

# HERITAGE IMPACT ASSESSMENT

551-555 Waterloo Street  
London, Ontario

Date:  
**FEB 26, 2021**

Prepared for:  
**Mr. David K. Russell**  
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HERITAGE IMPACT ASSESSMENT  
551 WATERLOO STREET, LONDON, ON

a+LiNK Architecture Inc.

26 Feb 2021

Project No. 1929

Mr. David K .Russell  
The Apartment Shoppe  
382 Queens Avenue  
London, ON N6B 1X6

Re: Heritage Impact Assessment  
551 - 555 Waterloo Street  
London, Ontario N6B 2R1

Dear Mr.

Attached is the Heritage Impact Assessment for the property located at 551-555 Waterloo Street in regards to the residential development proposal incorporating the property, located within the West Woodfield Conservation District of London, Ontario.

We look forward to the opportunity to present this report to the City as you may require. Please do not hesitate to contact us with any questions or comments regarding this report.

Sincerely,



Ed van der Maarel  
Partner, Principal Architect + Heritage Consultant  
dipl. Arch., OAA, dipl. Arch.Tech., CAHP, OAHF

and

Tara McLaughlin  
Architect, OAA  
MArch., B.E.D.S, BA Hons

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# 1. SUMMARY AND RECOMMENDATIONS

The client, Mr. David K. Russell of The Apartment Shoppe, proposal to retain and restore the property located at 551-555 Waterloo Street while integrating a rear addition to provide a conversion to multi-unit residential use from the existing uses as office space and former use as single family residences. Furthermore, the proposal retains the two and a half storey structure within the neighbourhood, and reinforces the architectural merit of the B-Rated property as part of the streetscape within the context of the West Woodfield Heritage Conservation District.

The prominent location of the site within the downtown core and West Woodfield Heritage Conservation District makes it an important property to assess for any potential impacts of a proposed development. The potential heritage impact of the proposed addition and alteration to 551-555 Waterloo Street, designated under Part V of the OHA, By-Law L.S.P.-3400-254, in March 9, 2009, has been assessed for its impacts against the West Woodfield Heritage Conservation District Plan Policies and Guidelines, and the mitigating approaches analyzed as per the Provincial Policy Statement (PPS) 2020. The proposed development of conversion to multi-unit residences and integration of the cultural heritage assets of the property within the addition provides the platform for the vibrancy and character desired within the West Woodfield Heritage Conservation District. As with most additions and alterations to properties within a designated heritage district, location, height, density, and massing of proposed development provide the highest levels of impact on cultural heritage assets.

The proposed development will provide low density residential units to support the long term economic protection of the property, while also reducing the impact of the proposal on the streetscape of Waterloo Street. Further, the proposal pays homage to the abutting conditions of the site with contemporary variations on the historical architectural detailing and massing through a sensitive addition at the rear that will be reversible. These are key goals of the West Woodfield HCD.

The primary mitigating factors for the multi-unit residential conversion are; retaining the existing property as a key element contributing to the heritage of the streetscape along Waterloo Street and its architectural merit (although the property is not designated for its individual heritage value). Further the addition is located to the rear of the existing residences, with the proposed height, massing and form similar to that of the original buildings, and in particular the use of gable-pitched rooflines that highlight not only the existing residences but nearby and adjacent properties. The proposed design integrates the existing residences with a contemporary addition that is both subordinate to and discernible from the original buildings. The existing contemporary pedway that was added to connect the two residences at the second storey between the south elevation of 555 and the north elevation of 551 along the interior side yards will be replaced with a sensitive and more contemporary glass “link” at all stories to allow for the integration of the new units on all levels and the rear access to the parking from each unit via the exit stair. The pedestrian and vehicular circulation to access the rear lot and entrances, will be located to the south side of the property along the sidewalk and existing service laneway, respectively. The client has also proposed to widen the entrance of the laneway at Waterloo Street to reduce the strain on the traffic turning into this laneway that has become a noticeable concern as currently the residents of several adjacent properties along Princess Ave and Waterloo Street also utilize this roadway.

Importantly, the addition does not negatively affect the views, vistas or other heritage elements of nearby and adjacent properties outlined in Section 5.0 Heritage Context, specifically adjacent properties at 549 and 559 Waterloo Streets based on the assessment of the addition at rear and the glass “link”.

While the proposed development achieves the majority of mitigation approaches identified in Section 7.0 of this document and of the PPS 2020, there are a few minor recommendations that would further assist in the mitigation process. The massing, form and height of the addition as well as the face of the exterior facades

# 1. SUMMARY AND RECOMMENDATIONS

on the south and north elevations aligns with that of the existing residences. However, in order to successfully achieve the appearance of the addition as blending into the surroundings, and the use of glass to create a sense of transparency while also reflecting the surrounding environment, consideration for the type and colour of the glass should be specifically addressed to both meet these design concepts and respect the identity and character of the neighborhood and the West Woodfield HCD.

In conclusion, the proposed development meets the guidelines and mitigating measures as provided in the PPS 2020, The London Plan, and most importantly, the West Woodfield Heritage Conservation District Plan. While we recommend further refinements in the design for consideration as the project proceeds to the detail and working drawing phase, we believe the design is a good example of respecting and integrating the surrounding heritage value of the district with an addition that allows for harmonious connection of new and old. Many low density multi-unit residential conversions have already been successfully integrated within the district to provide increased housing as the current demand and housing shortage grows. The proposed addition and alterations to the B-Rated, Part V designated property at 551-555 Waterloo Street align with the key goals and principles of West Woodfield and will contribute to the vibrancy and character of the historically significant area, while improving the longevity of the property.

## 2. INTRODUCTION

a+LiNK architecture inc. was retained by the client, Mr David K Russell of The Apartment Shoppe, to provide a Heritage Impact Assessment (HIA) for the property located at 551-555 Waterloo Street, London, Ontario, in regards to the proposed residential development conversion from office use (but originally single family residential) to multi-unit residential use on the west side of the property. This report has been prepared by Ed van der Maarel, Partner, Principal Architect and Heritage Consultant (OAA, CAHP) and Tara McLaughlin, Architect and Heritage Consultant (OAA). The proposal is being submitted as part of a Zoning Amendment Application and Site Plan Application for the property located at 551-555 Waterloo Street, and the HIA is included as part of this application.

The purpose of the Heritage Impact Assessment is to analyze the impact of the proposed addition and alteration on the heritage value of the property and the surrounding area. The building is designated under Part V of the Ontario Heritage Act (OHA), located within the West Woodfield Heritage Conservation District (HCD). There are also several nearby and adjacent properties that are listed under Part V of the HCD, as well as many individually designated properties under Part IV of the OHA. These properties are listed on the Register of Cultural Heritage Resources for the City of London, and are listed as either A or B-Rating in terms of significance.

The property and proposed addition are located approximately one block northeast of the downtown core, north of Princess Avenue and south of Wolfe Street on the west side of Waterloo Street, a major artery that runs north-south through the downtown core of London. Currently the property houses commercial residents on the main floor and rental apartment units above. The property is comprised of two residential properties, similar but not the same, in design and massing. The two residences are connected by a contemporary second storey pedway (not original) on the interior side lots of each building, rendering the two as one property: 551-555 Waterloo Street.

A new low density residential development is proposed for the property, converting the current offices and apartments into ten (10) residential units with access to grade from a communal exit staircase located at the rear centre of the addition, and proposed ramp. There is an existing rear parking area which will also be upgraded. The addition is approximately 6 meters deep and 2.5 storeys in height, and aligns with the width of the existing residences on the north and south sides. Further, the addition aligns with the height of the existing residences adjacent, and mimics the existing gables in the pitch and form. The addition is proposed at the rear of the property, along with the replacement of the existing pedway with a glass “link” that connects the buildings on all storeys between the two properties at the rear of the front elevations towards the back of the residences on the interior side yards. The units will be located throughout the basement, main, second and third storeys. Because the property is located within a Heritage Conservation District (HCD) there are a number of policies and guidelines surrounding the site that deem the protection and integration of any intervention as highly important. The design proposes changes to the existing zoning and floor area ratios, requiring a Zoning Amendment Application subsequent to the Site Plan Application. As part of the approval process, a Heritage Impact Assessment (HIA) is required. A heritage permit must also be obtained from the municipality prior to the issuance of a building permit and the construction of the addition, alteration and any restoration and repair work.

This document outlines the observations of the proposed design and the impact of the development on the Part V designated property located at 551-555 Waterloo Street, along with the impact on any nearby and adjacent designated Part IV and V properties within the district. The document also provides insight into the context of the property, history and summarizes mitigation strategies that have been met by the proposal or suggested for implementation.

### 3. POLICIES AND TERMS OF REFERENCE

The Provincial and the Municipality has set in place a number of policies and terms of reference for the purpose of protecting, preserving, and integrating cultural heritage resources within Ontario cities. The following Policies and Terms of Reference have been used in the preparation of the this Heritage Impact Assessment:

#### 1. THE PLANNING ACT AND PROVINCIAL POLICY STATEMENT (PPS) 2020

The Provincial Policy Statement (PPS) is the statement of the government's policies on land use planning. It applies province-wide and provides clear policy direction on land use planning to promote strong communities, a strong economy, and a clean and healthy environment.

The PPS is issued under Section 3 of the Planning Act and is utilized by municipalities to develop their official plans and to provide guidance and information in regards to planning matters. Specifically, and in regards to cultural heritage, the Planning Act has provisions respecting the province's cultural heritage. The PPS provides general guidance for municipalities for planning and development of communities in a number of ways by; encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes.

Section 2.6 of the Act, specifically 2.6.1, 2.6.3, 2.6.4 and 2.6.5 provides municipalities with rules as to the cultural resources within the community.

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5 Planning authorities shall consider the interests of Aboriginal communities in conserving cultural heritage and archaeological resources.

The PPS 2020 further provides definition to municipalities in regards to the terms used to describe cultural heritage.

**Built heritage resource:** means a building, structure, monument, installation or any manufactured remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Aboriginal community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the Ontario Heritage Act, or included on local, provincial and/or federal registers.

**Conserved:** means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-Provincial Policy Statement, 2020 | 42 maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

### 3. POLICIES AND TERMS OF REFERENCE

**Cultural heritage landscape:** means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.

**Development:** means the creation of a new lot, a change in land use, or the construction of buildings and structures, requiring approval under the Planning Act, but does not include:

- a. activities that create or maintain infrastructure authorized under an environmental assessment process;
- b. works subject to the Drainage Act; or
- c. for the purposes of policy 2.1.4(a), underground or surface mining of minerals or advanced exploration on mining lands in significant areas of mineral potential in Ecoregion 5E, where advanced exploration has the same meaning as under the Mining Act. Instead, those matters shall be subject to policy 2.1.5(a).

**Heritage attributes:** means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant views or vistas to or from a protected heritage property).

**Protected heritage property:** means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

While the property is not designated under Part IV of the Ontario Heritage Act, it is located within the West Woodfield Heritage Conservation District, designated under Part V of the Ontario Heritage Act. As per City of London By-law for Heritage Alteration Permits, a Heritage Impact Assessment is required when a property within a Heritage Conservation District (HCD) is altered, and the PPS 2020 provides the tools necessary as a Terms of Reference for the document.

#### 2. THE ONTARIO HERITAGE ACT

The Ontario Heritage Act (OHA), R.S.O, 1990, c.0.18 is the legislation for the conservation of significant cultural heritage resources in Ontario. Part V of the OHA references Heritage Conservation Districts. Part V outlines the requirements for designation of a district and requires that all HCD's within a municipality be registered under that section. The HCD also helps to manage changes within a specified district while also protecting the cultural heritage value of the HCD. This Heritage Impact Assessment (HIA) will refer to these policies to determine the potential impacts, mitigation approaches and any conservation recommendations for the development alterations at 551 Waterloo Street as they relate to the West Woodfield HCD principles, policies and guidelines. Ultimately, the goal of the HIA is to ensure that the new additions maintain compatibility within the neighbourhood, as well as the visual streetscape and essence of the community within Woodfield.



# 3. POLICIES AND TERMS OF REFERENCE

## 3. THE LONDON PLAN

The London Plan, Minister Approved, December 28, 2016, *'constitutes the Official Plan for the City of London, prepared and enacted under the authority of the provisions of Part III of the Planning Act, R.S.O. 1990, c. P.13. It contains goals, objectives, and policies established primarily to manage and direct physical change and the effects on the social, economic, and natural environment of the city.'*

The London Plan provides for provincial interest and is designed to include the requirements of the Provincial Policy Statement (PPS) 2014/2020. Section 24 of the Planning Act, R.S.O. 1990, c. P. 13, identifies that "no public work shall be undertaken and no by-law shall be passed for any purpose that does not conform with this Plan. This includes for approvals of planning and development applications such as official plan amendments, Zoning by-law Amendments, plans of condominium, site plans, consents to sever, and minor variances.

While 'The London Plan' is organized in nine (9) parts, Part 4 specifically outlines 'Cultural Heritage' in its City Building Policies. However other Parts, ie. Part 7 Secondary Plans contribute to the Planning Process and the preservation and integration of the City's cultural heritage.

The specific direction provided in The London Plan is to: *"Protect our built and cultural heritage, to promote our unique identity and develop links to arts and eco-tourism in the London region"* and *"Protect what we cherish by recognizing and enhancing our cultural identity, cultural heritage resources, neighbourhood character, and environmental features."*

The London Plan and its Policies apply to the proposed development site and there the preservation of the City's cultural heritage must align with these policies.

## 4. CITY OF LONDON - TERMS OF REFERENCE: HERITAGE IMPACT ASSESSMENTS AND HERITAGE CONSERVATION DISTRICTS

The proposed development for the property located at 551-555 Waterloo Street is being submitted for re-zoning as part of the Site Plan Application (pre-consultation), and as part of the application, a Heritage Impact Assessment is required.

### ***City of London Heritage Impact Assessment***

The City of London does not have specific Terms of Reference for the preparation of Heritage Impact Assessments. Generally, municipal Terms of Reference are based on Provincial Policy Statements' Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the PPS. This document has provided the general terms of reference for this HIA.

### ***City of London Heritage Conservation District - West Woodfield***

The City of London maintains By-Laws to protect areas considered of high heritage value within the city boundary. These areas are known as Heritage Conservation Districts. The site at 551-555 Waterloo Street is located within a Heritage Conservation District (HCD) called *the West Woodfield Heritage Conservation District*. The City of London Designated the area under Part V of the OHA, By-Law L.S.P.-3400-254, in March 9, 2009. A Heritage Alteration Permit (HAP) Application may also be required to adhere to the Heritage Conservation District Plan and By-Law when a proposed development permit is made for a property within the district. Presently there are policies and

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guidelines that have been implemented to conserve the HCD, with the primary goal of the HCD to retain the original street facades of the historic homes and other buildings. The historical and architectural 'Reasons for Designation' (and the district boundary) identified under Part A, Section 2.0 of the HCD Plan are important in highlighting the specific conservation and preservation requirements for the site located at 551-555 Waterloo Street. The HCD also includes Part A, Section 3.0, which outlines the key Heritage District Goals, Objectives and Principles. Further information on District Policies (4.0), Municipal Policies (5.0), and Heritage Alteration Permits (6.0) are provided in Part B of the plan, as well as Implementation (7.0). Part C, Sections 8.0, 9.0, and 10.0 detail the Guidelines for Architectural Design, Streetscape Design and Conservation Guidelines, respectively. Finally, Part D outlines helpful resources.

A summary of the Heritage District Goals, Objectives and Principles are listed below, as an overview to help inform this HIA. Specific District and Municipal policies (listed under Sections 4.0 and 5.0 of the HCD) as they relate to the property at 551-555 Waterloo Street will be further outlined in the report, and applicable Architectural Design Guidelines found under Section 8.0 of the HCD. For the complete document, refer to the West Woodfield Heritage Conservation Plan.

#### Heritage District Goals, Objectives and Principles - West Woodfield

Section 3.1 of the HCD outlines the Goals and Objectives for the area. There are five goals and objectives that provide the framework for the conservation of the HCD over the longterm, including the conservation approach and the guidelines. The goals are listed below.

#### Goals and Objectives

##### *Overall Heritage Conservation District*

*Goal:* Recognize, protect, enhance and appreciate West Woodfield's cultural heritage resources, including buildings, landscapes and historical connections, and value their contribution to the community by:

- Identifying a heritage conservation district boundary that incorporates the key historical, architectural and contextual attributes of West Woodfield;
- Encouraging the retention, conservation and adaptation of the District's heritage buildings and attributes, as described in the Study and Plan, rather than their demolition and replacement;
- Providing guidance for change so that the essential architectural and streetscape character of the District is maintained and, wherever possible, enhanced;
- Identifying and building community awareness of unique or significant heritage attributes and appropriate means of preserving and/or restoring them.

##### *Buildings*

*Goal:* Avoid the destruction and/or inappropriate alteration of the existing building stock, materials and details by:

- Establishing policies and design guidelines to ensure new development and alterations are sensitive to the heritage attributes and details of the District and are based on appropriate research and examination of archival and/or contextual information;
- Strongly discouraging the demolition of heritage buildings and the removal or alteration of distinctive architectural details;
- Encouraging individual building owners to understand the broader context of heritage preservation, and recognize that buildings should outlive their individual owners and each owner or tenant should consider

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themselves stewards of the building for future owners and users;

- Encouraging sensitive restoration practices that make gentle and reversible changes, when necessary, to significant heritage buildings;
- Encouraging improvements or renovations to modern era buildings that are complementary to, or will enhance, the District's overall character and streetscape;
- Providing homeowners with conservation and maintenance guidelines and best practices so that appropriate building and repair activities are undertaken.

#### *Streetscape*

**Goal:** Maintain and enhance the visual, contextual and pedestrian oriented character of West Woodfield's streetscape and public realm by:

- Recognizing that the area's heritage includes streets, parks, trees, open spaces, monuments, street furniture, signs and all manner of items that contribute to the visual experience of a community, whether public or privately owned;
- Maintaining existing street trees, vegetation and boulevards and develop replacement programs where necessary to ensure tree canopy retention over time;
- Establishing a common 'language' of streetscape elements that will complement the heritage attributes of the District and create greater continuity where disparate land uses and built forms exist;
- Identifying opportunities for interpretive features that can bring awareness of the District's heritage attributes to residents and visitors.

#### *Land Use*

**Goal:** Maintain the low-density residential character of the West Woodfield Heritage Conservation District as the predominant land use, while recognizing that certain areas of the District already have or are intended for a wider range of uses by

- Ensuring that appropriate Official Plan policies, designations and zoning regulations are in effect that support the residential community;
- Establishing policies that will consider and mitigate the potential impacts of non-residential or higher intensity residential uses on the heritage character of low-density residential areas;
- Developing area or site-specific policies and guidelines for those areas intended for non-residential or higher intensity residential uses that will protect key heritage attributes, while allowing greater latitude for potential alterations or redevelopment;
- Ensuring that infill development or redevelopment is compatible with the heritage character and pedestrian scale of the District.

#### *Process*

**Goal:** Ensure that the permit approvals process for the West Woodfield Heritage Conservation District is effective, streamlined and easily understood by:

- Describing which types of alterations or classes of alterations will and will not require a heritage alteration permit;
- Providing property owners with relevant information (e.g. - terminology, checklists, graphics, etc) to simplify applications for heritage alteration permits, when required;

### 3. POLICIES AND TERMS OF REFERENCE

- Identifying potential funding, grant or rebate programs that exist or should be considered that will assist homeowners in completing heritage-appropriate restoration and alterations;
- Clearly establishing the roles and responsibilities of those involved in the approvals and decision-making process.

#### Principles

The following principles from the West Woodfield HCD outline the overall foundation to conservation that should be considered, particularly in situations where the policies and guidelines of the HCD do not specifically address a situation or issue. The principles provide the backbone for the plan, offering fundamental direction in lieu of applying specific guidelines or policies from the HCD.

*Preserve the Historic Context* - A heritage building represents the individuals and periods from history that have been associated with it. The building records the original designer and builder's intentions as well as the historic forces that were at play when it was built. Subsequent alterations to the building also record the historic context at the time of the alterations. It is appropriate to acknowledge that a building is both a functional enclosure and a vehicle for history. As such, historical context is to be considered when planning restorations, alterations or redevelopment.

*Maintain and Repair* - All buildings require some continuous methods of conservation as they are exposed to the constant deteriorating effects of weather and wear from use. Owners are encouraged to undertake appropriate repair and maintenance activities of heritage properties. Plans for alterations and restoration should also consider the amount and type of maintenance that will be required.

*Find a Viable Social or Economic Use* - Buildings that are vacant or under-utilized come to be perceived as undeserving of care and maintenance regardless of architectural or historic merit. City Council and staff should actively encourage and support appropriate forms of adaptive reuse when necessary to preserve heritage properties.

*Preserve Traditional Setting* - A building is intimately connected to its site and to the neighbouring landscape and buildings. Land, gardens, outbuildings and fences form a setting that should be considered during plans for restoration or change. An individual building is perceived as part of a grouping and requires its neighbours to illustrate the original design intent. When buildings need to change there is a supportive setting that should be maintained.

*Preserve Original Decoration and Fittings* - A building fits into its larger setting and at a smaller scale is the frame for the decorations and fittings that completed the original design. The original exterior decorations such as bargeboards, verandah trim, wood, metal or brick cornices and parapets are all subject to weathering and the whim of style. Resist the urge to remove or up-date these features or to replace them with poor reproductions of the originals. Their form and materials are an inextricable part of the original design and should enjoy the same respect as the whole building. Where practical, fittings and equipment should be preserved or re-used.

*Restore to Authentic Limits* - Resist the temptation to embellish a restoration and add details and decorations that would not have been part of the history of the building.

*Employ Traditional Repair Methods* - Deteriorated elements and materials that cannot be salvaged should be repaired or replaced with the same materials and inserted or installed in a traditional manner. In some cases, some

modern technologies ensure better and longer lasting repairs than traditional methods and should be employed if proven to be an improvement.

*Respect Historic Accumulations* - A building is both a permanent and a changeable record of history. The alterations that have been made since the original construction also tell part of the history of the place and the building. Some of those alterations may have been poorly conceived and executed and research may determine that they can be removed. Other alterations and additions may have merits that warrant incorporating them into the permanent history of the building. In many cases, it is difficult and unrewarding to fix a point in history as the target date for restoration. It is more appropriate to aim for a significant period in the history of the building, but be flexible in accommodating more recent interventions that are sympathetic and have improved the historical or functional nature of the building. Respect does not mean rigid.

*Make New Replacements Distinguishable* - The construction eras and historical progression should be self-evident. Although new work should be sympathetic to the original and match or mimic as appropriate, it should not attempt to appear as if built as part of the original.

*Avoid Additions* – If the original size and shape of a building works for the intended use, avoid new additions that would cover parts of the original building. Additions that are necessary should be sympathetic and complementary in design, and if possible, clearly distinguishable from the original construction by form or detail.

*Document Changes* – major works of preservation and restoration should be documented in writing and/or in drawings and photographs to provide a historical record of the changes and to provide assistance to others who may be undertaking similar work. The records should be archived in a safe, public location for future reference and research

West Woodfield Heritage Conservation District Plan, Stantec, 2008

## 4. DESCRIPTION OF SITE

### 4.1 CITY CONTEXT

The site of 551-555 Waterloo Street is located in London, Ontario, approximately one block northeast of City Centre and City Hall, in the area of Woodfield known as the West Woodfield Heritage Conservation District. The property is located north of Princess Avenue and south of Wolfe Street on the west side of Waterloo Street, a major artery that runs north-south through the downtown core of London from Kings University College at Western University to York Street. The site is also bounded on the south by a narrow vehicular service laneway connecting to the parking lot at the rear of 551-555 Waterloo, as well as to the rear of other adjacent properties. The laneway continues west towards the parking lot at 550 Wellington Street and then turns north and terminates at the west end of Wolfe Street.



Image 1: City Context Map. Basemap: Google Earth, 2020.

# 4. DESCRIPTION OF SITE

## 4.2 NEIGHBOURHOOD CONTEXT: WEST WOODFIELD HERITAGE CONSERVATION DISTRICT

The site is located within the West Woodfield Heritage Conservation District, designated Part V of the OHA, under By-Law L.S.P.-3400-254, in March 9, 2009. West Woodfield is considered to be one of the most significant areas within the City of London, and an area of high heritage value. Here there is a large proportion of residences and buildings designated under Part IV of the Ontario Heritage Act, or listed in the City of London’s Inventory of Heritage Resources. There are also several significant civic and institutional properties, and public spaces, as well as retail and commercial properties within the area. There are approximately 500 properties in total within the district.

The district is bounded by Richmond Street to the West, Dufferin Avenue and Queens Avenue (east of Wellington Street and west of Peter Street) to the South, Maitland and Peter Streets to the east, and Central Avenue and Pall Mall Street to the north.

Further information on the historical significance of the area is included in Section 5.0 of this report.



Image 2: Neighbourhood Context Map. Basemap: Google Earth, 2020.

## 4. DESCRIPTION OF SITE

### 4.3 SITE + PROPERTY CONTEXT

#### ***Existing Site - 551-555 Waterloo Street - B Rating***

551-555 Waterloo Street is located on the west side of Waterloo Street, north of Princess Avenue and south of Wolf Street. The property consists of two yellow-buff brick, two and a half storey residential-style Victorian properties (551 and 555) built circa 1905. Some original doors, windows, trimwork, and decorative elements may still be present on the property, while others appear to have been replaced with modern versions. The wood trim work and decorative details along the windows and rooflines are painted a deep blue colour that does not appear to be the original colour. Interlocking brick pathways lead to the entrances of the properties from the sidewalk along Waterloo Street, and gardens and trees flank both entrance porches. The entrance porch of 551 is enclosed to the west of the entrance, while the porch wraps around the west side of 555 and is a covered exterior space.

While similar in form and massing, the two properties are not the same design and the facades vary. The two buildings are connected by a glass-enclosed pedway at the second storey located closer to the rear of the buildings that is contemporary. The pedway can be seen from both the front of the property along Waterloo Street, and from the rear of the property at the parking area. The parking area at rear can accommodate 22 parking spaces and is flanked by large trees to the west and north. It is accessed by an interlocking brick pedestrian pathway from under the tunnel, and by a paved vehicular service laneway to the south of the property at 551 Waterloo Street. This laneway and parking area also appears to provide access to the rear of adjacent properties along Wolfe Street and Princess Avenue. There are two exterior fire escape stairs at the rear of the properties: a wood stair leading from 551, and a metal stair at 555 Waterloo Street.

The site is approximately 0.35 acres with a building footprint of 270 square meters. The total gross floor area of the existing buildings is approximately 1000 square meters. The site is currently zoned as R3-2(6), OC4, T-72, and the property is leased as commercial space and offices by rent3000.ca, as noted by the information on the low-arched address sign located in the centre of the lawn between the two buildings. The property is owned by David K Russell of The Apartment Shoppe. The property at 551-555 is not designated under Part IV of the OHA, but is listed as a B-Rated property on the City of London's Register of Cultural Heritage Resources and in the HCD, and is designated under Part V of the OHA as part of the West Woodfield Heritage Conservation District.

#### ***Nearby/Adjacent Properties - A Rating***

There are several properties located adjacent to 551-555 Waterloo Street that are designated as part of the HCD, and considered of heritage value. These properties have views from their side or rear elevations to the existing site: 300, 306, 308, 320, 322 and 334-336 Princess Avenue, 549 and 559 Waterloo Street, and 315 and 317 Wolfe Street. Of these nearby and adjacent properties, most are individually designated under Part IV of the OHA, except for three: 300 and 306 Princess Avenue, and 559 Waterloo Street. All of the properties are listed as A-Rated properties on the City of London's Register of Cultural Heritage Resources, and all are designated as part of the West Woodfield Heritage Conservation District, under Part V of the OHA. The property at 308 Princess Avenue is also listed on the Historic Places Register (National Register). The properties are all stately residences serving as single-family and/or multi-tenant spaces, while some have been converted into office and commercial spaces. The only exception is 549 Waterloo Street, which is a three-story walk-up apartment building. The adjacent property at 549 Waterloo Street, along with the property to the north of the site at 559 Waterloo Street are of particular importance due to their close proximity and direct adjacency to 551-555 Waterloo Street.



## 4. DESCRIPTION OF SITE

### **Nearby/Adjacent Properties (Opposite Waterloo Street) - B Rating**

There are also five properties located opposite 551-555 Waterloo Street on the east side of the street that are included within the context of the site description, as these properties may be in direct sight of the proposed development either from the south elevation of 551 Waterloo Street, or along the front/east elevation. The addresses include: 532, 538, 544, 548 and 552 Waterloo Street. These are listed as B-Rated properties within the HCD and on the Register, and all but one are not designated under Part IV of the OHA. The exception being 532 Waterloo Street; it is designated under Part IV of the OHA.

A site map identifying the nearby/adjacent properties in context of the existing property is provided below, as Image 3. Details regarding the historical significance of the property located at 551-555 Waterloo Street and the nearby/adjacent properties are included in this report under Sections 5.0 Historical Context, along with the excerpts of the listings for all of the properties noted within the report on the City of London's Register of Cultural Heritage Resources (Image 8). Any potential impacts of the proposed development on the aforementioned properties is subsequently assessed and provided under Section 7.0 Impacts of Proposed Development.



Image 3: Site+ Property Context Map. Basemap: Google Earth, 2020.

## 5. HISTORICAL CONTEXT

### 5.1 NEIGHBORHOOD HISTORICAL VALUE - WEST WOODFIELD HERITAGE CONSERVATION DISTRICT (PART V)

As outlined in the West Woodfield Heritage Conservation District, By-law 3400-254

The lands comprising Woodfield were surveyed into building lots in 1840 following the incorporation of the City and the extension of its boundaries east to Adelaide Street. Several large blocks of land were granted to a small number of individuals and institutions, most of whom had registered plans of subdivision for their properties by 1855. An initial burst of development followed in the 1860s and 1870s resulting in a fairly dense pattern of growth consisting largely of one-storey frame dwellings. A second period of intense development followed in the 1880s lasting to about 1914, characterized by further subdivision of the large lots which resulted in the variety of styles and materials that can be seen today. By 1914, Woodfield was a well-established neighbourhood whose residents belonged to the same churches and clubs and in many cases were the City's business and political leaders.

West Woodfield Heritage Conservation Plan - Home Owner's Heritage Guide, Stantec, 2008

#### 5.1.1 HERITAGE CHARACTER STATEMENT

##### ***Historic Character***

As the one of the oldest neighbourhoods in London, Ontario, most of the surviving structures and residences were built circa 1880-1914 when the city experienced a major growth for merchants, manufactures and professionals. The area is a prime example of a prosperous class of elite Londoners that thrived during this period, hiring significant architects such as Robinson, Durang and Moore (the leading firm during the time) to design their stately manors. The majority of the area comprises residential properties, but also includes major civic, institutional and founding churches of several denominations, as well as public parks. City Hall (1971), Victoria Park (1878), the Metropolitan United Church (1896) and Dufferin Hall (Masonic Temple, 1964) are all located along the Dufferin Avenue corridor, while London Central Secondary School (c 1912) is situated at the corner of Waterloo Street and Dufferin Avenue. The Elsie Perrin Williams Memorial Library (1940), located on Queen Street, is a National Historic Site.

##### ***Architectural Character***

The area of West Woodfield has a significant history of growth and development through the late 19th and early 20th centuries as one of the most prominent neighbourhoods in the City of London, Ontario. Prominent architectural styles were explored through the construction of stately properties, using high quality materials: Queen Anne, Edwardian, Neo Classical, Vernacular and Italianate. There is a visual consistency in the architecture through repetition, decorative woodwork, projecting bays, fenestration, and window details. Several significant buildings were constructed within the district during this period and remain today. There are also many significant residential properties that have been included within the HCD that are designated under Part IV of the OHA, and/or listed on the Register for City of London, including the property located at 551-555 Waterloo Street.

##### ***Streetscape Heritage Character***

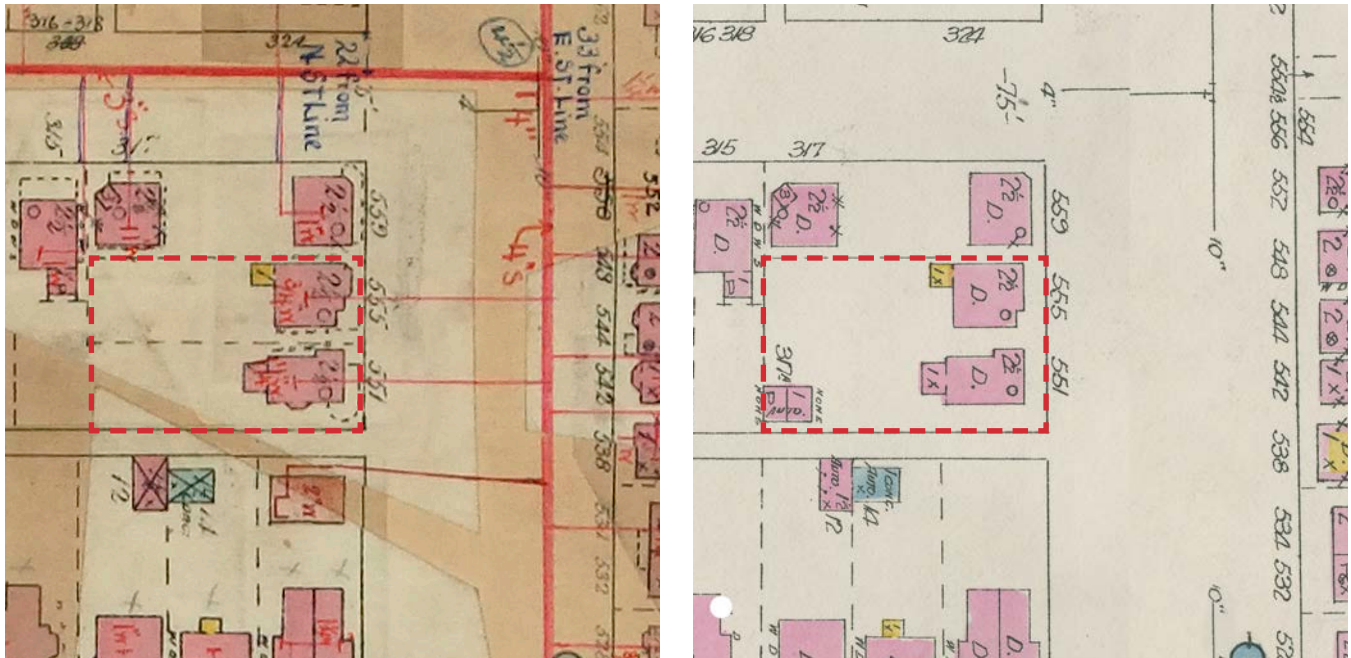
Victoria Park is at the core of West Woodfield, in the centre of London's history. Large trees with canopies contribute significantly to the stately nature of the vehicular corridors around the park and the pedestrian corridors throughout it. The residential arteries of West Woodfield maintain traditional patterns, rhythm and grandeur of the flora, fauna and trees carried over from Victoria Park and are consistent within the district. These decorate the street corridors and stately front lawns, beyond the contributing historical and architectural assets of the area.

# 5. HISTORICAL CONTEXT

## 5.2 BUILDING HISTORICAL VALUE + CONTRIBUTING ATTRIBUTES: 551-555 WATERLOO STREET (PART V)

The West Woodfield Heritage Conservation District Plan provides the necessary references to help frame the understanding of the value of the property at 551-555 Waterloo Street, as it relates to the HCD in a historical, architectural and streetscape context. The HCD also outlines the rating of each property within the district, using a scale of A, B, C and D. Properties of high heritage value, designated properties under Part IV of the Heritage Act, or properties that retain their value are included as A and B, while those of a C-Rating include properties whose form, massing or modest design are historical (but repeated). D-Rating includes those buildings in which the heritage qualities have been irreversibly lost or covered, or the original design lacks architectural merit to contribute to the HCD.

The property located at 551-555 Waterloo Street is rated as level B in terms of significance within the HCD and on the Register. Because it is not designated under Part IV, it is likely that the property contributes to the overall streetscape of the HCD of West Woodfield because of its sequence, grouping or location, as well as its general architectural merit, which is representative of the Victorian style. The massing and form of the property at 551-555 Waterloo Street highlights its program as two (formerly) prominent residential homes along Waterloo Street constructed circa 1905. It also maintains some of the key architectural characters of the district, including the two and a half storey residences with decorative gables, projecting bays, window forms and details consistent with the HCD. The two residences themselves display similar, but not the same, facades, massing, rhythm, gabled roofs and projecting bays. A wrap around porch on the east elevation of 555 Waterloo Street is not present on 551 Waterloo Street - instead there is an enclosed sunroom. The addition of a pedway constructed to link the two properties together at the second floor (closer to the rear of the two buildings) is not considered to be historical. The fire insurance maps indicate that the two homes were originally constructed as separate residences, circa 1905. It is not known if any significant families resided in the homes.



Images 4+5: Fire Insurance Plans of the property, 1892 (rev 1907) and 1912 (rev 1922). Note that based on these records, the residences were separate buildings in 1922. Dotted red line indicates current property boundary of 551-555 Waterloo Street. Courtesy of Western Archives, downloaded Nov 2020.

## 5. HISTORICAL CONTEXT

### ***551-555 Waterloo Street - Designated PART V OHA (HCD); B-RATING***



Image 6: 551-555 Waterloo Street: East/Front Elevation. Note two and a half storey massing, decorative gables, woodwork and projecting bay/window forms and window details. These aspects are significant within the HCD as they contribute to the visual consistency of the district as identified in the architectural character elements within the designation under Part V (OHA). Some original features appear to remain, while many have been replaced. The two properties have been modified with the addition of a contemporary pedway at the second storey (rear). The overall heritage value lies in its location and grouping, and remaining architectural merit as Victorian style residences, contributing to the overall context of the value of the HCD. Google Streetview, 2020.



Image 7: 551-555 Waterloo Street: West/Rear Elevation with parking area. A contemporary dormer with an access door has been added to the upper half storey at the rear of 555 Waterloo Street, and a small addition added to the ground floor of 551 Waterloo Street at grade. The pedway can be seen connecting the two properties at second storey with a pathway below. Contemporary additions and exit staircases have also been added to the rear. Google Streetview, 2020.

## 5. HISTORICAL CONTEXT

### 5.3 NEARBY/ADJACENT PROPERTIES - HISTORICAL VALUE

Several significant buildings ranked as A-Rating and B-Rating, and listed on the Register are also located around the immediate vicinity of the property located at 551-555 Waterloo Street, and their value must be considered in context of the historical value of the HCD and the property proposed to be developed at 551-555 Waterloo Street. The properties in context include: 300, 306, 308, 320, 322 and 334-335 Princess Avenue, 549 Waterloo Street, 559 Waterloo Street, 315 Wolfe Street, and 317 Wolfe Street. Further, there are five properties located opposite to 551-555 Waterloo Street that are also considered including: 532, 538, 544, 548 and 552 Waterloo Street.

Refer to Image 3 for the site map indicating the location of the properties identified, their Rating as either A and B as part of the HCD (under Section 4.0 Description of Site), and their designation(s). Refer to Image 8 on the following page, for the listing on the Register of Cultural Heritage Resources.

### 5.4 HERITAGE ATTRIBUTES

There are specific heritage attributes listed for each of the above-mentioned nearby/adjacent heritage properties that are designated under Part IV and/or Part V of the OHA. Of the fifteen properties noted, eight located adjacent or nearby to 551-555 Waterloo Street are designated heritage properties under Part IV of the OHA, and all are listed on the City of London Cultural Heritage Register. The key heritage attributes for each of the individually designated properties (Part IV) are highlighted below. The full cultural heritage designation outlining the architectural and historical reasons for individual designations, can be found in the designation documents for each property, included as Appendix E of this HIA.

#### 5.4.1 SUMMARY OF THE KEY ATTRIBUTES FOR THE INDIVIDUALLY DESIGNATED PROPERTIES

- Form, scale, and massing of residential properties, fenestration and window arrangements
- Large-scale, two to three storey residences and apartments
- Decorative brickwork, gable rooflines and projecting bays
- Use of Local buff brick, red, white and yellow; including detailing such as the quoins and voussoirs
- General setbacks of the buildings on the properties from the street
- Overall streetscape and incorporation of trees and canopies
- Contextual relationship within the West Woodfield Heritage Conservation District

# 5. HISTORICAL CONTEXT

## EXISTING SITE - 551-555 WATERLOO STREET - B RATING

Row	Street Name	Address	Year Built	Architectural Style	Individual Designating By-law	Interior Attributes	Plaque	Heritage Conservation District	Designating By-Law	Rating	Property Name or Comment	Cultural Heritage Status	Alternate Addresses on the Property	Force and Effect Date
5132	Waterloo Street	551-555 Waterloo St	c1905	Victorian				WW	L.S.P.-3400-254	B		Part V Designated	551 Waterloo St 555 Waterloo St	March 9, 2009

## NEARBY / ADJACENT PROPERTIES - A RATING

Row	Street Name	Address	Year Built	Architectural Style	Individual Designating By-law	Interior Attributes	Plaque	Heritage Conservation District	Designating By-Law	Rating	Property Name or Comment	Cultural Heritage Status	Alternate Addresses on the Property	Force and Effect Date
3599	Princess Avenue	300 Princess Ave	1892	Queen Anne				WW	L.S.P.-3400-254	A	House	Part V Designated		March 9, 2009
3600	Princess Avenue	306 Princess Ave						WW	L.S.P.-3400-254	A		Part V Designated		March 9, 2009
3601	Princess Avenue	308 Princess Ave	1895	Queen Anne	L.S.P.-2865-487	x		WW	L.S.P.-3400-254	A	Joseph Smith House	Both		November 25, 1985
3602	Princess Avenue	320 Princess Ave	c1896	Queen Anne	L.S.P.-3472-2			WW	L.S.P.-3400-254	A	Dunlop Property	Both		December 14, 2009
3603	Princess Avenue	322 Princess Ave	c1905	Vernacular	L.S.P.-3354-762			WW	L.S.P.-3400-254	A	Rand Property	Both		July 16, 2003
3604	Princess Avenue	334 Princess Ave	c1898	Edwardian	L.S.P.-3355-163			WW	L.S.P.-3400-254	A	Morgan Property	Both		July 16, 2003
3605	Princess Avenue	336 Princess Ave			L.S.P.-3355-163			WW	L.S.P.-3400-254	A		Both		July 16, 2003

5131	Waterloo Street	549 Waterloo St	c1914	Edwardian	L.S.P.-3356-164			WW	L.S.P.-3400-254	A	Waterloo Apartments	Both		July 16, 2003
5136	Waterloo Street	559 Waterloo St	c1893	Queen Anne				WW	L.S.P.-3400-254	A	Fendrich Property	Part V Designated		March 9, 2009
5771	Wolfe Street	315 Wolfe St	c1908	Victorian	L.S.P.-3244-688			WW	L.S.P.-3400-254	A		Both		November 7, 1994
5773	Wolfe Street	317 Wolfe St	1902	Queen Anne	L.S.P.-3357-211			WW	L.S.P.-3400-254	A		Both		September 2, 2003

## NEARBY / ADJACENT PROPERTIES (EAST/OPPPOSITE SIDE OF WATERLOO STREET) - B RATING

5127	Waterloo Street	532 Waterloo St	c1875	Italianate	L.S.P.-3277-63			WW	L.S.P.-3400-254	B		Both		March 3, 1987
5128	Waterloo Street	538 Waterloo St	1927					WW	L.S.P.-3400-254	B		Part V Designated		March 9, 2009
5129	Waterloo Street	544 Waterloo St	1887	Italianate				WW	L.S.P.-3400-254	B/C	Blumas Property	Part V Designated		March 9, 2009
5130	Waterloo Street	548 Waterloo St	c1880	Italianate				WW	L.S.P.-3400-254	B		Part V Designated		March 9, 2009
5133	Waterloo Street	552 Waterloo St	1909					WW	L.S.P.-3400-254	B		Part V Designated		March 9, 2009

Image 8: Excerpts from Register of Cultural Heritage Resources, City of London, 2020.

HERITAGE IMPACT ASSESSMENT  
551 WATERLOO STREET, LONDON, ON

## 5. HISTORICAL CONTEXT



Image 9: 300 Princess Ave, South Elevation. Google Streetview, 2020.

### ***300 Princess Street***

**Designation: PART V OHA (HCD), A-RATING**

Constructed circa 1892  
Two and a half storey  
Queen Anne Style  
Red Brick, decorative stone, wood gables + details  
Covered Porch  
Contextual value to streetscape of Princess Ave and West Woodfield HCD



Image 10: 306 Princess Ave, South Elevation. Google Streetview, 2020.

### ***306 Princess Street***

**Designation: PART V OHA (HCD), A-RATING**

Two and a half storey  
Victorian Style  
Red Brick, decorative wood detail and gables  
Covered, wrap-around porch  
Contextual value to streetscape of Princess Ave and West Woodfield HCD



Image 11: South Elevation. Historic Places 2020.

### ***308 Princess Street***

**Designation: PART IV, PART V OHA (HCD), A-RATING**

**Historic Places Register**

PART IV By-law 2865-487

Constructed circa 1895  
Two and a half storey  
Late Victorian Style  
Rock-faced red sandstone, red slate and red brick  
Turret form, slate roof, front veranda with spindles and balustrades, and pediment with frieze and swag design, projecting bays  
Associated with Herbert Matthews, Architect  
Contextual value to streetscape of Princess Ave and West Woodfield HCD

## 5. HISTORICAL CONTEXT



Image 12: 320 Princess Ave, South Elevation. Google Streetview, 2020.

### ***320 Princess Street***

**Designation: PART IV, PART V OHA (HCD), A-RATING**

PART IV By-law 3412-2

Constructed circa 1896  
Two and a half storey  
Queen Anne Style  
White brick, decorative wood details, multi-gabled roof, covered veranda, projecting bay  
Owned and built by Joseph Smith  
Owned later by Victor Blackwell, of Watt and Blackwell Architects, designed many significant buildings in London (Dominion Public Building, Canada Trust  
Contextual value to streetscape of Princess Ave and West Woodfield HCD



Image 13: 322 Princess Ave, South Elevation. Google Streetview, 2020.

### ***322 Princess Street***

**Designation: PART V OHA (HCD), A-RATING**

PART IV By-law 3354-162

Constructed in 1905  
Two and a half storey  
Queen Anne Style  
Red brick, steep-pitched double gabled roof, dormer, two storey projecting bay windows, corbelled chimneys, classically inspired porch with columns, entablature/dentails on rusticated stone foundation  
Rand Property  
Owned by James R. Shuttleworth Family  
Contextual value to streetscape of Princess Ave and



Image 14: 334 Princess Ave, South Elevation. Google Streetview, 2020.

### ***334-336 Princess Street***

**Designation: PART IV, PART V OHA (HCD), A-RATING**

PART IV By-law 3355-163

Constructed circa 1898  
Two and a half storey  
Queen Anne Style  
Red brick (pressed), complex roofline and massing, dormers, corbelled chimneys and decorated facade, two-storey porch and sunroom on south elevation, tall, multi-paned windows (original)  
Morgan Property  
Owned by Stephen Pocock (London Shoe Company)  
Contextual value to streetscape of Princess Ave and West Woodfield HCD



## 5. HISTORICAL CONTEXT



Image 15: 549 Waterloo Street, East Elevation. Google Streetview, 2020.

### ***549 Waterloo Street (Waterloo Apartments)***

**Designation: PART IV, PART V OHA (HCD), A-RATING**

PART IV By-law 3356-164

Constructed in 1912

Three storey apartment building

Edwardian Style

Red brick, projecting frontispiece with inset stone diamonds, panels and insets, flat roof with tin cornice cap, central bays with inset balconies on the southeast corner of all levels and original 9/1 and 12/1 windows

Contextual value to streetscape of Waterloo Street and West Woodfield HCD

Located directly adjacent and to the south of 551-555 Waterloo Street on the south side of the laneway.



Image 16: 559 Waterloo Street, East Elevation. Google Streetview, 2020.

### ***559 Waterloo Street***

**Designation: PART V OHA (HCD), A-RATING**

Constructed circa 1893

Two and a half storey

Queen Anne Style

Yellow buff brick, corner residence with three storey tower set at the northeast corner and covered veranda wrapping around the ground level on both Waterloo and Wolfe Streets

Owned by Norwich Family and known as Fendrich Property

Contextual value to streetscape of Waterloo Street and West Woodfield HCD

Located direct adjacent and to the north of 551-555 Waterloo Street



Image 17: 315 Wolfe Street, North Elevation. Google Streetview, 2020.

### ***315 Wolfe Street***

**Designation: PART IV, PART V OHA (HCD), A-RATING**

PART IV By-law 3244-688

Constructed in 1908

Two and a half storey

Late Victorian Style

Romanesque influences, slate roof with large chimney, gable with large oval window and recessed porch, limestone piers and wood columns, balustrades, arched doorway with egg and dart terra cotta mouldings, limestone headers, central projecting bay

Owned by Walter Simson (John Marshall and Co. manufacturers of hats, caps and furs)

Contextual value to streetscape of Wolfe Street and West Woodfield HCD

## 5. HISTORICAL CONTEXT



Image 18: 317 Wolfe Street, North Elevation. Google Streetview, 2020.

### ***317 Wolfe Street***

**Designation: PART IV, PART V OHA (HCD), A-RATING**

PART IV By-law 3357-211

Constructed in 1908

Two and a half storey

Queen Anne Style

White brick, asymmetrical facade with varied windows, double entrance doors with original hardware, stained glass transom, arched voussoirs with narrow decorative brickwork, neoclassical veranda columns square tower set on northwest corner

Owned by William J. Legg, Carriage Maker

Contextual value to streetscape of Wolfe Street and West Woodfield HCD



Image 19: 532 Waterloo Street, West Elevation. Google Streetview, 2020.

### ***532 Waterloo Street***

**Designation: PART IV, PART V OHA (HCD), B-RATING**

PART IV By-law 3277-53

Constructed circa 1875

Two storey

Vernacular with Georgian and Italianate Influences

White brick, double house with both residences having a side hall and three bays wide. Double brackets at the eaves, corbelled chimneys, pilasters framed with brick and voussoirs over arched windows

Contextual value to streetscape of Waterloo Street and West Woodfield HCD



Image 20: 538 Waterloo Street, West Elevation. Google Streetview, 2020.

### ***538 Waterloo Street***

**Designation: PART V OHA (HCD), B-RATING**

Constructed in 1927

One and a half storey

Vernacular Style

Brown and red brick with covered porch and gabled roof with gabled porch and half-timbering in the gable pediment

Contextual value to streetscape of Waterloo Street and West Woodfield HCD

## 5. HISTORICAL CONTEXT



Image 21: 544 Waterloo Street, West Elevation. Google Streetview, 2020.

### **544 Waterloo Street**

**Designation: PART V OHA (HCD), B/C-RATING**

Constructed in 1881

Two storey

Italianate Style

Third floor double dormer on taller portion of building to the north with medium hip roof, smaller building maintains shed roof; building exteriors have been modified from original; B/C Rating on Register; Decorative soldier voussoirs over the front door and second storey windows; original brick painted over Blumas Property

Contextual value to streetscape of Waterloo Street and West Woodfield HCD



Image 22: 548 Waterloo Street, West Elevation. Google Streetview, 2020.

### **548 Waterloo Street**

**Designation: PART V OHA (HCD), B-RATING  
Historic Places Register**

Constructed circa 1880

Two and a half storey

Italianate Style

Original brick (painted over) with covered front porch supported by columns, some decorative soldier voussoirs over second storey windows remain, decorative roofline detailing below soffit/fascia

Contextual value to streetscape of Waterloo Street and West Woodfield HCD



Image 23: 552 Waterloo Street, West Elevation. Google Streetview, 2020.

### **552 Waterloo Street**

**Designation: PART V OHA (HCD), B-RATING  
Historic Places Register**

Constructed in 1909

Two and a half storey

Late Victorian Style

Red brick with projecting bay and gable roof with decorative central arched transom window; corbelled chimney, covered porch with rounded wooden columns supported by rusticated foundations

Contextual value to streetscape of Waterloo Street and West Woodfield HCD

# 6. PROPOSED DEVELOPMENT

## 6.1 PROPOSED DEVELOPMENT

The observations of this HIA are developed from the proposal documents for 551-555 Waterloo Street prepared for the client, Mr. David K Russell, of The Apartment Shoppe. The proposal is seeking to allow for a renovation/addition in the form of a two and a half storey addition to the rear of 551-555 Waterloo Street, retaining and converting the present building from offices and rental retail space, to multi-residential use. The surrounding area is currently and historically comprised of single family and multi-residential dwellings, alongside residences that have both been converted into commercial and office spaces and also re-converted back into residential use from commercial. Several properties within the West Woodfield HCD have utilized additions as a sensitive avenue to achieve these conversions within the district. The following outline provides the key concepts for the proposed design and addition for the property at 551-555 Waterloo Street.

### 6.1.2 DESIGN CONCEPT - 551-555 WATERLOO STREET

The proposed development combines two existing, two and a half storey converted residential homes located within the West Woodfield Heritage Conservation District, with a new two and a half storey addition at the rear. The current existing converted office building will house ten (10) residential apartments located throughout the buildings and addition, including the basements. The existing pedway located between the two residences that connects them at the second storey will be replaced with a glass “link” connecting the residences on all stories. The current pedway can be seen from the street facade, and the new glass “link” will also be visible from the street at all levels. However, the location of the “link” towards the rear portion of the two buildings on the interior side yards, and the use of glass helps to create a sense of transparency; the glass blends this link into the surroundings, while also reflecting the sky and street elements around it. The proposed design matches the existing north and south setbacks of the current residences at 551-555 Waterloo Street, and the floor levels on the addition are consistent between the houses and the addition without changes in elevation, creating a harmonious connection between the original residences and the addition. The proposed footprint of the addition is approximately 160 square meters.

The massing of the addition mimics that of the existing connecting residences, and the gable rooflines are similar in height, scale and massing to the original residences both along the north and south elevations, as well as the rear elevation. The massing is consistent with that of the neighbourhood context in regards to elevation similarities, treatment of gable roof pitches, and existing site limitations. The rear addition massing is visible only from Waterloo Street where the entrance to the laneway emerges south of 551-555 Waterloo Street, and along this adjacent service laneway to the south of the property. The laneway also separates 551-555 Waterloo Street from 549 Waterloo Street, a three-storey apartment building with a Part IV OHA designation. The proposal includes enlarging the laneway entrance at Waterloo Street to provide improved vehicular access onto the service road, but is not required as part of the proposal or as a result of increased density requirements.

The entry via the side yard laneway to the south gradually reveals the contemporary gable system put into place as you pass through to the rear yard along the laneway. From the rear yard the apartments have similar rooflines to the local adjacent and nearby properties, and are clad with cedar shake. The addition will be partially visible from the north along Wolfe Street, through the back of the property at 559 Waterloo Street, designated under Part V of the OHA. The rear (west facades) of 551-555 Waterloo Street have already been renovated in the past to include small additions and two fire escape staircases (one of steel and one of wood). Currently the view through the aforementioned opening along Wolfe Street reveals these unsightly additions to the rear of the property. These inconsistent elements will be removed as part of the proposal to create a clean and streamlined addition that connects to the existing west elevation, utilizing existing openings to provide circulation between the addition

## 6. PROPOSED DEVELOPMENT

and the original residences. The addition will be sensitive to the existing residences and constructed in a way that is both subordinate to, and compatible with, the original property and nearby/adjacent properties. The addition and connecting “link” located between the two residences on the interior side yards has been designed to have minimal intervention on the facades and will be reversible. The elevations along the north, south and east facades (front elevation) of the property will not be altered beyond the connection of the addition proposed. The existing trimwork, and decorative wood and metal elements will be restored and/or repaired and painted, as per Section 10.0 Conservation Guidelines of the West Woodfield Heritage Conservation District Plan. The existing windows will remain in place unless it is determined that they must be restored or replaced.

The design endeavors to use materials and colours that are common to both the district, and to connect the old with the new. The principle exterior cladding of the addition is brick to maintain the existing architectural vocabulary of the residences, and expressed in a contrasting dark colour. This helps to identify its nature as a new element, in contrast to the existing yellow buff brick of the original residences, and blend into the background/rear of the property. Wood-look, prefinished aluminum panel metal siding is proposed for the new trims and fascia of the addition, and cladding of the rear elevation facing the parking area between the west-facing gables above the first storey. The trim colours of the newly painted original residences will carry onto the addition to draw consistency between the two. The contemporary balconies proposed at the rear of the addition allow for more vibrancy and engagement for the residents of 551-555 with other residents of nearby and adjacent properties, especially those located at the rear where the addition will be visible from the rear of residences along Princess Ave, Wolfe Street and Waterloo Streets. Ultimately, improved interaction, vibrancy and harmony with the HCD are conceptual goals within the proposed development. The diagram below, along with the renderings and floor plan on the following pages highlight the conceptual designs for the proposed development at 551-555 Waterloo Street.

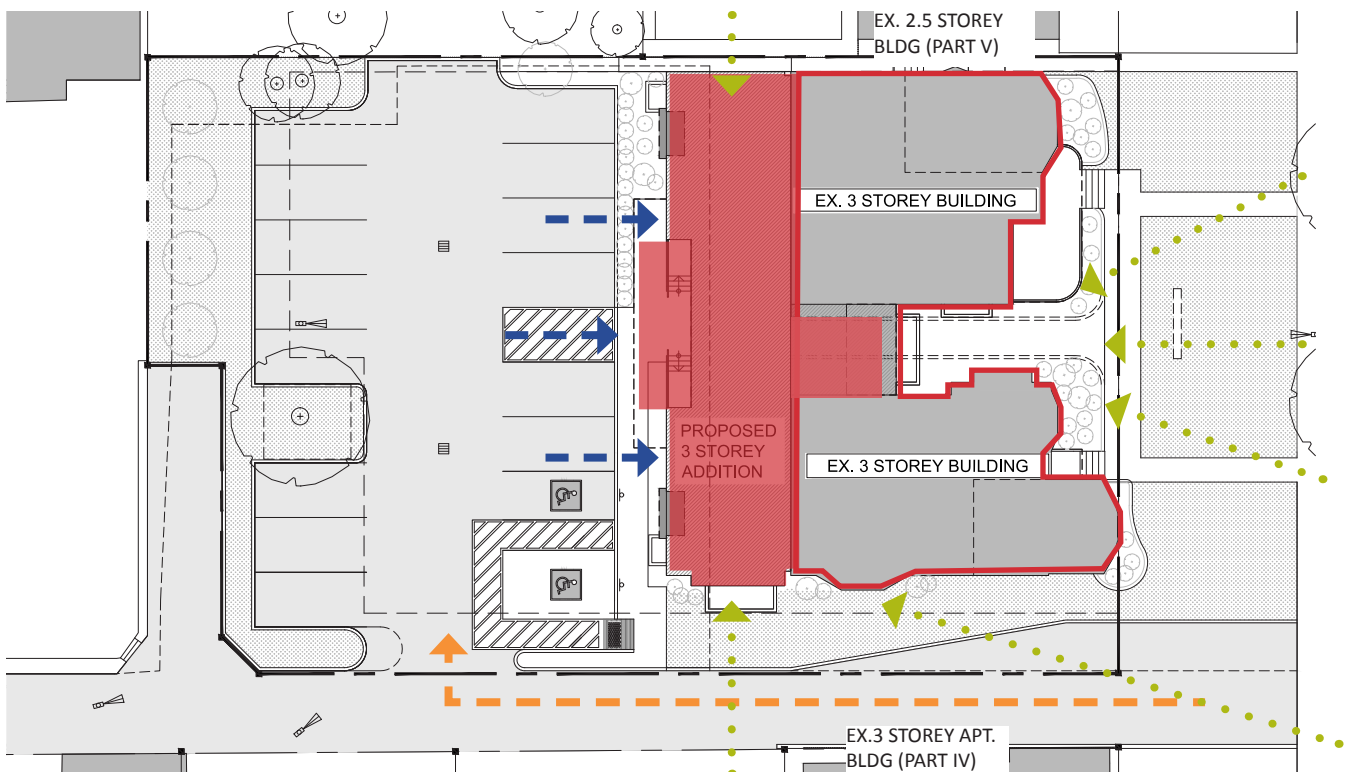


Image 24: Orange represents access through the enlarged laneway to the rear parking area, and blue represents the rear entrance to the units at 551-555 Waterloo Street. The green denotes views to the addition from the street(s). Diagram prepared by a+LiNK architecture inc (2021).

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Image 25: East/Main Elevation facing Waterloo Street - 3D rendering of proposed residential development at 551-555 Waterloo Street. Drawing by a+LiNK architecture inc., 2021.



Image 26: West/Rear Elevation facing parking area - 3D rendering of proposed residential development at 551-555 Waterloo Street. Drawing by a+LiNK architecture Inc., 2021.

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Image 28: East/Main Street Elevation - looking northwest down the enhanced vehicular service laneway towards parking area. 3D rendering of proposed residential development at 551-555 Waterloo Street. Drawing by a+LiNK architecture inc. , 2021.



Image 29: West/Rear Elevation facing parking area - looking northeast towards rear and vehicular parking, entrance and service laneway towards Waterloo Street. 3D rendering of proposed residential development at 551-555 Waterloo Street. Drawing by a+LiNK architecture inc. , 2021.

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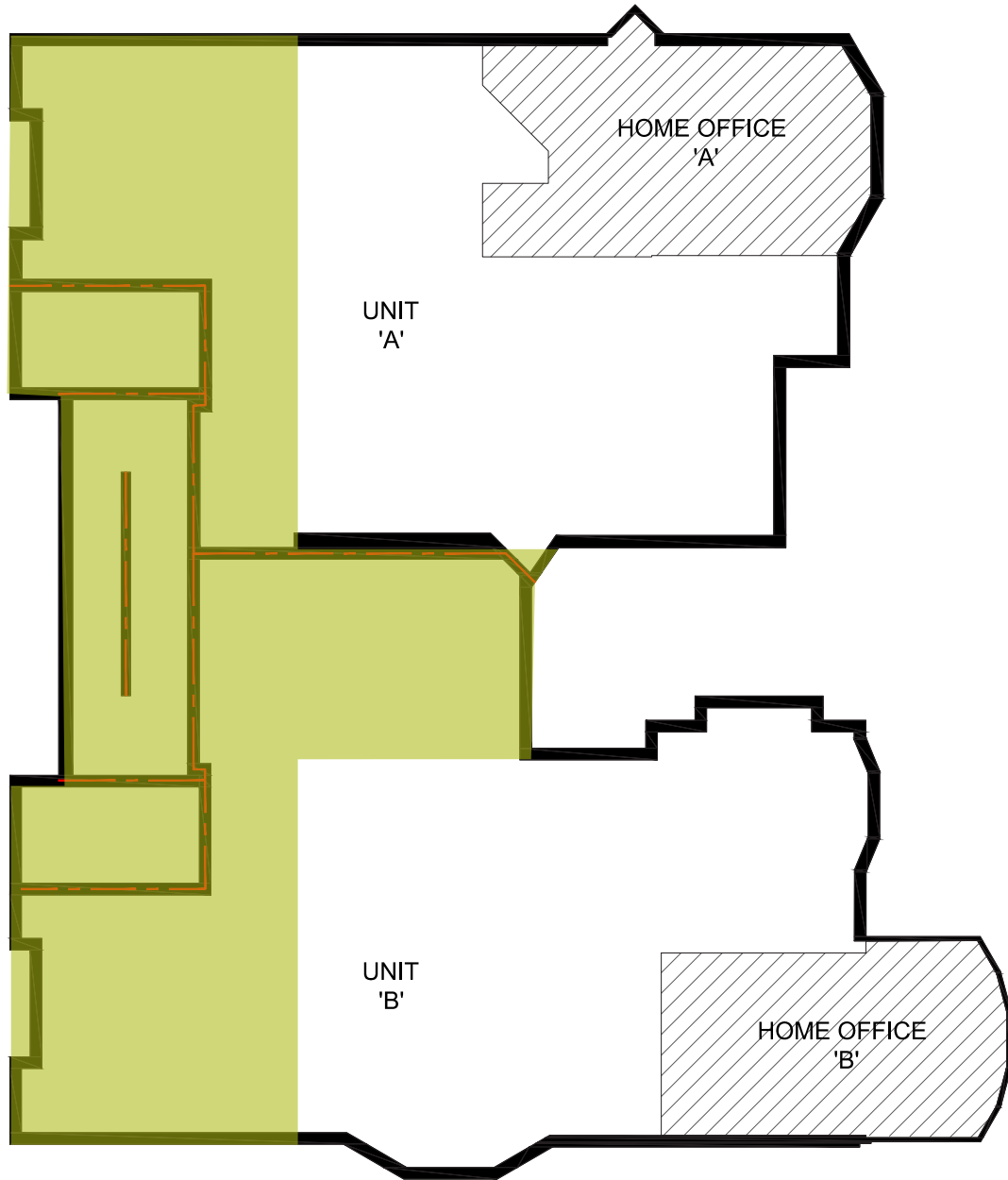


Image 30: Ground floor plan of proposed residential development at 551-555 Waterloo Street. The green highlights where the new addition will be incorporated into the existing buildings utilizing existing openings in the original building on the west elevation for access. The previous line of the pedway above that currently connects the two buildings is followed by the new "link" on all levels. Blue indicates possible home office spaces within the units. The complete set of plans are included as part of Appendix C of this HIA. Drawing by a+LiNK architecture inc., 2020.



# 7. IMPACTS OF PROPOSED DEVELOPMENT

## 7.1 TREATMENT OF HERITAGE RESOURCES - WEST WOODFIELD HERITAGE CONSERVATION DISTRICT PLAN

The property located at 551-555 Waterloo Street is listed as a B-Rating in terms of significance within the HCD and on the City of London's Register of Cultural Heritage Resources. The property, however, has been altered and addition of a pedway among other things, have been added over time diminishing its individual heritage value. Because it is not individually designated but maintains a B-Rating indicates that the property is considered of value; it contributes to the streetscape of the HCD due to its sequence, grouping or location, as well as its architectural merit as an example of Victorian style. Several significant buildings considered A-Rating and designated under Parts IV and V of the OHA are also located around the immediate vicinity of the property located at 551-555 Waterloo Street.

Because of these two significant aspects of the proposed development site: the B-Rating of 551-555 Waterloo Street, and the A-Rating of nearby/adjacent properties, all designated under Part V of the OHA, a review of the impact of the proposed development on the existing property is necessary. Further, a understanding of the impact of the proposed development on those nearby/adjacent properties, and on the streetscape within the HCD will be examined.

There are several sections within the West Woodfield Heritage Conservation District Plan that identify policies and guidelines applicable to 551-555 Waterloo Street, in particular, aspects of Sections 4.0 District Policies, 5.0 Municipal Policies, 8.0 Architectural Design Guidelines, and 9.0 Streetscape Design Guidelines. In order to assess the impacts of the proposed development at 551-555 Waterloo Street, a review of these key aspects of the HCD plan against the proposal are provided. The following is a summary of the impacts of the proposed design with specific reference to the aforementioned sections of the HCD. For the complete outline of all policies, refer to the West Woodfield Heritage Conservation District Plan (WW HCD).

### 7.1.1 WW HCD - SECTION 4.0 DISTRICT POLICIES

#### **4.1 Development Pattern Policies**

There are several policies that fall into the category of Development Patterns. The proposed development at 551-555 Waterloo Street strives to adhere to these policies, including:

##### *Policies:*

*(a) Maintain the residential amenity and human scale by ensuring that the low density residential land use character remains dominant*

Proposal Impact (a): The proposed design supports low density residential land use in the form of multi-residential units within the existing property and the proposed addition at rear to maintain the human scale, considering the adjacent three storey apartment building as a precedent for the low density residential context, scale and size.

*(b) New land uses that are out of keeping with the general residential character of the District, or would have a negative impact on it, are discouraged.*

Proposal Impact (b): The proposed use as multi-residential units is in keeping with the residential character of the HCD, with several examples throughout the HCD of previous conversions to multi-unit residential that have been integrated within existing larger residences.

## 7. IMPACTS OF PROPOSED DEVELOPMENT

*(c) Higher intensity uses or redevelopment opportunities shall be focused outside of the residential district and in areas designated for intensification.*

Proposal Impact (c): The proposed use of the properties includes low density residential units, avoiding higher intensity uses.

*(d) Where new uses or intensification is proposed, adaptive reuse of the existing heritage building stock should be considered wherever feasible.*

Proposal Impact (d): The proposed program includes the return of the existing buildings to a residential use.

*(e) Severances which would create new lots are strongly discouraged, unless the resulting properties are of similar size and depth to existing adjacent lots.*

Proposal Impact (e): The proposed program does NOT include severing the property.

*(f) Where original detached residential buildings are lost due to unfortunate circumstances such as severe structural instability, fire or other reasons, the setback of replacement buildings shall be consistent with the original building.*

Proposal Impact (f): Not Applicable.

*(g) Parking for new or replacement dwellings is to be located in driveways at the side of the dwelling or in garages at the rear of the main building whenever possible. New attached garages extending beyond the front of the dwelling are not permitted.*

Proposal Impact(e): The proposed development includes redesign and improvement to the existing parking located at the rear of 551-555 Waterloo Street, with no parking or garages added to the side or front of the dwellings.

### **4.2 Heritage Buildings**

#### **4.2.1 Development Pattern Policies**

551-555 Waterloo Street has been assessed as having a B-Rating, and located within the HCD, therefore alterations and additions to the property must consider the policies related to alterations and additions to ensure they do not detract from the heritage value of the property and the heritage context of the area. Design guidelines found in Section 8.0 of the HCD are also applicable to additions and alterations.

*Policies:*

*(a) Minor exterior alterations and additions to buildings shall be permitted provided such alterations are not within any front or exterior side yard.*

Proposal Impact (a): The addition proposed to the rear of the property provides residential units as well as pedestrian access to the property, and expansion of the units on all stories. The approximate measurement of the addition from the rear of the existing property is about 20 feet or 6 meters, which is significantly less than the depth of the existing residences and the length aligns with the north and south elevations of the existing building faces at approximately

## 7. IMPACTS OF PROPOSED DEVELOPMENT

24 meters. The “link” proposed that connects the two buildings is located towards the rear of the property, between 551 and 555 within the interior side yard of the two buildings, replacing an existing pedway in the same location. Therefore the addition is limited to the rear and interior side yards.

*(b) Structural alterations to the exterior of buildings visible from the street are not permitted in the event of residential conversions. Any exterior stairs or fire escapes are to be enclosed and kept away from the front or street facing façade of the structure.*

Proposal Impact (b): The alteration proposed includes replacing the contemporary pedway connecting the two heritage residences between the two residences on the interior side yards that is not original to the residences. The proposed new “link” to be constructed in lieu of the existing pedway connects the residences on all levels, but aligns with the setback and face of the existing pedway facade facing east.

*(c) Additions shall be subordinate to the original structure to allow the original heritage features and built form to take visual precedence on the street.*

Proposal Impact (c): The addition proposed for the property is subordinate to the original structure. The roofline of the addition at the rear aligns with the two existing heritage residences at 551-555 Waterloo Street to create a visual uniformity; the clean and simple design elements of the addition blend into the background and gives the original residences visual precedence on the street. The glass “link” connecting the two buildings blends seamlessly into the surroundings; the use of glass creates a sense of transparency while also allowing for reflection of streetscape elements so that it disappears into the setting of the property.

### 4.6 Adjacent Areas

The property located at 551-555 Waterloo Street is designated under Part V of the Ontario Heritage Act as part of the West Woodfield Heritage Conservation District. It is also surrounded by several Part IV Designated Properties along Waterloo Street, Wolfe Street and Princess Avenue. The following HCD policy in Section 4.0, outlines when an HIA may be required to assess the impact of a proposed development on adjacent areas of heritage value:

*Policies:*

*a) A Heritage Impact Analysis [Assessment] in accordance with the policies of the City of London may be required for any redevelopment proposals within or adjacent to the Heritage Conservation District. The City of London Official Plan identifies adjacent lands as those lands that are contiguous and lands that are directly opposite a protected heritage property, separated only by a laneway or municipal road.*

Proposal Impact (a):

The proposed addition and alterations to the property located at 551-555 Waterloo Street are visible from several nearby/adjacent properties located around the property and within the West Woodfield HCD.

Nearby Properties- A-Rating

The majority of those properties, including 300 to 336 Princess Avenue and 315-317 Wolfe Street are listed as A-Rating are located behind or adjacent to the proposed development, and the addition is only visible from the rear of these properties. The designations for these properties highlight elements that are considered of heritage value. None of these elements are impeded by the addition, as the majority of the heritage elements are located on the front/main elevations and side elevations, beyond overall massing and form. The location of the addition at the rear

## 7. IMPACTS OF PROPOSED DEVELOPMENT

of 551-555 Waterloo Street do not hinder the heritage elements of these designated and A-Rated properties. Instead the addition provides a more visually enhanced architecture in lieu of the current existing fire escape staircases and inconsistent additions of 551-555 Waterloo Street located at the rear of the property.

Adjacent Properties- A-Rating: 549 Waterloo Street and 559 Waterloo Street

The adjacent Part IV and Part V designated heritage property at 549 Waterloo Street is a 3-storey apartment building. The property is located to the south of the proposed development, on the south side of the demising service laneway. The views of the addition can be seen from the rear/north elevation of this property (side elevation). The property views to the rear of the apartment building from the nearby property at 317 Wolfe Street (opposite the rear parking area and across the laneway) may be slightly hindered by the addition. However, these views do not highlight any key aspects of the HCD nor of the designated property itself. Further, the side elevation of the apartment building is not highlighted as being of significant value itself. The key elements of heritage value include the front elevation facing Waterloo Street is considered of value: fenestration and projecting frontispiece with inset stone and central bay, and balconies located on the front elevation. Hence, the addition will not impede on the views of the apartment building or deter from it. The massing and proportions of the addition at the rear of 551-555 Waterloo align with the proportions of the apartment building while its height is subordinate to the complex.

The property located to the north of 551-555 Waterloo Street at 559 Waterloo Street is a Part V designated property under the OHA, meaning it has value within the context of the HCD. The property retains its prominence on the corner of Waterloo and Wolf Streets. Views to the front of this property remain, while those of the rear of the property from the south and east elevations of 308 and 320 Princess Ave may be slightly hindered by the addition of the proposed development. However these views do not highlight any key aspects of the property at 559 Waterloo Street in the context of the HCD and do not hinder the experience of the property overall as part of the streetscape and location of it within the HCD.

Nearby Properties- B-Rating

There are also five properties located across the street from 551-555 Waterloo Street, on the east side, from which the addition and the new link between the two buildings may be visible. These properties include 532 to 552 Waterloo Street, and all are listed as B-Rated properties. Of the five, four are designated only under Part V of the OHA. One is designated as Part IV, located at 532 Waterloo Street. However, the views from that designated property are minimal and limited to the northwest corner of 532. As the depth of the rear addition is only about 6 meters, the addition will not have a significant impact on the overall views of the streetscape context from this property. The remaining four properties will have some sightlines of the addition “link” on the interior side yards between the two residences at certain angles. However, these residences currently view the pedway linking the two properties, so the new glass “link” at the lower and upper stories will not be a major departure from the condition of these two residences as connected. The use of glass will aide in blending this “link” into the surroundings through transparency and reflection.

The location of these Part IV designated and A-Rated properties along Princess Ave, Waterloo Street and Wolfe Street, along with the Part IV designated property, the Part V designated properties, and B-Rated properties, can be found on Image 3 of this report, under Description of Site. Ultimately, the impact of the addition on these properties and their heritage value is not significant.

# 7. IMPACTS OF PROPOSED DEVELOPMENT

## 7.1.2 WWHCD - SECTION 5.0 MUNICIPAL POLICIES

### 5.2 Land Use and Built Form

#### 5.2.2 Zoning By-law

This section of the HCD applies to Zoning By-laws. Currently, the property is zoned as R3-2(6) OC4 T-72. The zoning requirements for this section include specific Regulations related to Floor Area Ratio/Maximum Floor Area, Gross Residential. More information regarding this zoning information can be found on the Site Plan Consultation, Zoning Amendment Application and more specifically, the Planning and Design Report . In terms of the property at 551-555 Waterloo Street, the application for Zoning Amendment requests adjustments to the zoning to accommodate the increased proposed floor area ratio as part of the addition and inclusion of eleven (11) units within the two existing residences as part of the low-density housing proposed.

## 7.1.3 WWHCD - SECTION 8.0 ARCHITECTURAL DESIGN GUIDELINES

### 8.1 Key Elements

There are several key elements provided within this section of the HCD that acknowledge both large and small-scale elements within the properties generally found within the West Woodfield HCD that are considered of value within the area. Most importantly, “any of the original components that face the public street(s) should be preserved as much as possible to conserve the heritage character of the street.” (Stantec, 8.1) The conceptual design and approach of the proposed development at 551-555 Waterloo Street achieves this by locating the addition to the rear of the property as much as possible, and strives to preserve the original components of the property that face the street as much as possible.

### 8.2 Design Guidelines

The recommendations provided in this section of the West Woodfield Heritage Conservation District Plan highlight considerations for major alterations and additions. These align with the objectives, principles and policies outlined in Section 3.0 of the West Woodfield HCD Plan identified previously in this HIA under Section 3.0, Policies and Terms of Reference. Specifically, the Design Guidelines focus on 8.2.1 Alterations, 8.2.2 Additions and 8.2.6.2 Original Single Family Residential Converted to Multi-Unit Residential.

#### 8.2.1 Alterations

Ensuring that alterations are mindful and complementary of existing heritage fabric is essential to the survival of the heritage value in the context of an HCD. The following elements outline guidelines for consideration to alterations within the HCD and review of the proposed development at 551-555 Waterloo Street impacts in light of these guidelines:

- *Research the original style and appearance of the building to determine “authentic limits” of restoration or alteration so that the appropriate style is maintained.*

## 7. IMPACTS OF PROPOSED DEVELOPMENT

- *In the absence of historical data, use forensic evidence available from the building itself to suggest appropriate restoration or alteration.*
- *Seek similar properties (same age, same design, and same builder) for evidence of details that may still exist as samples for reconstruction.*
- *Avoid “new” materials and methods of construction if the original is still available.*
- *“Restore” wherever possible rather than “replace”, particularly for features such as windows, doors, porches and decorative trim.*
- *Where replacement of features (e.g. – doors, windows, trim) is unavoidable, the replacement components should be of the same general style, size and proportions.*
- *Incorporate similar building forms, materials, scale and design elements in the alteration that exist on the original building.*
- *Avoid concealing original parts of buildings, entrances and decorative details when undertaking alterations.*
- *If in doubt, use discretion and avoid irreversible changes to the basic structure.*
- *Keep accurate photos and other records, and samples of original elements that have been replaced.*

### Proposal Impact (Alterations):

Overall, the proposal strives to consider alterations only where necessary to accommodate the addition at the rear and the connecting glass “link” between the properties. Restoration will be preferred over replacement of existing and original elements wherever possible on the north, south and east (main) elevations and replacement when restoration is not possible. Any restoration work to original elements (if possible to determine originality) including trimwork, decorative wood and metal elements, windows and brickwork will follow the HCD, Section 10.0 Conservation Guidelines. The rear addition will not conceal original parts of the building considered of value, as the elements that contribute to the streetscape and overall character of the HCD are found along the original elevations viewed from the street. Changes that are proposed will be reversible and the residences will be documented with samples of original elements retained where replaced (if required). Any alterations will be reversible; the existing doors and openings at the rear of the two residences will be removed to allow for accommodation and access, and new access openings on the interior side elevations at the ground, second and third storeys will provide circulation throughout the units, but will be located on the interior of the residences and will not be visible from the exterior.

### **8.2.2 Additions**

Additions to dwellings within the HCD can have a significant impact on the residence as well as the heritage context of the HCD itself. Respecting scale and form, while being complementary to the original building, are key components to a successful and contemporary addition. Guidelines for considering additions are provided below with a review of the impacts of the proposed development in light of these elements:

- *Additions that are necessary should be sympathetic and complementary in design and, if possible, clearly distinguishable from the original construction by form or detail. The use of traditional materials, finishes and colours rather than exact duplication of form, can provide appropriate transition between additions and original structures.*
- *Additions should be located away from principal façade(s) of heritage properties, preferably at the rear of the building, to reduce the visual impact on the street(s).*
- *Form and details of the addition should be complementary to the original construction, with respect to style, scale, and materials but still distinguishable to reflect the historical construction periods of the building.*
- *The height of any addition should be similar to the existing building and/or adjacent buildings to ensure that the addition does not dominate the original building, neighbouring buildings or the streetscape.*
- *Additions should not obscure or remove important architectural features of the existing building.*
- *Additions should not negatively impact the symmetry and proportions of the building or create a visually unbalanced facade.*
- *New doors and windows should be of similar style, orientation and proportion as on the existing building. Where possible, consider the use of appropriate reclaimed materials.*
- *New construction should avoid irreversible changes to original construction.*

Proposal Impact (Additions):

The historically integrated residential conversion at 551-555 Waterloo Street fits appropriately into the existing West Woodfield Heritage Conservation District. The addition has been designed to be contemporary, while being both subordinate to and distinguishable from the original residences. Further, the addition respects the existing heritage fabric and characteristics of the property and the West Woodfield HCD, as a whole through the following design considerations: location at the rear of the property, maintaining the gabled roof profiles of the original residences and nearby/adjacent properties, complementing the construction of the original residences through geometry, scale and form, considering window lines and fenestration, and using traditional form, materials, finishes and colours (rather than exact duplicates) to provide seamless transitions between new and old. The addition highlights the symmetry of the original buildings and creates balanced facades along the south, west and north elevations with the introduction of contemporary glazing, windows and entrances at the side and rear to help keep the addition both minimal and transparent (particularly at the “link” between the two residences). The proposal recognizes the importance of the streetscape and the visibility of the building from both Waterloo Street and along the service laneway to the south by creating a simple and shallow addition.

**8.2.6 Building Conversions - 8.2.6.2 Original Single Family Residential Converted to Multi-Unit Residential**

Alterations and additions to convert existing buildings within the West Woodfield Neighbourhood have been successfully completed in several instances to help improve the economic viability of larger properties, and to give more people the opportunity to be able to live in the area within a smaller space. These alterations and additions must consider the streetscape and overall context of the HCD. The following outlines the key considerations for conversions to multi-unit residential and the associated impacts of the proposed development against these guidelines:



Image 31: 551-555 Waterloo Street is in good condition with no significant structural deficiencies, making it a strong candidate for conversion to multi-unit residential use. The building will be upgraded with new interior finishes, new mechanical/electrical infrastructure and rear enclosed exit staircase as a requirement of updates to the OBC, in effect replacing the existing exterior fire escape staircases that require snow removal and monitoring because of potential environmental impacts. The parking area at rear will be re-paved and upgraded, improving the rear condition behind the proposed addition. The enlarged laneway will provide improved vehicular and bicycle circulation through the laneway.

- *Avoid altering the streetscape facade of the building. Try to provide access to individual apartments from the interior of the building. If this is not feasible, new entrances should be located to the side or rear of the dwelling.*
- *If exterior stairs are required for access or emergency exit purposes, they should be situated at the rear or side of the dwelling away from view, using materials and construction methods that are compatible with the original building design.*
- *Maintain original door and window locations.*
- *Locate additional utility meters in an inconspicuous, but still accessible location at the rear or side of the building.*
- *Front yard or boulevard parking is discouraged unless unavoidable and permitted by zoning regulations.*
- *If additional parking must be provided, it should be located at the rear or side of the building with appropriate landscaping or fencing provided to screen it from the street and adjacent neighbours, while maintaining useful amenity area.*

Proposal Impact (Conversion to Multi-Unit Residential):

Currently, the property is used as commercial office spaces on all levels, but the original design of the homes included single family residences. New entrances for the units at 551-555 Waterloo Street will be provided at the



rear of the property, and enclosed exit staircases provide access to units above and below designed to be compatible with the original building design in form and scale. Original door and window locations on the key north, south and east (main) elevations will be maintained, with additional parking provided at the rear of the property in the existing location of the current parking lot. The original buildings are in good condition making them an ideal candidate for conversion to multi-unit residential, with low risk of structural failure and major loss of heritage fabric.

#### 7.1.4 WWHCD - SECTION 9.0 STREETScape DESIGN GUIDELINES

##### 9.1 Key Elements

The character of the overall streetscape is imperative to the success of the HCD as an ongoing example of significant historical value through trees, landscaping, signage, lighting, curbs and laneways. Specifically, 9.2.7 of this section details guidelines in the approach to laneways as an important feature within the district.

##### 9.2.7 Laneways

The portion of the laneway exposed to the streetscape should be considered in the following ways, and the impacts of the proposed development at 551-555 Waterloo Street evaluated alongside these aspects:

- *Where commercial conversion has taken place within the principle or ancillary buildings associated with a property, additional parking spaces or rear lane access should be developed to maintain a sense of separation between the lane and the private space, in order to maintain the historically accurate proportions of the space.*
- *Where additional rear yard parking or rear lane access has been added to a site, that additional lighting requirements be fulfilled in such a manner so as to limit the amount of light spillover into adjacent properties where possible. Lighting should be lower to the ground and mounted on walls rather than on poles where site conditions permit.*
- *Where additional rear yard parking or rear lane access has been added to a site, that it is done in such a manner so as to limit any impacts to existing trees on the property, or on adjacent properties, in order to preserve the canopy of mature trees on rear lanes. The amount of hard surface should be limited in such applications, and permeable paving should be employed where possible.*
- *Residents are encouraged to take ownership of the laneways behind their properties, maintaining them and enhancing them with appropriate vegetation at their borders. A list of appropriate species can be found within the front garden section of this report (Table 9.1).*
- *Where rear additions have been made on laneway frontages, the orientation of the addition shall be as a rear addition on the private amenity space.*
- *When fencing property boundaries, property owners are encouraged to choose fencing that allows for intermittent or screened views such as ornamental iron fencing rather than wood privacy fencing in order to maintain a visual connection with the laneway, and improve the aesthetics of these internal corridors.*
- *When laneways are reconstructed due to the need for infrastructure upgrades, the overall proportions and setbacks of the laneways are maintained where possible.*

# 7. IMPACTS OF PROPOSED DEVELOPMENT

## Proposal Impact (Laneways):

The proposed design at 551-555 Waterloo Street includes additional parking to the existing rear parking lot, accessible by the existing laneway. Lighting will be added in a conscientious way to provide subsequent lighting for residents while avoiding use of poles and spillover causing light pollution. No trees are proposed to be removed and the existing canopy will be enhanced with redesign of the parking lot, while providing more softscaping, grass and plantings that consider the vegetation options suggested in the HCD plan. The orientation of the rear addition and the access via the ramp and rear entrances are located within the parking area at the rear of the property. The visual connection with the laneway will be maintained, as the proposed fence will be provided to the north side of the parking lot along the north property line, rather than along the laneway. The proposal includes enlarging the setback of the laneway at the entrance to Waterloo Street to allow for improved access into the laneway for all residents accessing the rear of their properties that are located along Princess and Waterloo Street, and reduce congestion at the juncture. This proposed enlargement is not required by the development re-zoning, but proposed as an important infrastructure upgrade.

## 7.2 MITIGATION APPROACHES

The Provincial Policy Statement (PPS 2005) on “Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005”, was the resource utilized in the identification and development of the ‘Mitigation Approaches’ for the proposed development. Specifically, Heritage Impact Assessments and Heritage Conservation District Plans; Principles in The Conservation of Historic Properties was the main source of terms of reference.

The principles listed below were identified from the Heritage Tool Kit and expanded to include specific principles and mitigation related to the proposed development at 551-555 Waterloo Street.

CRITERIA		DESCRIPTION
EVIDENCE	Respect for Documentary Evidence	Documentary evidence was researched in preparation of this HIA. The West Woodfield Heritage Conservation District Plan provides substantial information on policies and guidelines to help align the proposed design with the goals, objectives and principles of the HCD. The developer is maintaining all significant heritage elements as identified in the evidentiary documentation.
LOCATION	Respect for Original Location	551-555 Waterloo Street is being preserved and included in the conversion to multi-unit residential as part of the overall development. The proposal does not include moving of the building on or off the site. The proposal respects the existing heritage residences’ location along Waterloo Street by highlighting the original elements and locating the proposed addition to the rear within the landscape of the new development.
MASSING	Respect for existing form and massing	Refer to the massing diagram, Image 32, following this section. The existing form and massing of 551-555 Waterloo Street is respected by aligning and mimicking the proposed addition at the rear with the gabled roofline and pitch of the original residences in the addition, respectfully. The height and scale of the addition is consistent with the connecting original property; the size of the addition significantly smaller in depth than that of the original property.

## 7. IMPACTS OF PROPOSED DEVELOPMENT

CRITERIA		DESCRIPTION
MATERIALS	Respect for Historic Material	The existing/original materials of the property, i.e. brick, wood and metal trims, and glazing are being preserved and will be restored wherever possible. The proposed addition reflects similar materials consistent with the original residences. The development proposes the use of similar materials (brick, glass) with the introduction of a glazed “link” to replace the existing glass pedway, and wood-look metal siding will be used on the rear elevation between the gables above the first storey to create a pause between the two gables. The trim colours of the heritage houses will carry onto the addition to establish a connection between the old and new. The colour of the glass in the proposed development should be considered to respect the identity of the existing residences at 551-555 Waterloo Street, and nearby residences to blend into the surrounding environment.
FABRIC	Respect for Original Fabric	551-555 Waterloo Street will be restored with like materials to respect the integrity of the building. This includes the brick, windows, door patterns, soffit detailing, and decorative metal and wood trims. Roofing should be restored with materials that replicate the original aesthetic of the building. Existing openings, windows and doors, will be utilized where new entrances are required.
HISTORY	Respect for the Building’s History. Do not restore to one period at the expense of another period.	The architectural and historical reasons for designation will be adhered to in order to preserve the unique history of the property within the West Woodfield Heritage Conservation District.
REVERSIBILITY	Reversibility of the new elements.	All proposed alterations to the existing property will be reversible and allow the resources to return to their original condition. The proposed addition ties into the existing building at the rear utilizing existing openings, and along the interior side yard elevations at grade, second and third stories on the interior of the units. Where windows and doors are removed, these will be documented should they need to be reinstalled. The addition which will be visible from the laneway entrance and at a distance through the canopies and rear yards of adjacent and nearby properties. Existing openings at the front/east entrances will continue to be utilized as door openings to create multiple access points into the heritage building.
LEGIBILITY	Legibility of the new versus the old.	The materials of the proposed addition and “link” include the primary use of glass to create a sense of transparency and to help blend these alterations into the surrounding environment so that they do not stand out, but are clearly discernible from the original elements, maintaining the identity of the heritage building.
MAINTENANCE	Maintenance	The existing residences at 551-555 Waterloo Street are part of the overall conversion to multi-unit residential. This will contribute to its sustainability as an actively utilized building incorporating residential tenants. An actively used and converted building becomes easier to maintain and receives increased maintenance schedules versus an under-utilized and/or vacant property.

## 7. IMPACTS OF PROPOSED DEVELOPMENT

CRITERIA	DESCRIPTION
DESTRUCTION	Destruction of any, or part of any, significant heritage attributes or features. There is no plan of destruction to any of the significant heritage features, which are predominantly considered as part of the streetscape. The removal of openings and creation of new openings at the “link” to accommodate the addition will not be visible from the exterior and are reversible. The building will be restored and integrated with the addition as a conversion to mutli-unit residential project.
ALTERATION	Alteration must be sympathetic or is compatible, with the historic fabric and appearance; There are no alterations that affect the ‘Reasons for Designation’. New openings will be minimized and will respect the original fabric of the building, and the addition located to the rear of the building.
SHADOWS	Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden; Refer to shadow study on the following pages, and in Appendix D included with this HIA to this document. Shadows are minimized due to the design of the addition gables and roofline to align with existing residence to the east. The brick on the north and south interior elevations of 551 and 555 Waterloo Street, respectively, will not experience major changes to sun exposure due to the addition, with minor impacts from the “link”. The west sun will have the most impact on any shadows, with some minimal shadows cast onto the adjacent roof of the original building from the addition around 4pm, more specifically in the Wintertime. Shadows cast on roofing materials such as shingles do not necessarily cause negative impacts, as reducing the solar glare on the roof materials can prolong its lifespan by preventing aging and curling due to long-term solar exposure.
ISOLATION	Isolation of a heritage attribute from its surrounding environment, context or a significant relationship; The heritage attributes of the existing residences are primarily located along the streetscape, and are not isolated from this contextual relationship through the proposed development and addition.
OBSTRUCTION	Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features; Views of the key east (front), north and south elevations remain intact. The pedestrian access to the front of the property from Waterloo Street remains intact, and a new pedestrian access is provided at the rear of the addition. Some views from nearby and adjacent properties will change from the view of the unsightly fire escape stairs and small inconsistent additions, to a consistent and well designed addition that proportionally aligns with the existing residence. None of these views are part of the streetscape, as they are contained within the rear of these properties, including the adjacent Part IV designated property at 549 Waterloo Street to the south and the adjacent Part V designated property at 559 Waterloo Street.
LAND USE	A change in land use to allow new development or site alteration to fill in the formerly open spaces; The land use proposed for the site redevelopment includes the infill of a portion of the rear of the property currently utilized by parking and a walkway to the rear to accommodate low density multi-unit residential spaces within the existing buildings and proposed addition. The existing rear parking lot will be improved and accessible ramp and enclosed staircase added to the rear, removing unsightly present additions.

## 7. IMPACTS OF PROPOSED DEVELOPMENT

LAND	Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect resources.	The site is flat. All grading will be in accordance with local governing bodies. There is no significant change in grade that alters soils, and drainage patterns that adversely affect the area.
CONTEXT	Retain important contextual values.	The West Woodfield Heritage Conservation District Plan policies include the conservation and protection of existing buildings and streetscapes within the district wherever possible. 551-555 Waterloo Street retains its context within the proposed development, and the development does not have negative impacts on adjacent and nearby properties. Minimal views of the addition from Waterloo Street through the laneway are the most significant, but are mitigated by the shallow depth and sensitive design of the addition, aligning it with the existing residences in the gable-pitched rooflines, heights, form and massing.
DETAIL	Heritage Attributes Identified and Retained	The location, sequence, grouping and overall massing of the residences at 551-555 Waterloo Street, along with its existing architectural features and merit as an example of the Victorian style, contribute to the overall streetscape along Waterloo Street within the HCD. These key aspects of the property are retained, and where there are alterations and additions, these are mitigated by locating them to the rear of the property and replacing these existing contemporary additions such as fire escape stairs, small rear addition/entrance, and the pedway link with architectural designs that are sensitive to the existing residences, and do not compete with the heritage fabric.
LANDSCAPE	Buffer zones, site plan control, and other planning mechanisms.	A number of buffer zones in the form of the existing enlarged service laneway, pedestrian walkway along the south elevation, softscaping, accessible entrances and landscaping at the east (front), south and west (rear) of the property through the proposed development for the site provide relief and accentuate the existing landscape and streetscape features highlighted within the HCD plan and within designated Part V property located at 551-555 Waterloo Street.

## 7. IMPACTS OF PROPOSED DEVELOPMENT



Image 32: Massing Diagram- Southwest Elevation. Red dashes indicate aligning gable pitches, heights, setbacks, and building facades of the addition and the original buildings. The blue dots highlight the fenestration and separation of windows on each level, carried onto the addition from the original building. Note the two and a half storey glazed wall that creates a pause between the new and the existing at the addition on the south elevation, but also provides a sense of transparency while reflecting the context of the adjacent surroundings. Newly integrated landscaping has improved the design of the laneway and the rear parking area provide improved access to the property and the building, vibrancy and enhancement to the property. Diagram prepared by a+LiNK architecture inc., 2020.

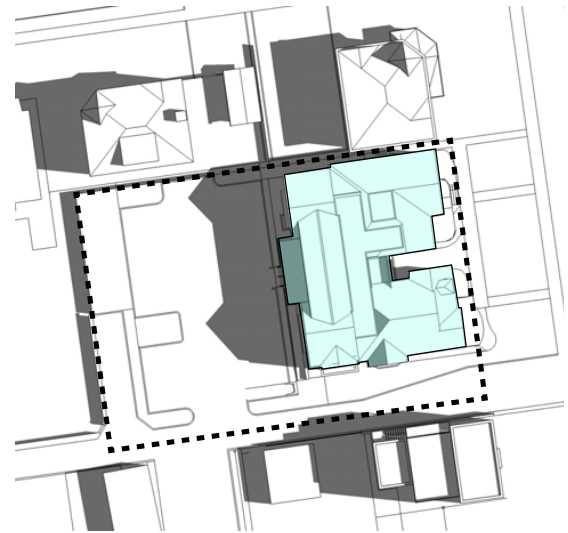
# 7. IMPACTS OF PROPOSED DEVELOPMENT

## SUN STUDY

June 21 - Summer Solstice

Images c/o a+LiNK architecture inc.

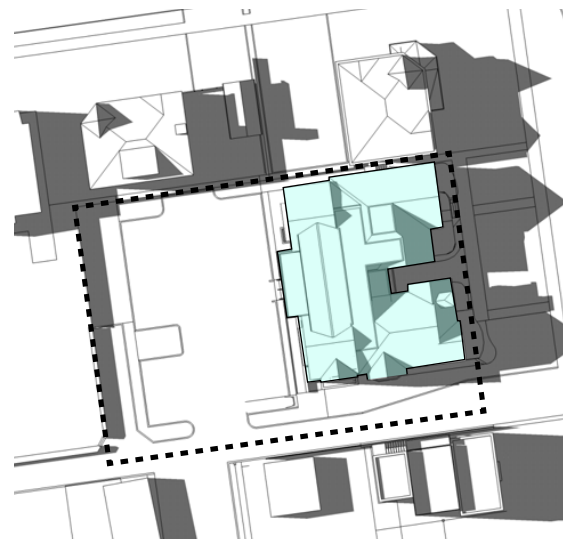
With the sun at the highest position in the sky, the proposed residential addition cast low shadows throughout the day, with some minimal shadows experienced on the roof and within the interior side yard during the west evening sun around 4pm, when the sun begins to set. The path of the sun travels primarily to the south of the building, so the impact of the parth of the sun on shadows is not significantly altered when the rear addition is added to the west.



8:00am



2:00pm



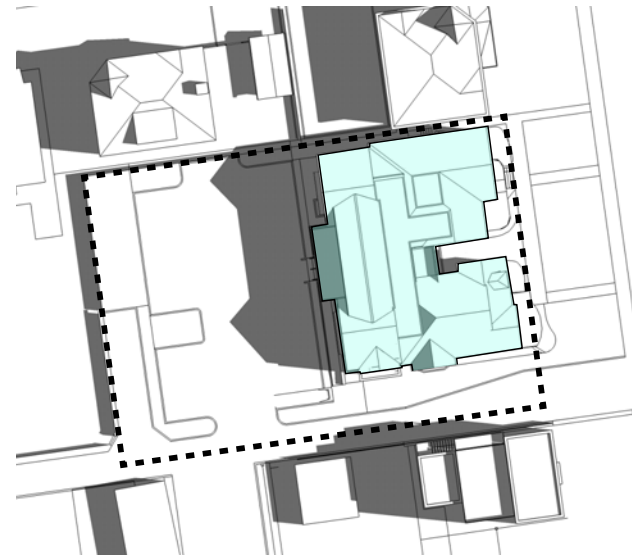
4:00pm

# 7. IMPACTS OF PROPOSED DEVELOPMENT

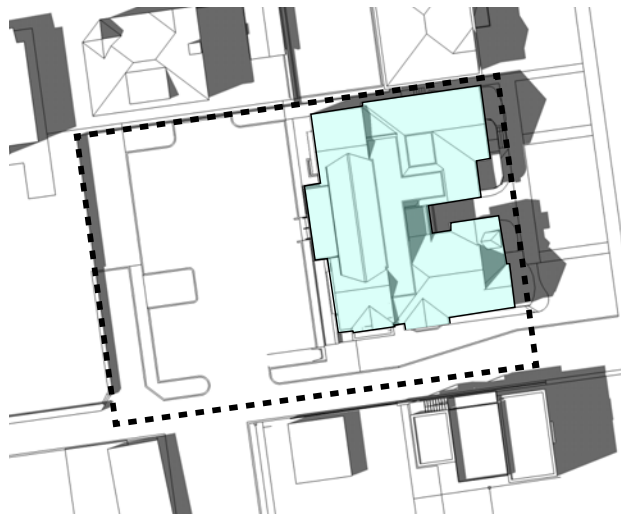
## SUN STUDY

December 21 - Winter Solstice  
Images from a+LiNK architecture inc.

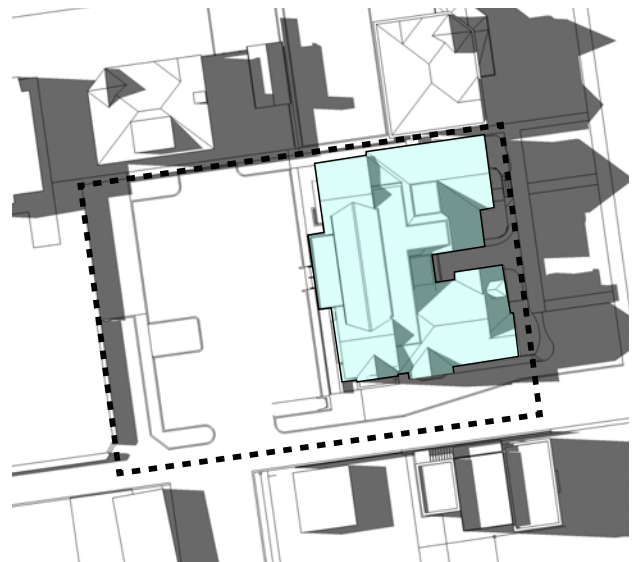
With the sun at the lowest elevation in the sky during the winter solstice, the existing building and the proposed addition are both in shade cast by shadows from the morning sun and for part of the afternoon. The residences are almost entirely in the shade at 4pm, but addition has minimal impact on the shadows, as the height and roofline of the addition is similar to that of the adjacent original property. Some increase in shadows along the interior side yards are present, but the majority of the remaining shadows would be present without the inclusion of the addition.



8:00am



2:00pm



4:00pm



## 8. RESOURCES

### Government Documents

1. Her Majesty the Queen in Right of Canada. *Standards and Guidelines for the Conservation of Historic Places in Canada*. 2010.
2. Ministry of Municipal Affairs and Housing. *Ontario Provincial Policy Statement, Under the Planning Act*. 2014.
3. Ontario Ministry of Culture. *Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement*. 'Info Sheet #5, Heritage Impact Assessments and Conservation Plans.' 2005.
4. Ontario Heritage Trust. *Ontario Heritage Act, R.S.O. 1990 c. O.18: Part IV and V Designated Properties*. Version July 1, 2019.
5. Ontario Heritage Trust. Ontario Heritage Register: Part IV Designating By-Laws for Various Individual Properties. Retrieved Dec 2020.

### Municipal Documents

1. City of London - The London Advisory Committee on Heritage Department of Planning and Development. *Inventory of Heritage Resources 2006*. 2005.
2. City of London. *The London Plan*. Minister Approved December 28, 2016.
3. City of London. *Strategic Plan for the City of London 2015-2019*.
4. Stantec, Nexus, ecoplans ltd, and Michael Baker Historian. *West Woodfield Heritage Conservation District Plan*. For the City of London. August 2008.

### Other

1. Map Images: *London, Ontario*. Nov 2020. Google Maps, <https://www.google.ca/maps/place/London,+ON>
2. a+LiNK architecture inc. Drawings: Existing Base Drawings, Proposed Site Plan 2021, Proposed Drawings: Floor Plans and Conceptual 3D Renderings. 2021.
3. a+LiNK architecture inc. Shadow Study. Nov 2020.

## 9. APPENDICES

APPENDIX A - *Existing Base Drawings* - a+LiNK architecture inc., 2020

APPENDIX B - *Proposed Site Plan, 2021* - a+LiNK architecture inc., 2021

APPENDIX C - *Proposed Drawings: Floor Plans and Conceptual 3D Renderings*  
a+LiNK Architecture Inc., 2021

APPENDIX D - *Shadow Study* - a+LiNK Architecture Inc., 2020

APPENDIX E - *Part IV Designating By-Laws for Individual Properties*  
Ontario Heritage Register, Ontario Heritage Trust,  
Retrieved December, 2020

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