

Bill No. 82
2022

By-law No. Z.-1-222

A by-law to amend By-law No. Z.-1 to rezone an area of land located at 150 King Edward Avenue.

WHEREAS 1767289 Ontario Inc. has applied to rezone an area of land located at 150 King Edward Avenue, as shown on the map attached to this by-law, as set out below;

AND WHEREAS this rezoning conforms to the Official Plan;

THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

- 1) Schedule "A" to By-law No. Z.-1 is amended by changing the zoning applicable to lands located at 150 King Edward Avenue, as shown on the attached map comprising part of Key Map No. A108 from Neighbourhood Shopping Area (NSA1) Zone to a Neighbourhood Shopping Area Special Provision (NSA3(_)) Zone and a Residential R6 Special Provision (R6-5(_)) Zone.
- 2) Section Number 23.4 of the Neighbourhood Shopping Area (NSA3) Zone is amended by adding the following Special Provision:

) NSA3() 150 King Edward Avenue

a) Regulations

- | | |
|-----------------------------------------------------|---------------------------|
| i) Lot Depth
(Minimum) | 36.0 metres (118.11 feet) |
| ii) Front Yard Depth
(Minimum) | 1.0 metres (3.28 feet) |
| iii) Front Yard Depth
(Maximum) | 3.0 metres (9.84 feet) |
| iv) Interior Side Yard Setback (south)
(Minimum) | 5.0 metres (16.40 feet) |
| v) Height
(Maximum) | 11.0 metres (36.09 feet) |
| vi) Parking Spaces
(Minimum) | 48 spaces |
| vii) Density
(Maximum) | 85 units per hectare |

- 3) Section Number 10.4 of the Residential (R6-5) Zone is amended by adding the following Special Provision:

) R6-5() 150 King Edward Avenue

a) Regulations

- | | |
|------------------------------------|-------------------------|
| i) Front Yard Setback
(Minimum) | 4.5 metres (14.76 feet) |
| ii) Density
(Maximum) | 70 units per hectare |

The inclusion in this By-law of imperial measure along with metric measure is for the purpose of convenience only and the metric measure governs in case of any discrepancy between the two measures.

This By-law shall come into force and be deemed to come into force in accordance with Section 34 of the *Planning Act, R.S.O. 1990, c. P13*, either upon the date of the passage of this by-law or as otherwise provided by the said section.

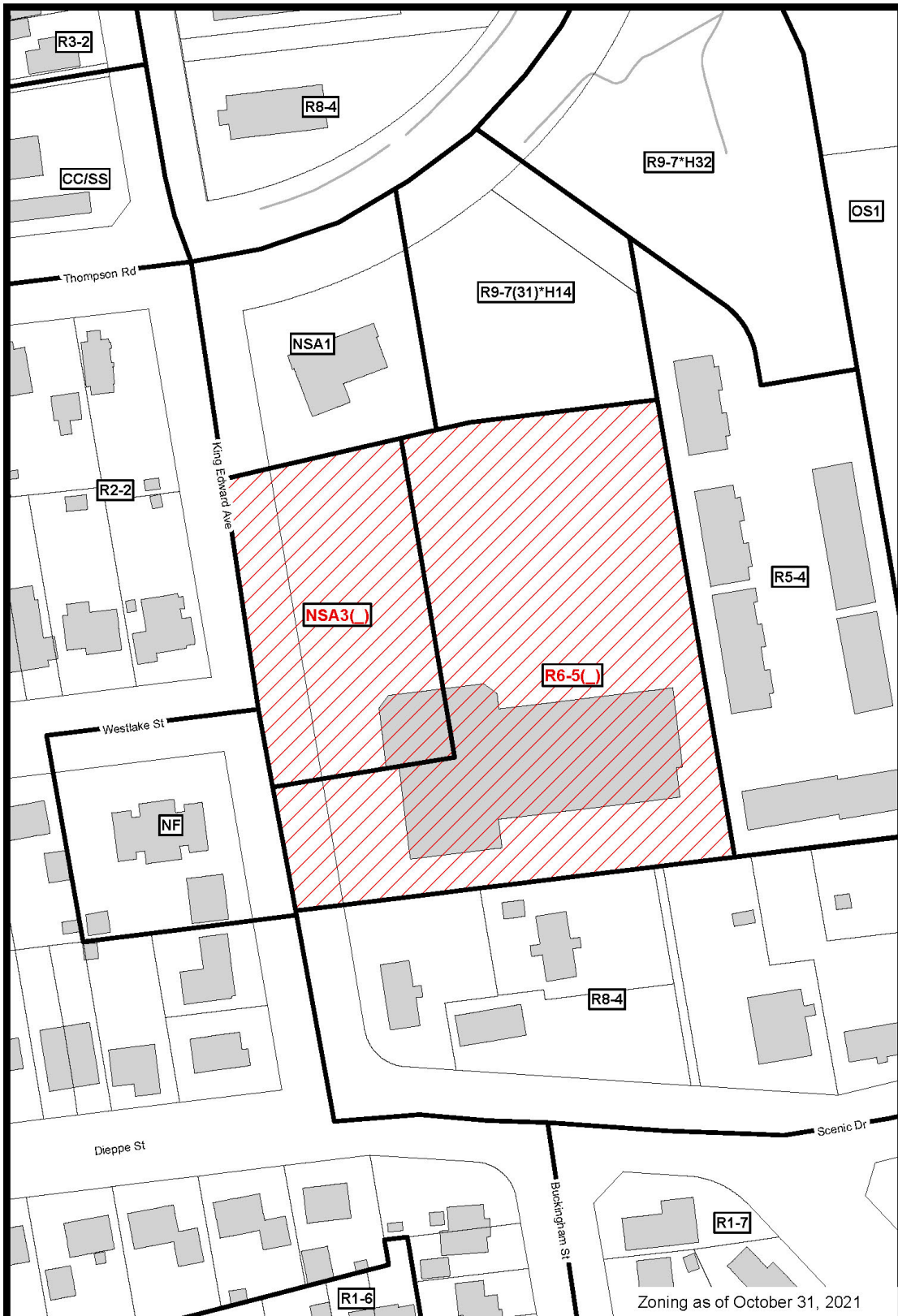
PASSED in Open Council on January 25, 2022.

Ed Holder
Mayor

Michael Schulthess
City Clerk

First Reading – January 25, 2022
Second Reading – January 25, 2022
Third Reading – January 25, 2022

AMENDMENT TO SCHEDULE "A" (BY-LAW NO. Z.-1)



Zoning as of October 31, 2021

File Number: Z-9398

Planner: GB

Date Prepared: 2021/11/10

Technician: RC

By-Law No: Z.-1-

SUBJECT SITE 

1:1,250

0 5 10 20 30 40 Meters

