

Report to London Advisory Committee on Heritage

To: Chair and Members
London Advisory Committee on Heritage

From: Scott Mathers, MPA, P. Eng.,
Deputy City Manager, Planning and Economic Development

Subject: Heritage Alteration Permit Application by S. Thomson at 18
Byron Avenue East, Wortley Village-Old South Heritage
Conservation District

Date: Wednesday April 13, 2022

Recommendation

That, on the recommendation of the Director, Planning and Development, with the advice of the Heritage Planner, the application under Section 42 of the Ontario Heritage Act seeking approval for the proposed addition and alterations to the heritage designated property at 18 Byron Avenue East, within the Wortley Village-Old South Heritage Conservation District **BE REFUSED**.

IT BEING NOTED that the proposed addition and alterations do not comply with the *Wortley Village-Old South Heritage Conservation District Plan* policies, *The London Plan* policies, and the *Provincial Policy Statement*.

Executive Summary

The property at 18 Byron Avenue East includes a one-storey cottage type dwelling which contributes to the heritage character of the Wortley Village-Old South Heritage Conservation District. As a “C-rated” property, the property’s form and massing belong to a historic grouping of buildings, that is noted for its representation as a modest design within the Wortley Village-Old South Heritage Conservation District. The owner of the property has submitted a Heritage Alteration Permit application seeking approval for the construction of a two-storey addition to the front, rear and side of the existing single storey cottage and attached garage. The alterations would result in irreversible impacts to the form, scale, mass, and style of the dwelling on the subject property, and would result in the construction of a dwelling that does not comply with the policies and guidelines of the Wortley Village-Old South Heritage Conservation District, *The London Plan*, and the *Provincial Policy Statement*. The recommended action is to refuse the application.

Linkage to the Corporate Strategic Plan

This recommendation supports the following 2019-2023 Strategic Plan areas of focus:

- Strengthening Our Community:
 - Continuing to conserve London’s heritage properties and archaeological resources.

Analysis

1.0 Background Information

1.1 Property Location

The property at 18 Byron Avenue East is located on the north side of Byron Avenue East between Wharncliffe Road South and Birch Street (Appendix A).

1.2 Cultural Heritage Status

The property at 18 Byron Avenue East is located within the Wortley Village-Old South Heritage Conservation District, which was designated pursuant to Part V of the Ontario Heritage Act by By-law No. L.S.P.-3439-321 in 2015.

The property is identified within the Wortley Village-Old South Heritage Conservation District as a “C-rated” property. Properties located within the proposed boundary for the Wortley Village-Old South Heritage Conservation District were assessed and identified during the Study phase for the purposes of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*. “C-rated” properties were identified as:

- *The form and massing of the building belonged to a historical family of buildings; and,*
- *The building is a good example of a modest design representing the area or repeated in many locations.*

Further, Appendix A of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* notes that C-rated properties may “have been altered but still contribute to the overall streetscape” (Appendix A, *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*).

1.3 Description

The existing dwelling at 18 Byron Avenue East was constructed between 1883 and 1889 and is a one storey cottage, built on a rusticated concrete block foundation, with a hipped roof. The front façade of the dwelling includes a well- proportioned and balanced facade, a characteristic of the cottages found in the Wortley Village-Old South Heritage Conservation District and elsewhere in London. The exterior cladding of the dwelling consists of horizontal vinyl siding. However, an investigation under the siding suggests that the original wood siding may be extant under layers of modern siding. The porch across the front façade of the dwelling consists of a covered front porch with a small, centered gable peak. The four posts supporting the porch roof have been clad with aluminum siding, with the lintel beam of the porch clad in vinyl siding. The railing systems consists of a metal railing system (Appendix B).

The windows on the dwelling have been replaced with vinyl double-hung window units but most of the historic window openings remain in place. The dwelling also includes two small rear additions, the first being a single storey gable roof addition, and the second a smaller addition with a shed roof. Based on an analysis of historic Fire Insurance Plans, the first addition appears to have been constructed shortly after the dwelling was constructed. The second smaller addition was constructed by 1915.

A detached garage is also located to the east of the house. Consisting of a frame structure with a gable roof, the exterior of the garage is clad with plywood on the front elevation and standing seam metal siding on the other three elevations. The garage is visible on the 1957 Geodetic Survey of London.

The dwelling on the property is one of several single storey cottages located on Byron Avenue East and within the Wortley Village-Old South Heritage Conservation District which contribute to the streetscape of the Heritage Conservation District. Although the dwelling has been subject to some alterations, its scale, form, mass, and style contribute to the streetscape and the cultural heritage value of the Wortley Village-Old South Heritage Conservation District.

2.0 Discussion and Considerations

2.1 Legislative and Policy Framework

Cultural heritage resources are to be conserved and impacts assessed as per the policies of the *Provincial Policy Statement (2020)*, the *Ontario Heritage Act*, and *The London Plan*.

2.1.1 Provincial Policy Statement

Heritage conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (2020)* promotes the wise use and management of cultural heritage resources. Policy 2.6.1 of the *Provincial Policy Statement (2020)* directs that “significant built heritage resources and significant cultural heritage landscapes shall be conserved.”

2.1.2 Ontario Heritage Act

Section 42 of the *Ontario Heritage Act* requires that a property owner not alter, or permit the alteration of the property without obtaining Heritage Alteration Permit approval. The *Ontario Heritage Act* enables Municipal Council to give the applicant of a Heritage Alteration Permit:

- a) The permit applied for
- b) Notice that the council is refusing the application for the permit, or
- c) The permit applied for, with terms and conditions attached (Section 42(4), *Ontario Heritage Act*)

Municipal Council must make a decision on the Heritage Alteration Permit application within 90 days or the request is deemed permitted (Section 42(4), *Ontario Heritage Act*).

2.1.2.1 Contraventions of the Ontario Heritage Act

Pursuant to Section 69(1) of the *Ontario Heritage Act*, failure to comply with any order, direction, or other requirement made under the *Ontario Heritage Act* or contravention of the *Ontario Heritage Act* or its regulations can result in the laying of charges and fines up to \$50,000.

2.1.3 The London Plan

The policies of *The London Plan* found in the Cultural Heritage chapter support the conservation of London’s cultural heritage resources. Policy 554_ of *The London Plan* articulates one of the primary initiatives as a municipality to “ensure that new development and public works are undertaken to enhance and be sensitive to our cultural heritage resources.” To help ensure that new development is compatible, Policy 594_ of *The London Plan* provides the following direction:

1. *The character of the district shall be maintained by encouraging the retention of existing structures and landscapes that contribute to the character of the district.*
2. *The design of new development, either as infilling, redevelopment, or as additions to existing buildings, should complement the prevailing character of the area.*
3. *Regard shall be had at all times to the guidelines and intent of the heritage conservation district plan.*

2.1.4 Wortley Village-Old South Heritage Conservation District

2.1.4.1 Additions

The relevant policies included within Section 4.2.1 (Alterations and Additions) of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* note:

4.2.1.b Minor exterior alterations and additions to single detached dwellings may be permitted, consistent with the scale and character of the buildings on adjacent properties and the streetscape; such alterations within front or side yards are discouraged. Significant alterations and/or additions should be to the rear or in areas not visible from the street.

4.2.1.f Additions shall be subordinate to the original structure to allow the original heritage features and built form to take visual precedence on the street.

4.2.1.g Design guidelines provided in Section 8 and 9 of this Plan will be used to review and evaluate applications for additions and alterations to ensure that the proposed changes are compatible and do not result in

the irreversible loss of heritage attributes or adversely impact the cultural heritage value or interest of the HCD.

Guidelines are included in Section 8.3.2 (Additions) to illustrate these policies. Specifically, Section 8.3.2.1 (Recommended Practices and Design Guidelines) states:

Additions that are necessary should be sympathetic and complementary in design and clearly distinguishable from the original construction by form or detail. The use of traditional materials, finishes and colours rather than exact duplication of form, can provide appropriate transition between additions and original structures.

Further, Section 8.3.2.2 (Case Studies) includes a list of guidelines to follow when designing additions to dwellings:

- a) *Additions should be located away from principal façade(s) of heritage properties, preferably at the rear, to reduce the visual impact on the street(s).*
- b) *Form and details of the addition should be complimentary to the original construction, with respect to style, scale, and materials but still distinguishable to reflect the historical construction periods of the property.*
- c) *The height of any addition should be similar to the existing building and/or adjacent buildings to ensure that the addition does not dominate or adversely impact the original building, adjacent properties, the streetscape, and the HCD.*
- d) *Additions should not obscure or remove important heritage attributes, including architectural features, of the existing building.*
- e) *Additions should not negatively impact the symmetry and proportions of the building or create a visually unbalanced façade*
- f) *New doors and window should be of similar style, orientation and proportion as on the existing building. The use of appropriate reclaimed materials should be considered.*
- g) *New construction should avoid irreversible changes to original construction.*

2.1.4.2 Garages

The Wortley Village-Old South Heritage Conservation District Plan and Guidelines does not contain policies specific to the construction of new garages on existing heritage properties. However, guidance is provided in Section 4.1.1 (Development Pattern) of the Heritage Conservation District Policies identifies that the area is primarily residential with consistent front yard setbacks and no front (attached) garages). The guidance includes the following policies related to construction of garages as a part of new builds or infill buildings:

g) Parking for new or replacement dwellings is to be located in the driveways at the side of the dwelling or in garages at the rear of the main building, wherever possible. New attached garages at the front of the building are discouraged. Garages shall not extend beyond the main building façade.

2.1.4.3 Porches

Porches in the Wortley Village-Old South Heritage Conservation District are important heritage attributes that are to be conserved. Consistent with the Section 8 (Architectural Design Guidelines), porches “deserve to be carefully conserved using adequate research to determine the original character and identify appropriate conservation and restoration techniques.”

Further, relevant guidelines are included within the Section 9.5 (Porches and Verandahs) of the Conservation Guidelines within the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*. The relevant guidelines state:

- *Removal or substantial alteration to the size, shape and design of existing porches is strongly discouraged.*

- *Do not remove or cover original porches or porch details, except for the purpose of quality restoration. Prior to executing any repairs or restoration, photograph the existing conditions and research to determine whether the existing is original or an appropriate model for restoration. Use annotated photographs or drawings or sketches to represent the intended repairs.*
- *When restoring a porch that is either intact or completely demolished, some research should be undertaken to determine the original design which may have been much different from its current condition and decided whether to restore the original.*

2.1.4.4 Siding

Many of the original applications of wooden siding is noted in the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* as being composed of horizontal clapboard, typically in widths of 4 to 6 inches, and often of tongue-and-groove. The document includes relevant guidelines included within Section 9.4.5 (Wooden Siding):

- *Natural wood siding can be acquired and milled to profiles identical to the original profile and nailed in place and painted or stained to replicate the original appearance. This is the optimum solution where feasible.*
- *Vinyl and aluminum siding are popular now for new construction and renovation because they are very inexpensive alternatives. They are inexpensive because they are very thin sheet materials formed into plank-shaped profiles and finished in a range of standard colours. They perform well at keeping rain and weather out of the building, but because of the thin nature of the sheet material, they are very fragile in use and prone to damage from impact of vehicles, toys, and ladders used for maintenance. These materials are not recommended to cover or replace original wood siding.*

2.1.4.5 Windows

Windows are an important part of the heritage character of the Wortley Village-Old South Heritage Conservation District and are identified as heritage attributes. The policies of Section 5.10.1 of the *Wortley Village-Old South Heritage Conservation District Plan* require Heritage Alteration Permit approval for major alterations, including replacement of windows.

Section 8.2.7, Heritage Attributes – Windows, Doors and Accessories, of the *Wortley Village-Old South Heritage Conservation District Plan* notes,

Doors and windows are necessary elements for any building, but their layout and decorative treatment provides a host of opportunities for the builder to flaunt their unique qualities and character of each building.

Section 8.3.1.1.e, Design Guidelines – Alterations, provides the direction to:

Conserve; retain and restore heritage attributes wherever possible rather than replacing them, particularly for features such as windows, doors, porches and decorative trim.

Section 8.3.1.1.f, Design Guidelines – Alterations, states,

Where replacement of features (e.g. doors, windows, trim) is unavoidable, the replacement components should be of the same style, size, proportions and material wherever possible.

Regarding potential replacement of windows, the Conservation and Maintenance Guidelines of Section 9.6 of the *Wortley Village-Old South Heritage Conservation District Plan* states,

The preservation of original doors and windows is strongly encouraged wherever possible as the frames, glass and decorative details have unique qualities and characteristics that are very difficult to replicate.

3.0 Financial Impact/Considerations

None.

4.0 Key Issues and Considerations

4.1. Heritage Alteration Permit Application (HAP22-016-L)

The property owner at 18 Byron Avenue East initiated consultation with the Heritage Planner beginning in March 2021 to obtain initial advice on how to best plan for an addition to the dwelling on the subject property. In discussion with the property owner, and in follow-up email correspondence on March 10, 2021, the Heritage Planner noted that “one-and-a-half, or two-storey additions to one storey dwelling in a Heritage Conservation District can present a number of design challenges.” The Heritage Planner further noted that “additions need to be designed in a manner to not overwhelm the scale, mass, and type of the dwelling.”

Throughout the summer and fall of 2021, the Heritage Planner provided feedback and consultation to the property owner with regards to the Heritage Alteration Permit process, and Minor Variance requirements. In addition, the Heritage Planner also provided various examples of rear additions that have been successfully designed to accommodate additional living space, while still conserving the cultural heritage value of the subject dwellings. Examples that have applied the policies and design guidelines of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* were provided to demonstrate best practice for designing additions on single storey dwellings in a compatible manner. Several of the examples included in Appendix D of this report were noted.

A complete Heritage Alteration Permit application was submitted to the City on March 9, 2022. The applicant has applied for a Heritage Alteration Permit seeking approval for:

- Removal of the existing rear additions;
- Removal of the entire existing hipped roof on the dwelling;
- Construction of a two-storey addition to the front, rear, and side of the existing one storey cottage to increase the overall height of the dwelling to 28' 4 5/32" (8.64m) with the following details:
 - Hipped roof, finished with asphalt shingles;
 - Exterior cladding to consist of 4" horizontal wood siding, intended to be salvaged from the rear of the existing dwelling and restored;
 - 4" corner trim on the sidings of the dwelling;
 - Replacement of existing vinyl windows on the ground floor with new double hung wood windows;
 - Addition of six new double hung wood windows on the second storey of the front façade)
- Alteration to existing garage including:
 - Removal of existing plywood and steel siding;
 - Installation of exterior cladding with 4" horizontal wood siding;
 - Integration into the expanded dwelling to accommodate a two-car garage;
 - Installation of new insulated steel garage doors.
- Replacement of the front porch including:
 - Replacement of existing posts with new squared 6"x6" wood posts with decorative trim details, including a 3' brick base;
 - Replacement of porch railing systems with squared wood pickets set in between a top and bottom rail according to EC-1 connection details of the SB-7 Supplementary;
- Replacement of the existing concrete block foundation with 3' "white brick base" to be used throughout the existing dwelling and new addition.

Architectural design drawings and additional materials submitted with the Heritage Alteration Permit application can be found in Appendix E.

Conditional approval for a Minor Variance for the property was obtained in September 2021 to address front and side yard setback for the proposed addition. The Minor Variance was requested to permit lesser setbacks from the front yard, as well as from the east and west interior side yards, and the garage. Heritage Alteration Permit approval is required as a condition of the Minor Variance.

An Archaeological Assessment was also required as a condition of the Minor Variance. The Archaeological Assessment and compliance letter issued by the Ministry of Heritage, Tourism, Sport, and Culture Industries (MHTSCI) has been received by the City.

4.2 Heritage Impact Assessment

As a condition of the Minor Variance application and as a requirement of the complete Heritage Alteration Permit application, a Heritage Impact Assessment (HIA) was completed. The Heritage Impact Assessment was required to assess the potential impacts of the proposed scope of work to the cultural heritage value of the property, adjacent heritage-designated properties, and the Wortley Village-Old South Heritage Conservation District. Where negative or adverse impacts are identified, mitigation strategies were to be identified.

The HIA was completed by a+LiNK Architecture Inc. titled *Heritage Impact Assessment, 18 Byron Avenue East, London, Ontario* (January 5th, 2022). In assessing the impacts of the proposed addition, the HIA states:

“The historically integrated residential conversion at 18 Byron Avenue E. fits appropriately into the existing Wortley Village-Old South Heritage Conservation District. The addition has been designed to be contemporary, while being both subordinate to the original residence. Further, the addition respects the existing heritage fabric and characteristics of the district as a whole through the following design considerations: The rear addition will not conceal original parts of the building considered of value, as the elements that contribute to the streetscape and overall character of the HCD are found along the original/front/south elevation viewed from the street.”

The Heritage Planner disagrees with much of the analysis, findings, and conclusions included within the Heritage Impact Assessment. In general, the HIA did not identify any potential impacts and did not recommend any appropriate mitigation measures. The following list includes several areas in which the Heritage Planner identified concerns with the HIA:

- The HIA does not adequately assess the potential impacts of the proposed addition and alterations on the cultural heritage value of the Wortley Village-Old South Heritage Conservation District as described in its Heritage Character Statement and its heritage attributes;
- The HIA inaccurately suggests that the single storey cottage is retained and incorporated into a larger addition. This is further positioned as a “mitigating factor” in the design of the addition.
 - The Heritage Planner disagrees with this conclusion because the single storey cottage is effectively lost with the addition of a second storey, and the rear and side addition overwhelm the existing dwelling. The original dwelling will no longer be visible or clearly distinguishable as a result of the addition and alterations.
- The HIA claims that the proposed addition will retain the “massing, form, and architectural merit” of the existing dwelling.
 - The Heritage Planner disagrees with this claim, as the massing and form of the existing dwelling will be extensively altered.
- The HIA suggests that the addition is “subordinate to the original residence.”
 - The proposed addition and alterations are much larger than the existing dwelling and will overwhelm the existing dwelling. The addition is not subordinate to the original residence.
- The HIA does not adequately assess the potential negative impacts included within Info Sheet #5 (Heritage Impact Assessments and Conservation Plans). Likewise, appropriate mitigation measures are not considered.

In general, the Heritage Planner disagrees with the findings and conclusions of the HIA, as the proposed addition and alterations will result in adverse impacts to the cultural heritage resources that have not been mitigated.

The Heritage Impact Assessment can be found in Appendix F.

4.3 Examples and Comparisons

As noted in consultation with the property owner and in previous applications, addition to one-storey cottages present a significant design challenge. In order to conserve the cultural heritage value of the subject dwelling the proposed addition or alteration must not overwhelm the cultural heritage resource of the property, and must be sympathetic and compatible with the scale, form, mass, and of the existing building.

Throughout the Wortley Village-Old South Heritage Conservation District, and elsewhere in London, best practices and policies and guidelines have been employed to achieve appropriate and compatibly designed additions that both conserves the cultural heritage value of a resource while also adding additional living space to existing homes. As previously noted, sensitively designing an appropriate addition to increase the living space of a one storey cottage is a careful design exercise that has been successfully achieved in many examples. The following properties are all good examples of single storey dwellings with large additions that appropriately conserve a cultural heritage resource. These properties have been altered with additions that are representative of the application of heritage conservation practices, policies, and guidelines:

- 43 Bruce Street, Wortley Village-Old South Heritage Conservation District;
- 41 Bruce Street, Wortley Village-Old South Heritage Conservation District;
- 34 Byron Avenue East, Wortley Village-Old South Heritage Conservation District;
- 44 Byron Avenue East, Wortley Village-Old South Heritage Conservation District;
- 50 Bruce Street, Wortley Village-Old South Heritage Conservation District;
- 33 Byron Avenue East, Wortley Village-Old South Heritage Conservation District;
- 139 Briscoe Street East, Part IV Designation;
- 198 Emery Street East, Part IV Designation;
- 479 Tecumseh Avenue East, heritage-listed.

Photographs of these dwellings can be found in Appendix D.

4.4 Analysis

Large additions to a one storey dwelling present various challenges for heritage designated properties, as noted in the policies and guidelines of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*. The review of the proposed addition at existing cottage 18 Byron Avenue East, included within this Heritage Alteration Permit application, considered the relevant policies and guidelines outlined in Section 4.2.1 (Alterations and Additions) and Section 8.3.2 (Additions) of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*. Further analysis of the proposed addition and its adherence to the relevant policies and guidelines is included below in Table 1.

Table 1: Analysis of the relevant policies and guidelines of the Wortley Village-Old South Heritage Conservation District Plan and Guidelines for the proposed addition and alterations as a part of HAP22-016-L.

Section	Policy or Guideline	Analysis
4.2.1	<i>b) Minor exterior alterations and additions to single detached dwelling may be permitted, consistent with the scale and character of the buildings on adjacent properties and the streetscape; such alterations within front or side yards are discouraged. Significant alterations</i>	b) The proposed second storey addition, rear addition and side addition to the single storey detached dwelling, and incorporation of the existing detached garage create a substantial addition to the existing cottage. The second storey addition effectively doubles the size of the dwelling, and the rear, side, and garage additions result in a massing that is not consistent with the scale

	<p><i>and/or additions should be to the rear or in areas not visible from the street.</i></p> <p><i>f) Additions shall be subordinate to the original structure to allow the original heritage features and built form to take visual precedence on the street.</i></p> <p><i>g) Design guidelines provided in Section 8 and 9 of this Plan will be used to review and evaluate applications for additions and alterations to ensure that the proposed changes are compatible and do not result in the irreversible loss of heritage attributes or adversely impact the cultural heritage value or interest of the HCD.</i></p>	<p>and character of the existing dwelling, adjacent properties or the Heritage Conservation District. The proposed addition and alterations include a side yard addition, which is discouraged by Policy 4.2.1 of the <i>Wortley Village-Old South Heritage Conservation District Plan</i>. The proposed addition and alteration are not limited to the rear of the dwelling, and is excessively visible from the street, a negative impact.</p> <p>f) The addition and alterations to the property are not subordinate to the original structure. The addition and alterations have not been designed in a in manner allowing the original heritage features (its size, scale, mass) of the existing dwelling to take visual precedence on the street. Contrary, they are substantial in nature. The addition results in the loss of the form, scale, and mass of the single storey dwelling. The construction of a two-storey dwelling with an attached garage, as proposed in this Heritage Alteration Permit application, is not consistent with the form of the Wortley Village-Old South Heritage Conservation District.</p> <p>g) The addition and alterations are not compatible with the design guidelines set out in Section 8 of the Wortley Village-Old South Heritage Conservation District Plan and Guidelines (see below). The addition and alterations will result in adverse impacts to the cultural heritage value or interest of the HCD that will not be mitigated.</p>
<p>8.3.2.1</p>	<p><i>Additions that are necessary should be sympathetic and complementary in design and clearly distinguishes from the original construction by form or detail. The use of traditional materials, finishes and colours rather than exact duplication of form, can provide appropriate transition between additions and original structures.</i></p>	<p>The proposed addition and alterations are not sympathetic and complementary in design to the existing dwelling, adjacent properties, or the Wortley Village-Old South Heritage Conservation District. The size, scale, and mass of the addition is overwhelming and will result in adverse impacts to the dwelling on the property, as well as adjacent properties. Though traditional materials and finishes are being proposed for the siding and windows, the application of those finishes on the substantial addition is not sufficient to mitigate the impacts of the proposed addition.</p>
<p>8.3.2.2</p>	<p><i>a) Additions should be located away from</i></p>	<p>a) The proposed addition is not located at the rear of the existing</p>

	<p><i>principal façade(s) of heritage properties, preferably at the rear, to reduce the visual impact on the street(s).</i></p> <p>b) <i>Form and details of the addition should be complimentary to the original construction, with respect to style, scale, and materials but still distinguishable to reflect the historical construction periods of the property.</i></p> <p>c) <i>The height of any addition should be similar to the existing building and/or adjacent buildings to ensure that the addition does not dominate or adversely impact the original building, adjacent properties, the streetscape, and the HCD.</i></p> <p>d) <i>Additions should not obscure or remove important heritage attributes, including architectural features, of the existing building.</i></p> <p>e) <i>Additions should not negatively impact the symmetry and</i></p>	<p>building, nor is it away from the main façade. The addition has been designed in a manner that is situated on the principal façade with no intent to minimize the visibility from the street.</p> <p>b) The form and details of the addition are not complimentary to the original construction of the existing dwelling, with respect to style and scale. Though some of the proposed materials for the addition/alteration include traditional finishes (e.g. wood siding, wood windows), the proposed addition is substantial in size and will not result in a dwelling that clearly distinguishes the historic dwelling from a compatible addition. The historic single storey cottage will effectively be subsumed into the large addition to the dwelling.</p> <p>c) The height of the addition will not be similar to the existing building. Rather, it will result in the addition of a full second storey, as well as a two-storey side and rear addition that will dominate and adversely impact the original building. The original dwelling will no longer be visible or apparent as a direct result of the form, scale, and massing of the proposed addition. The height of the proposed addition is similar to the adjacent buildings; however, the massing of the proposed additions will result in a dwelling that will be much larger than the adjacent buildings. This is anticipated to be particularly evident in the roof form. The outcome of the proposed addition and alteration to the existing dwelling will disrupt the pattern of historic cottages and historic two-storey dwellings on Byron Avenue East, which characterizes an important streetscape of the Wortley Village-Old South Heritage Conservation District.</p> <p>d) The proposed addition will destroy the single storey form, scale, and mass of the existing dwelling, an important part of the property's C-rating and contribution to the Wortley Village-Old South Heritage Conservation District.</p> <p>e) The existing dwelling is symmetrical and balanced in its proportions as a cottage-type building. The proposed addition will negatively impact the</p>
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	<p><i>proportions of the building or create a visually unbalanced façade</i></p> <p>f) <i>New doors and window should be of similar style, orientation and proportion as on the existing building. The use of appropriate reclaimed materials should be considered.</i></p> <p>g) <i>New construction should avoid irreversible changes to original construction.</i></p>	<p>symmetry and the proportions of the existing dwelling. The addition will create a visually unbalanced façade which is contrary to the heritage character of the existing dwelling and part of its contributions to the cultural heritage value of the Wortley Village-Old South Heritage Conservation District.</p> <p>f) The new windows on the addition are proposed to be double-hung, wood windows in order to be consistent with the existing window style of the historic dwelling. Salvage and retention of historic siding is also intended to be used.</p> <p>g) The new construction of the addition will constitute an overwhelming alteration to the dwelling. It is difficult to determine how the substantial addition to the historic cottage could be reversible. The construction of the proposed addition and alterations to the existing dwelling at 18 Byron Avenue East will result in changes that are irreversible, and therefore the proposed addition and alterations do not comply with this direction.</p>
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It is the Heritage Planner's opinion that the proposed addition and alterations are substantial in terms of their potential impacts to the existing dwelling on the heritage designated property at 18 Byron Avenue East. The proposed addition and alterations are not consistent with the policies and guidelines of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* for addition and alterations. The proposed addition and alterations will result in adverse impacts to the dwelling on the subject property and the streetscape of the Wortley Village-Old South Heritage Conservation District. The negative impacts have not been mitigated.

In addition, Policy 594_ of *The London Plan* states:

1. *The character of the district shall be maintained by encouraging the retention of existing structures and landscapes that contribute to the character of the district.*
2. *The design of new development, either as infilling, redevelopment, or as additions to existing buildings, should complement the prevailing character of the area.*
3. *Regard shall be had at all times to the guidelines and intent of the heritage conservation district plan.*

The proposed addition and alterations do not comply with Policy 594_ of the *London Plan* as they will not retain the existing structure that contributes to the character of the district, will not complement the prevailing character of the area, and will not have regard to the guidelines and intent of the heritage conservation district plan.

Lastly, the proposed addition and alterations to the heritage designated property at 18 Byron Avenue East do not conserve this built heritage resource in accordance with Policy 2.6.1 of the *Provincial Policy Statement (2020)*.

There are many examples of compatible and sensitive designs that accommodate addition living space while conserving significant cultural heritage resources. The policies and guidelines of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* are not intended to prevent or preclude change in the area, but to manage change in a way that respects and conserves its cultural heritage value. The proposed addition and alterations at 18 Byron Avenue East do not achieve this fundamental objective.

A new design that is more compatible with the dwelling and demonstrates the application of the policies and guidelines of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* is encouraged. The applicant is further encouraged to consider heritage designated properties that compatibly integrate the policies and guidelines of the Wortley Village-Old South Heritage Conservation District in design alternatives going forward.

Conclusion

As a “C-rated” property the dwelling at 18 Byron Avenue East belongs to a historic grouping of buildings because of its form and massing. The building type is further noted as a “good example of a modest design representing the area” within the *Wortley Village-Old South Heritage Conservation District Study*. The proposed addition and alterations will result in irreversible alterations to the existing cultural heritage resource, as it will no longer be visible or discernible. The application would result in irreversible impacts to the form, scale, mass, and style of the existing dwelling at 18 Byron Avenue East, and would result in the construction of a dwelling that is not consistent with the policies and guidelines of the Wortley Village-Old South Heritage Conservation District. The Heritage Alteration Permit application should be refused as it is contrary to the policies and guidelines of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*, *The London Plan*, and the *Provincial Policy Statement*.

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Heritage Planner

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Recommended by: Gregg Barrett, AICP
Director, Planning and Development

Submitted by: Scott Mathers, MPA, P. Eng.,
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Appendices

- Appendix A Property Location
- Appendix B Images
- Appendix C Historic Documentation
- Appendix D Examples of Compatible Rear Additions
- Appendix E Drawings Submitted for Heritage Alteration Permit
- Appendix F Heritage Impact Assessment

Selected Sources

- Corporation of the City of London. *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*. 2014.
- Ministry of Culture. “Info Sheet #5: Heritage Impact Assessments and Conservation Plans” in *Heritage Resources in the Land Use Planning Process*. 2006.
- The London Plan*
- Provincial Policy Statement, 2020*.

Appendix A – Property Location



Figure 1: Location of the subject property at 18 Byron Avenue East, located within the Wortley Village-Old South Heritage Conservation District.

Appendix B – Images



Image 1: Photograph of the dwelling located at 18 Byron Avenue East in the Wortley Village-Old South Heritage Conservation District (2021).



Image 2: Photograph showing the dwelling and existing detached garage located on the property at 18 Byron Avenue East (2021).



Image 3: Photograph of the subject dwelling located at 18 Byron Avenue East (2022).



Image 4: Photograph showing the subject property at 18 Byron Avenue East located within the Wortley Village-Old South Heritage Conservation District, showing adjacent property at 22 Byron Avenue East (2022).



Image 5: Photograph of the rear of the dwelling at 18 Byron Avenue East showing the first rear addition on the existing dwelling (2022).



Image 6: Photograph of the rear of the dwelling at 18 Byron Avenue East showing the two rear additions, the detached garage, and the adjacent property at 16 Byron Avenue East (2022).



Image 7: Photograph of the foundation of the dwelling at 18 Byron Avenue East, showing the rusticated concrete blocks (2022).



Image 8: View looking northeast along Byron Avenue East showing the context of the subject property including the small scale and massing of the dwelling within the surrounding area (2022).

Appendix C – Historic Documentation

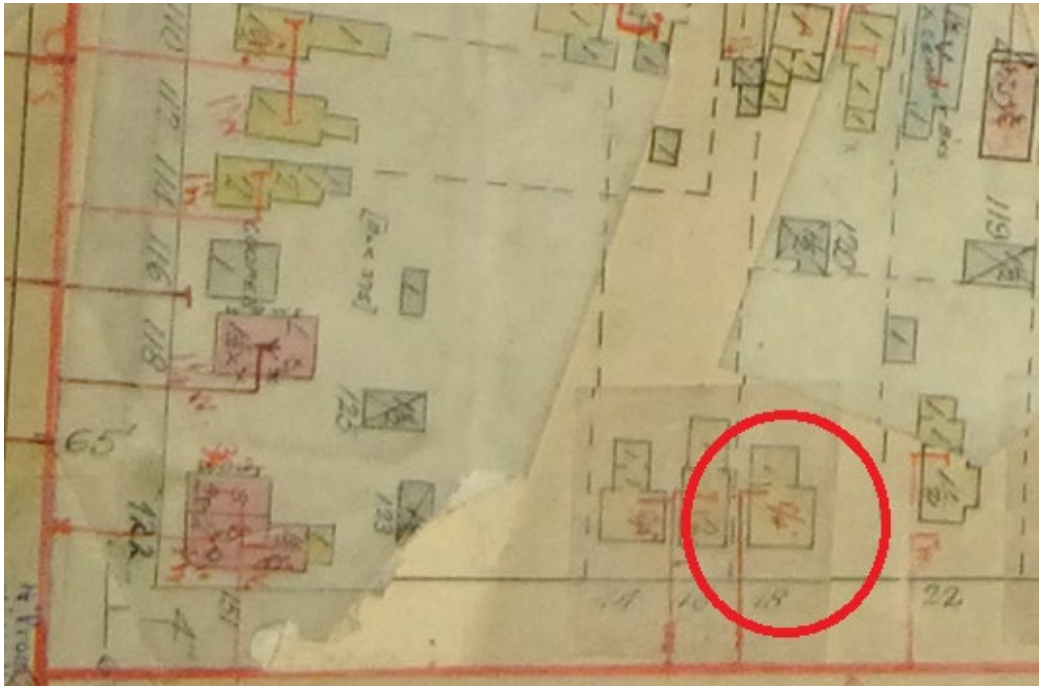


Image 9: Excerpt from the 1892, Revised 1907 Fire Insurance Plan showing the subject property at 18 Byron Avenue East. Note, this version of the Fire Insurance Plan series is sometimes found to be in error. Nonetheless, the plan depicts the dwelling as a single storey frame structure (Courtesy of Archives and Special Collections, Western University).



Image 10: Excerpt from the 1912, Revised 1915 Fire Insurance Plan showing the subject property at 18 Byron Avenue East. Note, by 1915 both additions on the rear appear to have been constructed (Courtesy of Archives and Special Collections, Western Archives).

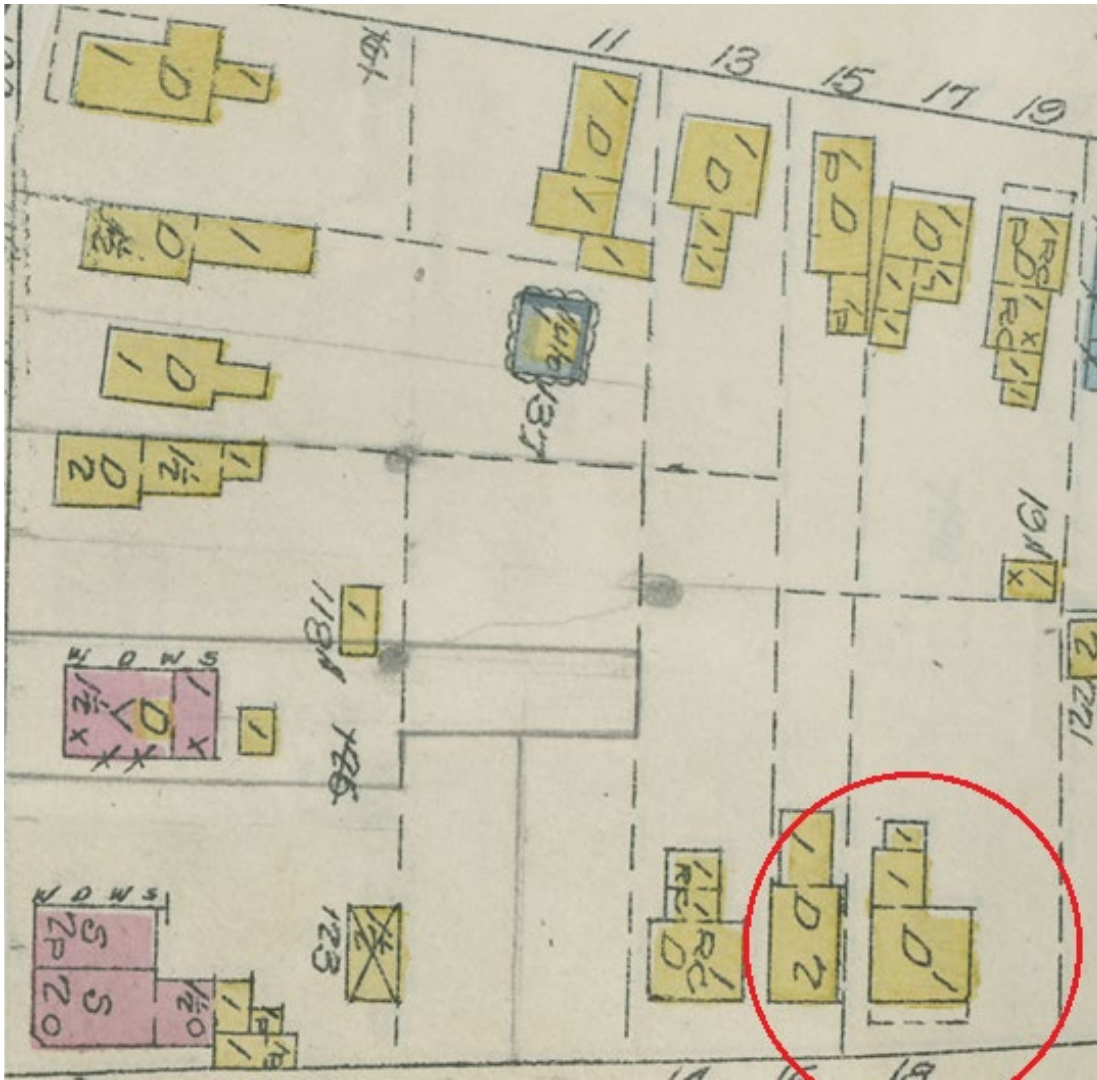


Image 11: Excerpt from the 1912 Revised 1922 Fire Insurance Plan showing the property at 18 Byron Avenue East. Note, by this time a porch has been added to the front of the dwelling (Courtesy of Archives and Special Collections, Western Archives).

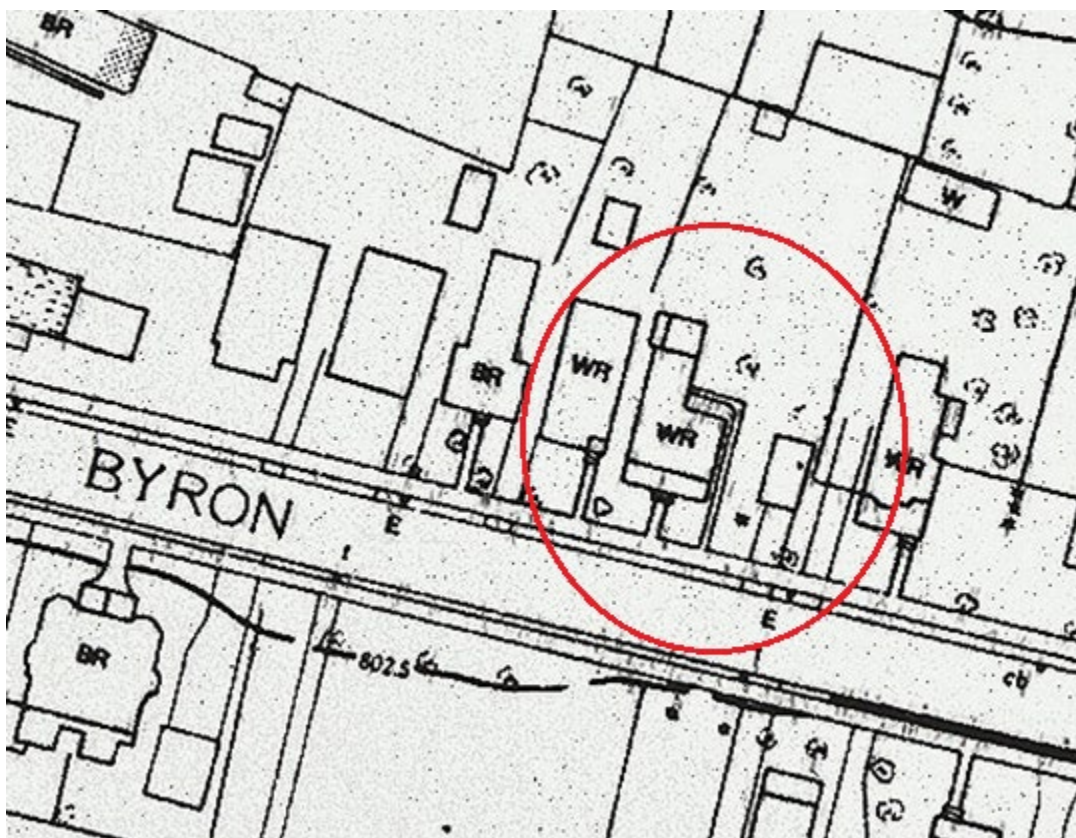


Image 12: Excerpt from the 1957 Geodetic Survey of London showing the subject property at 18 Byron Avenue East. Note, by this time a detached garage is shown on the property (Courtesy of Maps and Data Centre, Western University).

Appendix D – Examples of Compatible Rear Additions



Image 13: Photograph of the dwelling located at 43 Bruce Street showing a rear addition to the existing single storey cottage. In this compatible addition, the use of a cross-gable has been used to minimize the visibility of the increase in building height at the rear of the dwelling (2022).



Image 14: Photograph of the dwelling located at 41 Bruce Street showing a two-storey gable-roof addition added to the rear of the dwelling located at 41 Bruce Street. The side-hall plan cottage form of this property is clearly articulated through the massing of the building, and the addition at the rear is distinguishable from the original dwelling. The use of the roof shapes and forms help to minimize the visibility of the addition from street (2022).



Image 15: Photograph of the dwelling located at 34 Byron Avenue East showing a one storey cottage with a rear addition, well integrated and set back from the main portion of the dwelling. On this dwelling, the cottage's form has been retained while an addition has been added to the rear with a slightly taller roof height allowing the cottage to maintain its character and contribution to the streetscape (2022).



Image 16: Photograph of the dwelling at 44 Byron Avenue East showing a rear addition added to the existing one storey dwelling while also maintaining the scale, form, and mass of the single storey dwelling. In this example, a modest addition has been added to the rear of the cottage to add additional living space to the dwelling (2022).



Image 17: Photograph of the dwelling located at 50 Bruce Street showing a rear addition added to the rear of the dwelling in a manner that conserves the heritage attributes of the property. Though likely a historic addition, the cottage retains its form and the addition is situated at the rear of the dwelling (2022).



Image 18: 139 Briscoe Street East, a Part IV designated property with a compatible rear addition. In this example, the cottage form and type has been retained in its entirety and the addition has been added to the rear. Its location at the rear of the historic dwelling and its difference in colour helps to distinguish the original dwelling from the addition. The addition is clearly subordinate to the existing dwelling (2022).



Image 19: 198 Emery Street East, a Part IV designated property. In this example, the cross gable of the house helps to minimize the visibility of a rear addition (2021).



Image 20: 33 Byron Avenue East, located within the Wortley Village-Old South Heritage Conservation District. This example demonstrates the compatibility of a rear addition in that the historic two-storey dwelling maintains its articulation on Byron Avenue East. A small "pavilion"-like addition has been added to the rear of the dwelling to transition to a two-storey garage. In this example, the addition is clearly distinguishable from and subordinate to the historic portion of the dwelling (2022).

Appendix E – Drawings Submitted for Heritage Alteration Permit

Drawings submitted for Heritage Alteration Permit, dated March 11, 2022 – *attached separately*

ZONING MATRIX: ZONNING R2-2

	REQUIRED SDD	PROPOSED SDD
(a) USE		
(b) LOT AREA (Min)	360 m2	697.8 m2
(c) Lot Frontage (SqM) (Min)	9 m	8.217 m
(d) Front Yard (Min) - PTA Section	4.3	2.88 m
Front Yard Garage (Min) - PTA Section 4.23	6.0 m	7.0 m
(e) Rear Yard (Min)	7 m	18.28 m
(f) Interior Yard (Min) - East	1.2 m	0.67 m
(g) Interior Yard (Min) - West	1.2 m	0.68 m
(h) Landscape Open Space (Min)	35%	. %
(i) Lot Coverage (%) (Max)	45%	43%
(j) Height 9m) (Max)	9 m	9 m
(k) Off-street Parking	2	2 (In garage)
(l) Parking Area Coverage (%) (Max)	25%	7.30 %
(m) Building Depth (%) (Max)	60%	16.61 m
(n) Garage Width (%) (Max)	50% of Frontage	7 m
(o) Driveway Width (Max) - Section 4.19	50% or 8m	7 m
(p) Yard Encroachments (Min) - Section 4.27		Porch is 1.90m Depth Setback is 1.22m from PL to Porch

BUILDING DATA: PROPOSED

GROUND FLOOR AREA:	181.00 m2
GARAGE AREA:	51.30 m2
SECOND FLOOR AREA:	206.30 m2
BASEMENT AREA	
Existing to remain:	91.90 m2
New:	90.10 m2
TOTAL:	182.00 m2
TOTAL BUILDING AREA*:	387.30 m2
(EXCLUDING GARAGE and BASEMENT)	
FLOOR AREA RATIO:	55.50%

SITE DATA:

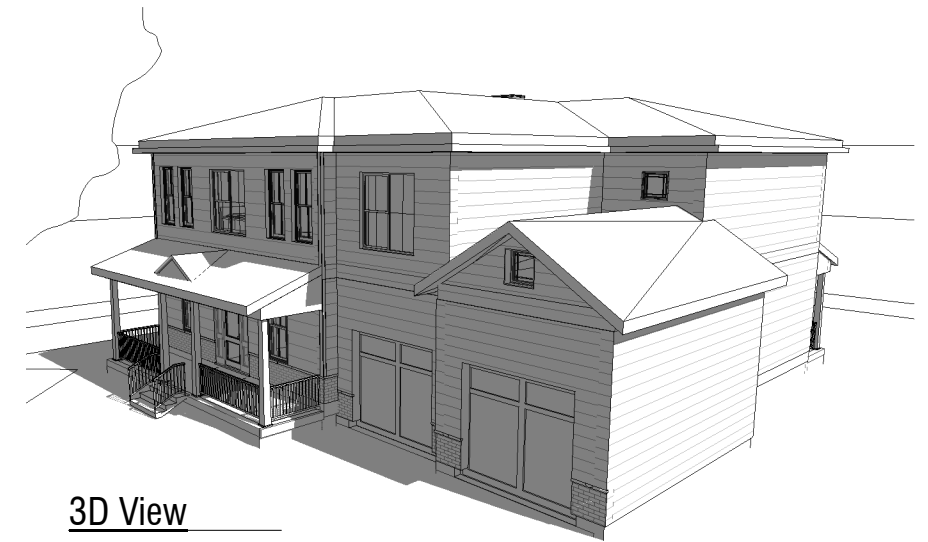
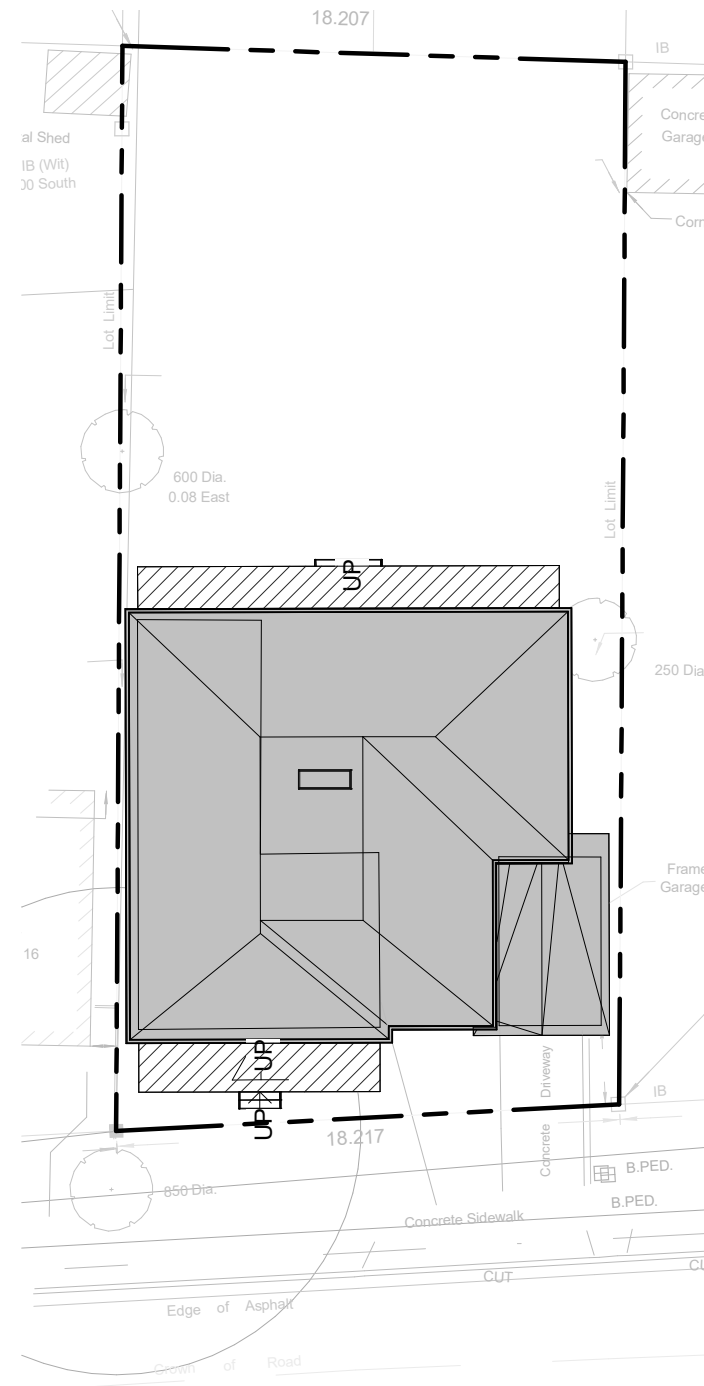
18 Byron Ave. East - London (LOT#34)

LOT DIMENSIONS:

FRONT (SOUTH)	18.04 m
EAST SIDE	37.75 m
WEST SIDE	39.22 m
REAR (NORTH)	18.23 m
AREA	697.84 m2

LOT COVERAGE:

LOT AREA: 697.84 m2



3D View

DRAWING LIST

A0.1	COVER SHEET
A0.2	GENERAL NOTES - WALL TYPES
A1.0	SITE PLAN
A1.2	BASEMENT FLOOR PLAN
A1.3	GROUND FLOOR LEVEL
A1.4	SECOND FLOOR LEVEL
A1.5	ROOF FLOOR LEVEL
A2.1	SOUTH ELEVATIONS
A2.2	NORTH ELEVATIONS
A2.3	EAST ELEVATION
A2.4	WEST ELEVATION
A4.1	SECTIONS
A4.2	SECTIONS
A4.3	SECTIONS
A4.4	SECTIONS
A5.1	WALL SECTIONS
A6.4	WINDOW SCHEDULE

18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

COVER SHEET

A0.1

Scale (ANSI B) 3/64" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:
BUILDING PERMIT

EXCAVATION AND BACKFILL

- EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTIES AND UTILITIES.
- THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL.
- IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM DEPTH OF 11 3/4" EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 17 3/4".
- BACKFILL WITHIN 24" OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 9 7/8" IN DIAMETER.

DAMP PROOFING, WATERPROOFING AND DRAINAGE

- IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMP PROOFED OR WATERPROOFED. WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOF SYSTEM MUST BE SPECIFIED (RUB-R-WALL, VOLCLAY OR EQUAL).
- CONCRETE MASONRY UNITS USED IN FOUNDATION WALLS SHALL BE PARGED USING RESIN TYPE DURABOND PARGING.
- 4" FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 6" OF CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL OR SUMP PIT.
- DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.
- CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR.
- THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP AND ROOM DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

FOUNDATION WALLS FOOTINGS SLABS ON GRADE

- REFER TO STRUCTURAL NOTES FOR STRUCTURAL DESIGN CAPACITIES AND SPECIFICATIONS.
- ALL FOUNDATION WALLS AND STRUCTURAL PIERS TO EXTEND A MINIMUM OF 8" ABOVE FINISHED GRADE.
- A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF FOUNDATION WALLS WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-11" BELOW EXTERIOR GRADE. REFER TO WALL SCHEDULE FOR WALL ASSEMBLY AND SYSTEM.
- FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY AS SPECIFIED IN STRUCTURAL NOTES.
- MAX. VERTICAL RISE FOR STEP FOOTINGS:
FOR FIRM SOILS: 23 5/8"
FOR SAND OR GRAVEL: 15 3/4"
- MIN. HORIZONTAL RISE FOR STEP FOOTINGS:
23 5/8"
- REFER TO STRUCTURAL NOTES FOR CONCRETE SLAB DESIGN AND SPECIFICATIONS. REFER TO FLOOR ASSEMBLY FOR REQUIRED UNDERLYING GRANULAR MATERIAL.
- ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

EXTERIOR WALLS

- REFER TO WALL ASSEMBLY SCHEDULE FOR WALL CONSTRUCTION.
- 5/8" FIRE-RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN 3'-11" FROM PROPERTY LINES.
- REFER TO DRAWINGS FOR LOCATION OF REQUIRED NONCOMBUSTIBLE CLADDING AND CONSTRUCTION SPECIFICATIONS.

WOOD FRAME CONSTRUCTION

- REFER TO STRUCTURAL NOTES FOR LUMBER AND STRUCTURAL DESIGN SPECIFICATIONS.
- REFER TO WALL ASSEMBLIES AND STRUCTURAL LAYOUT FOR FRAMING AND SHEATHING DESIGN.
- MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION.
- WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 6 MIL POLYETHYLENE.

ROOFING

- FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 1/2" INTO ROOF SHEATHING.
- REFER TO ROOF ASSEMBLY NOTES FOR EAVE PROTECTION SPECIFICATIONS. EAVE PROTECTION SHALL CONSIST OF ROOFING MATERIAL LAID WITH MINIMUM 4" HEAD AND END LAPS CEMENTED OR ADHERED TOGETHER.
- OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 23 5/8" WIDE.
- FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF SHINGLE ROOFS WITH EXTERIOR WALLS AND CHIMNEYS.
- SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 1/16" LEAD, 0.013" GALVANIZED STEEL 0.018" COPPER, 0.018" ZINC OR 0.019" ALUMINUM.

INSULATION & WEATHERPROOFING

CEILING WITH ATTIC	R-60
ROOF WITHOUT ATTIC	R-31
EXTERIOR WALL	R-19+5
FOUNDATION WALL	R-20
EXPOSED FLOOR	R-31
SLABS ON GRADE (UNHEATED)	R-10
SLABS ON GRADE (HEATED)	R-10
SUPPLY DUCTS IN UNHEATED SPACE	R-12

- INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 6 MIL POLY IS SUFFICIENT FOR FIBERGLASS TYPE INSULATIONS.
- DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT.
- CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING.
- WEATHER STRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT OVERHEAD DOORS AND DOORS FROM A GARAGE TO THE EXTERIOR.
- EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR.

NATURAL VENTILATION

- EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO OR NOT LESS THAN 1/300TH OF INSULATED OR CEILING AREA.
- INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO OR NOT LESS THAN 1/150TH OF INSULATED AREA.
- ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED AND DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS.
- UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 1.1 FT² OF VENTILATION FOR EACH 538 FT².
- MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE:
BATHROOMS: 0.97 FT²
OTHER ROOMS: 3 FT²
UNFINISHED BASEMENT: 0.2% OF FLOOR AREA

GARAGE GASPROOFING

- THE WALLS AND CEILING OF AN ATTACHED GARAGE SHALL BE CONSTRUCTED AND SEALED SO AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUMES.
- ALL PLUMBING AND OTHER PENETRATIONS THROUGH THE WALLS AND CEILING SHALL BE CAULKED.
- DOORS BETWEEN THE DWELLING AND ATTACHED GARAGE SHALL BE WEATHER STRIPPED AND HAVE A SELF CLOSER.

HANDRAIL & GUARDS

- A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS.
- GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600mm ABOVE THE ADJACENT LEVEL.
- INTERIOR AND EXTERIOR GUARDS MINIMUM 900mm HIGH. EXTERIOR GUARDS SHALL BE 1070mm HIGH WHERE ABOVE ADJACENT SURFACE EXCEEDS 1800mm.
- GUARDS SHALL HAVE NO OPENINGS GREATER THAN 100mm, AND NO MEMBER BETWEEN 140mm AND 900mm THAT WILL FACILITATE CLIMBING.

ACCESS TO ATTICS AND CRAWL SPACES

- ACCESS HATCH MINIMUM 20" X 28" BE TO PROVIDED TO EVERY CRAWL SPACE AND EVERY ROOF SPACE WHICH IS 108 FT2 OR MORE IN AREA AND MORE THAN 23 5/8" IN HEIGHT.

COLUMNS, BEAMS & LINTELS

- REFER TO STRUCTURAL NOTES FOR ALL COLUMN, BEAM AND LINTEL DESIGN AND SPECIFICATIONS.
- PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS.

ALARMS AND DETECTORS

- AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL.
- SMOKE ALARMS SHALL BE INTERCONNECTED AND LOCATED SUCH THAT ONE IS WITHIN 16'-5" OF EVERY BEDROOM DOOR AND NOT MORE THAN 48'-3" TRAVEL DISTANCE FROM ANY POINT ON A FLOOR.
- A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ON OR NEAR THE CEILING IN EVERY ROOM CONTAINING A SOLID FUEL BURNING FIREPLACE OR STOVE.

STAIRS

MAXIMUM RISE	200 mm	MINIMUM RISE	125 mm
MAXIMUM RUN	355 mm	MINIMUM RUN	210 mm
MAXIMUM TREAD	355 mm	MINIMUM TREAD	235 mm
MAXIMUM NOSING	25 mm		
MINIMUM WIDTH	860 mm		
MINIMUM HEADROOM	1950 mm		

- A LANDING MINIMUM 2'-11" IN LENGTH IS REQUIRED AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING, AND OTHER ENTRANCES WITH MORE THAN 3 RISERS.

DOORS AND WINDOWS

- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 6'-7" FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK.
- THE PRINCIPAL ENTRY DOOR SHALL BE EQUIPPED WITH DOOR BELL. SHOP DRAWINGS TO BE PROVIDED.
- INTERIOR DOORS SHALL BE UNDERCUT AS REQUIRED FOR MECH.

MASONRY VENEER

- MINIMUM 2 3/4" THICK IF JOINTS ARE NOT RAKED AND 3 1/2" JOINTS ARE RAKED.
- MINIMUM 1" AIR SPACE TO SHEATHING.
- PROVIDE WEEP HOLES @24" O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS.
- DIRECT DRAINAGE THROUGH WEEP HOLES WITH 20 MIL POLY FLASHING EXTENDING MINIMUM 6" UP BEHIND THE SHEATHING PAPER.
- VENEER TIES MINIMUM 0.030" THICK X 7/8" WIDE CORROSION RESISTANT STRAPS SPACED @23 5/8" VERTICALLY AND 15 3/4" HORIZONTALLY.
- FASTEN TIES WITH CORROSION-RESISTANT 0.125" Ø SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 1 3/16" INTO STUDS.

NOTE: IF ANY OF THE SPECIFICATIONS ALONG WITH THIS PACKAGE DIFFERS FROM THE MOST CURRENT VERSION OF THE ONTARIO BUILDING CODE, THE NEWEST VERSION OF THE OBC SHALL BE USED.

W01

- 1/2" Gybsum Wall Board
- Vapor Barrier
- 2x6 Wall Filled w/Insulation R-19
- 3/4" Sheathing
- Water Control Layer
- Continues Rigid Insulation R-5
- 1" Air Space
- White Cedar Wood Siding

W05 (1HR Fire Rated)

- 5/8" Type X Gypsum Wall Board
- Vapor Barrier
- Existing Wall sistered w/2x6 Wall Filled w/Insulation R-19
- 3/4" Sheathing
- Water Control Layer
- Continues Rigid Insulation R-5
- 1" Air Space
- White Cedar Wood Siding

W02

- 1/2" Type X Gybsum Wall Board
- Vapor Barrier
- 2x6 Wall Filled w/Insulation R-19
- 3/4" Sheathing
- Water Control Layer
- Continues Rigid Insulation R-5
- 1" Air Space
- White Cedar Wood Siding on 2'-4" High White Brick

W06 (1HR Fire Rated)

- 5/8" Type X Gybsum Wall Board
- Vapor Barrier
- Existing Wall sistered w/2x6 Wall Filled w/Insulation R-19
- 3/4" Sheathing
- Water Control Layer
- Continues Rigid Insulation R-5
- 1" Air Space
- White Cedar Wood Siding on 2'-4" High White Brick

W03 (1HR minute Fire Rated)

- 5/8" Type X Gybsum Wall Board
- Vapor Barrier
- 2x6 Wall Filled w/Insulation R-19
- 3/4" Sheathing
- Water Control Layer
- Continues Rigid Insulation R-5
- 1" Air Space
- White Cedar Wood Siding

W07

- 1/2" Gybsum Wall Board
- Vapor Barrier
- 2x6 Wall Filled w/Insulation R-20
- New Foundation Wall

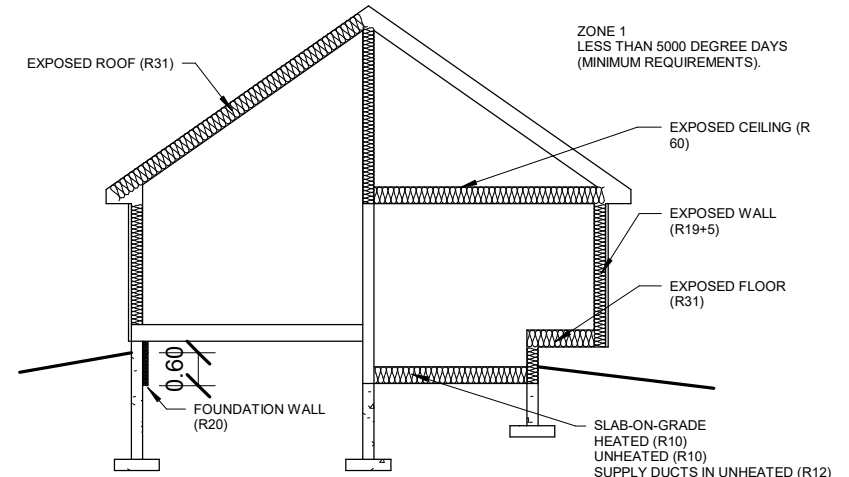
W04 (1HR minute Fire Rated)

- 5/8" Type X Gybsum Wall Board
- Vapor Barrier
- 2x6 Wall Filled w/Insulation R-19
- 3/4" Sheathing
- Water Control Layer
- Continues Rigid Insulation R-5
- 1" Air Space
- White Cedar Wood Siding on 2'-4" High White Brick

W08

- 1/2" Gybsum Wall Board
- Vapor Barrier
- 2x6 Wall Filled w/Insulation R-20
- New Foundation Wall
- Existing CMU Foundation Wall to Underpin

Wall Types
1/4" = 1'-0"



18 BYRON AVE. EAST - LONDON, ONTARIO

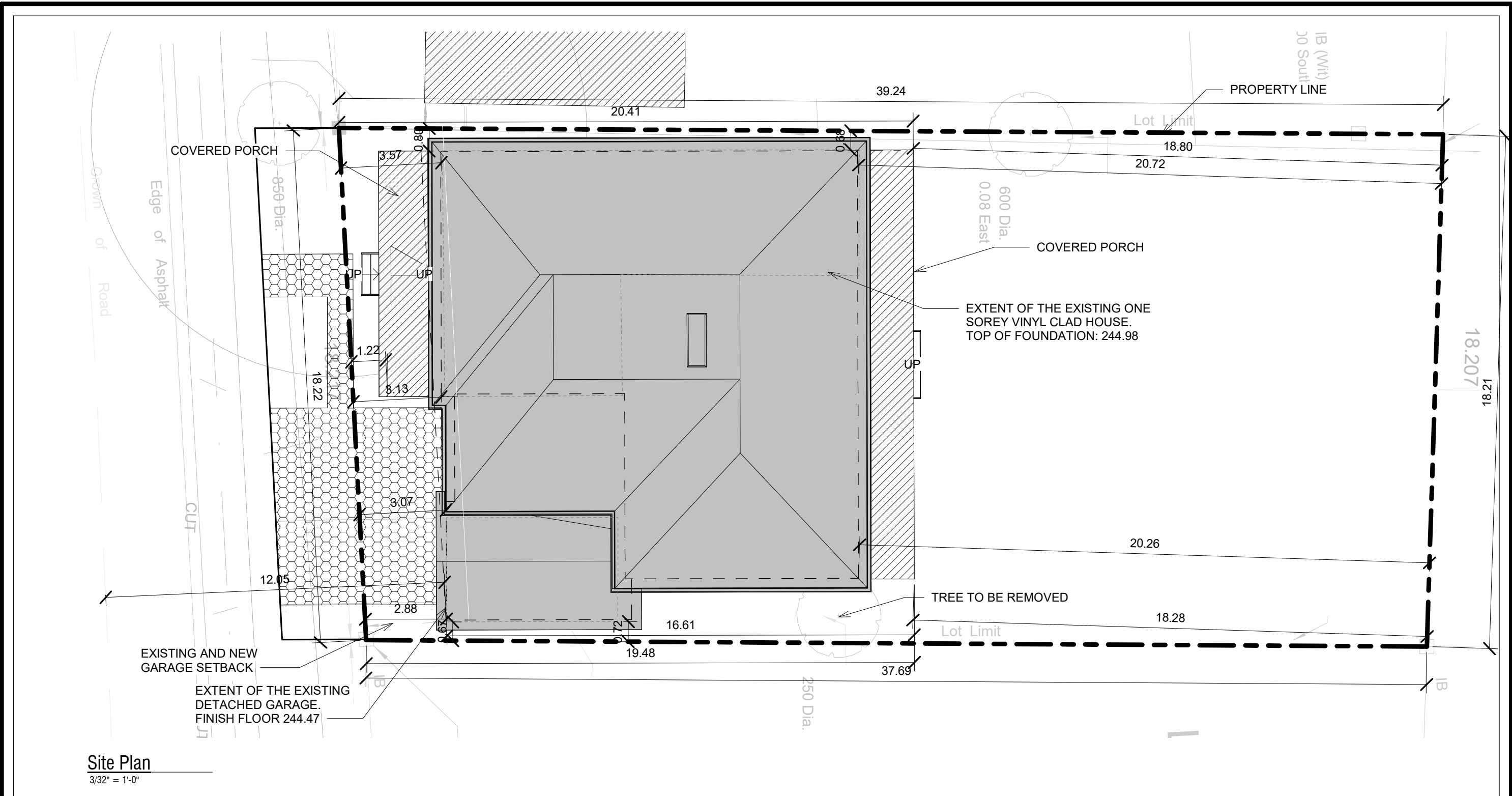
18 BYRON AVE. EAST - LONDON, ONTARIO

GENERAL NOTES - WALL TYPES

A0.2

Scale (ANSI B) As indicated

Project number	107	ISSUED FOR: BUILDING PERMIT
Date	2022-03-11	
Drawn by	-	
Checked by	-	



18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

SITE PLAN

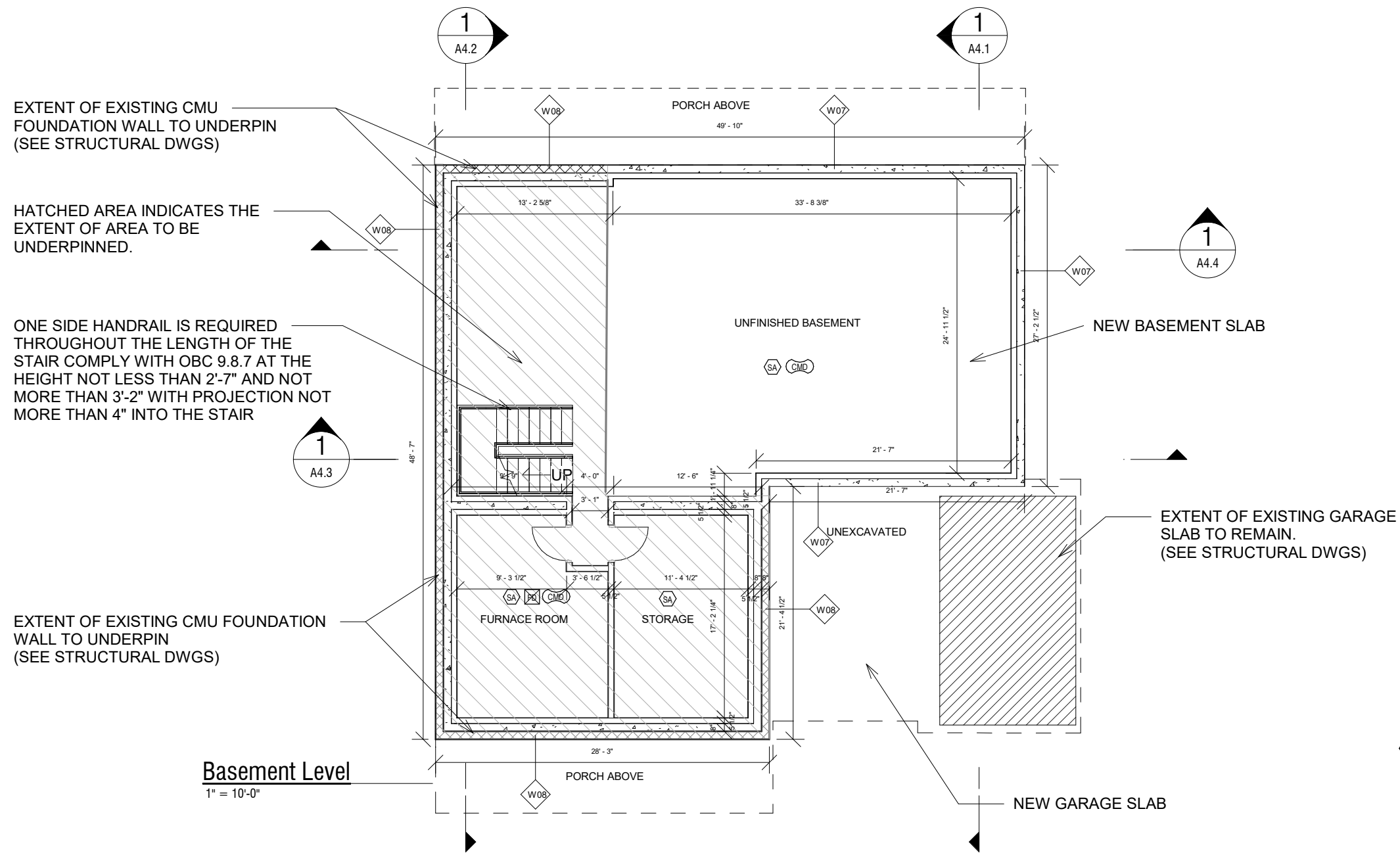
A1.0

Scale (ANSI B) 3/32" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:
BUILDING PERMIT

NOTE: INTERIOR DIMENSIONS ARE FROM FACE OF WOODS AND EXTERIOR DIMENSIONS ARE FROM FACE OF EXTERIOR SHEATHING







EXTENT OF EXISTING CMU FOUNDATION WALL TO UNDERPIN (SEE STRUCTURAL DWGS)

HATCHED AREA INDICATES THE EXTENT OF AREA TO BE UNDERPINNED.

ONE SIDE HANDRAIL IS REQUIRED THROUGHOUT THE LENGTH OF THE STAIR COMPLY WITH OBC 9.8.7 AT THE HEIGHT NOT LESS THAN 2'-7" AND NOT MORE THAN 3'-2" WITH PROJECTION NOT MORE THAN 4" INTO THE STAIR

EXTENT OF EXISTING CMU FOUNDATION WALL TO UNDERPIN (SEE STRUCTURAL DWGS)

Basement Level
1" = 10'-0"

-  SMOKE ALARM
-  FLOOR DRAIN
-  EXHAUST FAN
-  CARBON MONOXIDE DETECTOR

18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

BASEMENT FLOOR PLAN

A1.2

Scale (ANSI B) As indicated

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:
BUILDING PERMIT

NOTE: INTERIOR DIMENSIONS ARE FROM FACE OF WOODS AND EXTERIOR DIMENSIONS ARE FROM FACE OF EXTERIOR SHEATHING

EXTENT OF EXISTING WALL TO REMAIN AND EXTEND TO UNDERSIDE OF THE SECOND FLOOR.
(SEE STRUCTURAL DWGS)
1HRmin FIRE RATED ASSEMBLY REQUIRED FOR THE ENTIRE WALL

ONE SIDE HANDRAIL IS REQUIRED THROUGHOUT THE LENGTH OF THE STAIR COMPLY WITH OBC 9.8.7 AT THE HEIGHT NOT LESS THAN 2'-7" AND NOT MORE THAN 3'-2" WITH PROJECTION NOT MORE THAN 4" INTO THE STAIR

INFILL EXISTING WINDOWS
EXISTING WALL TO REMAIN

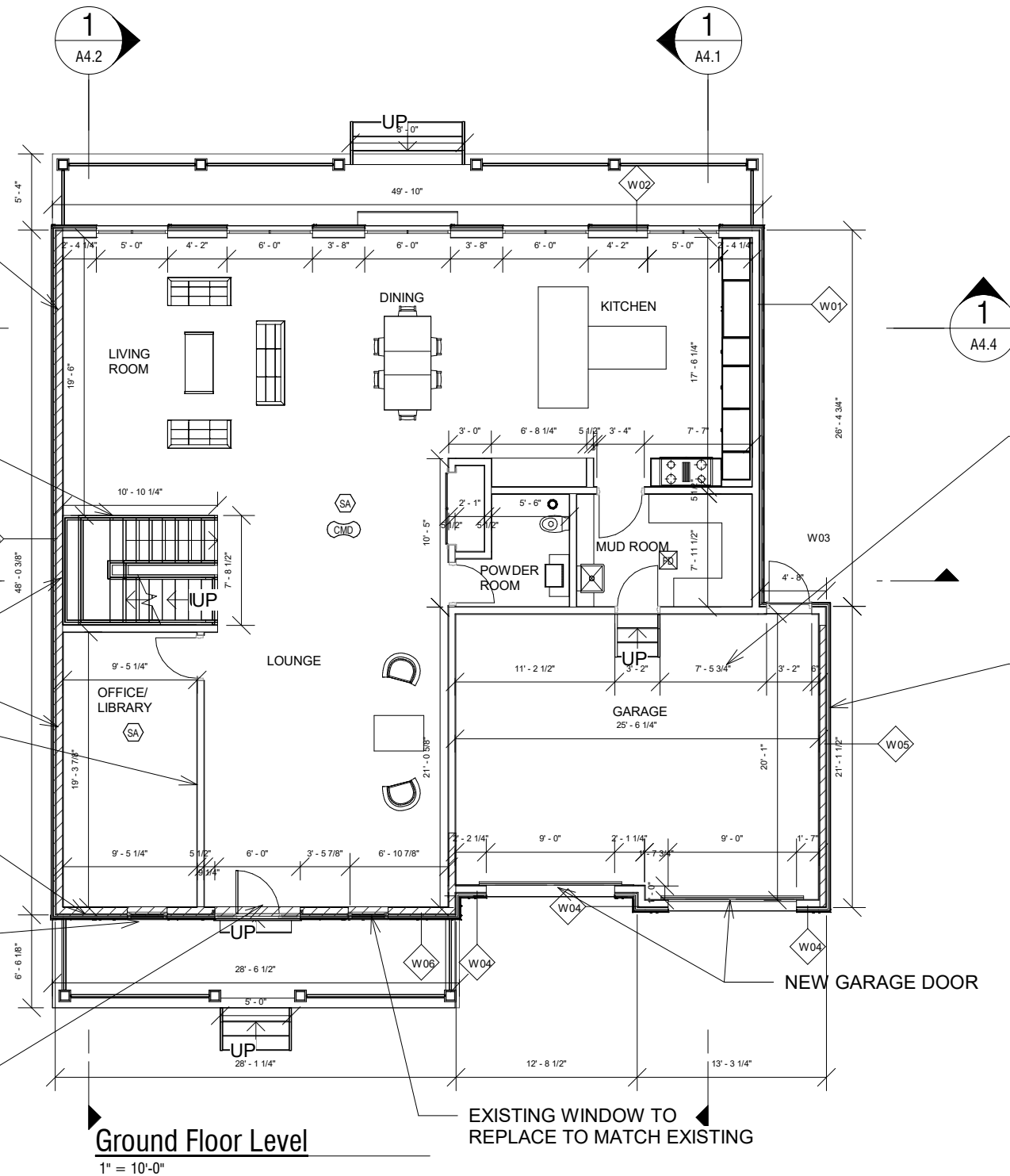
EXTENT OF EXISTING WALL TO REMAIN AND EXTEND TO UNDERSIDE OF THE SECOND FLOOR.
(SEE STRUCTURAL DWGS)





EXISTING WINDOW TO REPLACE TO MATCH EXISTING

EXISTING WINDOW OPENING TO BE MODIFIED TO ACCOMMODATE NEW ENTRY DOOR.

NOT LESS THAN 5/8" TYPE X GYPSUM BOARD IN GARAGE.
DOOR BETWEEN THE GARAGE AND DWELLING TO BE SMOKE SEALED W/SELF CLOSING DEVICE AND WEATHER STRIPPED.
PENETRATION TO DWELLING TO BE CAULKED AND SMOKE SEALED.

EXTENT OF EXISTING WALL TO REMAIN AND REINFORCE TO ACCOMMODATE NEW ROOF STRUCTURE.
(SEE STRUCTURAL DWGS)
1HR FIRE RATED ASSEMBLY REQUIRED



-  SMOKE ALARM
-  FLOOR DRAIN
-  EXHAUST FAN
-  CARBON MONOXIDE DETECTOR

Ground Floor Level
1" = 10'-0"

18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

GROUND FLOOR LEVEL

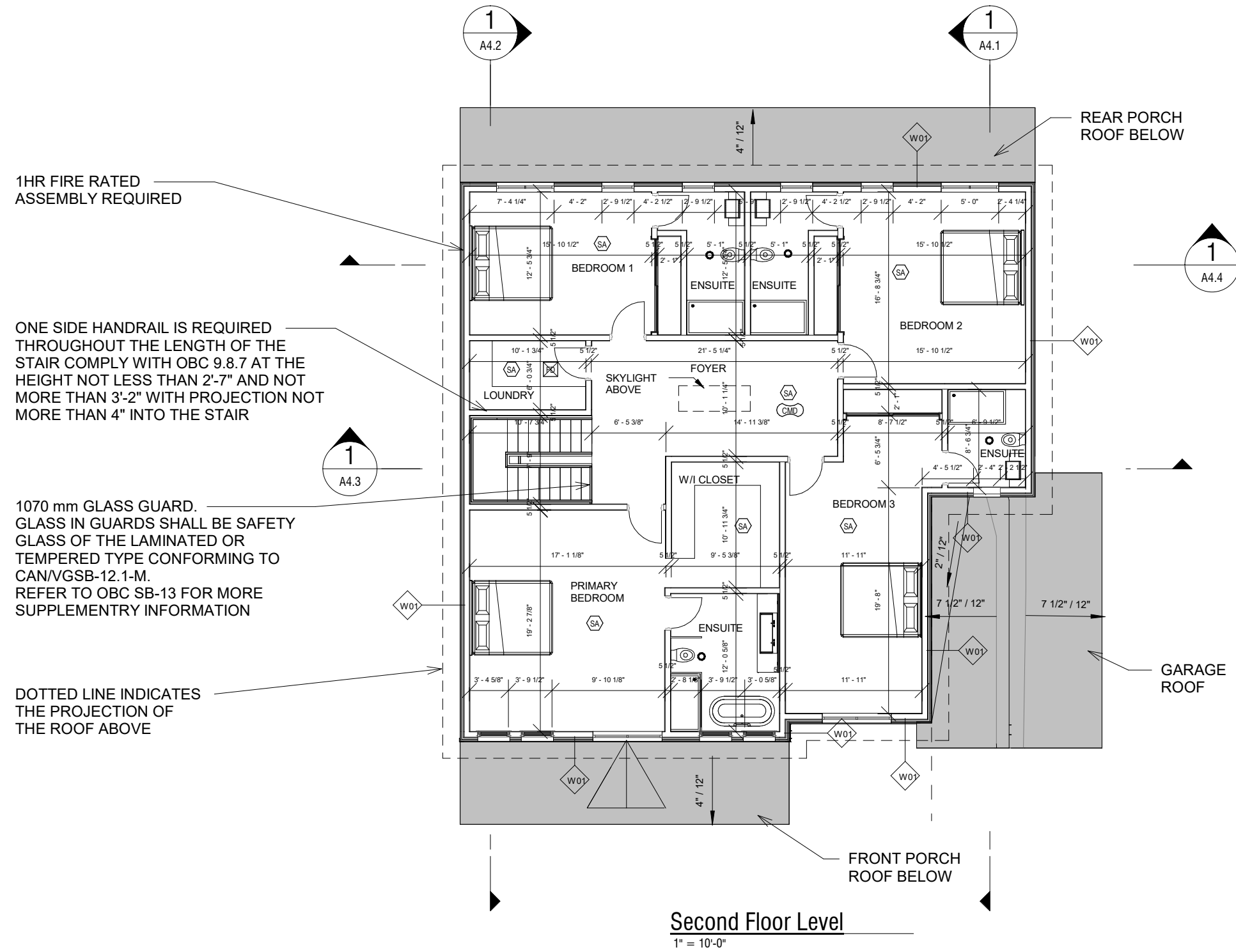
A1.3

Scale (ANSI B) As indicated

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:
BUILDING PERMIT

NOTE: INTERIOR DIMENSIONS ARE FROM FACE OF WOODS AND EXTERIOR DIMENSIONS ARE FROM FACE OF EXTERIOR SHEATHING



Second Floor Level
1" = 10'-0"

18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

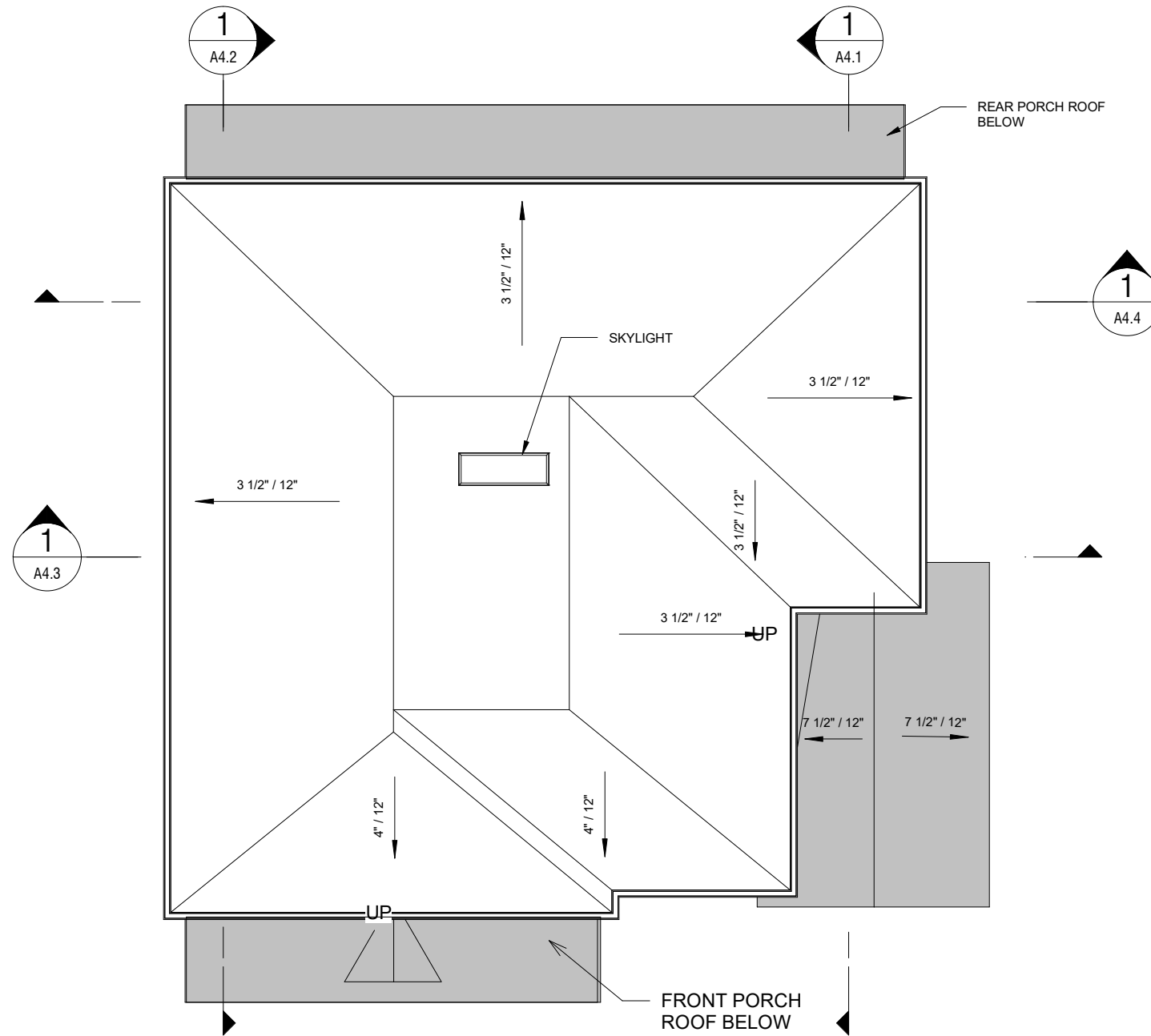
SECOND FLOOR LEVEL

A1.4

Scale (ANSI B) As indicated

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:
BUILDING PERMIT



NOTES: REFER ALSO TO TACBOC DETAIL W06A FOR SLOPED ROOF CONSTRUCTION.

- SKYLIGHT THERMAL RESISTANCE TO COMPLY WITH OBC SB-12, U VALUE NOT GREATER THAN 3.0 BETWEEN -15 AND 30 DEGREE CELCIOUS AND 2.7 AT TEMPATURE LOWER THAN -30 DEGREE CELECIIOUS. ALL ASPECTS TO COMPLY WITH OBC 9.7.1 THROUGH 9.7.6

- COLD PROCESS ROOF MEMBRANE TYPES ARE DEFINED AS ACCEPTABLE BY OBC TABLE 9.26.3.1 FOR ROOF SLOPES AS SHALLOW AS 1:25

- PROVIDE GUTTERS AND RAIN WATER LEADERS TO ENSURE WATER IS CONVEYED TO GRADE LEVEL.

- EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO OR NOT LESS THAN 1/300TH OF INSULATED OR CEILING AREA.

- ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED AND DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS.

Roof Level
1" = 10'-0"

18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

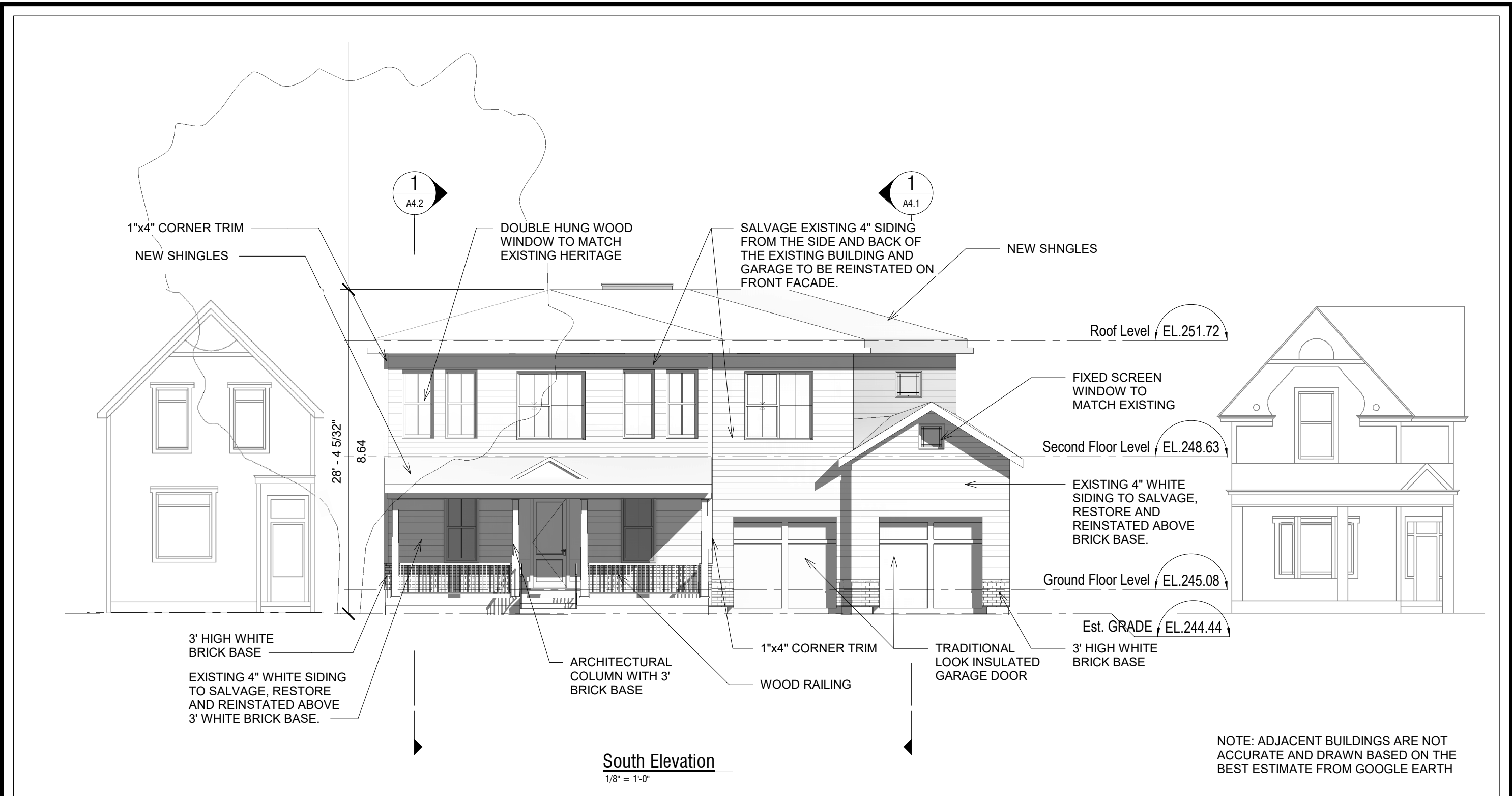
ROOF FLOOR LEVEL

A1.5

Scale (ANSI B) 1" = 10'-0"

Project number	107
Date	2022-03-11
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South Elevation
1/8" = 1'-0"

NOTE: ADJACENT BUILDINGS ARE NOT ACCURATE AND DRAWN BASED ON THE BEST ESTIMATE FROM GOOGLE EARTH

18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

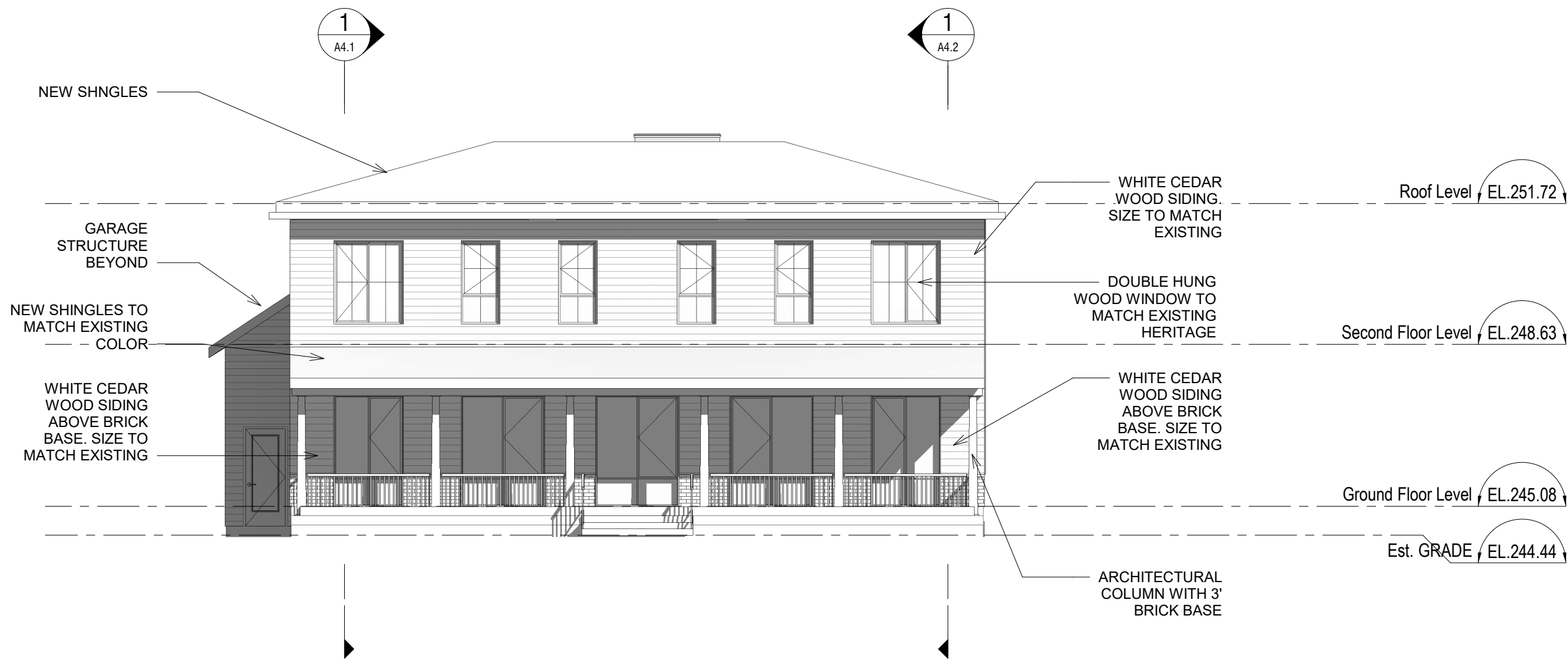
SOUTH ELEVATIONS

A2.1

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
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North Elevation

1/8" = 1'-0"

18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

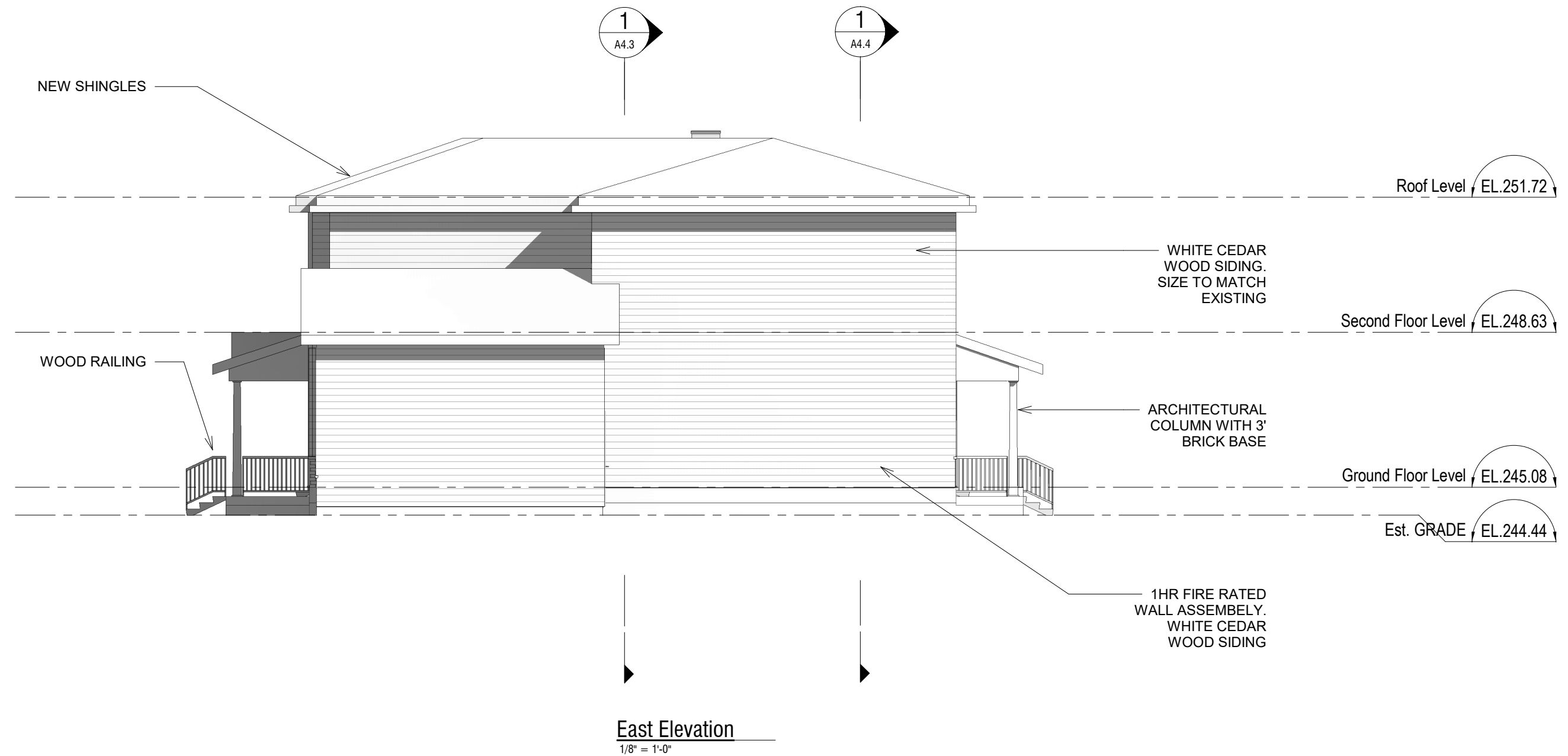
NORTH ELEVATIONS

A2.2

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:
BUILDING PERMIT



18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

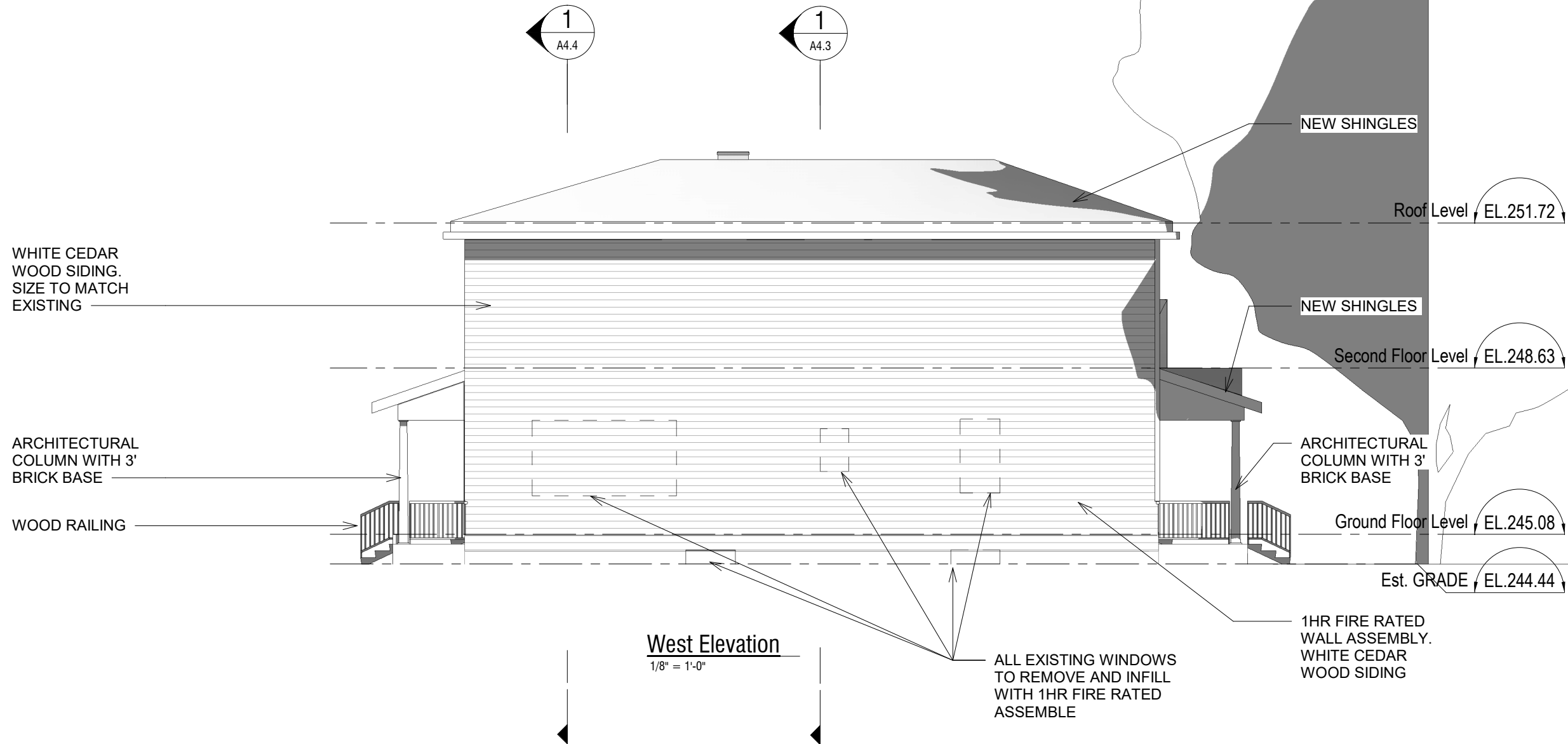
EAST ELEVATION

A2.3

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:
BUILDING PERMIT



18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

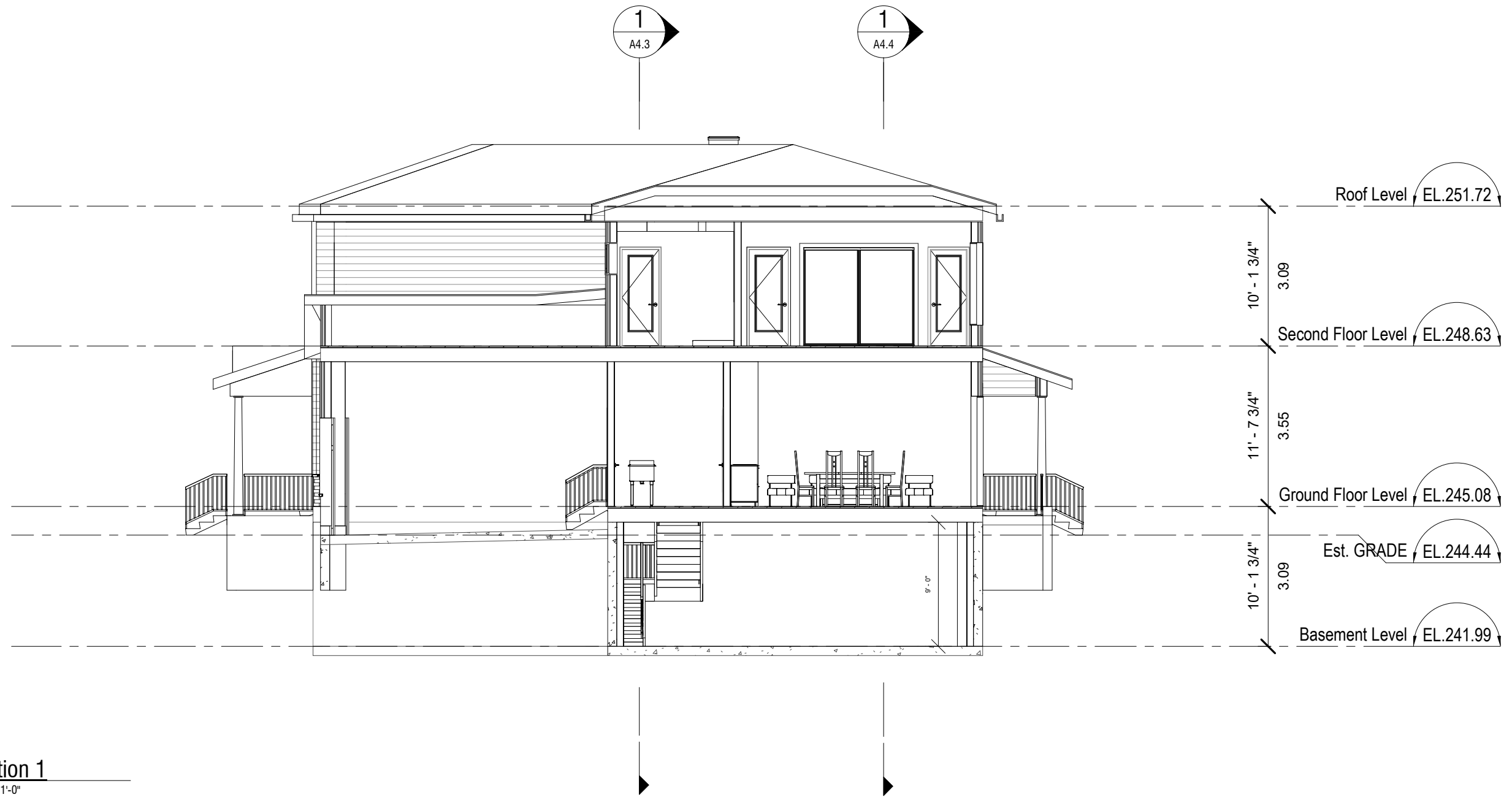
WEST ELEVATION

A2.4

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

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Section 1
1/8" = 1'-0"

18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

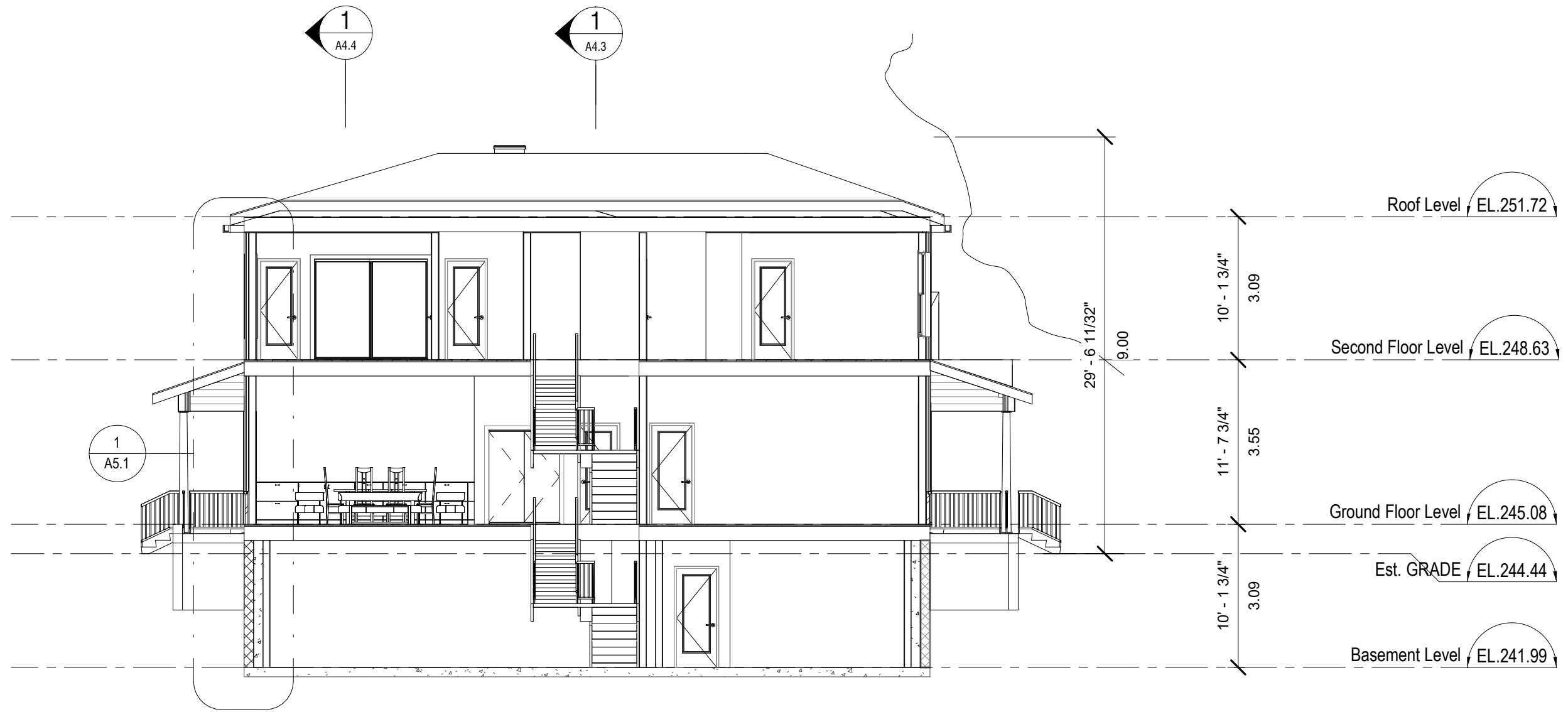
SECTIONS

A4.1

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
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ISSUED FOR:
BUILDING PERMIT



Section 2
1/8" = 1'-0"

18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

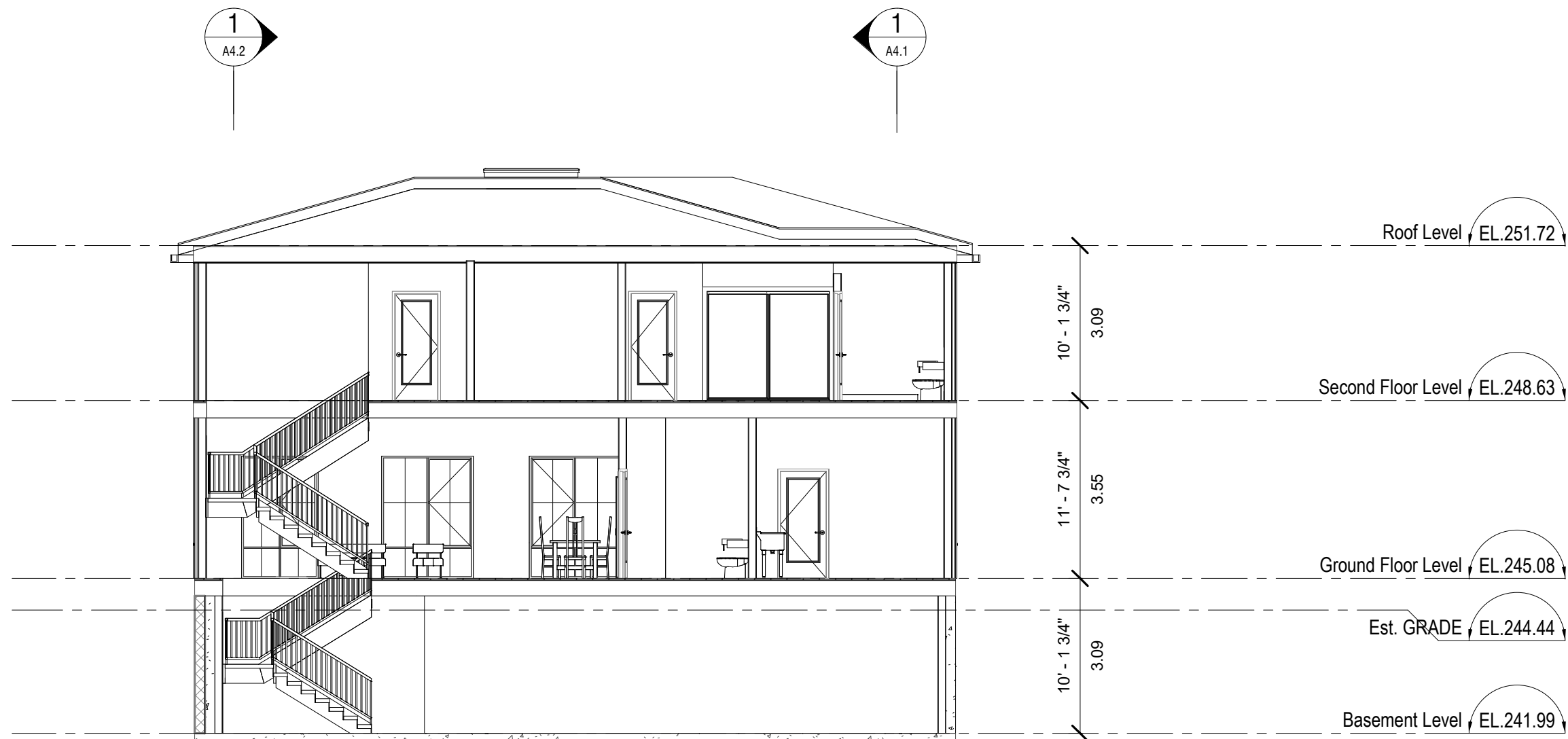
SECTIONS

A4.2

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:
BUILDING PERMIT



Section 3
1/8" = 1'-0"

18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

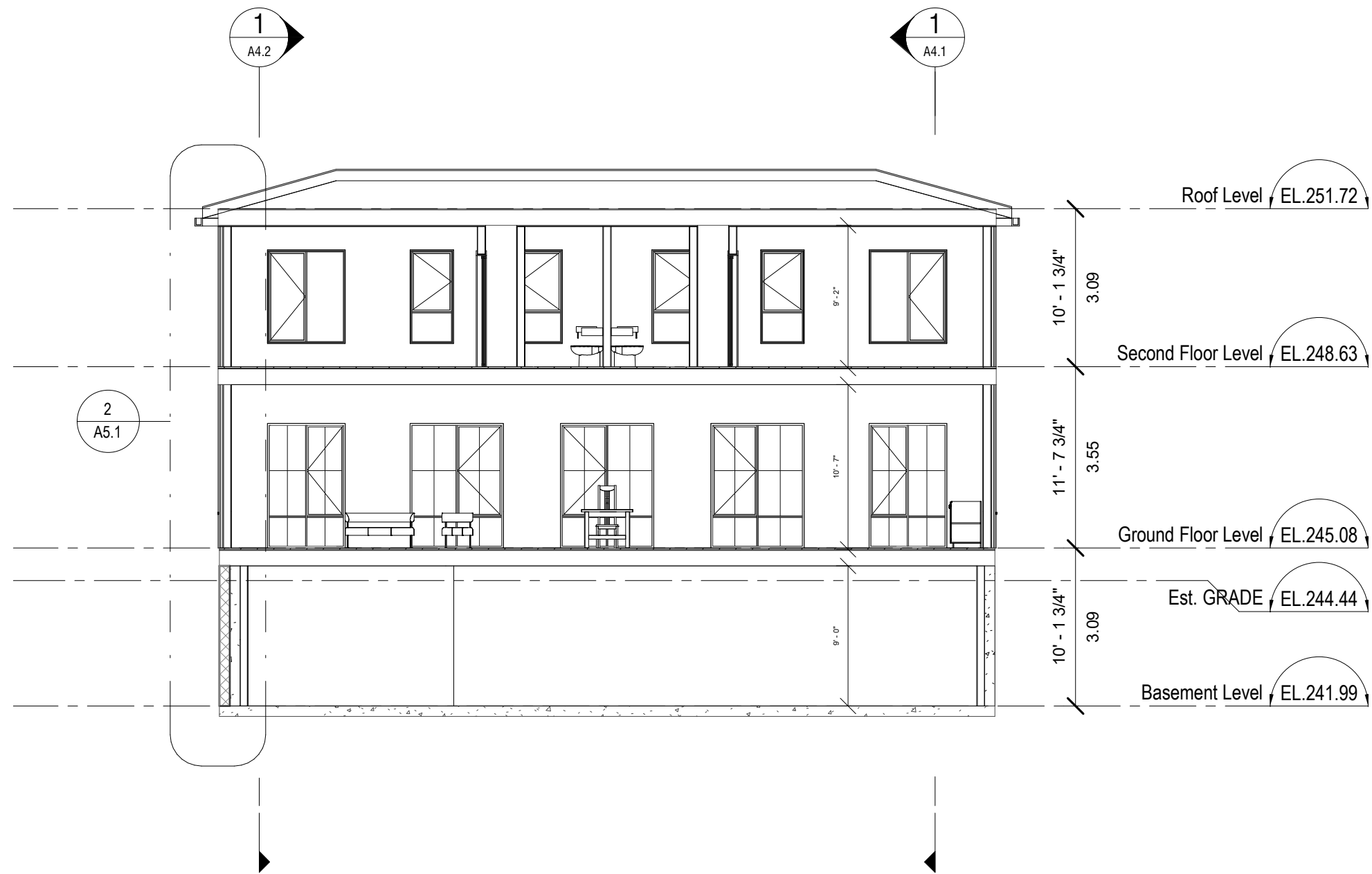
SECTIONS

A4.3

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:
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Section 4
1/8" = 1'-0"

18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

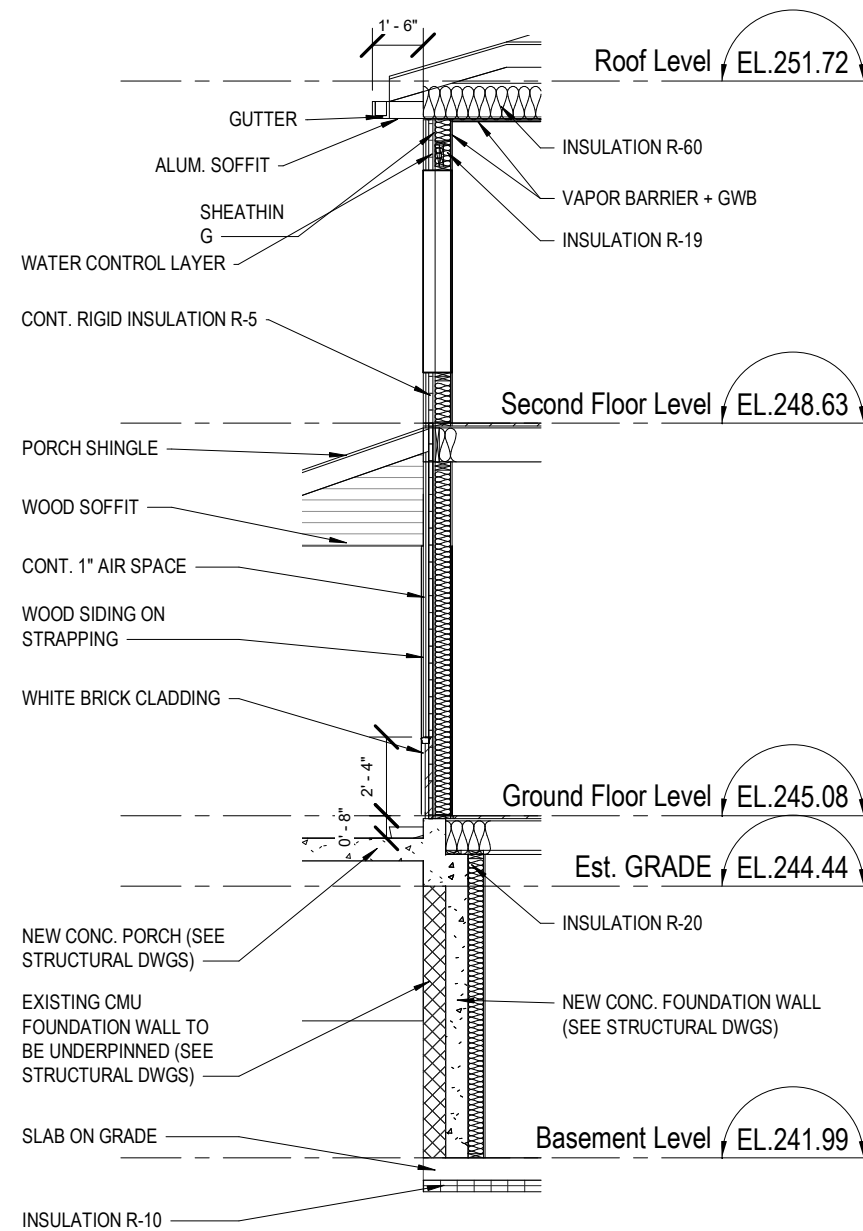
SECTIONS

A4.4

Scale (ANSI B) 1/8" = 1'-0"

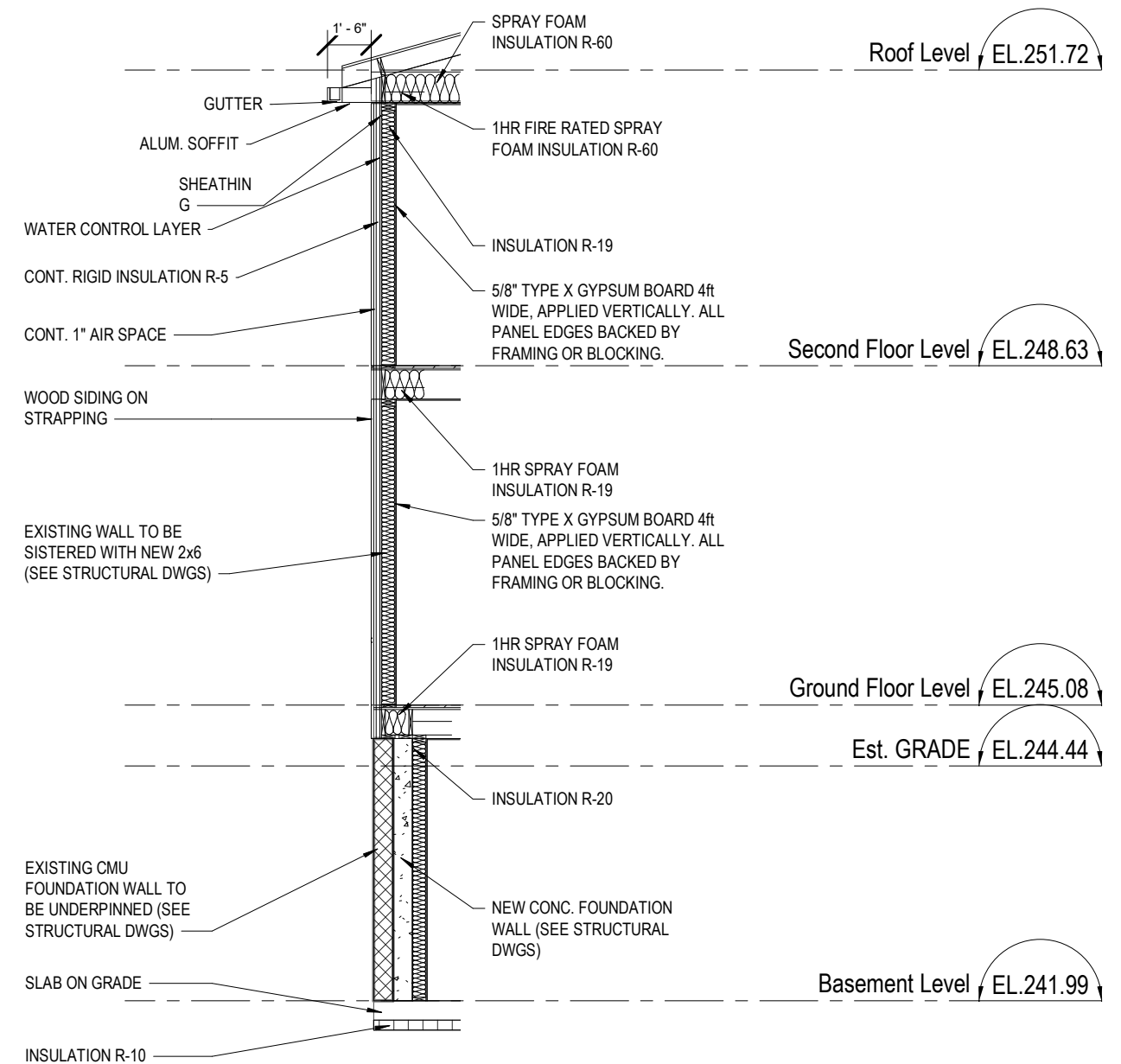
Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:
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Wall Section 1

3/16" = 1'-0"



Wall Section 2

3/16" = 1'-0"

18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

WALL SECTIONS

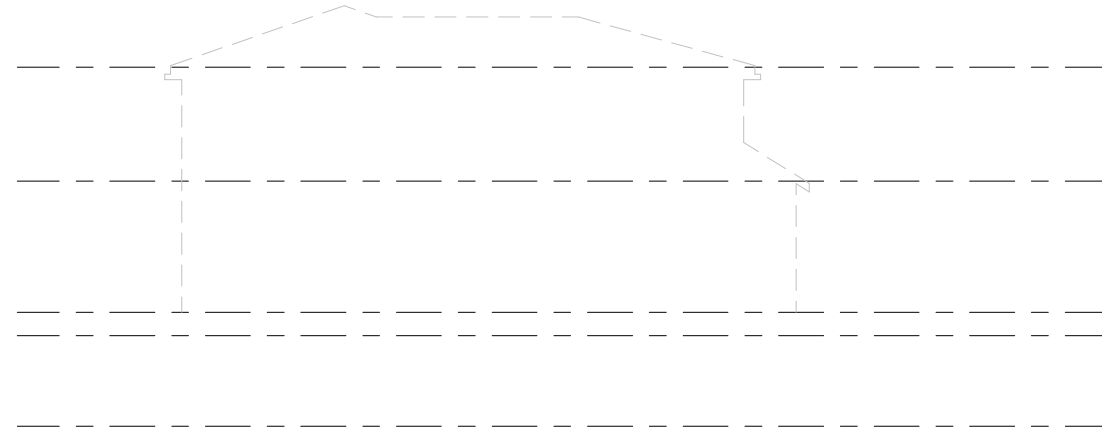
A5.1

Scale (ANSI B) 3/16" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

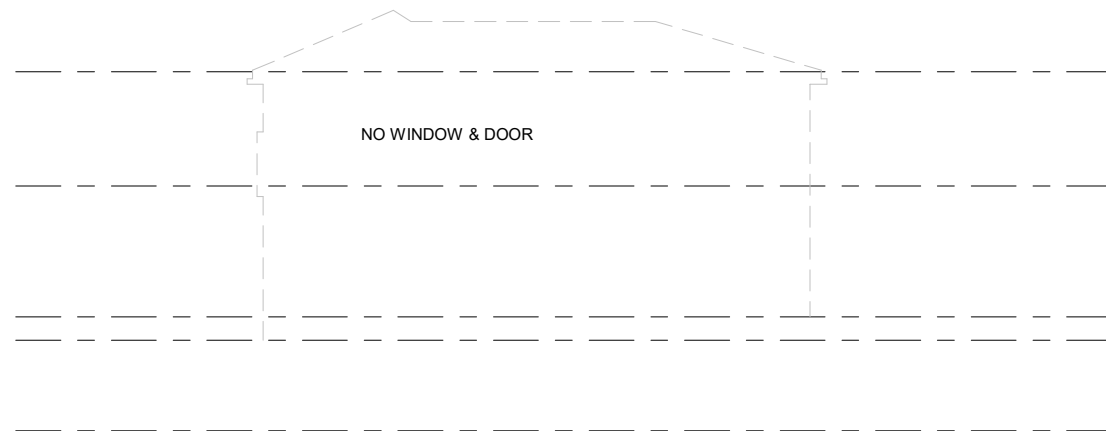
ISSUED FOR:
BUILDING PERMIT

TOTAL AREA OF EXPOSING BUILDING FACE: 116 SqM
 LIMITING DISTANCE: 12.05 M (to c/l of street)
 AREA OF UNPROTECTED OPENING: 37.50 Sqm
 AGGREGATE AREA OF UNPROTECTED OPENING: 32.32%



South Elevation Windows

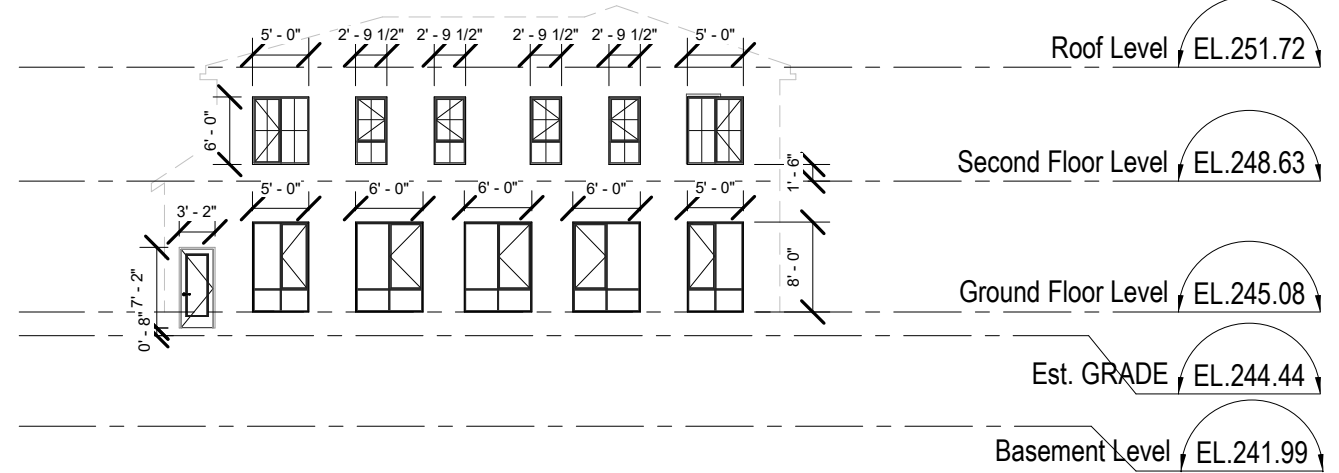
1/16" = 1'-0"



East Elevation Windows

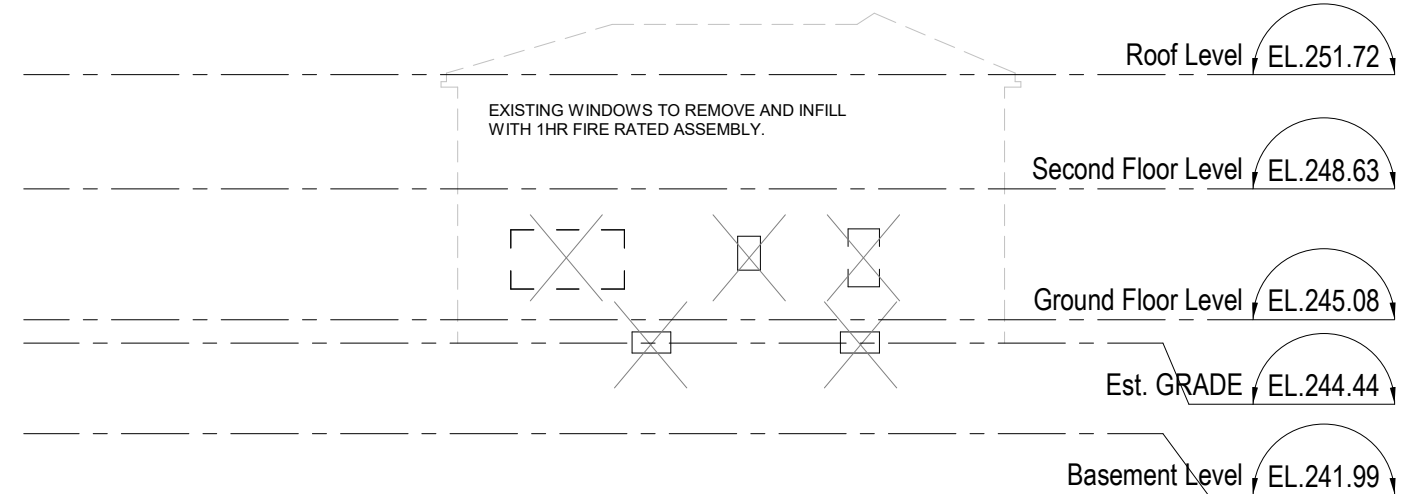
1/16" = 1'-0"

TOTAL AREA OF EXPOSING BUILDING FACE: 101 SqM
 LIMITING DISTANCE: 20.26 M
 AREA OF UNPROTECTED OPENING: 33.90 SqM
 AGGREGATE AREA OF UNPROTECTED OPENING: 33.56%



North Elevation Windows

1/16" = 1'-0"



West Elevation Windows

1/16" = 1'-0"

Project number 107
 Date 2022-03-11
 Drawn by -
 Checked by -

ISSUED FOR:
 BUILDING PERMIT

18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

WINDOW SCHEDULE

A6.4

Scale (ANSI B) 1/16" = 1'-0"

Appendix F – Heritage Impact Assessment

Heritage Impact Assessment (a+LiNK Architecture Inc., dated January 5, 2022) –
attached separately

HERITAGE IMPACT ASSESSMENT

18 Byron Avenue East
London, Ontario

Date:
Jan 5th, 2022

Prepared for:
Mr. Scott Thomson
18 Byron Avenue East
London, ON N6C 1C5

Prepared by:
a+LiNK Architecture Inc.
126 Wellington Road
London, ON N6C 4M8
T: 519.649.0220
W: www.alinkarch.ca

a+LiNK Project: 2138

a+LiNK
architecture inc.
preserve + create + sustain

05 JAN 2022

Project No. 2138

Mr. Scott Thomson

18 Byron Avenue East
London, ON N6C 1C5

Re: Heritage Impact Assessment
18 Byron Avenue East
London, Ontario N6C 1C5

Dear Mr.

Attached is the Heritage Impact Assessment for the property located at 18 Byron Avenue East in regards to the residential addition and renovation proposal incorporating the existing house and garage, located within the Wortley Village-Old South Heritage Conservation District in London, Ontario.

We look forward to the opportunity to present this report to the City as you may require. Please do not hesitate to contact us with any questions or comments regarding this report.

Sincerely,



Ed van der Maarel
Partner, Principal Architect + Heritage Consultant
dipl. Arch., OAA, dipl. Arch.Tech., CAHP, OAHP

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HERITAGE IMPACT ASSESSMENT - 18 BYRON AVENUE EAST

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7. IMPACTS OF PROPOSED DEVELOPMENT	28
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APPENDIX A - *Existing Site Survey Drawing*

Archibald, Gray and McKay LTD. Plan, Survey, Engineer.
October 15, 2020

APPENDIX B - *Proposed Drawings*

Third Layer Architects
October 13, 2021

APPENDIX C - A-106-21: Report to London Committee of Adjustment.

City of London
September 2, 2021

APPENDIX D - Stage 1 and Stage 2 Archaeological Assessment of 18 Byron Avenue East, London, ON....

Thomas G. Arnold & Associates
December 5, 2021

1. SUMMARY AND RECOMMENDATIONS

The client, Mr. Scott Thomson, owner of 18 Byron Avenue East in London, Ontario, has proposed an addition and renovation to the existing residence and garage, located in the Wortley Village-Old South Heritage Conservation District. The proposed alteration/addition retains and incorporates the existing one-storey residence and detached single-car garage into a larger addition. The addition connects the two existing structures and includes additional space by way of a new second storey and addition to the rear of the residence. The proposal retains the original structures, including the porch, in-situ and location of original doors and openings. The location of the site within the historic core of the Wortley Village-Old South Heritage Conservation District requires that a Heritage Impact Assessment of any potential impacts and mitigation strategies for those impacts be completed, as it relates to the property, surrounding heritage fabric and character of the area as a whole.

Significantly, the Stage 1 and Stage 2 Archaeological Assessment of 18 Byron Avenue East by Thomas G. Arnold & Associates did not recover any artifacts from the test pits completed during Stage 2. Therefore, the property no longer holds any archaeological potential or cultural heritage value.

The proposed addition and alteration to 18 Byron Avenue East, designated under Part V of the OHA, By-Law L.S.P.-3439-321, June 1, 2015., has been assessed through this HIA for potential impacts utilizing the Wortley Village-Old South Heritage Conservation District Plan Policies and Guidelines, and the mitigating approaches analyzed as per the Provincial Policy Statement (PPS) 2020. As with most additions and alterations to properties within a designated heritage district, location, height, density, and massing of proposed development provide the highest levels of impact on cultural heritage assets.

The proposed development will provide a low density, low scale addition and renovation to support the long term program of the property, improve its viability as a single family home, while also considering its impact on the streetscape of Byron Avenue East. Further, the proposal pays homage to the nearby and adjacent conditions of similar properties, with contemporary variations on the historical architectural detailing and massing through a sensitive addition linking the heritage residence and garage through an addition that continues on the second storey and at the rear. The proposed addition and renovation of the existing one storey home and garage into a larger, two storey residence, and the integration of the cultural heritage assets of the property within the proposed project provides the platform for the vibrancy and character desired within the Wortley Village-Old South Heritage Conservation District. The approach aims to reinforce the architectural merit of the C-Rated property, which although not individually designated, has a place in contributing to the historical, architectural and contextual value within the setting of the of the Wortley Village-Old South Heritage Conservation District.

The primary mitigating factors for the residential addition and renovation include; retaining the existing property as a key element contributing to the heritage of the streetscape along Byron Avenue East. Further, retaining its massing, form and architectural merit through retention of the original facade within the addition, maintaining the covered porch with triangular pediment at the entrance, and keeping the original location of openings. Further the addition is located between the existing residence and the existing garage, as well as above and beyond it to the north. The proposed height, massing and form are similar to that of the adjacent and nearby buildings, and in particular the use of a second storey datum that aligns with the property at 16 Byron Ave E. further helps to create references between existing heritage fabric and new design. The proposed design integrates the existing residence with a contemporary addition that is both subordinate to and steps back from the original buildings, utilizing modern cladding that is sympathetic to the heritage fabric of the original house and other properties nearby. The white cedar wood siding will improve the overall look of the renovated residence, removing the current vinyl cladding that is not in keeping with the goals of the HCD.

1. SUMMARY AND RECOMMENDATIONS

Importantly, the addition does not negatively affect the views, vistas or other heritage elements of nearby and adjacent properties outlined in Section 5.0 Heritage Context, specifically adjacent properties at 16 and 22 Byron Avenue East, or of the Victoria Public School yard, located opposite to the proposed site. While the proposed development achieves the majority of mitigation approaches identified in Section 7.0 of this document and of the PPS 2020, there are a few minor recommendations that would further assist in the mitigation process. New pedestrian and vehicular access as well as improved landscaping will contribute further to incorporating the proposed project into the cultural heritage context of the HCD. However, as per the HCD policies and guidelines, it is recommended that the proposed double lane driveway be instead considered as two single lane driveways with turf between the two to reduce the impact of the hard surface on the landscaping. It is also recommended that further clarification on the types of windows and the colours of trim and details be provided as required to further align the project with the character of the area.

In conclusion, the proposed addition and renovation meets the guidelines and mitigating measures for heritage properties outlined in the PPS 2020, the Ontario Heritage Act, the London Plan and, most importantly, the Wortley Village-Old South Heritage Conservation District Plan. While we recommend further refinements in the design details for consideration as the project proceeds, we believe the approach is a successful example of respecting and integrating an enlarged residence footprint within the surrounding heritage character of the district; the addition and renovation allows for a harmonious connection of the new and old, highlighting the role that heritage fabric and contemporary design can play within the HCD. Many low density, low scale residential addition and renovation projects have already been successfully integrated within the district to provide increased space for growing families. This project will join those in helping to provide longevity for an underutilized property that has great potential. The proposed addition and alterations to the C-Rated, Part V (OHA) designated property at 18 Byron Avenue East align with the key goals and principles of Wortley Village-Old South Heritage Conservation District and will contribute to the vibrancy and character of the historically significant area for years to come.

2. INTRODUCTION

a+LiNK architecture inc. was retained by the client, Mr. Scott Thomson, to provide a Heritage Impact Assessment (HIA) for the property located at 18 Byron Ave, London, Ontario, in regards to the proposed residential addition incorporating the original heritage house. This report has been prepared by Ed van der Maarel, Partner, Principal Architect and Heritage Consultant (OAA, CAHP). The proposal is being submitted as part of a Minor Variance for the property located at 18 Byron Ave, and the HIA is included as part of this process for the Committee of Adjustments.

The purpose of the Heritage Impact Assessment is to analyze the impact of the proposed addition and alteration on the heritage value of the property and the surrounding area. The building is designated under Part V of the Ontario Heritage Act (OHA), located within the Wortley Village-Old South Heritage Conservation District (HCD). The property itself is rated as a level C in terms of its significance on the Register of Cultural Heritage Resources for the City of London. Properties found within the HCD and listed on the Register are ranked as either A, B, C or D Rating in terms of significance, with A being most significant, and D being of lowest contributing value. There are also nearby and adjacent properties that are listed under Part V of the HCD under the OHA. These are also listed on the Register of Cultural Heritage Resources for the City of London and their value is similarly denoted utilizing the same aforementioned rating system.

The property and proposed addition are located approximately one block east of the Wharncliffe Road, in Old South/Wortley Village, on Byron Avenue East. Byron Avenue East runs east-west through the Wortley HCD; from Wortley Road, the avenue runs west across Wharncliffe to the west side, terminating at Orchard Street in the area known as *The Coves*. Currently the property houses the original one-storey residence and adjacent detached single-car garage, which are located on the south side of Byron Avenue East, across from Victoria Public School on the north side. The house was constructed circa 1881 in the vernacular/mixed style. Currently, the house is clad in a yellow-tone vinyl siding and the trim details are painted chocolate brown. The low roof is comprised of brown asphalt shingles and the windows appear to be vinyl and the door a replica, but the locations are original. The front porch extends the width of the house from east to west and a covered awing projects from the roofline sloped by triangular pediments that frame the east and west ends. A triangular pediment is located above the entrance to the porch. The lot is approximately 700.55 square meters, and the existing footprint of the one storey house and garage is approximately 115.26 square meters.

A renovation and addition is proposed for the property, which would convert the current one-storey residence with existing detached single-car garage into a two storey home with attached double garage. The proposed addition will incorporate the existing footprint of the home, and include rear and side additions, as well as a second storey, and inserts a second garage to create an attached double-car garage. The total building area proposed, excluding the garage and basement, is approximately 375.98 square meters. The original one-storey home and the existing covered porch along with the garage, will be retained in-situ, and included in the renovation proposed.

Because the property is located within a Heritage Conservation District (HCD), there are a number of policies and guidelines surrounding the proposed project on the site that deem the protection and integration of any proposed intervention as highly important. The design proposes changes to the property setbacks, requiring a Minor Variance. A Heritage Alteration Permit must also be obtained from the Municipality prior to the issuance of a building permit and the construction of the addition and alteration work.

This document outlines the observations of the proposed design and the impact of the development on the Part V designated property located at 18 Byron Avenue East, along with the impact on any nearby and adjacent designated Part V properties within the district. The document also provides insight into the context of the property, history and summarizes mitigation strategies that have been met by the proposal or suggested for implementation. The Stage 1 and 2 Archaeological Assessment by Thomas G. Arnold & Associates is also appended to this report.

3. POLICIES AND TERMS OF REFERENCE

The Provincial and the Municipality has set in place a number of policies and terms of reference for the purpose of protecting, preserving, and integrating cultural heritage resources within Ontario cities. The following Policies and Terms of Reference have been used in the preparation of the this Heritage Impact Assessment:

1. THE PLANNING ACT AND PROVINCIAL POLICY STATEMENT (PPS) 2020

The Provincial Policy Statement (PPS) is the statement of the government's policies on land use planning. It applies province-wide and provides clear policy direction on land use planning to promote strong communities, a strong economy, and a clean and healthy environment.

The PPS is issued under Section 3 of the Planning Act and is utilized by municipalities to develop their official plans and to provide guidance and information in regards to planning matters. Specifically, and in regards to cultural heritage, the Planning Act has provisions respecting the province's cultural heritage. The PPS provides general guidance for municipalities for planning and development of communities in a number of ways by; encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes.

Section 2.6 of the Act, specifically 2.6.1, 2.6.3, 2.6.4 and 2.6.5 provides municipalities with rules as to the cultural resources within the community.

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5 Planning authorities shall consider the interests of Aboriginal communities in conserving cultural heritage and archaeological resources.

The PPS 2020 further provides definition to municipalities in regards to the terms used to describe cultural heritage.

Built heritage resource: means a building, structure, monument, installation or any manufactured remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Aboriginal community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the Ontario Heritage Act, or included on local, provincial and/or federal registers.

Conserved: means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-Provincial Policy Statement, 2020 | 42 maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

3. POLICIES AND TERMS OF REFERENCE

Cultural heritage landscape: means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.

Development: means the creation of a new lot, a change in land use, or the construction of buildings and structures, requiring approval under the Planning Act, but does not include:

- a. activities that create or maintain infrastructure authorized under an environmental assessment process;
- b. works subject to the Drainage Act; or
- c. for the purposes of policy 2.1.4(a), underground or surface mining of minerals or advanced exploration on mining lands in significant areas of mineral potential in Ecoregion 5E, where advanced exploration has the same meaning as under the Mining Act. Instead, those matters shall be subject to policy 2.1.5(a).

Heritage attributes: means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant views or vistas to or from a protected heritage property).

Protected heritage property: means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

While the property is not designated under Part IV of the Ontario Heritage Act, it is located within the Wortley Village-Old South Heritage Conservation District, designated under Part V of the Ontario Heritage Act. As per City of London By-law for Heritage Alteration Permits, a Heritage Impact Assessment is required when a property within a Heritage Conservation District (HCD) is altered, and the PPS 2020 provides the tools necessary as a Terms of Reference for the document.

2. THE ONTARIO HERITAGE ACT

The Ontario Heritage Act (OHA), R.S.O, 1990, c.0.18 is the legislation for the conservation of significant cultural heritage resources in Ontario. Part V of the OHA references Heritage Conservation Districts. Part V outlines the requirements for designation of a district and requires that all HCD's within a municipality be registered under that section. The HCD also helps to manage changes within a specified district while also protecting the cultural heritage value of the HCD. This Heritage Impact Assessment (HIA) will refer to these policies to determine the potential impacts, mitigation approaches and any conservation recommendations for the development alterations at 18 Byron Ave E. as they relate to the Wortley Village-Old South HCD principles, policies and guidelines. Ultimately, the goal of the HIA is to ensure that the new additions maintain compatibility within the neighbourhood, as well as the visual streetscape and essence of the community within Wortley Village and Old South.

3. POLICIES AND TERMS OF REFERENCE

3. THE LONDON PLAN

The London Plan, Minister Approved, December 28, 2016, *'constitutes the Official Plan for the City of London, prepared and enacted under the authority of the provisions of Part III of the Planning Act, R.S.O. 1990, c. P.13. It contains goals, objectives, and policies established primarily to manage and direct physical change and the effects on the social, economic, and natural environment of the city.'*

The London Plan provides for provincial interest and is designed to include the requirements of the Provincial Policy Statement (PPS) 2014/2020. Section 24 of the Planning Act, R.S.O. 1990, c. P. 13, identifies that "no public work shall be undertaken and no by-law shall be passed for any purpose that does not conform with this Plan. This includes for approvals of planning and development applications such as official plan amendments, Zoning by-law Amendments, plans of condominium, site plans, consents to sever, and minor variances.

While 'The London Plan' is organized in nine (9) parts, Part 4 specifically outlines 'Cultural Heritage' in its City Building Policies. However other Parts, ie. Part 7 Secondary Plans contribute to the Planning Process and the preservation and integration of the City's cultural heritage.

The specific direction provided in The London Plan is to: *"Protect our built and cultural heritage, to promote our unique identity and develop links to arts and eco-tourism in the London region"* and *"Protect what we cherish by recognizing and enhancing our cultural identity, cultural heritage resources, neighbourhood character, and environmental features."*

The London Plan and its Policies apply to the proposed development site and there the preservation of the City's cultural heritage must align with these policies.

4. CITY OF LONDON - TERMS OF REFERENCE: HERITAGE IMPACT ASSESSMENTS AND HERITAGE CONSERVATION DISTRICTS

The proposed development for the property located at 551-555 Waterloo Street is being submitted for re-zoning as part of the Site Plan Application (pre-consultation), and as part of the application, a Heritage Impact Assessment is required.

City of London Heritage Impact Assessment

The City of London does not have specific Terms of Reference for the preparation of Heritage Impact Assessments. Generally, municipal Terms of Reference are based on Provincial Policy Statements' Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the PPS, and specifically Info Sheet #5. This document has provided the general terms of reference for this HIA.

City of London Heritage Conservation District - Wortley Village-Old South

The City of London maintains By-Laws to protect areas considered of high heritage value within the city boundary. These areas are known as Heritage Conservation Districts. The site at 18 Byron Avenue is located within a Heritage Conservation District (HCD) called the *Wortley Village-Old South Heritage Conservation District*. The City of London Designated the area under Part V of the OHA, By-Law L.S.P.-3439-321, June 1, 2015. A Heritage Alteration Permit (HAP) is also required to adhere to the Heritage Conservation District Plan and By-Law when a proposed development permit is made for a property within the district. Presently there are policies and guidelines that

3. POLICIES AND TERMS OF REFERENCE

have been implemented to conserve the HCD, with the primary goal of the HCD to retain the original street facades of the historic homes and other buildings. The historical and architectural ‘Reasons for Designation’ (and the district boundary) identified under Part A, Section 2.0 of the HCD Plan are important in highlighting the specific conservation and preservation requirements for the site located at 18 Byron Avenue. Part A, Section 3.0 includes the key Heritage District Goals, Objectives and Principles. District Policies (4.0), Municipal Policies (5.0), and Heritage Alteration Permits (6.0) are provided in the plan under Part B, as well as Implementation (7.0). Part C, Sections 8.0, 9.0, and 10.0 detail the Guidelines for Architectural Design, Conservation and Landscape Conservation and Design, respectively. Finally, Part D provides resources, such as Homeowner’s Brochure, Draft Heritage Alteration Permit Application and Glossary and Definitions and Information and Reference Sources.

A summary of the Heritage District Goals, Objectives and Principles are listed below, as an overview to help inform this HIA. Specific District and Municipal policies (listed under Sections 4.0 and 5.0 of the HCD) as they relate to the property at 18 Byron Ave will be further outlined in the report, and applicable Architectural Design Guidelines found under Section 8.0 of the HCD. For the complete document, refer to the Wortley Village-Old South Heritage Conservation Plan.

Heritage District Goals, Objectives and Principles - Wortley Village-Old South

Section 3.1 of the HCD outlines the Goals and Objectives for the area. There are five key areas of goals and objectives that provide the framework for the conservation of the HCD over the longterm, including the conservation approach and the guidelines. The goals are listed below.

Goals and Objectives

Overall Heritage Conservation District

Goal: Recognize, protect, enhance and appreciate Wortley Village-Old South’s cultural heritage resources, including buildings, landscapes and historical connections, and value their contribution to the community by:

- Identifying an HCD that incorporates the key historical, architectural and contextual attributes of Wortley Village-Old South;
- Encouraging the retention, conservation and adaptation of the HCD’s cultural heritage resources and heritage attributes, as described in the Study and Plan, rather than their demolition and replacement;
- Providing guidance for change so that the heritage attributes and cultural heritage value of the HCD is conserved, maintained and, wherever possible, enhanced; and
- Identifying and building community awareness of unique or significant heritage attributes and appropriate means of conservation.

Buildings

Goal: Avoid the destruction and/or inappropriate alteration of the existing building stock, materials and details by:

- Establishing policies and design guidelines to ensure new development and alterations are sensitive to the heritage attributes and details of the District and are based on appropriate research and examination of archival and/or contextual information;
- Strongly discouraging the demolition of heritage buildings and the removal or alteration of distinctive architectural details;
- Encouraging individual building owners to understand the broader context of heritage preservation, and recognize that buildings should outlive their individual owners and each owner or tenant should consider

3. POLICIES AND TERMS OF REFERENCE

themselves stewards of the building for future owners and users;

- Encouraging sensitive restoration practices that make gentle and reversible changes, when necessary, to significant heritage buildings;
- Encouraging improvements or renovations to “modern era” resources that are complementary to, or will enhance, the HCD’s overall cultural heritage value and streetscape; and
- Providing homeowners with conservation and maintenance guidelines and best practices so that appropriate conservation activities are undertaken.

Streetscape

Goal: Maintain and enhance the visual, contextual and pedestrian oriented character of Wortley Village-Old South’s streetscape and public realm by:

- Recognizing that the HCD’s cultural heritage resources includes streets, parks, trees, open spaces, street furniture, signs and all manner of items that contribute to the visual experience of the community, whether public or privately owned;
- Maintaining existing street trees, vegetation and boulevards and develop replacement programs where necessary to ensure tree canopy retention over time;
- Establishing a common ‘language’ of streetscape elements that will complement the heritage attributes of the HCD and create greater continuity where disparate land uses and built forms exist; and
- Identifying opportunities for interpretive features that can bring awareness of the HCD’s heritage attributes to residents and visitors.
- Providing guidance for the development of new buildings to ensure that new development is compatible with, and supportive of the cultural heritage value or interest and heritage attributes of Wortley Village- Old South HCD.

Land Use

Goal: Maintain the low-density residential character of the Wortley Village-Old HCD as the predominant land use, while recognizing that certain areas of the HCD already have or are intended for a wider range of uses by:

- Ensuring that appropriate Official Plan policies, designations and zoning regulations are in effect that support the residential community;
- Establishing policies that will consider and mitigate the potential impacts of non-residential or higher intensity residential uses on the cultural heritage value or interest of low-density residential areas;
- Developing area or site-specific policies and guidelines for those areas intended for non- residential or higher intensity residential uses that will protect heritage attributes, while allowing greater latitude for potential alterations or redevelopment; and
- Ensuring that infill development or redevelopment is compatible with the cultural heritage value or interest and heritage attributes, and pedestrian scale of the HCD.

Process

Goal: Ensure that the Heritage Alteration Permit approvals process for the Wortley Village-Old South HCD is effective, streamlined and easily understood by:

- Describing which types of alterations or classes of alterations will and will not require a Heritage Alteration Permit.

3. POLICIES AND TERMS OF REFERENCE

- Providing property owners with relevant information (e.g. - terminology, checklists, graphics, etc.) to simplify applications for Heritage Alteration Permits, when required;
- Identifying potential funding, grant or rebate programs that exist or should be considered that will assist homeowners in completing heritage-appropriate conservation activities; and
- Clearly establishing the roles and responsibilities of those involved in the approvals and decision making process.

Principles

The following principles from the Wortley Village-Old South HCD outline the overall path to conservation that should be considered, particularly in situations where the policies and guidelines of the HCD do not specifically address a situation or issue. The principles provide the backbone for the plan, offering fundamental direction in lieu of applying specific guidelines or policies from the HCD. These have been adapted from the principles of both the *Venice Charter for Conservation* (1964), and Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*.

Conserve the Historic Context - A cultural heritage resource or cultural landscape represents the individuals and periods from history that have been associated with it. The building or landscape records the original architect, landscape architect and builder's intentions as well as the historic forces that were at play when it was created or built. Subsequent alterations also record the historic context at the time of the alterations. It is appropriate to acknowledge that a building is both a functional enclosure and a vehicle for history, as a landscape is both setting and historical record. As such, historical context is to be considered when planning restorations, alterations or redevelopment.

Maintain and Repair - All cultural heritage resources and landscapes require some continuous methods of conservation and maintenance as they are exposed to the constant deteriorating effects of weather, wear from use, or succumb to their natural life span. Owners are encouraged to undertake appropriate repair and maintenance activities of heritage properties. Plans for alterations and restoration should also consider the amount and type of maintenance that will be required. All maintenance and construction activity should involve an appropriate amount of research and planning to avoid irreversible mistakes.

Find a Viable Social or Economic Use - Cultural heritage resources that are vacant or under-utilized come to be perceived as undeserving of care and maintenance regardless of architectural or historic merit. City Council and staff should actively encourage and support appropriate forms of adaptive reuse when necessary to conserve cultural heritage resources.

Conserve Traditional Setting - A cultural heritage resource is intimately connected to its site and to the landscape. Spatial organization, site circulation, viewsheds and individual designed elements form a setting that should be considered during plans for restoration or change. An individual cultural heritage resource is perceived as part of a grouping and requires its neighbours to illustrate the original design intent. When resources need to change there is a supportive setting that should be maintained.

Conserve Original Decoration and Fittings - A cultural heritage resource fits into its larger setting and at a smaller scale is the frame for the decorations and fittings that completed the original design. For example, the original exterior decorations such as bargeboards, veranda trim, wood, metal or brick cornices and parapets are all subject to weathering and the whim of style. Avoid removing or updating the style of these features or replacing them with poor reproductions of the originals. Their form and materials are an inextricable part of the original design

and should enjoy the same respect as the whole building. Where practical, fittings and equipment should be conserved or re-used.

Restore to Authentic Limits - Do not embellish a restoration and add details and decorations that would not have been part of the history of the landscape or cultural heritage resource.

Employ Traditional Repair Methods - Deteriorated elements and materials that cannot be salvaged should be repaired or replaced with the same materials and inserted or installed in a traditional manner. In some cases, some modern technologies ensure better and longer lasting repairs than traditional methods and should be employed if proven to be an improvement.

Respect Historic Accumulations - A landscape or cultural heritage resource is both a permanent and a changeable record of history. The alterations that have been made since the original construction also tell part of the history of the place and the resource. Some of those alterations may have been poorly conceived and executed and research may determine that they can be removed. Other alterations and additions may have merits that warrant incorporating them into its permanent history. In many cases, it is difficult and unrewarding to fix a point in history as the target date for restoration. It is more appropriate to aim for a significant period in the history of the building, but be flexible in accommodating more recent interventions that are sympathetic and have improved the historical or functional nature of the building. Respect does not mean rigid.

Make New Replacements Distinguishable - The construction eras and historical progression should be self-evident. Although new work should be sympathetic to the original and match or mimic as appropriate, it should not attempt to appear as if built as part of the original construction.

Wortley Village-Old South Heritage Conservation District Plan, ecoplans et. all

4. DESCRIPTION OF SITE

4.1 CITY CONTEXT + NEIGHBOURHOOD CONTEXT: WORTLEY VILLAGE-OLD SOUTH HERITAGE CONSERVATION DISTRICT

The site of 18 Byron Avenue is located in London, Ontario, approximately one block east of the Wharncliffe Road, in Old South/Wortley Village, on Byron Avenue. Byron Avenue runs east-west through the Wortley HCD; from Wortley Road, the avenue runs west across Wharncliffe to the west side, terminating at Orchard Street in the area known as The Coves. The property is located on the north side of Byron Avenue, across from Victoria Public School (on the south side). There are residential properties located to the east, north and west, all of which are designated within the Wortley Village-Old South HCD.

The site is located within the Wortley Village-Old South Heritage Conservation District, designated Part V of the OHA, under By-Law L.S.P.-3439-321, June 1, 2015. Wortley Village-Old South is considered to be one of the most significant areas within the City of London, and an area of high heritage value, encompassing a village character that is independent of the larger City context. Here there is a large proportion of residences constructed between circa 1850-1930 that are well preserved. There are also several significant commercial, retail, civic and institutional properties, and public spaces, particularly along Wortley Road. As described in the HCD, the boundary includes, "Horton Street and Thames Park to the north and to the properties located along Duchess Avenue and Tecumseh Avenue East to the south. The western boundary of the HCD follows the back property line of the properties fronting Wharncliffe Road South, while the eastern boundary jogs to incorporate properties fronting Ridout Street South from Ingleside Place to Elmwood Avenue East, where the boundary then turns to the west to follow the back of the properties fronting Ridout Street." (ecoplans et al, 2014, p7)



Image 1: City Context Map. Basemap: Google Earth, 2021.

4. DESCRIPTION OF SITE

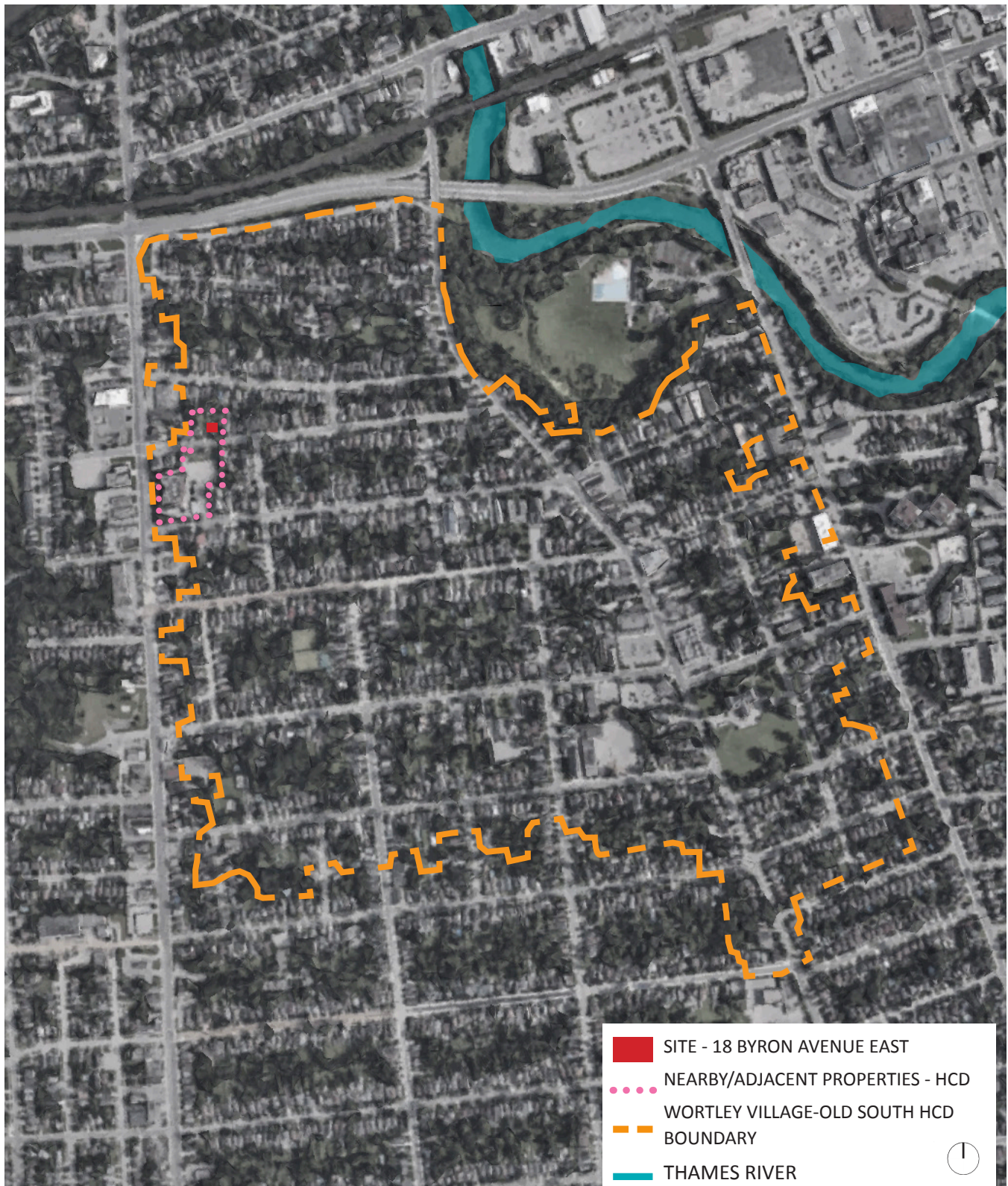


Image 2: Neighbourhood Context Map. Basemap: Google Earth, 2021.

4. DESCRIPTION OF SITE

4.2 SITE + PROPERTY CONTEXT

Existing Site - 18 Byron Avenue East - C Rating

18 Byron Avenue East, lot #34, is located on the north side of Byron Avenue, across from Victoria Public School (on the south side). There are residential properties located to the east, north and west, all of which are designated within the Wortley Village-Old South HCD. Currently the property houses the original one-storey residence and adjacent detached single-car garage and double driveway. Walkways comprised of concrete sidewalk slabs connect the house to the garage and also lead north into the yard. The house was constructed between 1883 and 1889 by James O'Donnell and is the only house built on the lot. It was built in the vernacular style. Currently, the house is clad in a yellow-tone vinyl siding and the trim details are painted chocolate brown. The roof is comprised of brown asphalt shingles and the double-hung sash windows appear to be vinyl. The front porch extends the width of the house from east to west and a covered awing projects from the roofline sloped by triangular pediments that frame the east and west ends. Some original doors, windows, trimwork, and decorative elements may still be present on the property, while others appear to have been replaced with modern versions, such as the windows, siding and roofing material.

The lot is approximately 700 square meters, in a rectangular form with a deep yard and bounded by a fence on the north, east and west sides, with mature trees along the perimeter. The existing footprint of the one storey house and garage is approximately 115.26 square meters.

The site is currently zoned as R2-2. The property is owned by Mr. Scott Thomson. The property at 18 Byron Ave E is not designated under Part IV of the OHA, but is listed as a C-Rated property on the City of London's Register of Cultural Heritage Resources and in the HCD, and is designated under Part V of the OHA as part of the Wortley Village-Old South Heritage Conservation District.



Image 3: 18 Byron Avenue East, Front/South Elevation (present day). Note one storey massing, form, and covered porch with triangular pediment above the entrance steps to the porch as well as original location of double-hung sash windows, and wooden deck. While some original features appear to remain, many have been replaced, such as openings, roofing and cladding. Source: Google Streetview, 2021.

4. DESCRIPTION OF SITE

Nearby/Adjacent Properties - A + B Rating

There are a few properties located adjacent to 18 Byron Ave E., that are designated as part of the HCD, and considered of heritage value. These properties have views from their side elevations to the existing site: 16 and 22 Byron Ave E. 16 Byron Ave E. is listed as a B-rated property on the City of London's Register of Cultural Heritage Resources, while 22 Byron Ave E. is listed as an A-rated property on the same register, and both are designated as part of the Wortley Village-Old South Heritage Conservation District, under Part V of the OHA. The two properties are historic residences built in the vernacular style, serving as either single-family and/or multi-tenant spaces. These two properties are of particular importance due to their close proximity and direct adjacency to 18 Byron Ave E.

Nearby/Adjacent Properties (Opposite Side of Byron Avenue East) - B Rating

There is also one property located opposite 18 Byron Ave E., on the south side of the street that is included within the context of the site description, as the property is directly across from the proposed site. This property is Victoria Public School, listed as a B-Rated property within the HCD and on the City of London's Register of Cultural Heritage Value, and designated under Part V of the OHA. 18 Byron Ave E. can be seen from the rear of Victoria Public School and because of the size of the property and its prominent location, should be considered.

A site map identifying the nearby/adjacent properties in context of the existing property is provided below, as Image 4.

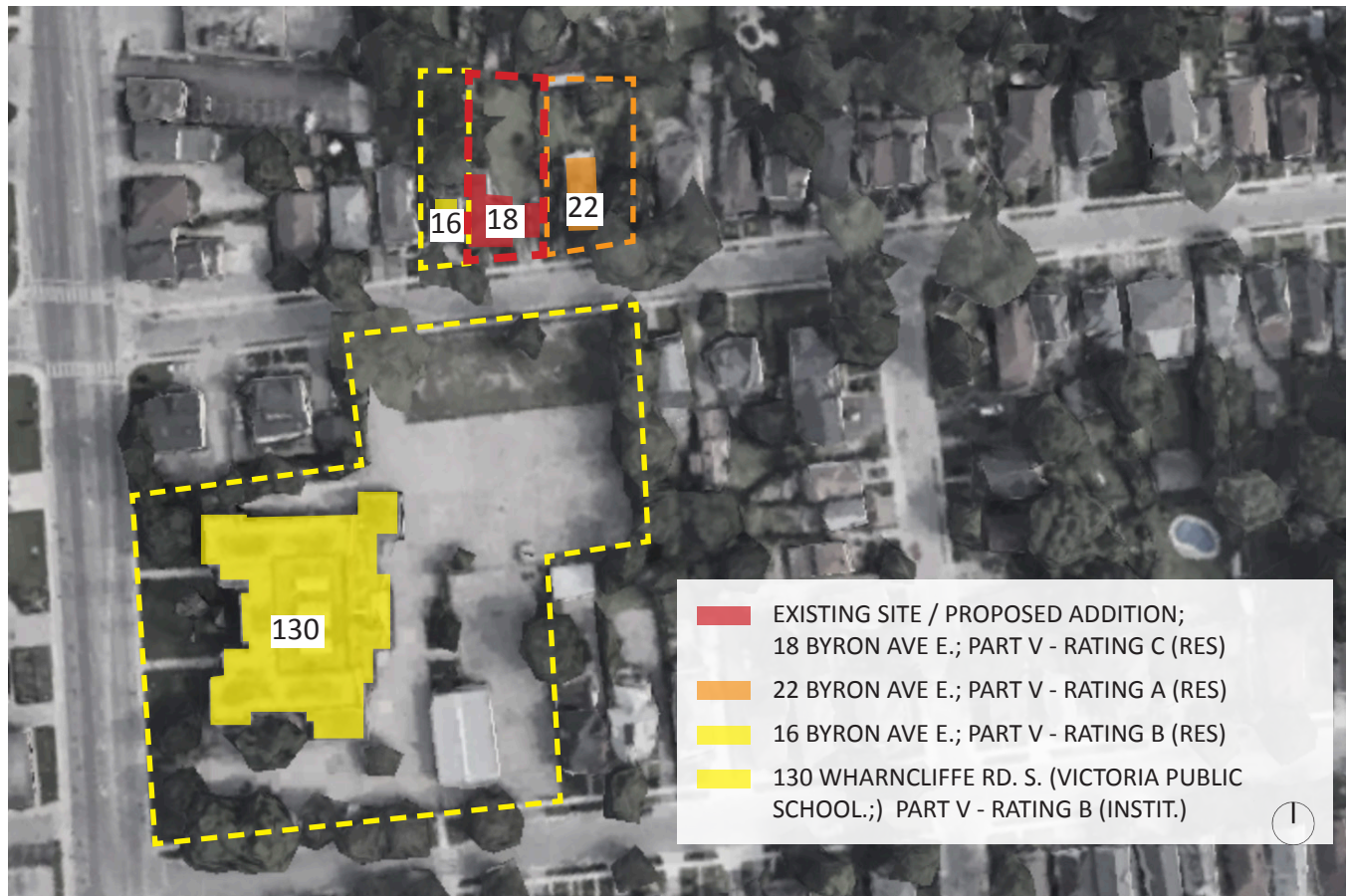


Image 4: Site + Property Context Map. Basemap: Google Earth, 2021.

5. HISTORICAL CONTEXT

5.1 NEIGHBOURHOOD HISTORICAL VALUE - WORTLEY VILLAGE-OLD SOUTH HERITAGE CONSERVATION DISTRICT (PART V, OHA)

The following Heritage Character Statement has been included in italics below, taken directly from the Wortley Village-Old South Heritage Conservation District Plan.

5.1.1 HERITAGE CHARACTER STATEMENT

Historic Character

The area encompassed within the HCD has a long history as a residential suburb of London with an independent village character. This history is reflected in the concentration and stylistic mixture of historic properties dating from the area's formative years between circa 1850 and 1930. These generally well preserved historic homes and institutional buildings, along with the rather haphazardly incremental character of the Wortley Road commercial centre, give the area both visual and cultural distinctiveness required for an HCD.

From the time of London's founding just north of the Thames River, the area immediately south of the river, then in Westminster Township, functioned as a residential appendage to its more urban neighbour. First a pastoral home for the country estates of some of London's more privileged citizens, it gradually became a middle class suburb dominated by notably large houses built by the city's more successful entrepreneurs and stylish homes of a moderate size built to accommodate its successful civil servants and artisans; an Advertiser article dating from 1888 praised its "splendid residences," "fine views," and "magnificent grounds." By this time a process of intensification had begun which was to accelerate during the next half-century: one storey cottages began to proliferate along with more substantial two storey homes, all in then fashionable styles and usually on smaller lots as the older holdings were further subdivided. The lands within the boundaries of the HCD generally held recognizable suburban streetscapes by 1915 and had mainly achieved their present built form before World War II.

Commercial enterprises, mainly designed to cater to neighbourhood needs, began to be interspersed with homes along Wortley Road in the early 1870s. The HCD took on a more dominant commercial character during the second half of the twentieth century, with the interposition of more businesses, more large-scale buildings and, especially in recent decades, more enterprises seeking a city-wide clientele. Commercial activity developed somewhat later along Wharncliffe Road, to the west of the HCD, and catered earlier to citywide businesses depending on vehicular transport; buildings along Ridout Street, bordering the HCD to the east, are still largely residential.

With the exception of the modest Wortley Village Commercial Area, the surrounding neighbourhood has remained insistently residential. Most institutional and landmark buildings such as schools and churches were designed to service area residents. The most striking exception is the former Normal School, designed to educate teachers within the entire London region. It is perhaps somewhat ironic, therefore, that this impressive building has come to serve as the logo and its grounds as the gathering place for the Old South Community Organization.

Despite the fact that much of the area south of the Thames River was annexed to the City of London in 1890, Old South has retained a strong sense of its individual identity, and the Wortley Village area still serves as its focal point and gathering place. While most of the residential neighbourhood within the HCD is characterized by a high degree of architectural authenticity, the commercial strip along Wortley Road is a somewhat untidy mixture of altered residences and of old and new purpose-built structures built to differing scales. Unplanned and accidental as it appears, this very informality seems to foster the relaxed atmosphere that makes Wortley Village the social and commercial hub of the extended neighbourhood it serves and an increasingly inviting venue for the city beyond.

5. HISTORICAL CONTEXT

Architectural Character

The architectural character of the HCD is established by the recurring use of consistent building materials, forms and details in the majority of the properties within the HCD. That character is to some extent shared with neighbouring areas of London that were built at the same time using similar materials and craftsmanship, but is also unique to the Wortley Village-Old South HCD, like a fingerprint or snowflake, with a combination of buildings and landmarks not repeated anywhere else. The building form and details are largely dictated by Victorian tastes, although there are many examples of other architectural styles.

Where there are exceptions to the consistent pattern, the exceptions are either not significant enough to detract from the prevailing pattern, or are noteworthy because of their added appeal to the architectural assets of the HCD.

The architectural character of the area is strengthened by the significant, large buildings forming the commercial area along Wortley, and the concentration of churches, schools and the London Normal School all close to the Wortley Road commercial area to form a visual core of landmark buildings. It is significant also that these major landmark buildings are all of the same vintage as each other and of the surrounding residential properties. The design details that embellish the exterior of the landmark buildings are repeated, sometimes in less grand scale, in the houses.

There is a slight concentration of the most significant buildings in the core area near Wortley Road, however, the presence of Victoria Public School on Wharncliffe provides a landmark bookend to identify the architectural and community western boundary to the HCD.



Image 5: Views of the London Normal School from Wortley Road Circa 1920. The LNS is located just southeast of Wortley Road and the main village along Elmwood Ave. Source: Canada's Historic Places. London Normal School. <https://www.historicplaces.ca/en/rep-reg/place-lieu.aspx?id=8871>. Retrieved 2021.

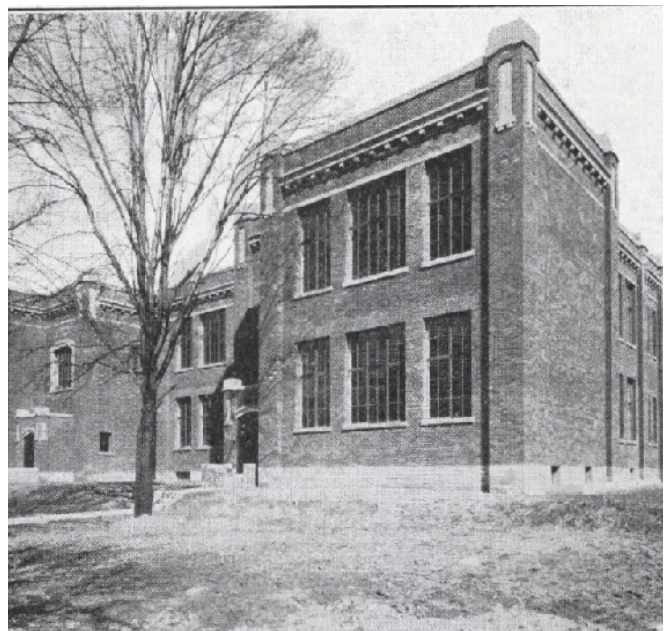


Image 6: Views of Victoria Public School at the west end of Askin Street, Circa 1922. Source: TVDSB - Victoria Public School. <https://victoria.tvdsb.ca/en/our-school/about-us.aspx>. Retrieved 2021.

5. HISTORICAL CONTEXT

Streetscape Heritage Character

With its grid of linear streets and generally consistent building scale and setbacks, there is a strong rhythm and coherent character within the streets of Wortley Village-Old South HCD. While the maturity and size of trees found on public property vary from large and majestic, to newly planted specimens, the combination of trees in the public realm and those that exist on private property contribute greatly to the leafy canopy lining the streets of the HCD; this combination of public and private trees gives most of the streets within the residential areas of the neighbourhood a generally enclosed feeling and contributes to the comfortable and friendly pedestrian environment of the neighbourhood.

Yards are well maintained with gardens and foundation plantings, trees and other landscape features including fences, hedges and pillars to delineate private space. The HCD contains a variety of open spaces, from the long standing neighbourhood parks located on Duchess Avenue and Victor Street, which provide green space for the local community, to the historical grounds associated with the Normal School and the Elmwood Lawn Bowling Club; there are also the gardens connected with many of the church properties, which offer smaller, more intimate places of outdoor refuge.

The exception to the consistent streetscapes within the HCD lies along Wortley Road itself. As the commercial spine of the village, it differs in use and appearance to the residential fabric of the neighbourhood. The commercial core is, however, congruent with the rest of the HCD in terms of its scale, its sense of place and its comfortable pedestrian character.

Overall, the Wortley Village-Old South HCD is rich with historical, architectural and landscape treasures that contribute to the cultural heritage value or interest of the HCD. The HCD has benefited from residents that highly value the history and the character of their neighbourhood, and the pride that they hold for their homes and their village is evident within its streetscapes. Change is, however, inevitable, and changes to built form and the streetscape have occurred for a number of reasons including adaptive re- use, infill, and utility upgrades; while often times these changes are sensitive to the cultural heritage value or interest of the HCD, there are also examples where the cultural heritage value or interest has been greatly altered and even lost. By designating the area as the Wortley Village-Old South HCD, valuable heritage resources can be both conserved and interpreted while still allowing for the necessary and appropriate evolution of the neighbourhood in a manner that links the past, present and future.

5.1.2 KEY HERITAGE ATTRIBUTES OF THE DISTRICT

The following list of key attributes for residential properties is extracted from Section 8.2 Heritage Attributes of the Wortley Village-Old South Heritage Conservation District Plan. These are referenced in reviewing the heritage character of the property at 18 Byron Ave E., and nearby/adjacent properties in the following Sections 5.2 and 5.3 of this report.

- Building Form, Massing, Height, Width and Visible Depth
- Building Setting on Property
- Architectural Style
- Building Facade Elevation Layout and Shape, Projections and Reveals
- Porches
- Roof Style, Chimneys, Dormers, Gables, Eaves, Soffits and Turrets
- Windows, Doors and Accessories
- Building Materials, Textures, and Colours

5. HISTORICAL CONTEXT

5.1.3 HCD HISTORICAL VALUE - RATING SYSTEM

The Wortley Village-Old South Heritage Conservation District Plan provides the necessary references to help frame the understanding of the value of the property at 18 Byron Ave E., and nearby/adjacent properties, in relation to the HCD in a historical, architectural and streetscape context. The HCD also outlines the rating of each property within the district, using a scale of A, B, C and D. Properties listed as A or B meet at least one of the following criteria: maintain high heritage value, are designated under Part IV of the Heritage Act, or Listed on the Municipal Register of Cultural Heritage Resources, retain a fine level of architectural style and merit, exhibit unique qualities and details, are associated a significant event, person or storey, or contributes to the streetscape because of its sequence, grouping or location. The also have many of the key heritage attributes identified in Section 5.1.2, and are generally in good condition and well-maintained, even though they may not be individually designated under Part IV of the OHA. Properties with a C-Rating include buildings whose form and massing are historical as a part of a family of buildings, or the building is a good example of a modest design that is found repeated throughout the area. Finally, D-Rating includes those buildings in which the heritage qualities have been irreversibly lost or covered, or the original design lacks architectural merit to contribute to the HCD. This rating system helps to understand the historical value of 18 Byron Ave E., and of the nearby/adjacent properties in the context of heritage attributes and the contribution to the overall value of the Wortley Village-Old South HCD.

5.2 PROPERTY HISTORICAL VALUE: 18 BYRON AVENUE EAST (PART V, OHA)

5.2.2 BRIEF HISTORY OF THE PROPERTY

According to the Archaeological Assessment of the property by Thomas G. Arnold and Associates, the property was originally owned by John Baptiste Askin. He had several children, including Charles James Stuart Askin, a prominent doctor and medical surgeon to whom his father bequeathed their lands upon his death. He subsequently subdivided the area into streets and buildings lots establishing the neighbourhood and the original name of Byron Avenue East was called Alma Street. Simpson Hackett Graydon, a barrister and councilor with the city completed the project for CJS Askin, and was then deeded parts of lot 4 (including now 18 Byron Ave E.). As per the report, "On June 17, 1872, he registered the plan of subdivision now known as Registered Plan 300. The study area is located on lot 34 of this plan. On July 17, 1872, twenty-two year old James O'Donnell purchased all of lot 34 on Plan 300 from Simpson H. Graydon (Table 1: Deed 11826 [of the Archaeological Report]). It was O'Donnell who eventually built the dwelling located today at 18 Byron Avenue East." (Arnold + Associates, 2021, p4)

The property has changed hands several times since the original home was constructed, having been deeded to children and then nieces of James O'Donnell, and then sold to new owners multiple times, and even rented out. Its was purchased by Scott Thomson on June 17, 2016 and he remains as the current owner.

5.2.3 HERITAGE CHARACTER + ATTRIBUTES

The property located at 18 Byron Ave E. is rated as level C in terms of significance within the HCD and on the Register. Because it is not designated under Part IV, it is likely that the massing and form of the building at 18 Byron Ave E., highlights its program as a small cottage-like vernacular home typical of many modest residential homes found Byron Ave and in the area constructed in the late 1800's, and contributes to the overall streetscape of the HCD of Wortley Village-Old South because of its general architectural merit and its sequence, grouping or location, along the street.

5. HISTORICAL CONTEXT

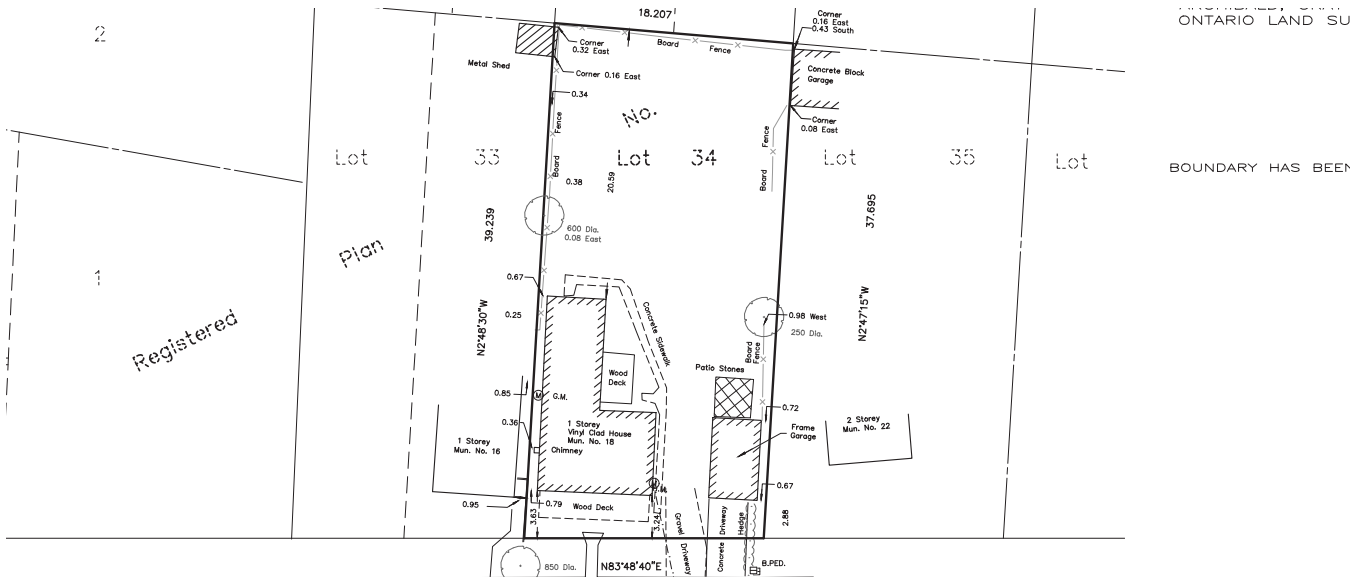
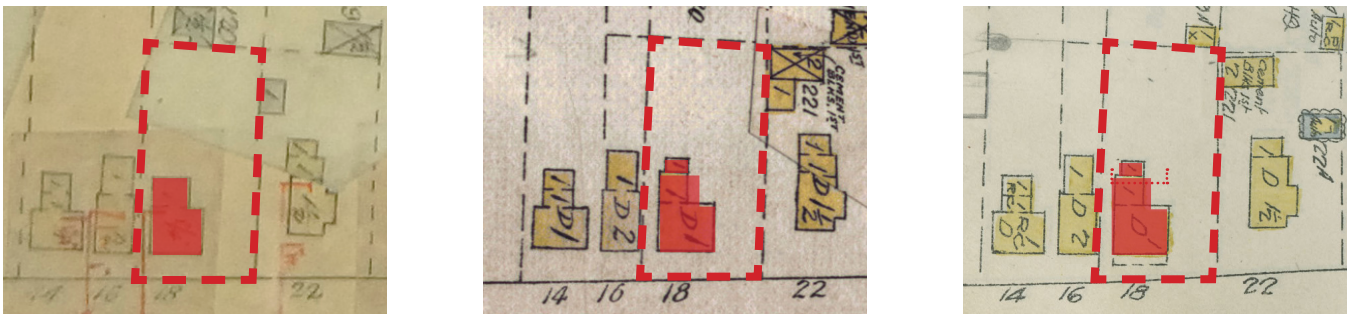


Image 7: 18 Byron Avenue East, existing site plan lot #34, showing location of the original one-storey residence and detached single garage (added later). Source: AGM Plan, Survey, Engineer. October 2020.

The residence maintains some of the key architectural characters of the district, as identified in Section 8.2 Heritage Attributes of the Wortley Village-Old South HCD plan. These include the form and massing (of a one storey, cottage-like residences) set in line with other, adjacent properties, the covered porch, simple wood details, small triangular pediment above the entrance, hipped roof, and window forms, style and details. The front porch dates to 1922, and extends the width of the house from east to west and a covered awing projects from the roofline sloped by triangular pediments that frame the east and west ends. The decking may be original along with some original doors, windows, trimwork, and decorative elements may still be present on the property, but the majority appear to have been replaced with modern versions, such as the windows, siding and roofing material, leaving the form as the major contributor to the HCD. The detached garage also appears to be original to the property but does not appear until 1922 and so was added after that time.

Refer to the Fire Insurance Maps below from Western University Archives (Images 8, 9, and 10), that indicate the presence of the home in 1907 as originally built by James O’Donnell in the earl 1880’s.



Images 8, 9 + 10: Fire Insurance Plans 18 Byron Ave E., 1892 (Rev 1907) , 1912 (Rev 1915) and 1912 (Rev 1922). Note that based on these records, the residence only included a smaller addition to the rear in 1892 and a second smaller addition added by 1922. A wooden covered porch (small dotted line) was also added by 1922. The garage does not appear on these plans, indicating it was added after 1922. Dashed red line indicates property boundary, and red blocking indicates building at 18 Byron Ave E. Source: Courtesy of Western University Archives, downloaded Dec 2021.

5. HISTORICAL CONTEXT

5.3 NEARBY/ADJACENT PROPERTIES HISTORICAL VALUE (PART V, OHA)

As noted previously, there are a few significant A-Rated and B-Rated properties located adjacent or opposite 18 Byron Avenue East, and listed on the Register; 16 Byron Ave E., 22 Byron Ave E. and 130 Wharncliffe Road S. (Victoria Public School). Their value must be considered in context of the historical value of the HCD and because of their vicinity to the property proposed to be developed at 18 Byron Ave E.

Refer to Image 3 for the site map indicating the location of the properties identified, their Rating as either A and B as part of the HCD (under Section 4.0 Description of Site), and their designation.

5.3.1 HERITAGE CHARACTER + ATTRIBUTES

The properties located at 16 and 22 Byron Ave E. are rated as B and A, respectively, in terms of significance within the HCD and on the Register. The property at 130 Wharncliffe Road S. maintains a B-Rating in terms of its value within the HCD and on the Register. Although listed on the Municipal Register of Cultural Heritage Resources for their heritage character as part of the HCD (Part V, OHA), none of the aforementioned properties are designated under Part IV. Therefore it is likely that the properties are significant because they maintain many of the key characteristics of the district, as referenced in Section 8.2 Heritage Attributes of the Wortley Village-Old South HCD Plan.

It is likely that the age, massing and form of the building at 16 Byron Ave E. (1891), along with the architectural style as a two-storey vernacular home with well-maintained details along the exterior of the home regard it as warranted of a B-Rating, contributing to the overall streetscape of the HCD of Wortley Village-Old South. The home appears to be well kept and maintained, with several original features and details remaining. Similarly, the residence at 22 Byron Ave E. (Circa 1891) is in equally, if not better condition than 16 Byron Ave E., and maintains an excellent level of heritage value with many of its original features and details of a true vernacular-style home still intact. Decorative woodwork along the gable roofline and the triangular pediment above the entrance on the covered porch are in great condition and appear to be original, along with the cladding. Further, the landscaping along the front of the property is well maintained. Hence, this property has an A-Rating within the HCD for its architectural merit and contribution to the streetscape.

Finally, 130 Wharncliffe Road is considered within this report because of its prominence as a B-Rated Institutional Building within the community, service as Victoria Public School. The school is located along Wharncliffe road, but serves as the most westernly civic landmark to the village and is flanked by both Askin Street and Byron Ave E. The building was constructed in the Collegiate Gothic style in 1922, making it older than the other nearby heritage properties. The form, massing, details, uniqueness, scale, use of brick and stone, and significance as one of the earliest schools in the area warrants its B-Rating within the HCD. Its rear yard plays an important role in creating open space within the western edge of the HCD.

Refer to Image 11 on the following page, for the listing on the Register of Cultural Heritage Resources. Individual images with descriptions of the key heritage value of each property have also been provided after the Register excerpt as Images 12, 13, and 14.

5. HISTORICAL CONTEXT

EXISTING SITE - 18 BYRON AVENUE EAST - C RATING

Row	Street Name	Address	Year Built	Architectural Style	Individual Designating By-law	Interior Attributes	Plaque	Heritage Conservation District	Designating By-Law	Rating	Property Name or Comment	Cultural Heritage Status	Alternate Addresses on the Property	Force and Effect Date
529	Byron Avenue East	18 Byron Ave E	1881					WV-OS	L.S.P.-3439-321	C		Part V Designated		June 1, 2015

NEARBY / ADJACENT PROPERTIES - A + B RATING

Row	Street Name	Address	Year Built	Architectural Style	Individual Designating By-law	Interior Attributes	Plaque	Heritage Conservation District	Designating By-Law	Rating	Property Name or Comment	Cultural Heritage Status	Alternate Addresses on the Property	Force and Effect Date
528	Byron Avenue East	16 Byron Ave E	1891					WV-OS	L.S.P.-3439-321	B		Part V Designated		June 1, 2015
530	Byron Avenue East	22 Byron Ave E	1891	Vernacular				WV-OS	L.S.P.-3439-321	A		Part V Designated		June 1, 2015

NEARBY / ADJACENT PROPERTY (SOUTH/OPOSITE SIDE OF BYRON AVENUE) - B RATING

587	Wharncliffe Road South	130 Wharncliffe Rd S	1922	Collegiate Gothic				WV-OS	L.S.P.-3439-323	B	Victoria Public School	Part V Designated		March 26, 2007
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Image 11: Excerpts from Register of Cultural Heritage Resources, City of London, 2021.

HERITAGE IMPACT ASSESSMENT
18 BYRON AVENUE EAST, LONDON, ON

a+LiNK Architecture Inc.

5. HISTORICAL CONTEXT



Image 12: 16 Byron Ave E. South Elevation. Google Streetview, 2021.

16 BYRON AVE E.

Designation: PART V OHA (HCD), B-RATING

Date: Constructed 1891

Form/Massing: Two storey gable roof

Architectural Style: Vernacular/Mixed

Character Elements: Decorative wood gables + details with quarter circle fan at gable peak; trim work around cladding, above door and inset/recessed covered porch appears original; some windows appear original: stained glass above ground level main window and sidelight above entrance door.

Contribution to HCD: Architectural and Contextual value to streetscape of Byron Ave E. and HCD



Image 13: 22 Byron Ave. E., South Elevation. Google Streetview, 2021.

22 BYRON AVE E.

Designation: PART V OHA (HCD), A-RATING

Date: Constructed pre 1891

Form/Massing: Two storey, cross gable roof

Architectural Style: Vernacular

Character Elements: Horizontal wood cladding, Decorative wood gables + details with arched fan at gable; trim work original throughout exterior facade; wooden covered porch with original doric columns and triangular pediment above entrance, wood decking, double-hung sash window on second storey appear, sidelights above and around entrance door

Contribution to HCD: Architectural and Contextual value to streetscape of Byron Ave E. and HCD



Image 14: 130 Wharncliffe Road S. (Victoria Public School), West Elevation. Google Streetview 2021.

130 WHARNCLIFFE ROAD S.

Designation: PART V OHA (HCD), B-RATING

Date: Constructed 1922

Form/Massing: Two and a half storey, flat roof with pilasters at corners, rectangular plan

Architectural Style: Collegiate Gothic

Character Elements: Red brick with decorative sandstone elements above windows and along roofline; arched windows and door openings, repetitive brackets along roofline, sandstone foundations, windows are not original but in keeping with style

Contribution to HCD: Architectural and Contextual value to streetscape of Wharncliffe Road S., Byron Ave E. and Askin Street; and HCD

6. PROPOSED DEVELOPMENT

6.1 PROPOSED DEVELOPMENT

The observations of this HIA are developed from the proposal documents for 18 Byron Avenue East, prepared by Third Layer Architects for the client, Mr. Scott Thomson. The proposal is seeking to allow for a renovation/addition in the form of a first (ground) and second storey addition, as well as a second garage connecting the current location of the detached garage, establishing an attached, two-car garage. The addition will also include an extension to the back of the house, and a rear porch. The overall usable space will be increased on the ground and second stories. The surrounding area is currently and historically comprised of single family and multi-residential dwellings, as well as some residences that have both been added to and renovated into larger homes. Others have been converted into commercial and retail spaces, while many have been adapted to commercial use, particularly within the corridor of Wortley Road (the village). Several properties within the Wortley Village-Old South HCD have utilized renovations/additions as a sensitive avenue to achieve enlarged homes within the district. The following outline provides the key concepts for the proposed design and addition for the property at 18 Byron Avenue East.

6.1.2 DESIGN CONCEPT - 18 BYRON AVENUE EAST

The proposed development combines the existing one storey residential home located within the Wortley Village-Old South Heritage Conservation District, with the existing detached single-car garage to the east of the home, by way of an addition on the first (ground) floor and the second floor. The renovation and addition proposes to retain the original foundations of the house, and fill in the connecting area with a new basement slab at the lower (basement) level. The main level will include the footprint of the original house, but the roof and the rear (north) elevation of the original house will be removed to accommodate the addition of the second storey and the addition to the north; a lounge and office will be included within the footprint of the original residence, while the main living/dining/kitchen and services, as well as staircase to the second level will be included in the rear addition. The stairs are located to the west side of the rear addition, and provide access to the second storey. The second storey proposes four separate bedrooms, including a primary bedroom, and a laundry room. All bedrooms upstairs will have en-suites. The total building area of the proposed project, including the existing house, addition and renovation is approximately 376 square meters.

On the exterior, the south elevation (front elevation) combines the original one storey residence with the proposed addition on the ground level and second storey. The addition and original house are tied seamlessly together through a brick base around the house up to three feet, with the remaining facade clad in white cedar wood siding. The existing front porch will remain in-situ, including the triangular pediment above the entrance steps to the porch; brick will be added to the supporting columns, and a new wood railing/guard provided around the porch replacing the existing modern metal railing/guard that is not original. Location of door and windows will be retained, but the windows and doors will be replaced with modern versions of the original style - double hung sash windows with grills. New shingles will be provided to “match existing”.

The existing garage will be retained in situ, and connected to the addition via the second garage (inserted between the existing garage and the original residence). The west and south walls of the garage will be removed to connect it with the second garage to the west, and to the house to the north through the mudroom. The exterior will be clad in white cedar wood siding to match the rest of the south facade. A double-lane driveway will be provided to accommodate the new two-car garage. A new square window will be provided to match the existing location of the window screen above the current garage.

The rear elevation includes a new covered porch and second storey windows that are similar to those found on the front elevation. The first storey of this north elevation includes five sets of glass windows that carry to the

6. PROPOSED DEVELOPMENT

floor. It is assumed that these will be doors. The rear addition will not be visible from the street. The distance from the rear addition to the houses behind the property to the north is significant, such that the rear addition will not negatively impact the views from those properties or from Euclid Ave to the north. The addition will be visible from east and west along Byron Ave E., from 16 Byron Ave E., and from 22 Byron Ave. E. The addition will be directly adjacent to the property at 16 Byron Ave E. It will also be visible from the rear school yard of Victoria Public School.

The addition will be sensitive to the existing residences and constructed in a way that is both subordinate to, and compatible with, the original property and nearby/adjacent properties. The massing of the addition aligns with the neighbouring two-storey residences to the east and the west. The massing is also consistent with that of the neighbourhood context in regards to elevation similarities, treatment of roof heights and existing site limitations/setbacks from the street. The design endeavours to use materials and colours that are common to the district, while also connecting the old with the new. The principle exterior cladding of the addition is horizontal cedar wood siding to maintain the existing architectural vocabulary of the original residence as well as the adjacent and nearby residences, and expressed in a white colour to align with many of the nearby properties that maintain lighter cladding. and blend into the background/rear of the property. The trim colours of the newly painted original residences will carry onto the addition to draw consistency between the two. Ultimately, improved streetscape presence, vibrancy and harmony with the HCD are conceptual goals within the proposed development.



Image 15: Site Plan of Proposed Addition/Renovation, 18 Byron Ave E. Green shaded area indicates new footprint of proposed residence (not include front and rear porches). Red dotted lines indicate location of original house and garage to be incorporated within the proposed addition and connected to create one larger residence. Diagram prepared by a+LiNK architecture inc (2021).

Sources; Basemap: Google Maps, 2021. Site Plan Drawing: Third Layer Architects, 2021.

6. PROPOSED DEVELOPMENT

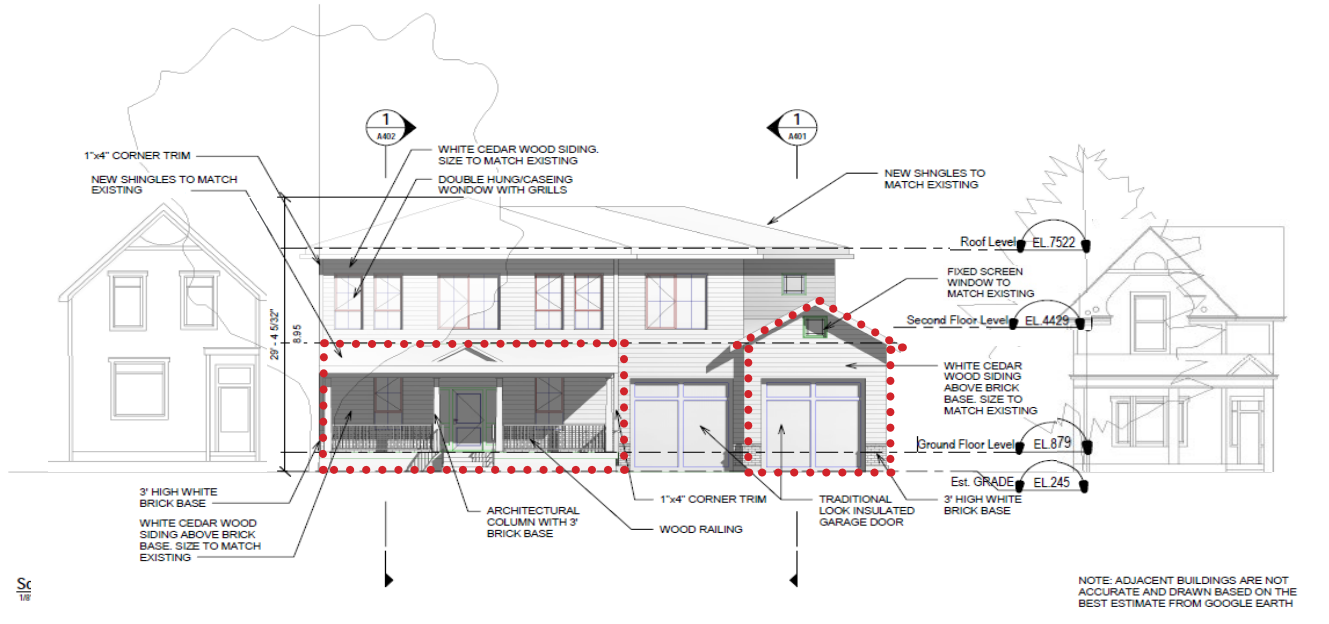


Image 16: Front/South Elevation. Red dotted lines indicate existing outline of original house and garage to be incorporated into proposed addition/renovation. Drawing by Third Layer Architects, 2021.

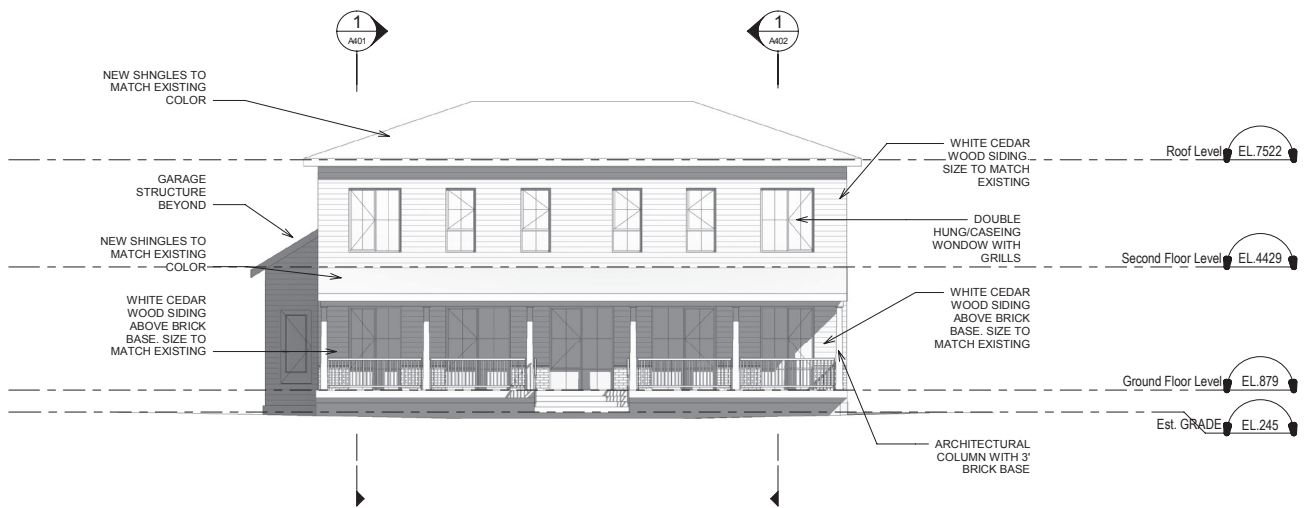


Image 17: Rear/North Elevation. New Addition at rear. Drawing by Third Layer Architects, 2021.

6. PROPOSED DEVELOPMENT

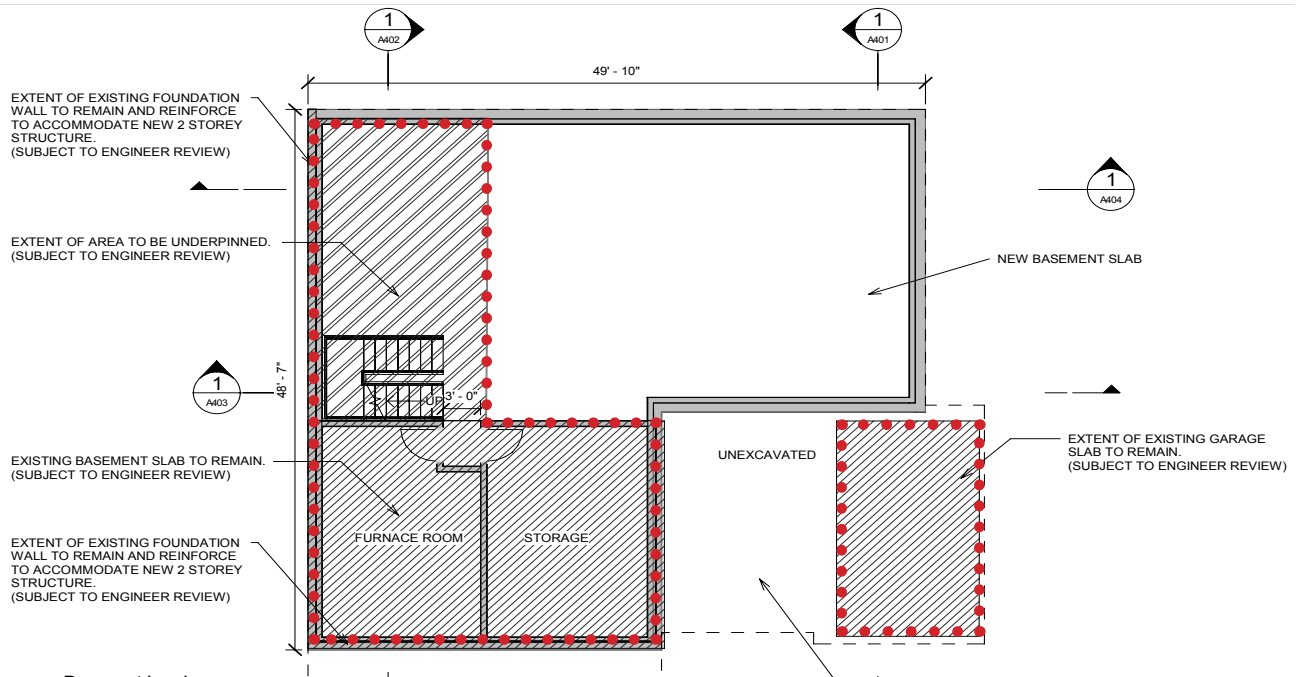


Image 18: Basement/Lower Level Floor Plan. Red dotted lines indicate existing footprint foundations to remain as part of proposed addition/renovation. Drawing by Third Layer Architects, 2021.

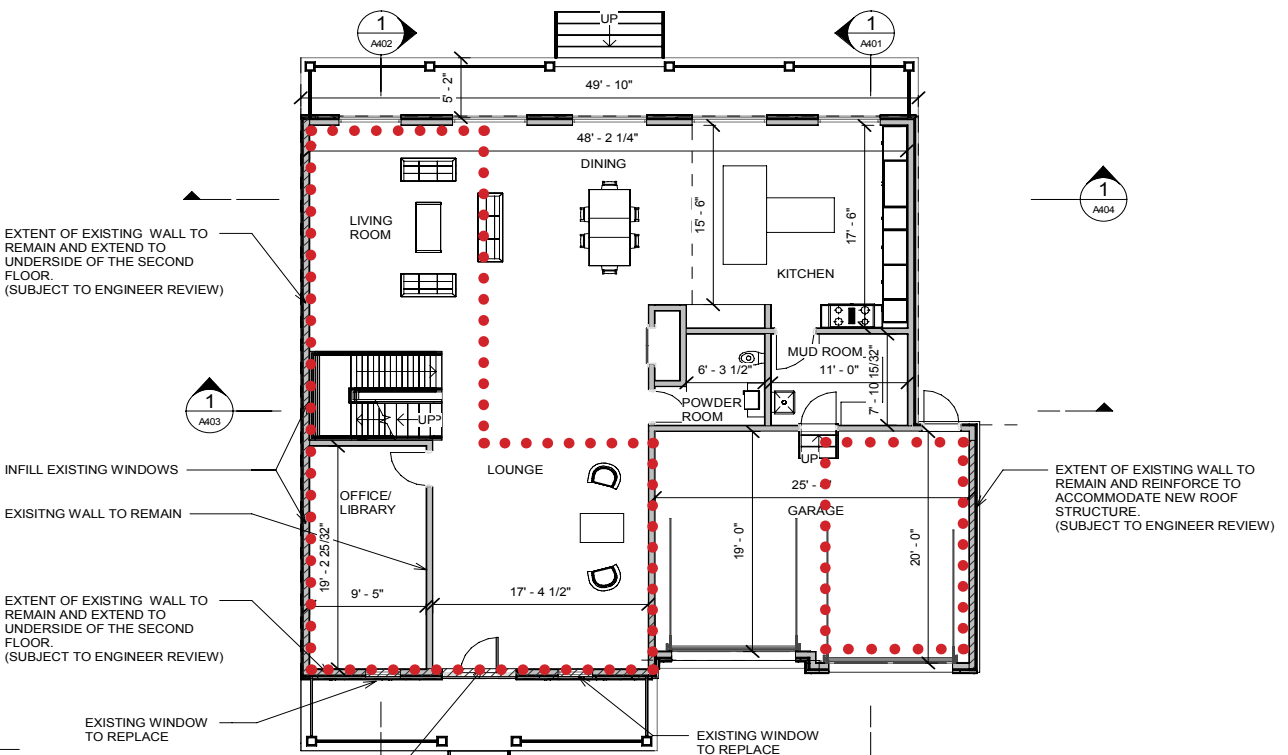


Image 19: Ground/First Level Floor Plan. Red dotted lines indicate location of original residence (footprint) to be incorporated into proposed addition/renovation. Drawing by Third Layer Architects, 2021.

6. PROPOSED DEVELOPMENT

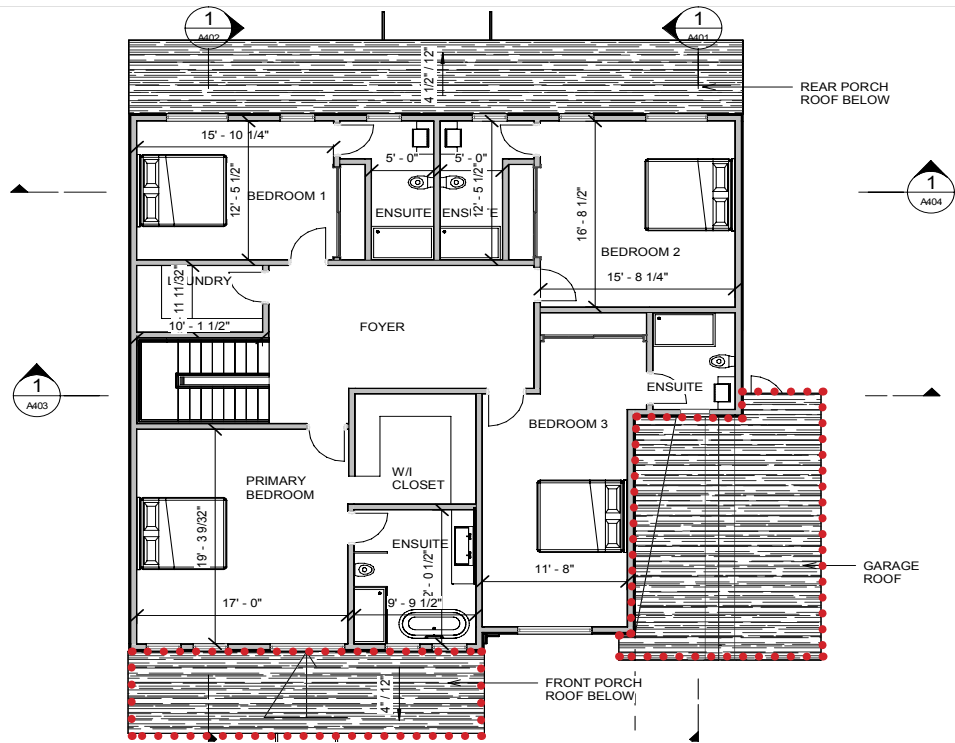


Image 20: Second Storey Floor Plan. New Addition. Red dotted line indicates location of existing roof of front and garage to be incorporated into addition/renovation. Roof lines appear below second storey. Drawing by Third Layer Architects, 2021.

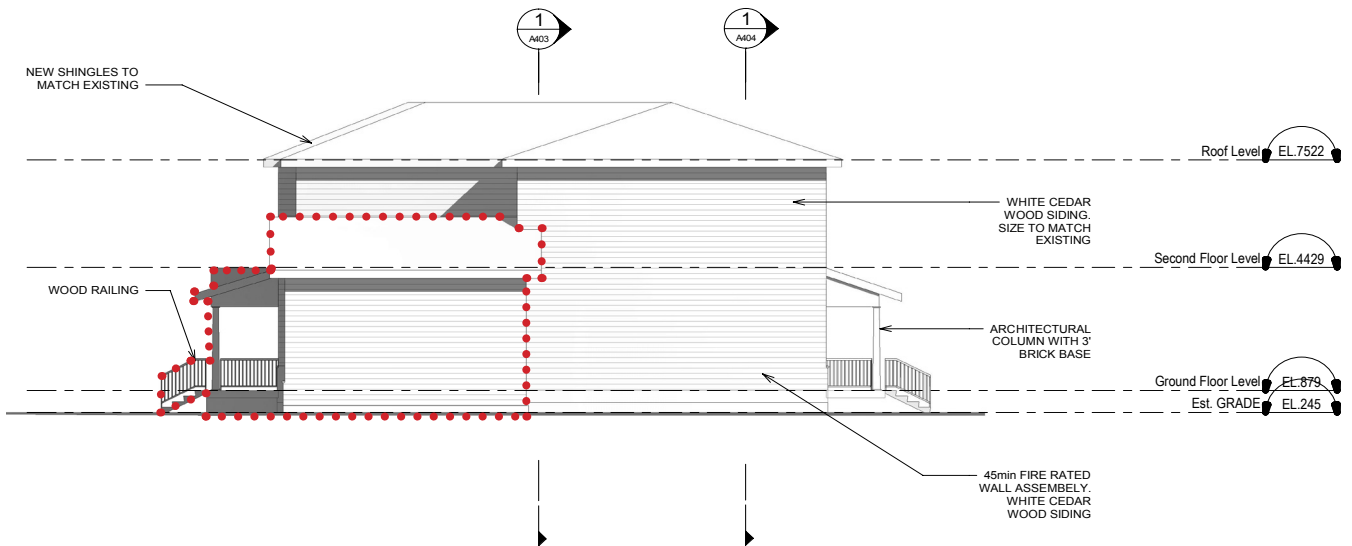


Image 21: East Elevation. Red dotted line indicates outline of existing garage and front porch (beyond) to be incorporated into proposed addition/renovation. Drawing by Third Layer Architects, 2021.

7. IMPACTS OF PROPOSED DEVELOPMENT

7.1 TREATMENT OF HERITAGE RESOURCES - WORTLEY VILLAGE-OLD SOUTH HERITAGE CONSERVATION DISTRICT PLAN

The property located at 18 Byron Ave E. is listed as a level C-Rating in terms of significance within the HCD and on the City of London's Register of Cultural Heritage Resources, and designated under Part V of the OHA. It is not a particularly strong individual example of architectural craftsmanship or historical value, and it has also been altered over time, which further diminishes its individual heritage value. This explains why it is not individually designated under Part IV of the OHA. However, in reviewing the existing site and historical context, it is understood that the property holds some heritage value, particularly in its age, scale and contribution to the streetscape of the HCD due to its sequence or location. It is also likely that its massing as an example of a cottage-like one storey home, typical of those found repeated throughout the area helps support its character. Beyond the property at 18 Byron Ave E., there are also other nearby and adjacent properties ranked as both A and B-Rating within the HCD, listed on the Register and designated under Part V of the OHA.

Given the two significant aspects of the proposed residential addition/renovation site: the C-Rating of 18 Byron Ave E., and the A+B-Rating of nearby/adjacent properties, all of which are designated under Part V of the OHA, a review of the impact of the proposed development on the existing property is necessary. Further, a understanding of the impact of the proposed development on those nearby/adjacent properties, and on the streetscape as a whole within the HCD, will be examined.

There are several sections within the Wortley Village-Old South Heritage Conservation District Plan that identify policies and guidelines applicable to the proposed addition/renovation for 18 Byron Ave E., in particular, aspects of Sections 4.0 District Policies, 5.0 Municipal Policies, 8.0 Architectural Design Guidelines, and 10.0 Landscape Conservation and Design Guidelines. A review of the key aspects of the HCD plan against the proposed design helps to identify areas of possible impact. The following is a summary of the impacts of the proposed design with specific reference to the aforementioned applicable sections of the HCD. For the complete guide, refer to the Wortley Village-Old South Heritage Conservation District Plan (WVOS HCD).

7.1.1 WVOS HCD - SECTION 4.0 HERITAGE CONSERVATION DISTRICT POLICIES

4.1 Development Pattern

There are several policies that fall into the category of Development Patterns. The proposed addition/renovation at 18 Byron Ave E. strives to adhere to these policies, including:

Policies:

(a) Maintain the residential amenity and human scale by ensuring that the low rise, low density residential character remains dominant within and adjacent to the HCD.

Proposal Impact (a): The proposed design supports low density residential land use in the form of a single family home with a sensitive addition that is low rise, and maintains the human scale.

(b) New land uses that are not in keeping with the character of the residential area and/or may have a negative impact on the residential area are discouraged.

Proposal Impact (b): The proposed use residential home is in keeping with the residential character of the HCD, with

7. IMPACTS OF PROPOSED DEVELOPMENT

several examples throughout the HCD of previous residences that have undergone additions/renovations and have successfully integrated within existing HCD.

(c) Higher intensity uses or redevelopment opportunities shall be focused outside of the low rise residential area of the HCD, to areas designated by the City of London for higher density development (i.e. Ridout Street).

Proposal Impact (c): The proposed use of the property does not include high intensity development.

(d) Where new uses or intensification is proposed, adaptive reuse of the existing heritage building stock should be considered wherever feasible.

Proposal Impact (d): The proposed program does not include new use; it will continue to be used as a residence.

(e) Severances which would create new lots are strongly discouraged, unless the resulting lots are of compatible width and depth to adjacent lots.

Proposal Impact (e): The proposed program does not include severing the property.

(f) Where existing detached residential buildings are lost due to circumstances such as severe structural instability, fire or other reasons, the setback of replacement building(s) shall be generally consistent with the original building(s).

Proposal Impact (e): The proposed program does NOT include replacing lost heritage fabric due to fire etc.

(g) Parking for new or replacement dwellings is to be located in the driveways at the side of the dwelling or in garages at the rear of the main building, wherever possible. New attached garages at the front of the building are discouraged. Garages shall not extend beyond the main building façade.

Proposal Impact (g): The design of the new garage blends into the facade; it is set back slightly from the original one-storey home that is being incorporated into the design, denoting its more prominent location on the site. The proposed design incorporates the existing detached garage along with an infill garage to connect the dwelling. The garage is aligned with the existing garage and does not extend beyond the main building facade of the original home.

4.3 Non-Heritage Properties

4.3.1 Alterations + Additions

18 Byron Ave E. maintains a C-Rating, and is designated under Part V of the OHA, as it is located within the HCD. Therefore alterations and additions to the property must consider the policies related to alterations and additions, even though the property itself is not individually designated under Part IV of the OHA. These policies help to ensure that any alterations and additions do not detract from the heritage value of the property and the heritage context of the area, and should consider massing, scale, lot and street alignment. Design guidelines found in Section 8.0 of the HCD are also applicable to additions and alterations.

7. IMPACTS OF PROPOSED DEVELOPMENT

Policies:

(a) Exterior alterations and additions to commercial buildings may be permitted. These alterations or additions should maintain the scale and massing of the building on adjacent heritage properties, the character of the streetscape and HCD, and draw reference from nearby heritage properties. Additions that alter the streetscape shall be discouraged. New or additional front yard parking to support commercial uses shall not be permitted.

Proposal Impact (a): N/A

(b) Exterior alterations and additions to single detached dwellings may be permitted, consistent with the scale and massing of the buildings on adjacent heritage properties, the character of the streetscape and HCD, and draw reference from nearby heritage properties. Additions that alter the streetscape shall be discouraged.

Proposal Impact (b): The proposed addition is consistent with the scale and massing of the buildings on adjacent heritage properties and does not alter the streetscape, but rather contributes to it.

The addition will be visible from the east and west of Byron Ave E., from 16 Byron Ave E., and from 22 Byron Ave. E. From 16 Byron Ave E., the addition will be directly adjacent to the property. To address the heritage style and scale of the adjacent residences, the datum line between the first and second storey of the proposed residence, along with the size and scale of the second storey windows, and the height of the proposed addition, will align with that of the residence at 16 Byron Ave E. The existing residence at 16 Byron Ave E. does not appear to have any major windows along the east elevation, so views of 18 Byron Ave addition will be minimal. Because the entrance porch is being retained, the setback and location of the entrance will be viewed the same as it is currently from the adjacent properties. The addition will also be visible from 22 Byron Ave E., located to the east of the proposed addition. The distance between the residences at 22 and 18 Byron Ave E., is greater than that between 16 and 18 Byron Ave E., and there is an existing driveway that helps buffer the distance, reducing the impact of the proposed addition. While the addition will create a second storey above the current one-storey garage, there are no windows proposed on the east elevation of the addition, and this will further help to reduce privacy concerns for the neighbouring property at 22 Byron Ave E. The proposed addition considers both residences adjacent at 16 and 22 Byron Ave in its design, scale and massing.

The addition will also be visible from the opposite side of Byron Ave East, specifically from the rear school yard of 130 Wharnclyffe Road S. (Victoria Public School). However, because this is an open space and not the front yards of opposing residences, the impact of the proposed addition on this property is low. The impact of views from across the property along Askin Street is minimal because of the significant distance from Askin Street to Byron Ave E. There is also a large tree located on the south side of Byron Ave within the school grounds opposite to 18 Byron Ave E., which helps to shield some views of the school from the yard towards the proposed site. The open space feel of the rear yard at Victoria Public School is not hindered by the integration of the proposed addition/renovation at 18 Byron Ave E. and the addition contributes to the overall streetscape by blending in with the surrounding heritage fabric.

(c) Conversion of use will be permitted, if permitted by zoning. Conversions shall not significantly alter the street appearance of a building.

Proposal Impact (c): The proposed program will not convert the use. It will remain as a single-family residence.

7. IMPACTS OF PROPOSED DEVELOPMENT

(d) Major alterations to the exterior façade of non-heritage property facing a public street is permitted where the intent is to achieve the heritage objectives of either the HCD plan or the Official Plan.

Proposal Impact (d): The intent of the proposed addition/renovation is to achieve the heritage objectives of the HCD, by retaining the location and form of the original heritage one-storey house and garage, and integrating it within the addition and renovation to create a larger and more livable family home. The cladding and form of the renovated home will help to blend into the surrounding context and character of the area, without competing with the adjacent and nearby heritage properties.

(e) Design guidelines provided in Sections 8 and 9 of this Plan will be used to review and evaluate applications for additions and alterations to ensure that the proposed changes are compatible with the surrounding heritage properties and do not negatively impact the heritage attributes or the cultural heritage value or interest of the HCD.

Proposal Impact (e): Sections 8 and 9 will be reviewed as applicable to determine and possible impacts of the proposed addition on the HCD.

(f) Evaluation of additions and alterations to properties adjacent to the Wortley Village-Old South HCD will be required in order to demonstrate that the heritage attributes of the HCD will be conserved, in accordance with the Provincial Policy Statement. A Heritage Impact Assessment may be required.

Proposal Impact (f): The proposed addition/renovation is within the HCD, and an HIA is being completed as part of the proposal.

7.1.2 WVOS HCD - SECTION 5.0 MUNICIPAL POLICIES

5.3 Severances and Minor Variances

Because the proposed addition/renovation requires changes to setbacks and zoning, a minor variance is required for the project. The following policies have been included to recognize the requirement for a minor variance.

The Committee of Adjustment is responsible for addressing applications for minor variances and the Consent Authority is responsible for applications for severance in the City of London under the authority of the Planning Act and in consultation with various city departments. Applications for severances and minor variances should be considered in conjunction with the following policies:

Policies:

(a) The Heritage Planner shall be circulated with all severance and minor variance applications within the Wortley Village-Old South HCD and provide comments to be considered in the application process.

Proposal Impact (a): Completed by the Municipality

(b) Severances should not be considered where the result is a lot size and pattern not in keeping with the HCD and in accordance with the policies of the City's Official Plan.

Proposal Impact (b): The proposed project does not include severing the property.

7. IMPACTS OF PROPOSED DEVELOPMENT

(c) Where appropriate, in consultation with the Heritage Planner, a Heritage Impact Assessment, in accordance with the policies of the City of London, may be required in support of the creation of new lot(s) through Consent to Sever, depending on the context, location and potential impact of the severance.

Proposal Impact (c): The proposed project does not include creating new lots.

(d) The policies and guidelines of this plan shall be applied when reviewing applications for minor variances or consents to sever within the Wortley Village-Old South HCD.

Proposal Impact (d): Completed by the Municipality

7.1.3 WVOS HCD - SECTION 8.0 ARCHITECTURAL DESIGN GUIDELINES

The recommendations provided in this section of the Wortley Village-Old South Heritage Conservation District Plan highlight considerations for major alterations and additions. These align with the objectives, principles and policies outlined in Section 3.0 of the same HCD Plan identified previously in this HIA under Section 3.0, Policies and Terms of Reference. Specifically, the Design Guidelines focus on 8.2.1 Alterations and 8.2.2 Additions, and reference the heritage attributes of the district outlined in Section 8.2 of the Wortley Village-Old South HCD Plan, and previously included in this HIA report under Section 5.0 Historical Context - 5.1.2 Key Heritage Attributes of the District. The heritage attributes have been reiterated below for reference:

8.2 Heritage Attributes

- *Building Form, Massing, Height, Width and Visible Depth*
- *Building Setting on Property*
- *Architectural Style*
- *Building Facade Elevation Layout and Shape, Projections and Reveals*
- *Porches*
- *Roof Style, Chimneys, Dormers, Gables, Eaves, Soffits and Turrets*
- *Windows, Doors and Accessories*
- *Building Materials, Textures, and Colours*

8.3 Design Guidelines

8.3.1 Alterations

Ensuring that alterations are mindful of and complementary to existing heritage fabric is essential to the survival of the heritage value in the context of an HCD. The following elements outline guidelines for consideration to alterations within the WVOS HCD and review of the proposed development at 18 Byron Ave E., with regards to impacts on heritage attributes in light of these guidelines:

Recommended Practices and Design Guidelines

- Research the original style and appearance of the building to determine “authentic limits” of restoration or alteration so that the appropriate style is maintained.

- In the absence of historical data, use forensic evidence available from the building itself to suggest appropriate restoration or alteration.

7. IMPACTS OF PROPOSED DEVELOPMENT

- *Seek similar properties (same age, same design, and same builder) for evidence of details that may still exist as samples for reconstruction.*
- *Avoid “new” materials and methods of construction if the original is still available. In some cases, after careful research, substitute materials may perform better than original materials, but beware of using materials that have not been tested for years in a similar application.*
- *C o n s e r v e ; Retain and restore heritage attributes wherever possible rather than replacing them, particularly for features such as windows, doors, porches and decorative trim.*
- *Where replacement of features (e.g. doors, windows, trim) is unavoidable, the replacement components should be of the same general style, size, proportions. and materials whenever possible.*
- *Incorporate similar building forms, materials, scale and design elements in the alteration that exist on the original building.*
- *Avoid concealing or irreversibly altering heritage attributes of property, such as entrances, windows, doors and decorative details when undertaking alterations.*
- *If in doubt, use discretion and avoid irreversible changes to the basic structure and architectural style.*
- *Keep accurate photos and other records, and samples of original elements that have been replaced.*

Proposal Impact (Alterations):

Overall, the proposal strives to consider alterations only where necessary to accommodate the addition connecting the garage with the original house, on the second storey and at the rear of the property. The location of the original one-storey house and garage will remain, in-situ, with the addition built around it to tie the two together into a new residence. The proposal seeks to retain the original porch form, design and style, as well as the triangular pediment, but introduces new cladding and finishes to connect the new and old together, as the existing residence cladding is not original. The location of the original windows and door will also be retained, along with the location of the original window and garage door of the former detached garage.

Restoration will be preferred over replacement of existing and original elements wherever possible on the north, south and east (main) elevations and replacement when restoration is not possible. Any restoration work to original elements (if possible to determine originality) including porch and decorative woodwork will follow the HCD, Section 9.0 Conservation Guidelines. Changes that are proposed will be reversible to the front facade of the original house and detached garage, and the residences will be documented with samples of original elements retained where replaced (if required).

8.3.2 Additions

Additions to dwellings within the HCD can have a significant impact on the residence as well as the heritage context of the HCD itself. Respecting scale, form, and surrounding context, while being complementary to the original building, are key components to a successful and contemporary addition that supports the values of the HCD. Guidelines for considering additions are provided below with a review of the impacts of the proposed development in light of these elements:

7. IMPACTS OF PROPOSED DEVELOPMENT

Recommended Practices and Design Guidelines

- *Additions that are necessary should be sympathetic and complementary in design and, if possible, clearly distinguishable from the original construction by form or detail. The use of traditional materials, finishes and colours rather than exact duplication of form, can provide appropriate transition between additions and original structures.*
- *Additions should be located away from principal façade(s) of heritage properties, preferably at the rear of the building, to reduce the visual impact on the street(s).*
- *Form and details of the addition should be complementary to the original construction, with respect to style, scale, and materials but still distinguishable to reflect the historical construction periods of the building.*
- *The height of any addition should be similar to the existing building and/or adjacent buildings to ensure that the addition does not dominate the original building, neighbouring buildings or the streetscape.*
- *Additions should not obscure or remove important architectural features of the existing building.*
- *Additions should not negatively impact the symmetry and proportions of the building or create a visually unbalanced facade.*
- *New doors and windows should be of similar style, orientation and proportion as on the existing building. Where possible, consider the use of appropriate reclaimed materials.*
- *New construction should avoid irreversible changes to original construction.*

Proposal Impact (Additions):

The historically integrated residential conversion at 18 Byron Ave E. fits appropriately into the existing Wortley Village-Old South Heritage Conservation District. The addition has been designed to be contemporary, while being both subordinate to the original residence. Further, the addition respects the existing heritage fabric and characteristics of the district as a whole through the following design considerations: The rear addition will not conceal original parts of the building considered of value, as the elements that contribute to the streetscape and overall character of the HCD are found along the original/front/south elevation viewed from the street.

The design of the addition/renovation also incorporates the style of windows and doors of the original residence within the fenestration of the overall appearance of the updated home to keep consistency with the heritage of the property and area. The design complements the construction of the adjacent heritage residences through geometry, scale and form, considering window lines and fenestration, and using traditional form, materials, finishes and colours to connect the new addition to the existing residence (as the existing residence cladding is not original). The cladding, brick base and new wood cedar siding will help to connect together the new addition with the existing heritage house.

The addition highlights the symmetry of the original house and creates a balanced facade along the south, west and north elevations with the introduction of contemporary glazing, windows and entrance. The proposal recognizes the importance of the streetscape and the visibility of the building from along Byron Ave E., from the nearby/adjacent properties of 16 and 22 Byron Ave E., and from the schoolyard of Victoria Public School located opposite to the proposed project on the south side of Byron Ave E.

7. IMPACTS OF PROPOSED DEVELOPMENT

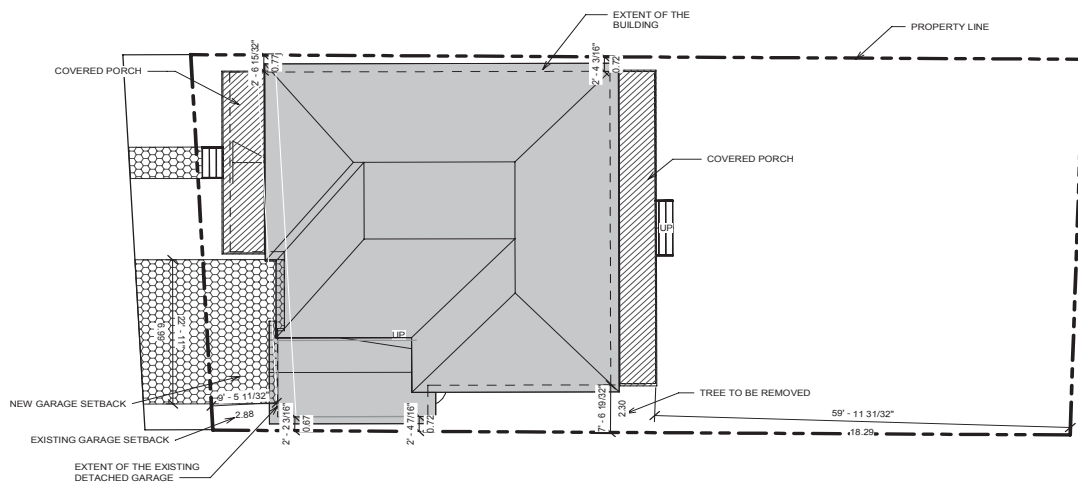


Image 22: 18 Byron Ave E. proposed site plan with parking for two vehicles to the south/front of the site. HCD plan recommends two single track driveways with turf installed between in order to minimize the impact of hard surfacing. Drawing by Third Layer Architects, 2021.

7.1.4 WVOs HCD - SECTION 10.0 LANDSCAPE CONSERVATION + DESIGN GUIDELINES

The character of the overall streetscape is imperative to the success of the HCD as an ongoing example of significant historical value by conserving heritage attributes identified in Section 10.4 of the HCD plan, which refers specifically to the landscape in the private realm of the district. These attributes include:

10.4 Heritage Attributes

- Trees
- Front Gardens
- Plazas + Cafes
- Vehicle Parking
- Building Signage

10.4.4 Vehicle Parking

The portion of the landscape in front of the proposed addition/renovation project at 18 Byron Ave E. will require area for a driveway/parking. There are recommendations for vehicle parking in residential settings, and the impacts of the proposed development at 18 Byron Ave E. is evaluated alongside these considerations:

- Views of vehicles while parked on site should be screened through the use of fencing or hedging.
- In residential applications, it is recommended that two single track driveways or parking areas be used, with turf installed between the gaps in order to minimize the impact of hard surfacing on the landscape.

Proposal Impact (Vehicle Parking):

The proposed design at 18 Byron Ave E. includes an existing double driveway to accommodate two vehicles utilizing interlocking stone/brick pavers. Based on the recommendations of the HCD plan, two single track driveways with turf installed between the gaps should be considered as a way to mitigate the impact of increased hard surfacing on the landscape and greater HCD.

7. IMPACTS OF PROPOSED DEVELOPMENT

7.2 MITIGATION APPROACHES

The Provincial Policy Statement (PPS 2005) on “Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005”, was the resource utilized in the identification and development of the ‘Mitigation Approaches’ for the proposed development. Specifically, Heritage Impact Assessments and Heritage Conservation District Plans; Principles in The Conservation of Historic Properties was the main source of terms of reference.

The principles listed below were identified from the Heritage Tool Kit and expanded to include specific principles and mitigation related to the proposed addition/renovation at 18 Byron Ave E.

CRITERIA		DESCRIPTION
EVIDENCE	Respect for Documentary Evidence	Documentary evidence was researched in preparation of this HIA. The Wortley Village-Old South Heritage Conservation District Plan provides substantial information on policies and guidelines to help align the proposed design with the goals, objectives and principles of the HCD. The owner is maintaining all significant heritage elements as identified in the evidentiary documentation.
LOCATION	Respect for Original Location	18 Byron Ave E. is being preserved and incorporated into the addition/renovation project. The proposal does not include moving of the building on or off the site. The proposal respects the existing heritage residences’ location along Byron Ave by highlighting the original elements (porch and garage) and locating the proposed addition as a link between the two and on the second storey and rear of the residence.
MASSING	Respect for existing form and massing	The existing form and massing of 18 Byron Ave E. is respected by aligning the proposed addition, fenestration and new garage with the existing one storey home and garage. The roofline of the garage is retained, along with the existing porch and roofline. The form of the addition has been designed to complement the original one-storey home. The height and scale of the addition is consistent with the adjacent properties and nearby properties within the HCD. The size of the addition does not overpower the site but connects the existing and new together, creating a blended composition.
MATERIALS	Respect for Historic Material	The existing/original materials of the property have been replaced aside from some trim work and the wooden porch decking. The proposed addition and renovation will re-introduce cladding that is more sympathetic to that of the original house and those found in the area, as well as utilizing wooden railings along the porch and wood for the columns, removing the unsympathetic vinyl cladding that was installed previously. The colour of the cladding also considers those typically found on nearby residences in the HCD to blend into the surrounding environment.
FABRIC	Respect for Original Fabric	Because the original fabric has been replaced on much of the house, more sympathetic versions will be utilized that considers the original fabric. This includes the windows, door, soffit detailing, and wood trims. Roofing will be installed to match existing. Existing openings, windows and doors, will be utilized where new entrances are required.

7. IMPACTS OF PROPOSED DEVELOPMENT

CRITERIA		DESCRIPTION
HISTORY	Respect for the Building's History. Do not restore to one period at the expense of another period.	The architectural and historical reasons for designation will be adhered to in order to preserve the unique history of the property within the Wortley Village-Old South Heritage Conservation District.
REVERSIBILITY	Reversibility of the new elements.	All proposed alterations to the existing property will be reversible and allow the resources to return to their original condition, particularly at the front of the house, as the primary aspect of historic value and contribution to the HCD is found in the main/south elevation and this will remain. The proposed addition ties into the existing building between the house and the garage as well as at the rear. Existing openings at the front/south windows and entrance will continue to be utilized as openings and entrances into the space. The south facade of the original home and the garage facade will remain as the original form with new cladding.
LEGIBILITY	Legibility of the new versus the old.	The materials of the proposed addition will be utilized to connect the new addition to the original house. Because the fabric of the existing residence have been replaced with unsympathetic vinyl cladding, the client proposes to use one cladding system that is more sympathetic to the area: white cedar wood siding. This will unify the original home and the addition but the addition will be set back from the original home so that the existing stands out as its own element within the design.
MAINTENANCE	Maintenance	The existing residence at 18 Byron Ave E. will undergo a complete addition/renovation project. This will contribute to its sustainability as an actively utilized building incorporating a single family residence, and will help ensure it's longevity. An actively used and well-kept home becomes easier to maintain and receives increased attention versus an under-utilized and/or vacant property.
DESTRUCTION	Destruction of any, or part of any, significant heritage attributes or features.	There is no plan of destruction to any of the significant heritage features, which are predominantly considered along the front/south elevation and contribute to the streetscape. The removal of openings, the top of the roof, and walls along the east and south to accommodate the addition will allow for increased living space but these areas are not significant to the value of the home. The residence and garage will be restored and integrated with the addition/renovation to make a more livable home for a larger family.
ALTERATION	Alteration must be sympathetic or is compatible, with the historic fabric and appearance;	There are no alterations that affect the 'Reasons for Designation'. New openings will be minimized and will respect the original fabric of the existing residence. The addition is located to link to the garage and residence, as well as create a second floor and add to the rear of the residence.

7. IMPACTS OF PROPOSED DEVELOPMENT

CRITERIA	DESCRIPTION
SHADOWS	<p>Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;</p> <p>Refer to the “Report to London Committee of Adjustment” submitted by Mike Corby, Planner M. Wu, File A.106/21, September 2, 2021 for comments regarding the potential impact and mitigation of shadows on the adjacent property. As outlined in the report: <i>The neighbouring property to the west (16 Byron Avenue East) is occupied by a 2-storey single detached dwelling with an east interior side yard setback of approximately 0.95m (3.1ft). Adverse shadowing and privacy impacts on the abutting property to the west are not anticipated as a result of the proposed 2nd-storey addition.</i> (Wu, A.106/21, p7)</p>
ISOLATION	<p>Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;</p> <p>The heritage attributes of the existing residence are primarily located along the streetscape, and are not isolated from this contextual relationship through the proposed addition/renovation.</p>
OBSTRUCTION	<p>Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;</p> <p>Views of the key south (front) elevation, as well as the east elevation of the garage remain intact. The pedestrian access to the front of the property from Byron Ave E also remains intact via the existing pathway. Because the addition is set back from the original datum/line of the one storey home, the views of the adjacent properties are not drastically affected. The view towards 16 Byron Ave E from the east, and the view towards 22 Byron Ave E. from west will be altered due to the second storey addition of the proposed addition at 18 Byron Ave E. However, the significant views directly south along Byron Ave E. of these two adjacent residences at 16 and 22 Byron Ave E. will not be impacted.</p> <p>There is also no impact on the views or obstruction of views that could impact 130 Wharnccliffe Road S. (Victoria Public School) due to its location closer to Wharnccliffe Road S.</p>
LAND USE	<p>A change in land use to allow new development or site alteration to fill in the formerly open spaces;</p> <p>There is no proposed land use change.</p>
LAND	<p>Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect resources.</p> <p>The site is flat. All grading will be in accordance with local governing bodies. There is no significant change in grade that alters soils, and drainage patterns that adversely affect the area.</p>

7. IMPACTS OF PROPOSED DEVELOPMENT

CRITERIA		DESCRIPTION
CONTEXT	Retain important contextual values.	The Wortley Village-Old South Heritage Conservation District Plan policies include the conservation and protection of existing buildings and streetscapes within the district wherever possible. 18 Byron Ave E. retains its context within the proposed addition/renovation, and the alterations do not have negative impacts on adjacent and nearby properties at 16 and 22 Byron Ave E., or at 130 Wharncliffe Road S. Views of the addition will be evident from the road, but the original one-storey residence and garage will be retained, in-situ. The contextual value of the street and area is maintained.
DETAIL	Heritage Attributes Identified and Retained	The location, sequence, grouping and overall massing, as well as the existing porch and architectural details of the residence at 18 Byron Ave E. contribute to the overall streetscape along Byron Ave E. and within the HCD. These key aspects of the property are retained, and where there are alterations and additions, these are mitigated by locating them to the side and rear of the property and replacing these existing, unsympathetic elements such as vinyl cladding and windows, with modern versions that are sensitive to the existing residences, nearby/adjacent residences, and contribute to an improved streetscape image.
LANDSCAPE	Buffer zones, site plan control, and other planning mechanisms.	The existing buffer zone between the adjacent property at 22 Byron Ave E. and 18 Byron Ave E. helps to create separate between the proposed addition. Further, an improved pedestrian walkway to the house and the existing double driveway, as well as new vegetation and landscaping provide buffer zones from the street, and create a compatible visual composition of the property at 18 Byron Ave E within the streetscape. While a double-lane brick/stone driveway is proposed, it is the HCD suggests two single-lane driveways with turf between the two be considered to reduce the impact of hard surface on the landscaping. Overall, the proposed addition/renovation will improve the site, provide manicured landscaping and relief from an underutilized and inactive site. The landscape and streetscape of the HCD will be improved by the features proposed by the addition/renovation at 18 Byron Ave E.

8. RESOURCES

Government Documents

1. Her Majesty the Queen in Right of Canada. *Standards and Guidelines for the Conservation of Historic Places in Canada*. 2010.
2. Ministry of Municipal Affairs and Housing. *Ontario Provincial Policy Statement, Under the Planning Act*. 2014.
3. Ontario Ministry of Culture. *Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement*. 'Info Sheet #5, Heritage Impact Assessments and Conservation Plans.' 2005.
4. Ontario Heritage Trust. *Ontario Heritage Act, R.S.O. 1990 c. O.18: Part IV and V Designated Properties*. Version July 1, 2019.

Municipal Documents

1. City of London - The London Advisory Committee on Heritage Department of Planning and Development. *Inventory of Heritage Resources 2006*. 2005.
2. City of London. *The London Plan*. Minister Approved December 28, 2016.
3. City of London. *Strategic Plan for the City of London 2015-2019*.
4. ecoplans ltd, Nexus, , GSP, Golder Associates, and Nancy Tausky Heritage Consultant. *Wortley Village-Old South Heritage Conservation District Plan*. For the City of London. September 2014.
5. City of London. Report to London Committee of Adjustment. Mike Corby, Manager, Planning Implementation, Planning + Development. M. Wu, Planner. September 2, 2021.

Other

1. Street Images: *London, Ontario*. Nov/Dec 2021. Google Maps, <https://www.google.ca/maps/place/London,+ON>
2. Map Images: *London, Ontario*. Nov/Dec 2021. Google Earth, <https://earth.google.com/web/search/London,+ON>
3. Third Layer Architects. Drawings: Proposed Site Plan 2021, Proposed Drawings: Floor Plans and Conceptual Elevations. 2021.
4. Archibald, Gray and McKay LTD. Plan, Survey, Engineer. Drawings: Existing Site Survey. October 15, 2020
5. Thomas G. Arnold & Associates. Stage 1 and Stage 2 Archaeological Assessment of 18 Byron Avenue East, London, ON....PIF & Project#: P006-0109-2021. December 5, 2021.

9. APPENDICES

APPENDIX A - Existing Site Survey Drawing

Archibald, Gray and McKay LTD. Plan, Survey, Engineer.
October 15, 2020

APPENDIX B - Proposed Site Plan, Floor Plans, Elevations

Third Layer Architects
October 13, 2021

APPENDIX C - A-106-21: Report to London Committee of Adjustment.

City of London
September 2, 2021

APPENDIX D - Stage 1 and Stage 2 Archaeological Assessment of

18 Byron Avenue East, London, ON...
Thomas G. Arnold & Associates
December 5, 2021

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