

Bill No. 84
2022

By-law No. Z.-1-222

A by-law to amend By-law No. Z.-1 to rezone an area of land located at 1140 Sunningdale Road East.

WHEREAS 2839069 Ontario Inc. c/o Royal Premier Homes has applied to rezone an area of land located at 1140 Sunningdale Road East, as shown on the map attached to this by-law, as set out below;

AND WHEREAS this rezoning conforms to the Official Plan;

THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

- 1) Schedule "A" to By-law No. Z.-1 is amended by changing the zoning applicable the lands located at 1140 Sunningdale Road East, as shown on the attached map comprising part of Key Map No. A103, from a Convenience Commercial Special Provision (CC(14)) Zone to a compound Convenience Commercial Special Provision/Residential R8 Special Provision Bonus Zone (CC4(_)/R8-4(_))•H16•B-(_)) Zone.
- 2) Section Number 29.4 of the Convenience Commercial (CC) Zone is amended by adding the following Special Provision:

CC4(_)	1140 Sunningdale Road East	
a)	Additional Permitted Use:	
	i)	Florist Shop, restricted to a location within an apartment building and without a drive-through facility
b)	Regulations:	
	i)	Gross Floor Area for all permitted commercial uses (maximum) 250 square metres (2,691 square feet)
	ii)	Parking for all permitted commercial uses (minimum) 1 space/25 square metres (269 square feet)

- 3) Section Number 12.4 of the Residential R8 Zone is amended by adding the following Special Provision:

R8-4(_)	1140 Sunningdale Road East	
a)	Regulations:	
	i)	Front Yard Depth (minimum) 22.0 metres (72.2 feet) as measured from the front lot line existing on the date of passing this by-law
	ii)	Interior Side Yard Depth (East) (minimum) 3.0 metres (9.8 feet)
	iii)	Interior Side Yard Depth (West) (minimum) 1.0 metre (3.2 feet) per 1.0 metre (3.2 feet) of main building height or fraction thereof above 3.0 metres

(9.8 feet), but in no case less than 7.5 metres (24.6 feet)

- | | | |
|-----|--|--|
| iv) | Read Yard Depth (minimum) | 1.0 metre (3.2 feet) per 1.0 metre (3.2 feet) of main building height or fraction thereof above 3.0 metres (9.8 feet), but in no case less than 7.5 metres (24.6 feet) |
| v) | Location of Underground Parking Ramp (minimum) | 3.0 metres (9.8 feet) to all lot lines. |
| vi) | Height (maximum) | 16.0 metres (52.5 feet) or 4-storeys, whichever is less. |

- 4) Section Number 4.3 (Bonus Zones) of the General Provisions is amended by adding the following Site-Specific Bonus Provision:

4.3 B-() 1140 Sunningdale Road East

The bonus zone shall be implemented through a mixed-use apartment building with a maximum density of 100 units per hectare, in general conformity with the Site Plan, Elevations, and Renderings attached as Schedule "1" to the amending by-law; and provides for the following:

1) Exceptional Site and Building Design

- i. A building placement that is street-oriented and which reinforces the existing window-street context along Sunningdale Road East to provide for continuity of the built street-wall.
- ii. The provision of a pedestrian walkway across the front of the subject lands that functions as a continuation of the city sidewalk located west of the subject lands on the north side of Pleasantview Drive and connecting to the city sidewalk located east of the subject lands on the north side of Sunningdale Road East.
- iii. The provision of yard depths along all edges of the proposed development to accommodate a landscaped buffer able to support tree growth and screen the proposed development from adjacent residential uses.
- iv. The provision of enhanced landscaping along Sunningdale Road East to screen any surface parking areas located in the front yard from the city-owned boulevard.
- v. A well pronounced, street-oriented principal building entrance for residential uses
- vi. A well pronounced, street-oriented unit entrance for commercial uses with large expanses of clear glazing, a wrap around canopy and signage.
- vii. Individual ground-floor residential unit access and private individual courtyards on the street-facing (south) elevation.
- viii. Inset balconies to screen views to the existing single detached dwellings to the west.
- ix. A high-level of articulation and architectural detailing on the street-facing front facade for visual interest.

- 2) A minimum of 80% of the required parking spaces provided underground.
- 3) A minimum of 5% of the required parking spaces fitted with electric vehicle charging stations
- 4) Provision of Affordable Housing
 - i. A total of two (2) 1-bedroom units will be provided for affordable housing.
 - ii. Rents not exceeding 80% of the Average Market Rent for the London Census Metropolitan Area as determined by the Canadian Mortgage and Housing Corporation at the time of building occupancy.
 - iii. The duration of affordability set at 50 years from the point of initial occupancy.
 - iv. The proponent is to enter into a Tenant Placement Agreement with the Corporation of the City of London to align the affordable units with priority populations.

The following special regulations apply within the bonus zone upon the execution and registration of the required development agreement(s):

- | | | |
|----|---|-------------------------|
| a) | Regulations: | |
| | vii) Density:
(maximum) | 100 units per hectare |
| | viii) Interior Side Yard
Depth (West)
(minimum) | 12.5 metres (41.0 feet) |
| | ix) Rear Yard Depth
(minimum) | 13.5 metres (44.2 feet) |

The inclusion in this By-law of imperial measure along with metric measure is for the purpose of convenience only and the metric measure governs in case of any discrepancy between the two measures.

This By-law shall come into force and be deemed to come into force in accordance with Section 34 of the *Planning Act, R.S.O. 1990, c. P13*, either upon the date of the passage of this by-law or as otherwise provided by the said section.

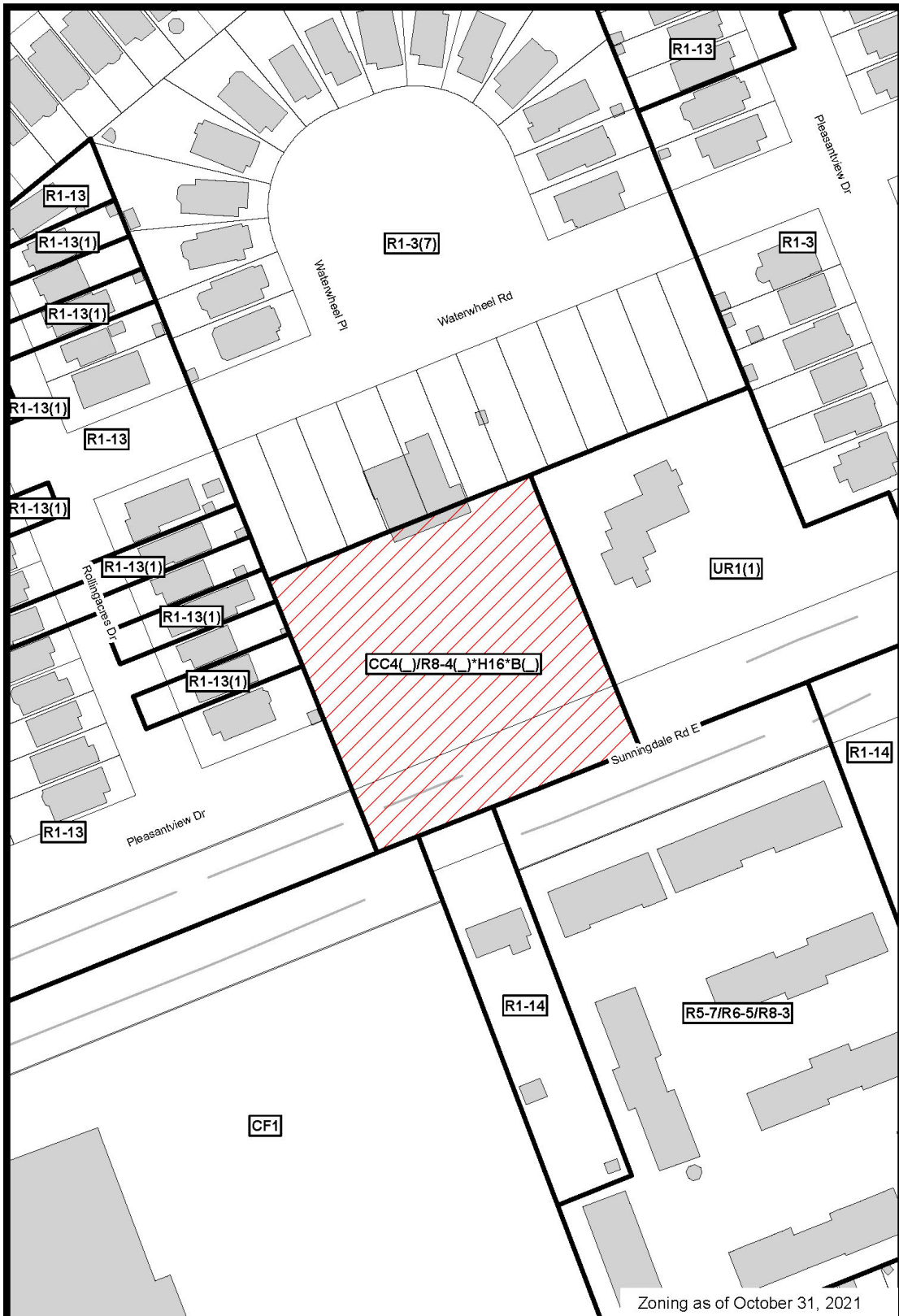
PASSED in Open Council on January 25, 2022.

Ed Holder
Mayor

Michael Schulthess
City Clerk

First Reading – January 25, 2022
 Second Reading – January 25, 2022
 Third Reading – January 25, 2022

AMENDMENT TO SCHEDULE "A" (BY-LAW NO. Z-1)



File Number: Z-9405
Planner: MC
Date Prepared: 2021/11/25
Technician: RC
By-Law No: Z-1-

SUBJECT SITE 

1:1,250

0 5 10 20 30 40 Meters



Schedule "1"

ALSO FROM LUTUM INC HOLD THE DRAWING, THE COPY (PH) AND COPY (S) OF THE DESIGN AND ALL THE INFORMATION AS SHOWN ON THIS DRAWING IS THE PROPERTY OF ZEDD ARCHITECTURE INC. IT IS NOT TO BE REPRODUCED, COPIED, OR BE LOANED FOR SALE OR AS PART OF A SALE OF PROPERTY WITHOUT THE WRITTEN CONSENT OF ZEDD ARCHITECTURE INC.

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20-056

RPH - SUNNINGDALE RD E

1140 Sunningdale RD E

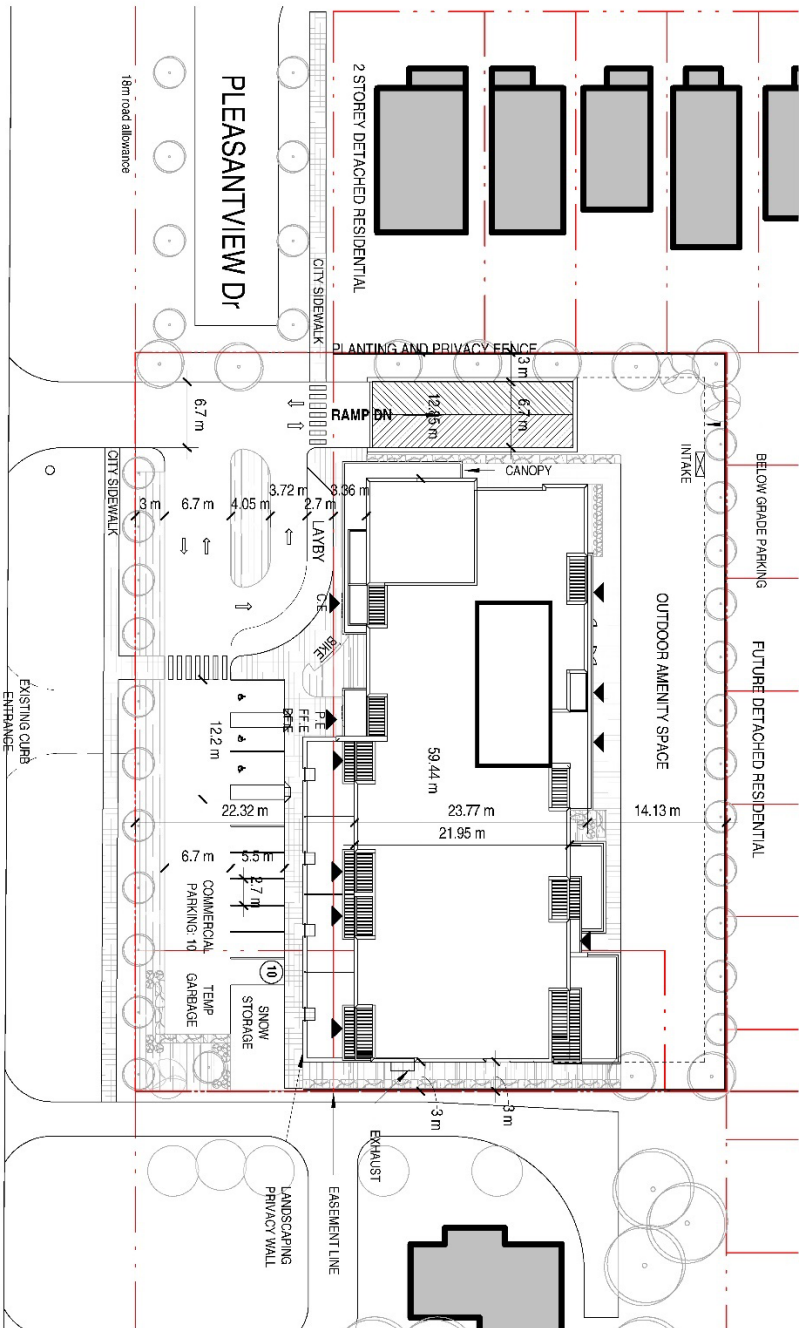
Site Plan

2021-11-04

SD-1.1

Zedd ARCHITECTURE

Scale: 1" = 40'-0"



Site Development Stats

1140 Sunningdale RD E, London, Ontario

R8-4 ZONE

ITEM	EXISTING	PROPOSED
1 ZONE - PROPOSED BUILDING PERMITTED USES	Apartment Buildings	Mixed-use Building*
2 LOT AREA (MINIMUM)	1000sqm (min)	4,534sqm
3 LOT FRONTAGE (MINIMUM)	30m (min)	75.28m
4 FRONT YARD SETBACK (MINIMUM)	6m+1m per 10m above first 3m (7.11m)	22.32m
5 EXTERIOR SIDEYARD SETBACK (MINIMUM)	n/a	n/a
6 REAR YARD DEPTH (MINIMUM)	1.2m per 3m above first 3m (4.46m)	14.13m
7 INTERIOR SIDEYARD DEPTH (MINIMUM)	1.2m per 3m above first 3m (4.46m)	12.85m (west) 3m (east)*
8 LANDSCAPE OPEN SPACE (% MINIMUM)	30%	2,243sqm (49%)
9 COVERAGE (% MINIMUM)	40%	1,225sqm (27%)
10 HEIGHT (M/MAXIMUM)	13m	15.7m*
11 DENSITY (UPH MAXIMUM)	75 uph	42 units 250sqm commercial 100 uph*
12 COMMERCIAL ALLOWABLE (SQM MAXIMUM)	n/a	250sqm*
13 COMMERCIAL PARKING	17	10*
14 RESIDENTIAL PARKING	11.25 per unit (53 req)	64
15 RESIDENTIAL BIKE PARKING	1.0.75 per unit	32 spaces

* - REQUIRES SPECIAL PROVISION

NOTE:

- BIKE PARKING LOCATED BELOW GRADE
- GARBAGE WILL BE STORED IN GARBAGE ROOM, AND BROUGHT OUTSIDE TO TEMPORARY HOLDING AREA ON PICKUP DAYS

STATS:

- BUILDING AREA: 13,185 sqft (1,225 sqm)
- GROSS FLOOR AREA: 49,185 sqft (4,565sqm)
- TOTAL UNITS: 42 UNITS
- TOTAL COMMERCIAL: 250 SQM
- TOTAL RESIDENTIAL: 84 RESIDENTIAL
- TOTAL PARKING: 10 COMMERCIAL
- 74 TOTAL

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ALUMINUM STOREFRONT GLASSING

COMMERCIAL ENTRANCE

RESIDENTIAL ENTRANCE

BRICK - WHITE LANDSCAPE WALL WITH WOOD FENCE SLATS

GLASS GUARD
BRICK - WHITE

STEEL SIDING

ALUMINUM CLAD
TRELLIS
WOOD PANEL

BRICK - DARK

WOOD PANEL

- MP Roof 56'-0"
- Roof 45'-6"
- Level 4 34'-0"
- Level 3 23'-6"
- Level 2 13'-0"
- Level 1 0.00 m
- Level P1 -10'-0"

SOUTH ELEVATION - SUNNINGDALE

Scale : 1/16" = 1'-0"

20-056 RPH - SUNNINGDALE RD E

1140 Sunningdale RD E

Elevations - South - Sunningdale

2021-11-04

SD-3.1



Zedd ARCHITECTURE
11150 111 STREET, SUITE 101, EDMONTON, ALBERTA T6E 0A7
TEL: 780-443-1111 WWW.ZEDDARCHITECTURE.COM



STEEL SIDING
CONCRETE PANEL - GRAY

BRICK - WHITE

WOOD TRILLIS
IN AY

WOOD PANEL

ALUMINUM
STOREFRONT GLASSING

BRICK - WHITE
LANDSCAPE WALL WITH
WOOD FENCE SLATS

WEST ELEVATION

Level P1
-3'-0"

Level 1

Level 2
-3'-0"

Level 3
23'-6"

Level 4
34'-0"

Roof
45'-6"

MP Roof
55'-0"

SUNNINGDALE

Scale: 1/8" = 1'-0"

20-056

RPH - SUNNINGDALE RD E

1140 Sunningdale RD E

Elevations - West

2021.10.1

SD-3.2



ZEDD ARCHITECTURE
1000 WEST 10TH AVENUE, SUITE 100
DENVER, CO 80202

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Scale: 1/16" = 1'-0"

20-056

RPH - SUNNINGDALE RD E

1140 Sunningdale Rd E

Elevations - North

2021-11-04

SD-3.3

ZEDD ARCHITECTURE
2021 ARCHITECTURE
1140 SUNNINGDALE RD E, SUITE 207, MISSISSAUGA, ONTARIO L4X 1L3
TEL: 905.876.1111 FAX: 905.876.1112
WWW.ZEDDARCHITECTURE.COM

NORTH ELEVATION



ALUMINUM CLAD
TRELLIS
WOOD PANEL

CONCRETE PANEL - GREY

CONCRETE PANEL - GREY

WOOD PANEL

CONCRETE PANEL - GREY
STEEL SIDING
BRICK - WHITE

CONCRETE PANEL - GREY

BRICK - WHITE
LANDSCAPE WALL WITH
WOOD FENCE SLATS

- MP Roof 58'-0"
- Roof 45'-6"
- Level 4 34'-0"
- Level 3 23'-6"
- Level 2 13'-0"
- Level 1 0.00 m
- Level P1 -10'-0"



MP Roof
58'-0"

Roof
45'-6"

Level 4
34'-0"

Level 3
29'-6"

Level 2
19'-0"

Level 1

Level P1
-16'-0"

WOOD JOISTS
RILAY

BRICK - W-F111
CONCRETE PANEL - SBEY

STEEL STUDS

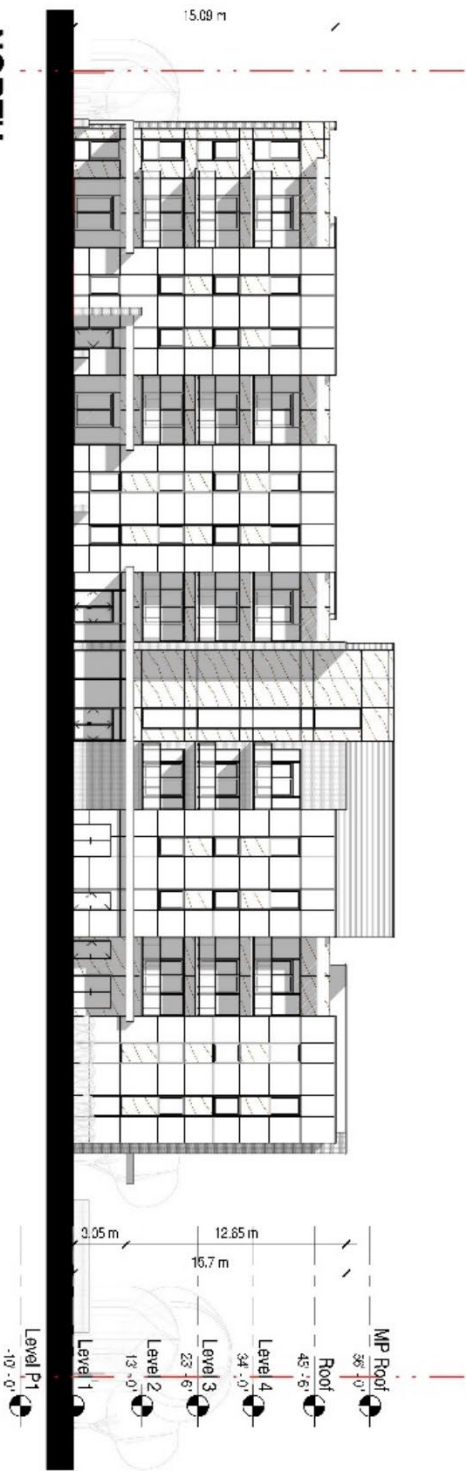
BRICK - WHITE
LANDSCAPE WALL WITH
WOOD FENCE SLATS

WOOD PANEL

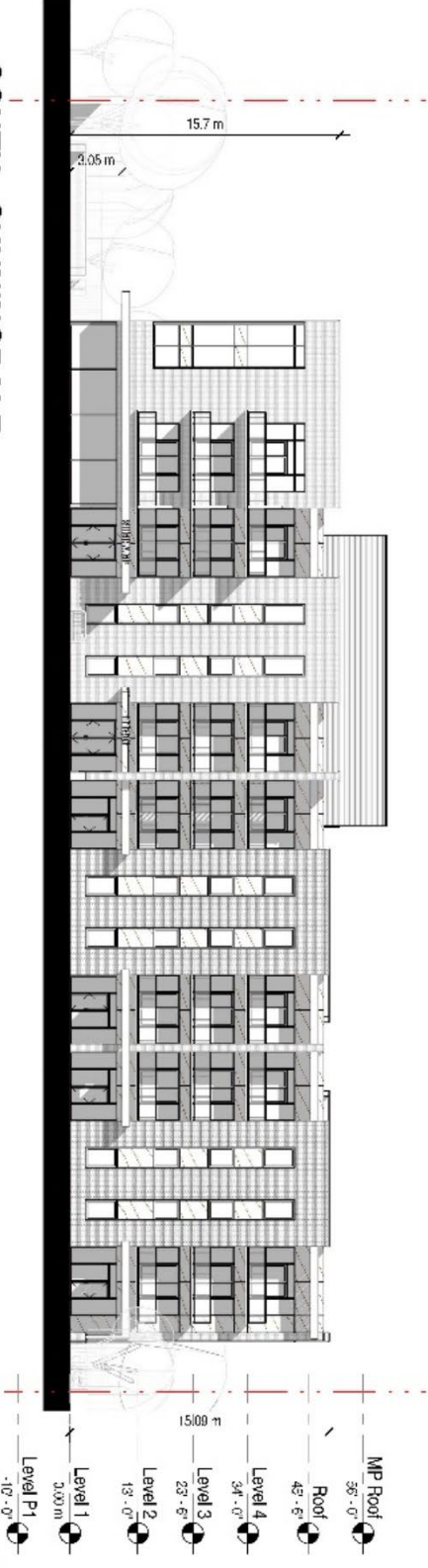
EAST ELEVATION

PERIMETER
WOOD FINISH

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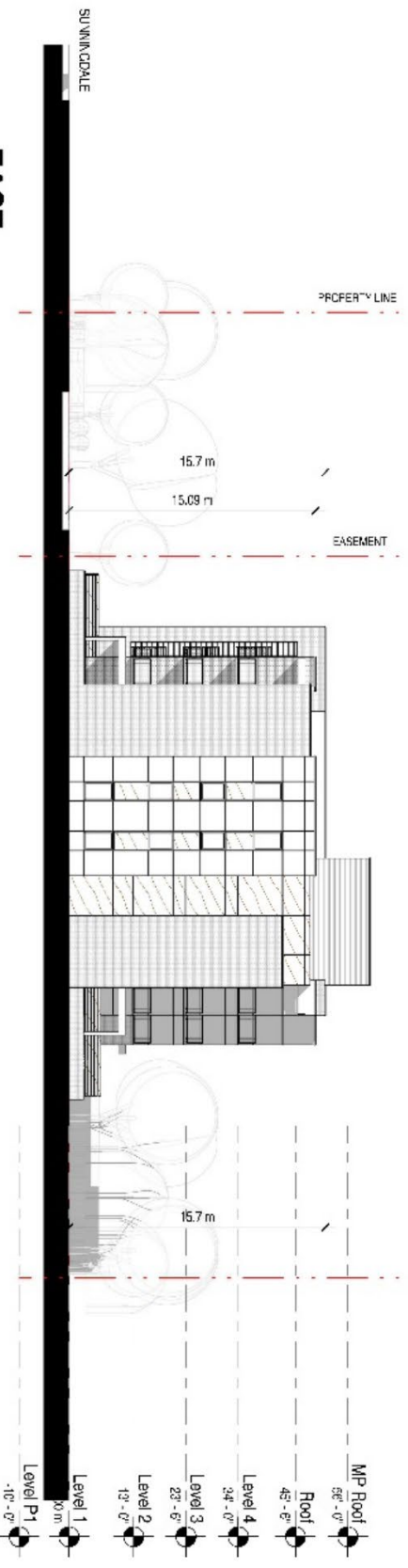
NORTH



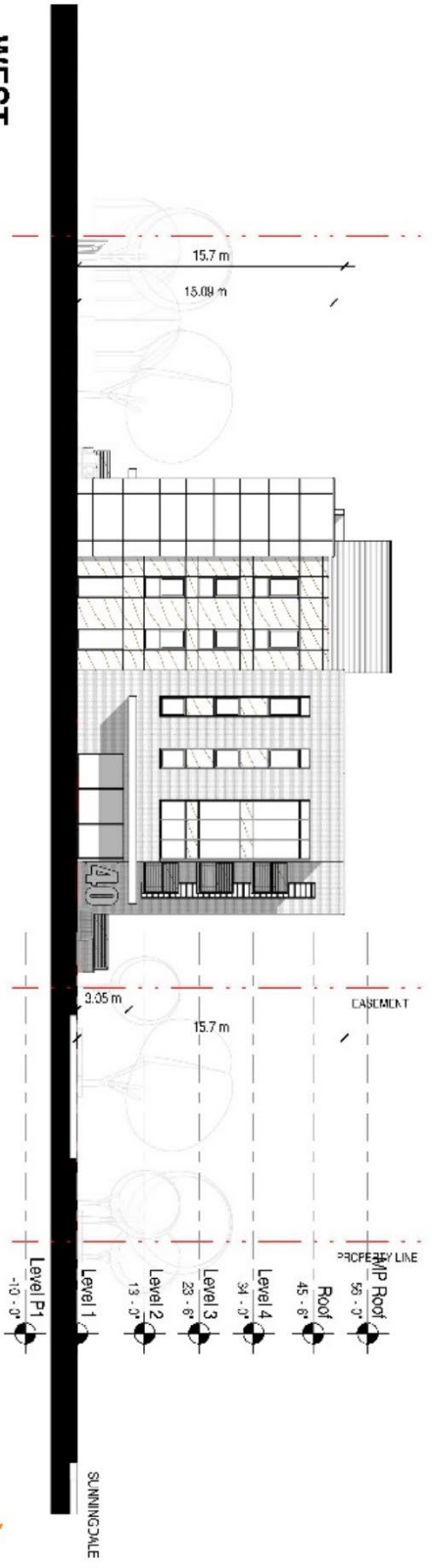
SOUTH - SUNNINGDALE

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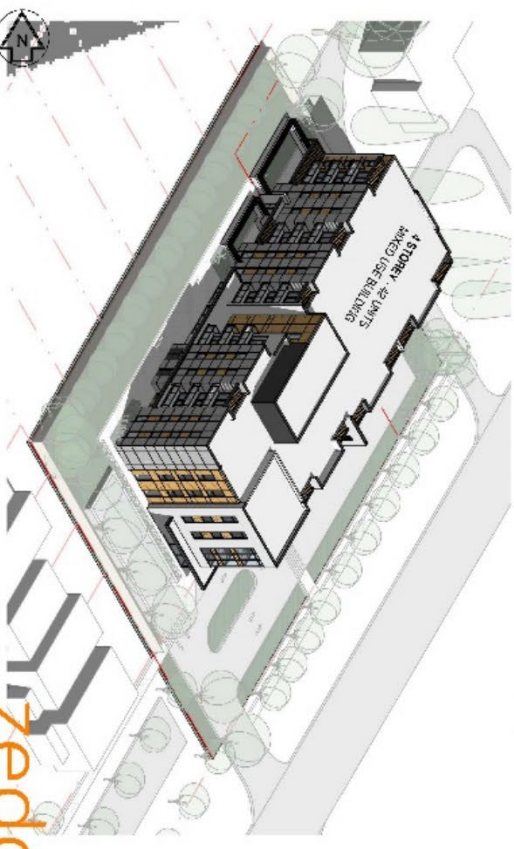
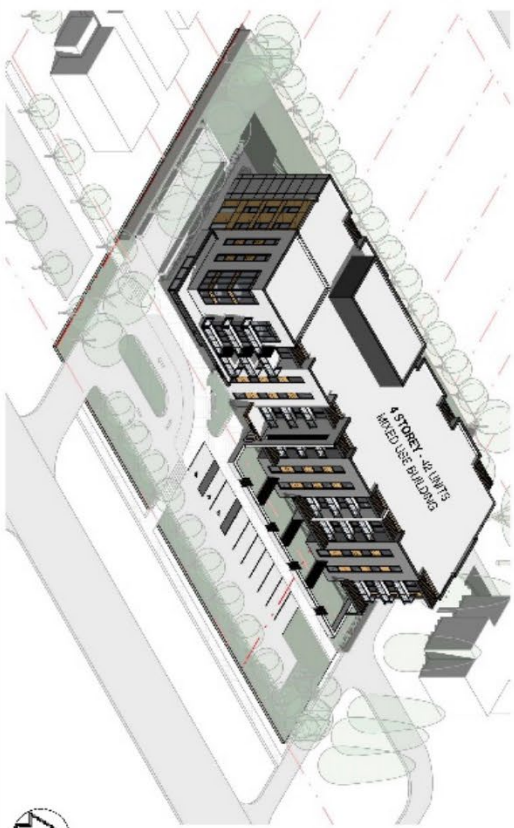
EAST



WEST

Scale: 3/8" = 1'-0"





Scale:
 20'-0/56
 RPH - SUNNINGDALE RDE

1140 Sunningdale RDE

ISO

2021-11-01

SD-5.1



ARCHITECTURE
 2427 BROADWAY, SUITE 200, NEW YORK, NY 10018
 TEL: 212 512 1234



