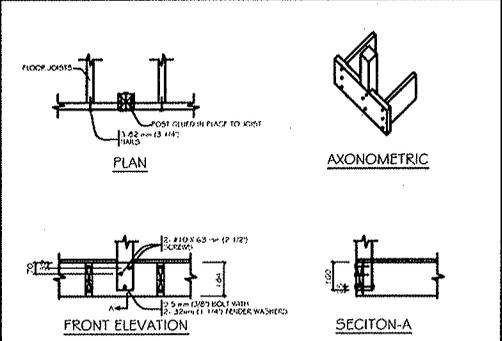
MAXIMUM SPACING BETWEEN WOOD STUDS	
STUD SPECIES	MAXIMUM SPACING (m (ft.-in.))
RED OAK, MAPLE, YELLOW POPLAR, HEMLOCK, WHITE PINE	406 (16 3/8)



SB-7 DETAIL 1A-1
INTERIOR CONNECTION: RAIL GLUED AND SCREWED TO POST

NOTES:
 1. OTHER RAIL SYSTEMS MAY BE USED PROVIDED THE DESIGNER'S RAIL IS NOT LESS THAN 24,000 mm³, MEASURED ABOUT THE RAIL.
 2. PICKETS ARE TYPED ON DRAWING FOR CLARITY.
 3. CONNECTION BEHIND PICKETS FOR PICKETS TO BARS ARE SHOWN ON DETAILS 1C-1 AND 1C-2.
 4. DIMENSIONS SHOWN ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.

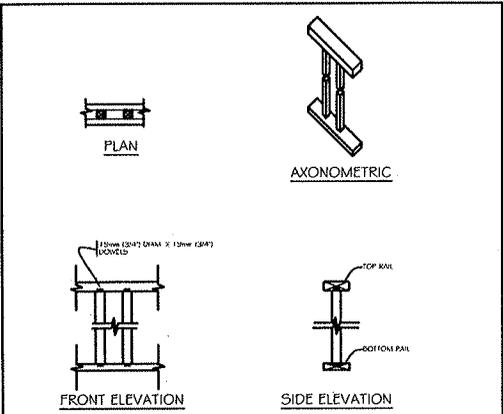
MAXIMUM SPACING OF RAIL BETWEEN POSTS	
PICKETS	MAXIMUM SPACING (m (ft.-in.))
OAK, MAPLE	3.30 (10'-10 1/2)



SB-7 DETAIL 1B-1
INTERIOR CONNECTION: NOTCHED POST GLUED AND BOLTED TO RIM JOIST

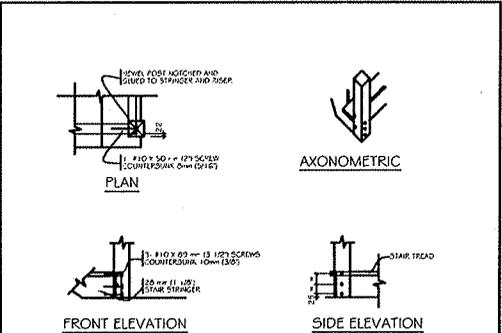
NOTES:
 1. MINIMUM DIMENSION OF POST IS 89mm x 89mm (3 1/2\"/>

MAXIMUM SPACING BETWEEN POSTS	
POST SPECIES	MAXIMUM SPACING (m (ft.-in.))
OAK, MAPLE, YELLOW POPLAR, HEMLOCK, WHITE PINE	3.30 (10'-10 1/2)



SB-7 DETAIL 1C-2
INTERIOR CONNECTION: INFILL PICKET DOWELLED INTO RAILS

NOTES:
 1. SEE TABLE 3.1.2 FOR MINIMUM SIZES OF PICKETS.
 2. PICKETS DOWELLED 15mm (5/8\"/>



SB-7 DETAIL 1G-1
INTERIOR STAIR GUARD CONNECTION: NOTCHED POST GLUED AND SCREWED TO STRINGER

NOTES:
 1. STRINGER SHALL BE ONE OF MAPLE.
 2. NOTCH DEPTH SHALL BE 25mm (1\"/>

MAXIMUM SPACING BETWEEN POSTS	
POST SPECIES	MAXIMUM SPACING (m (ft.-in.))
OAK, MAPLE, YELLOW POPLAR, HEMLOCK, WHITE PINE	3.30 (10'-10 1/2)

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DATE	REVISIONS

DUTOT DESIGN SERVICES
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SECTION SYMBOL
 SECTION DETAIL IDENTIFICATION LETTER

LOCATION SHEET # WHERE TAKEN FROM: A/B
 LOCATION SHEET # WHERE LOCATED AT: 1/2

PROJECT TITLE:
TWO STORY DUPLEX W/RETAIL FRONT RETAIL- 349 SQ. FT. MIDDLE UNIT- 1203 SQ. FT. REAR UNIT- 990 SQ. FT.

MODEL:
 CLIENTS:
BART STORONIANSKI
 LOCATION:
13 BLACKFRIARS ST LONDON, ONTARIO
 SHEET TITLE:
SB-7 STAIR DETAILS

DRAWN BY:
CRAIG DUTOT
 SCALE:
1/2" = 1'-0"
 DATE: **MAY 2013** SHEET: **5 OF 6**

5

NOTES:

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK.

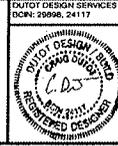
THE CONTRACTOR MUST VERIFY THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE CURRENT NATIONAL BUILDING CODE, THE ONTARIO BUILDING CODE, LOCAL ZONING REGULATIONS, AND ANY OTHER GOVERNING AUTHORITIES.

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DATE	REVISIONS



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SECTION SYMBOL



SECTION SYMBOL IDENTIFICATION LETTER
LOCATION SHEET # WHERE TAKEN FROM
LOCATION SHEET # WHERE LOCATED AT

PROJECT TITLE:
TWO STORY DUPLEX W/RETAIL FRONT RETAIL - 349 SQ. FT. MIDDLE UNIT - 1203 SQ. FT. REAR UNIT - 990 SQ. FT.

MODEL:

CLIENTS:
BART STORONIANSKI
LOCATION:
13 BLACKFRRIARS ST LONDON, ONTARIO

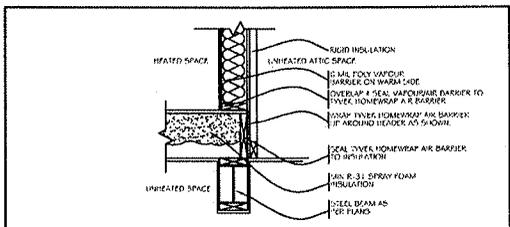
SHEET TITLE:
AIR/VAPOUR BARRIER DETAILS

DRAWN BY:
CRAIG DUTOT

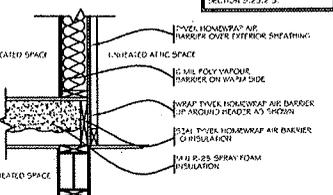
SCALE:
1/2" = 1'-0"

DATE: **MAY 2013** SHEET: **6 OF 6**

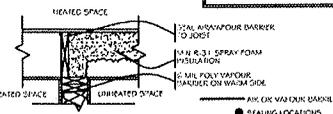
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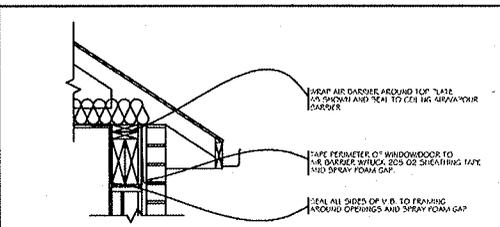
**GARAGE BEAM INTERIOR AIR BARRIER:
6 MILL POLY VAPOUR BARRIER
USED AS AIR BARRIER**



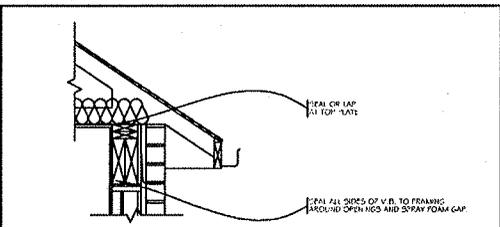
**GARAGE BEAM EXTERIOR AIR BARRIER:
USING TYVEK HOMEWRAP
AS AIR BARRIER**



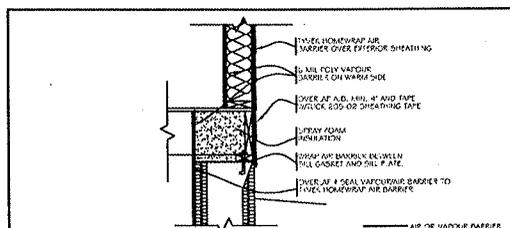
**GARAGE INT. WALL INTERIOR AIR BARRIER:
6 MILL POLY VAPOUR BARRIER
USED AS AIR BARRIER**



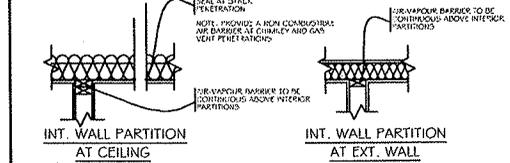
**EXTERIOR AIR BARRIER:
USING TYVEK HOMEWRAP AS AIR BARRIER**



**INTERIOR AIR BARRIER:
6 MILL POLY VAPOUR BARRIER USED AS AIR BARRIER**

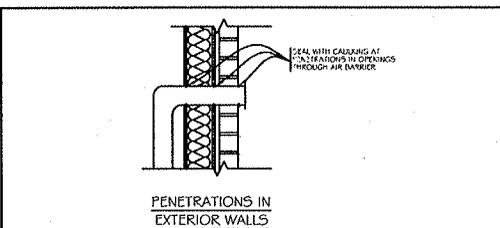


**EXTERIOR AIR BARRIER (ICF FORM):
USING TYVEK HOMEWRAP AS AIR BARRIER**

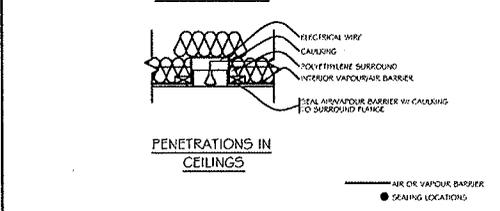


**INT. WALL PARTITION
AT CEILING**

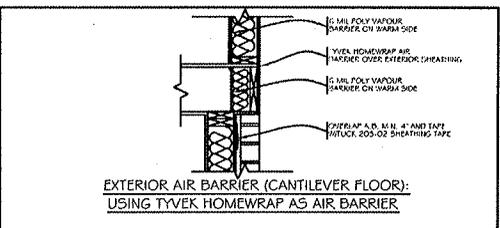
**INT. WALL PARTITION
AT EXT. WALL**



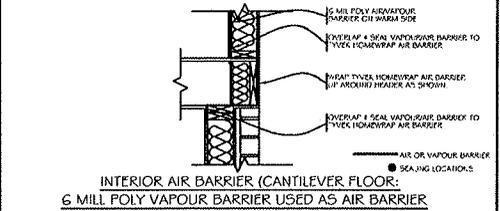
**PENETRATIONS IN
EXTERIOR WALLS**



**PENETRATIONS IN
CEILINGS**



**EXTERIOR AIR BARRIER (CANTILEVER FLOOR):
USING TYVEK HOMEWRAP AS AIR BARRIER**



**INTERIOR AIR BARRIER (CANTILEVER FLOOR):
6 MILL POLY VAPOUR BARRIER USED AS AIR BARRIER**