



# Western Road / Sarnia Road / Philip Aziz Avenue Environmental Assessment



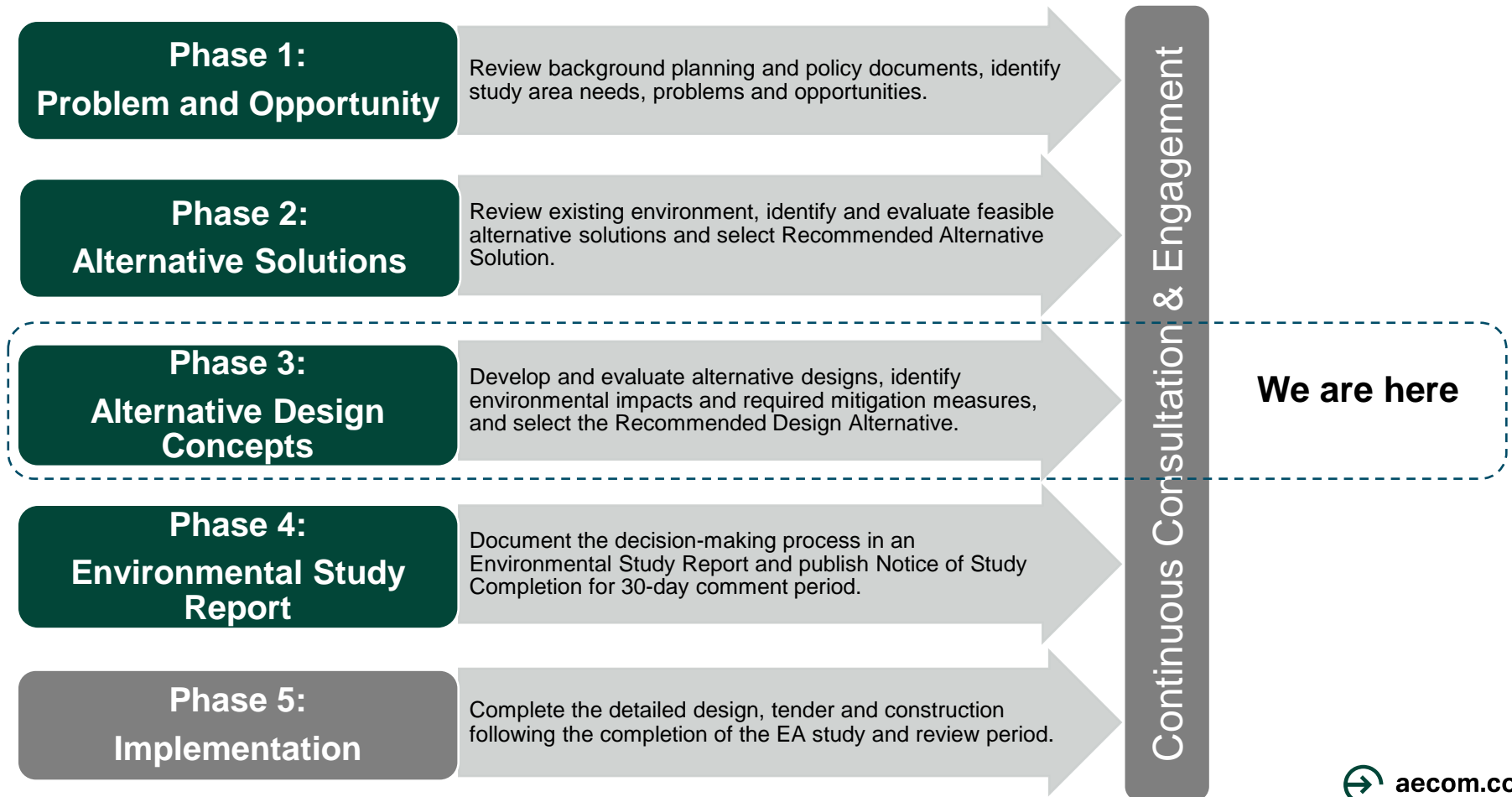
Community Advisory Committee on Planning

July 13, 2022



# Municipal Class EA Study Process

The Class EA study will be completed in accordance with the **Ontario Environmental Assessment Act** and will fulfill the requirements of the Municipal Class EA process for **Schedule C** projects. At the end of the EA process, an **Environmental Study Report** will be prepared for public review and comment to document the planning process followed.



## Project Extents

- Western Rd from Huron College entry (north) to Platts Ln (south)
- Sarnia Rd / Philip Aziz Ave corridor from Sleightholme Ave (west) to the Thames River (east)
  - Coombs Ave to Sleightholme Ave was added after PIC#1
  - This additional piece of Study area allows for the existing cycling lanes to the west to be extended all the way to the East Limits of the Study Area
- Coombs Ave (previous west limits)



# Problem/Opportunity Statement

## Problem

- The City of London Transportation Master Plan (2030 TMP) identified the need to improve the Western Rd and Sarnia Rd/Philip Aziz Ave intersection in the next 5 years.
- This intersection accommodates pedestrians, cyclists, significant transit routes and numerous vehicles (per day).
- The intersection experiences traffic congestion, safety concerns, increased delays and decreasing levels of service for all users and this will continue if left untreated.
- The existing storm drainage in the area does not meet current design standards and requires upgrades.

## Opportunity Statement

- Develop a range of planning and design alternatives that can improve pedestrian and cyclist facilities and safety, improve intersection operations, and provide additional capacity by removing constraints.
- Improve continuity with Western Road north and south of the study area, address stormwater drainage and enhance streetscape conditions.
- Consult the public and agencies and solicit feedback to select the best plan for the future.
- Follow the City of London's 'Complete Streets' guidelines, 'Urban Design' guidelines, and Western University's Master Plan Vision, to potentially create a gateway to the campus.
- Create a street/intersection that is as functional and comfortable as possible for all users (students, children, seniors, cyclists, motorists, transit users and pedestrians)

# Heritage Properties in Study Area

## **150 Philip Aziz Avenue – Heritage Designated**

- The Philip Aziz Property.

## **1285 Western Road – Heritage Listed**

- Brescia University College.

## **1349 Western Road – Heritage Listed**

- Huron College.

## **1125 & 1137 Western Road – Heritage Listed**

- Althouse College.

## **1151 Richmond Street and 1400 Western Road– Heritage Listed**

- Western University Main Campus.

# Design Alternatives

## Sarnia Rd

1. Maintain existing road section with sidewalks (no dedicated bicycle lanes)
2. Full Urban Cross Section with bicycle lanes extended to Sleightholme **Recommended**

## Western Rd

1. Extended South bound right turn lane **Recommended**
2. Added bus bays **Recommended**
3. Active transportation improvements: **Recommended**
4. Active Transportation in Right of Way. **Recommended**

## Intersection

1. Roundabout
2. Pedestrian Tunnel
3. Double left turn lane vs Single left turn lane (**Recommended**)
4. Typical Pedestrian Crossway with protected intersection design features (**Recommended**) vs Scramble

## Philip Aziz Ave

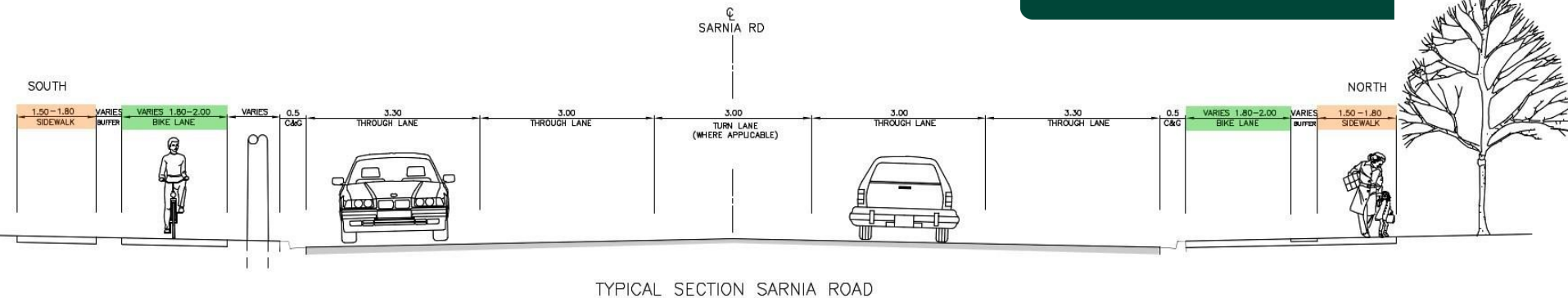
1. Full Urban Cross Section with reconstructed entrance to Philip Aziz property.
2. Full Urban Cross Section with relocated entrance to Philip Aziz property. **Recommended**

# Sarnia Rd – Design Summary

- Maintain the current 4 lane configuration.
- Improve Active Transportation (extend bicycle lanes to Sleightholme Ave to connect to the existing lanes, on raised track).
- No utility relocation, except for minor work involving relocation of guy poles.
- Some (minor) loss of trees along the corridor.
- Small property taking area on north side.
- Reconstruction of bus stops (with bus pads).
- No impacts to Brescia College.



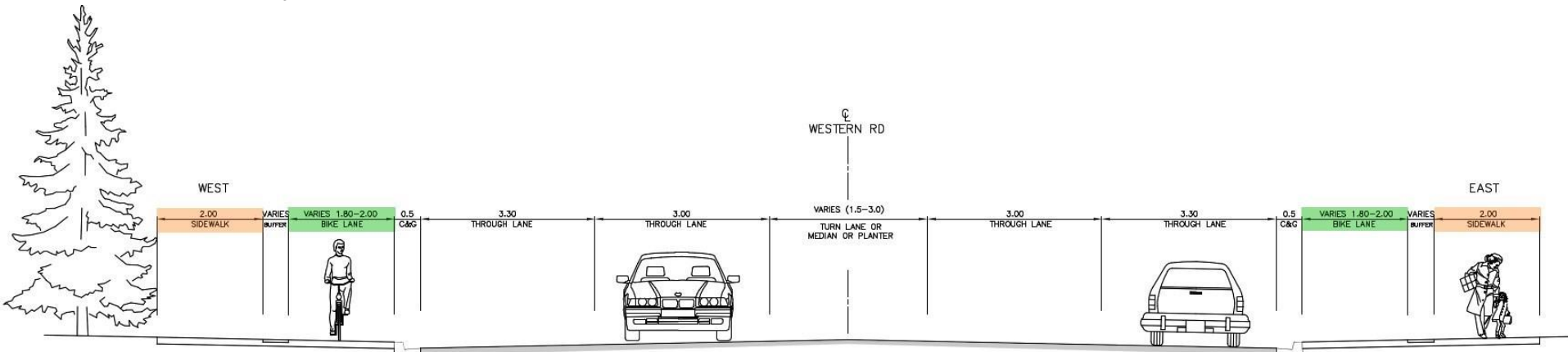
One Way Cycle Track



TYPICAL SECTION SARNIA ROAD

# Western Rd – Design Summary

- Maintain the current 4 lane configuration with turn lanes throughout.
- Improve Active Transportation (connections with existing active-transportation facilities at the north and south ends of the project limits)
- Extended Southbound Right Turn Lane
- Adding bus bays and maintaining other bus stops
- Introduction of curb and gutter, storm sewer to meet current design standards
- Relocation of street light poles and guy poles/wires along entire length
- Hydro pole relocation – east side (from Essex Hall to Philip Aziz Ave)
- No impacts to Brescia College and Huron College. Minor property required along the road only to suit improvements.

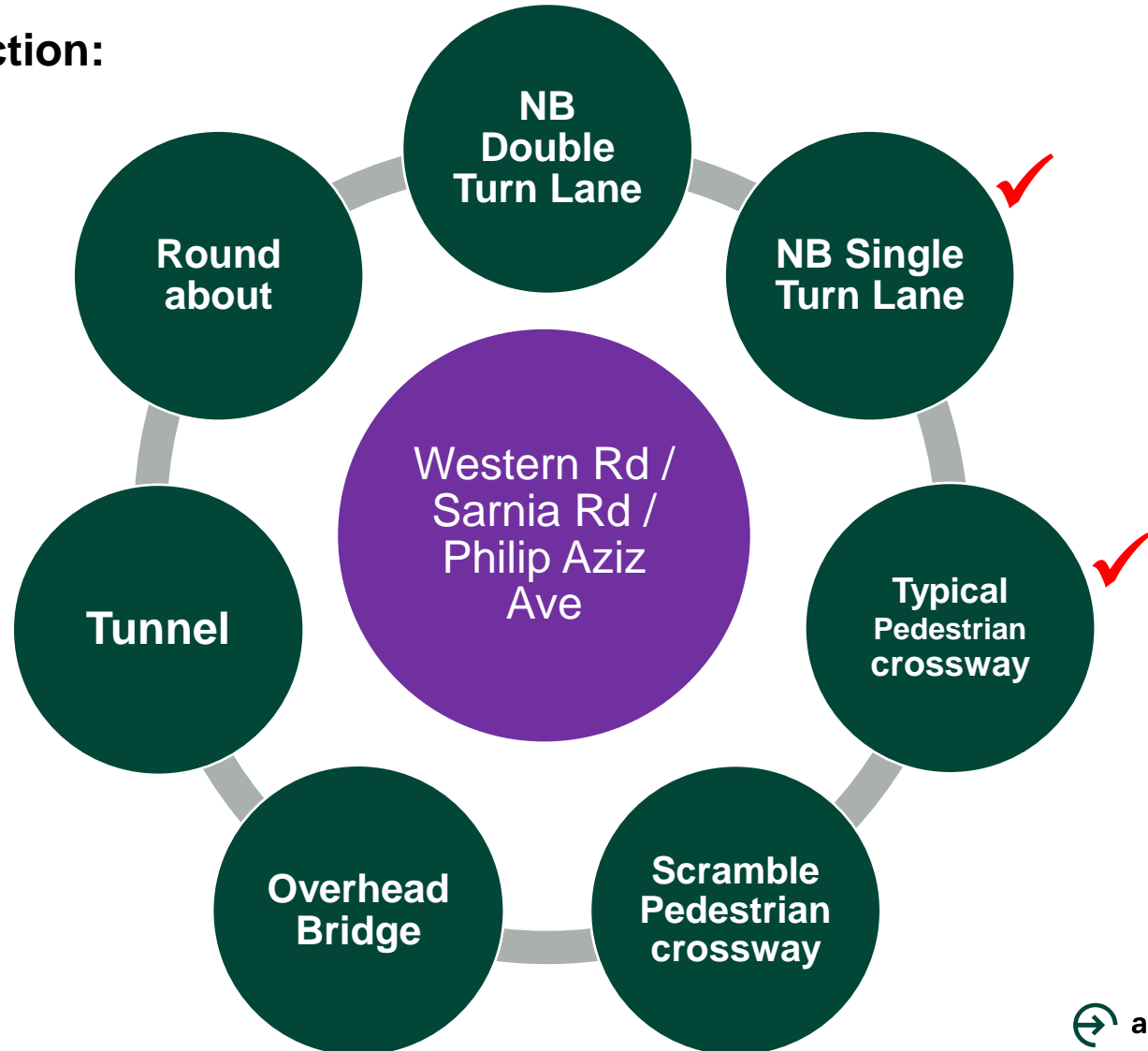




# Intersection - Alternatives

## Challenging Intersection:

- Many competing interests for usage
- All forms of transportation
- Very different during times of the day and during the year
- Generally constrained with different property owners/functions



# Intersection – Recommended Improvements



Design concept

- Pedestrians: extra wide crossings (5 m), larger waiting areas, improved sight lines
- Bicycles: improved connectivity, waiting areas, better flow and markings
- Traffic: Improved through traffic flow with bus bays, added queue length on right turn lane
- Generally designed with features to address safety concerns



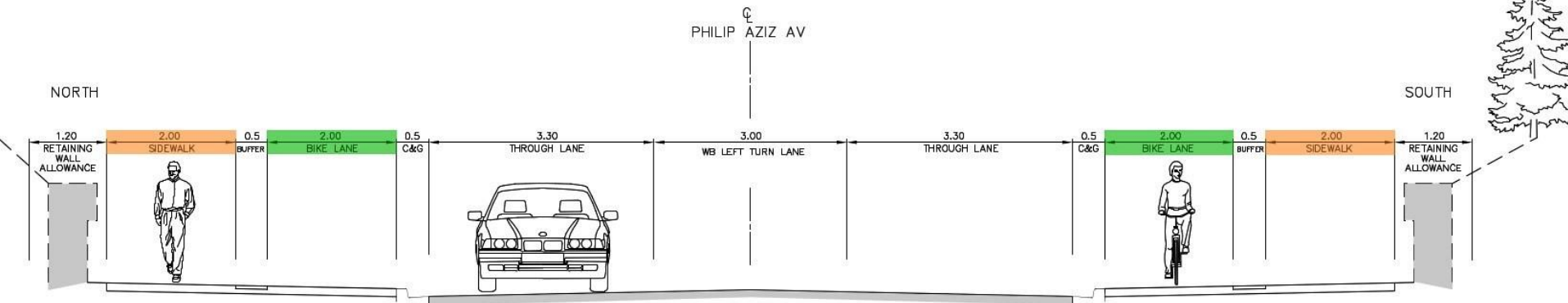
## Philip Aziz Ave - Existing

- Two lanes, short left turn lane to Western Rd, no sidewalks, no bike lanes.
- Gabion wall, overhead hydro (south side), undersized storm sewer.
- Entrance to 150 Philip Aziz Avenue property



# Philip Aziz Avenue – Design Summary

- Urban Cross Section (road widening) – reconstruct and realign 150 Philip Aziz Ave entrance
- Relocation Overhead hydro (south)
- Retaining walls (N+S) with fence
- Increased left turn lane length
- Loss of vegetation (no SARs)
- Property requirement
  - N+S sides of road
  - Area at Thames River
- Stormwater Outfall relocation



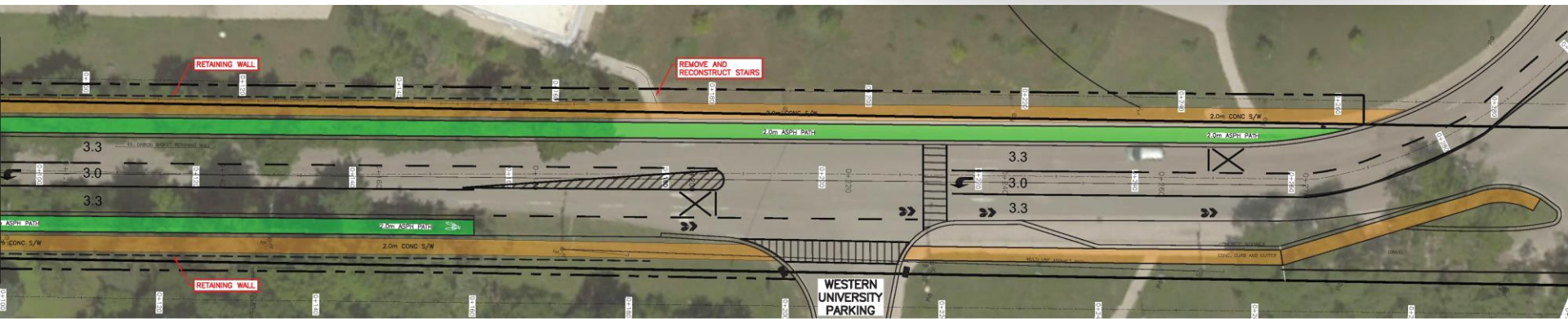
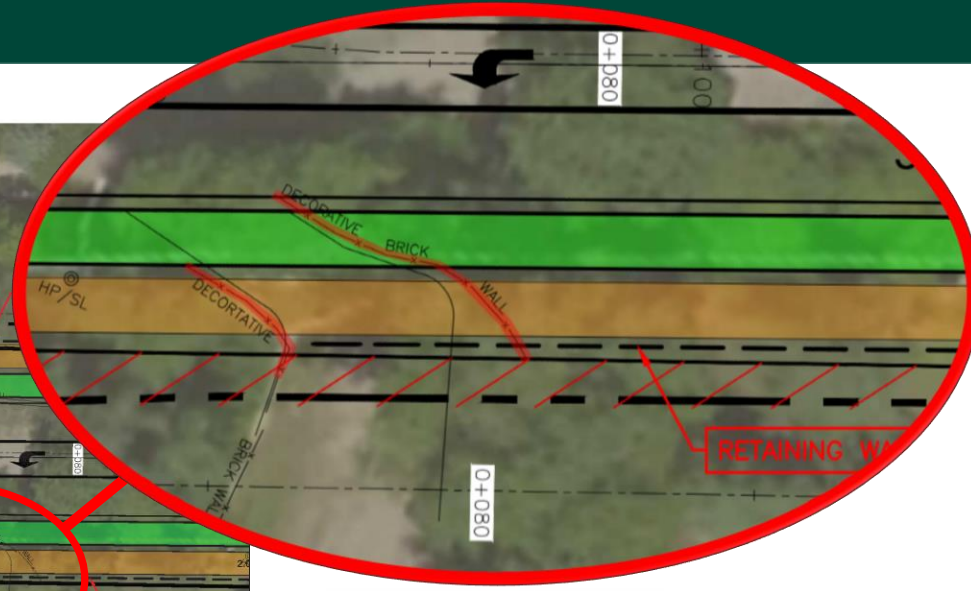


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# Philip Aziz Ave – Concept Layouts

## LEGEND

- PROPOSED CONCRETE BUSPAD
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT BIKE PATH
- PROPOSED MULTI-USE PATH
- POTENTIAL PROPERTY REQUIRED
- PROPOSED PROPERTY LINE
- EXISTING STREET LINE
- EXISTING PROPERTY LINES



PHILIP AZIZ AVE

WESTERN  
UNIVERSITY  
PARKING

# Philip Aziz Property - 150 Philip Aziz Avenue



- Residence was constructed in 1875. Studio was constructed in 1957 using a collection of historically significant salvaged materials.
- Designated by the City of London in 2004 for its historic or contextual value or interest under Part IV of the Ontario Heritage Act.
- Heritage Attributes include:
  - Scale, massing and elevations of the residence and art studio
  - Brick walls and courtyard
  - Windows from old homes in the city
  - Fireplace with two-tone green marble from St. Peters Seminary in studio
- Property is owned by Western University



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# Philip Aziz Property – Court Yard and Walls





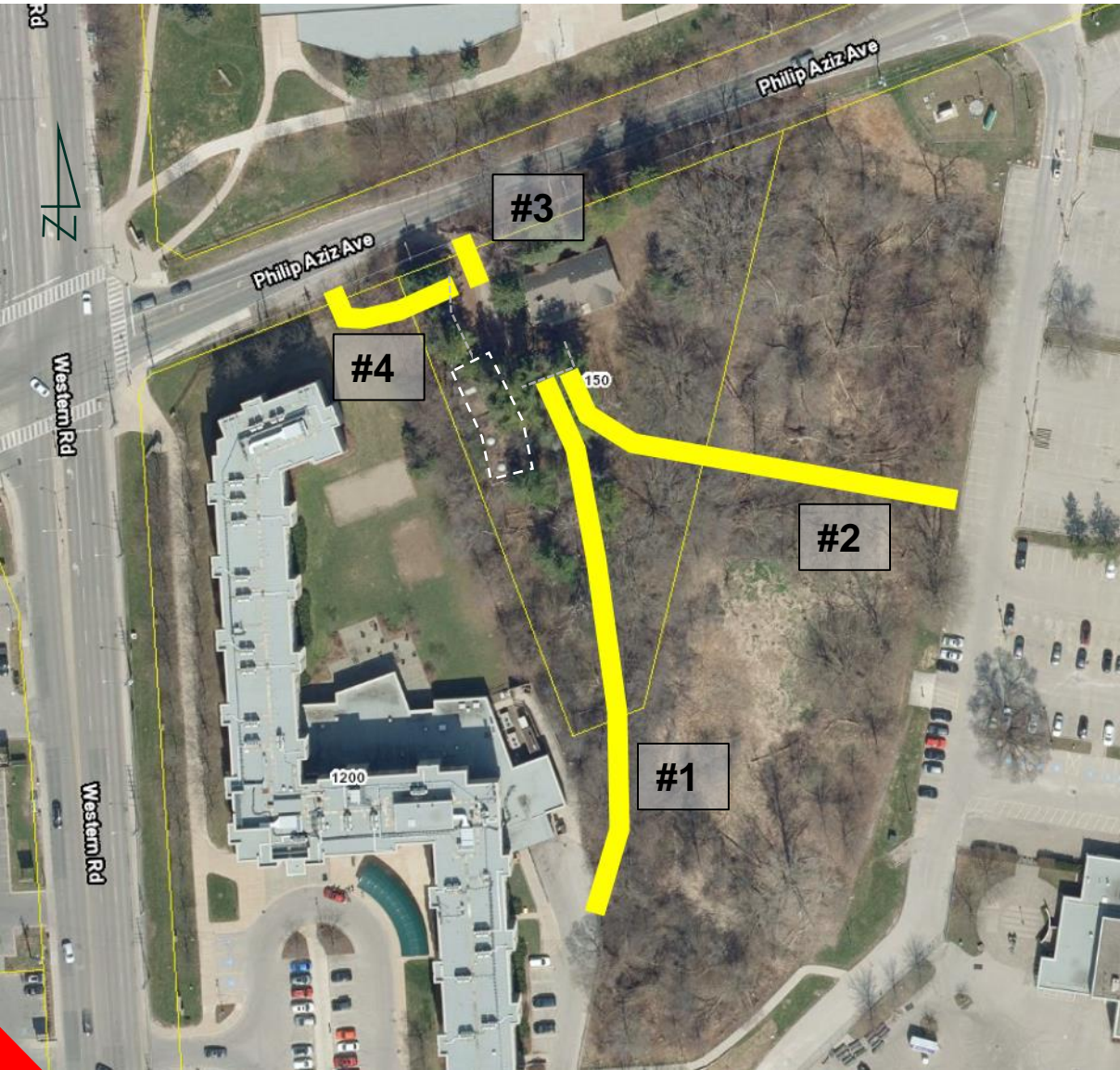
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# Philip Aziz Property – Court Yard and Walls





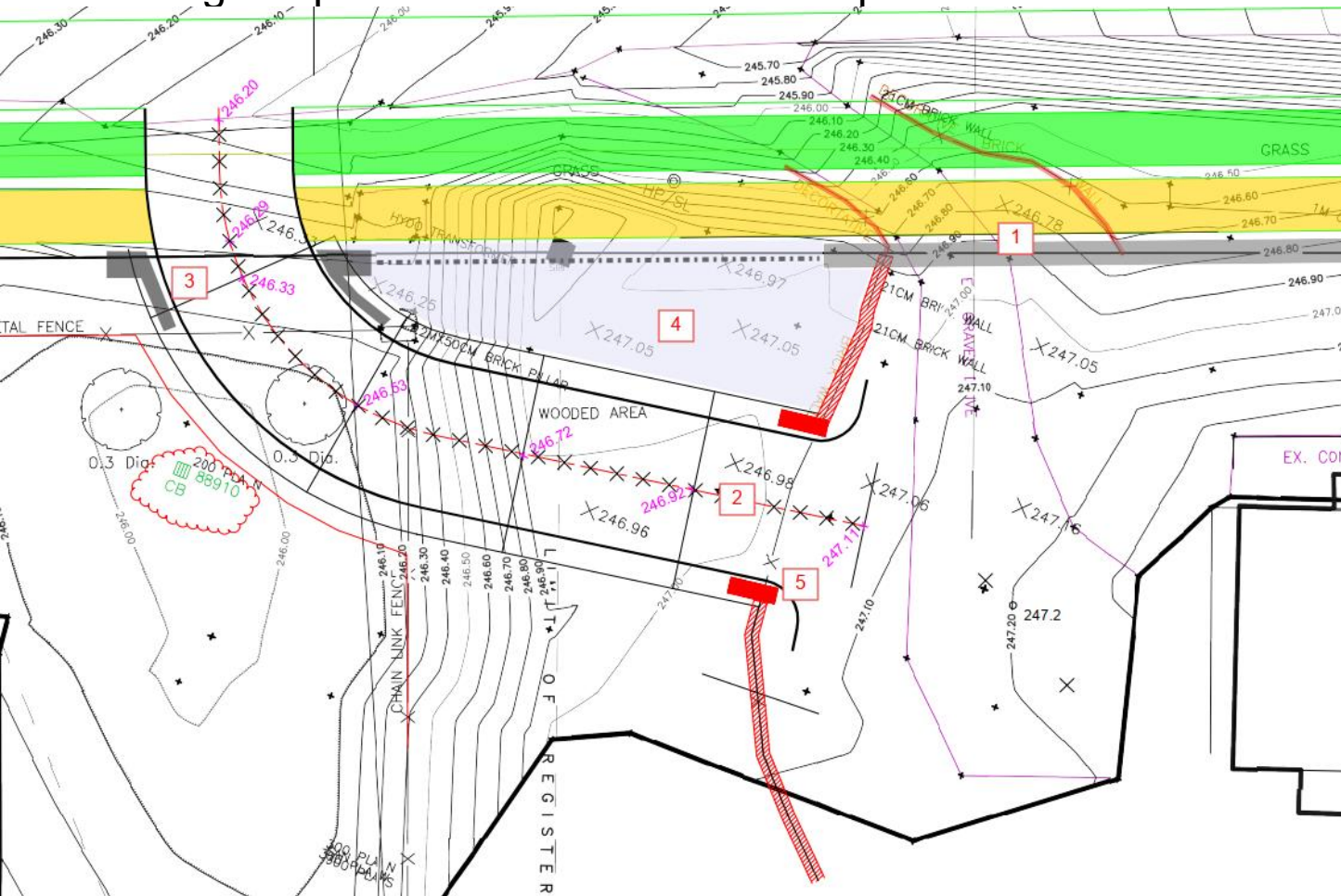
# Philip Aziz Ave – Entrance Impacts & Options



- Need to maintain an entrance for property maintenance, fire access and development.
- Access/entrance alternatives reviewed
- #1 and #2 have many impacts and costly
- #3 has excessive grades / not favoured by University
- #4 **Recommended**

# Philip Aziz Property Proposed Concept For Discussion

- No direct impact to the residence building or the studio.
- Further consultation with Western required to finalize concept.
- Heritage Impact Assessment to be completed.



1. Remove/salvage gateway walls.
2. Remove/salvage low walls for driveway (3%).
3. Reconstruct Entrance feature (new materials)
4. Regrade area for improved sightline to property.
5. Construct low pillars with existing salvaged materials.

# Next Steps

## Summer 2022 Collect input from PIC #2

Receive and consider input from the public, agencies and stakeholders to confirm the preferred planning alternatives

Prepare and Submit a Heritage Impact Assessment  
(Circulate draft HIA to CACP)

## Summer / Fall 2022 Environmental Study Report

Prepare Environmental Study Report

Report will be available for Public Review for 30-Days.

If no issues are raised within the 30-day review period and subject to MECP acceptance, the City can proceed to detailed design