

CULTURAL HERITAGE IMPACT ASSESSMENT

599-601 Richmond Street/
205 Central Avenue,
City of London, ON

Date:
December 12, 2020

Prepared for:
Westdell Development Corporation.

Prepared by:
**MacNaughton Hermsen Britton Clarkson
Planning Limited (MHBC)**
200-540 Bingemans Centre Drive
Kitchener, ON N2B 3X9
T: 519 576 3650
F: 519 576 0121

Project No. 13198-N



TABLE OF CONTENTS

- PROJECT PERSONNEL 3
- GLOSSARY OF ABBREVIATIONS..... 3
- Acknowledgement of Indigenous Communities..... 4
- EXECUTIVE SUMMARY..... 5
- 1.0 INTRODUCTION..... 7
 - 1.1 DESCRIPTION OF SUBJECT LANDS 7
 - 1.2 DESCRIPTION OF SURROUNDING AREA..... 10
 - 1.3 HERITAGE STATUS..... 12
 - 1.4 LAND USE AND ZONING..... 14
- 2.0 POLICY CONTEXT 15
 - 2.1 THE ONTARIO PLANNING ACT 15
 - 2.2 PROVINCIAL POLICY STATEMENT..... 15
 - 2.3 ONTARIO HERITAGE ACT 16
 - 2.4 CITY OF LONDON OFFICIAL PLAN 16
 - 2.5..... 17
 - VICTORIA PARK SECONDARY PLAN (DRAFT) 17
 - 2.6 CITY OF LONDON TERMS OF REFERENCE 18
- 3.0 HISTORICAL BACKGROUND 20
 - 3.1 INDIGENOUS COMMUNITIES AND PRE-CONTACT HISTORY..... 20
 - 3.2 CITY OF LONDON 20
 - 3.3 HISTORICAL OVERVIEW OF 599-601 RICHMOND STREET/ 205 CENTRAL AVENUE & 595 RICHMOND STREET 23
- 4.0 DETAILED DESCRIPTION OF POTENTIAL CULTURAL HERITAGE RESOURCES 33
 - 4.1 DESCRIPTION OF BUILT HERITAGE ON SUBJECT LANDS 33
 - 4.2 DESCRIPTION OF ADJACENT LISTED PROPERTY 41
- 5.0 EVALUATION OF CULTURAL HERITAGE RESOURCES..... 45

- 5.1 EVALUATION CRITERIA..... 45
- 5.2 EVALUATION OF 599 RICHMOND STREET- *Commercial Building*..... 46
- 5.3 EVALUATION OF 599 RICHMOND STREET- *Ancillary Brick Structure/Ruin* 48
- 5.4 EVALUATION OF 601 RICHMOND STREET..... 50
- 5.5 EVALUATION OF ADJACENT 595 RICHMOND STREET..... 52
- 6.0 DESCRIPTION OF PROPOSED DEVELOPMENT..... 54
- 7.0 IMPACT ANALYSIS 57
 - 7.1 INTRODUCTION 57
 - 7.2 IMPACT ANALYSIS 58
 - 7.2.1 Impact of Destruction and Alteration..... 60
 - 7.2.2 Impact of Isolation..... 63
 - 7.2.3 Impact of Direct or Indirect Obstruction of View..... 64
 - 7.2.4 Impact of Land Disturbances 68
- 8.0 ALTERNATIVE DEVELOPMENT OPTIONS..... 69
 - 8.1 INTRODUCTION 69
- 9.0 MITIGATION MEASURES 71
- 10.0 CONSERVATION MEASURES 72
 - 10.1 APPLYING CONSERVATION PRINCIPLES FOR INFILL..... 72
- 11.0 CONCLUSIONS & RECOMMENDATIONS 75
- 12.0 BIBLIOGRAPHY 77
- APPENDIX A– LOCATION MAP 81
- APPENDIX B–SITE PLAN AND FLOOR PLANS..... 82
- APPENDIX C–ELEVATIONS..... 83
- APPENDIX D–PRE- APPLICATION CONSULTATION- HERITAGE NOTES..... 84
- APPENDIX E–CURRICULUM VITAE 85

Disclaimer: Due to the Covid-19 pandemic, in-person research has been limited and therefore, this report may not be able to reference relevant hard copy sources that are within collections that are temporarily closed to the public. Western University Archives and Research Collections Centre, at the time of this report, is closed to non-Western affiliated researchers.

PROJECT PERSONNEL

Dan Currie, MA, MCIP, RPP, CAHP	<i>Managing Director of Cultural Heritage</i>	Senior Review
Rachel Redshaw, MA, HE Dipl, CAHP	<i>Heritage Planner</i>	Research and Author

GLOSSARY OF ABBREVIATIONS

CHVI	<i>Cultural Heritage Value or Interest</i>
HIA	<i>Heritage Impact Assessment</i>
HCD	<i>Heritage Conservation District</i>
MHBC	<i>MacNaughton Hermsen Britton Clarkson Planning Limited</i>
MHSTCI	<i>Ministry of Heritage, Sport, Tourism and Culture Industries</i>
OHA	<i>Ontario Heritage Act</i>
OHTK	<i>Ontario Heritage Toolkit</i>
O-REG 9/06	<i>Ontario Regulation 9/06 for determining cultural heritage significance</i>
PPS 2020	<i>Provincial Policy Statement (2020)</i>
Victoria Park Secondary Plan	<i>VPSP</i>

Acknowledgement of Indigenous Communities

This Cultural Heritage Impact Assessment acknowledges that the subject property located at 599-601 Richmond Street (also 205 Central Avenue), City of London, is situated within territory of the Haudenosaunee Confederacy. These lands are not acknowledged as being associated with any treaties (whose land, accessed online, 2020).

This document takes into consideration the cultural heritage of indigenous communities including the Chippewas of the Thames First Nation, Oneida Nation of the Thames, Munsee-Delaware Nation, Chippewas of Kettle, Stony Point First Nation and Walpole Island First Nation, including their oral traditions and history when available and related to the scope of work.

EXECUTIVE SUMMARY

MHBC was retained in October 2020 by Westdell Development Corporation to undertake a Cultural Heritage Impact Assessment (CHIA) for the subject lands located at 599-601 Richmond/ 205 Central Avenue Street and adjacent property located at 595 Richmond Street. The purpose of this CHIA is to determine the impact of the development on identified heritage attributes of the existing buildings on the subject lands and adjacent property. Both the buildings on the subject lands and existing building located at 595 Richmond Street have been determined to have cultural heritage or value (CHVI) which is identified in Section 5.0 of this report. The following impacts were identified:

Adverse Impacts:

1. Negligible impact of destruction with the removal of a limited portion of the building fabric of the rear addition of 599 Richmond Street; and,
2. Potential impact land disturbances for 595 Richmond Street and 599-601 Richmond Street/ 205 Central Ave.

As required, this report outlines mitigation measures for the proposed impacts in Section 7.0:

- A *Temporary Protection Plan* is recommended which will include:
 - Vibration Monitoring Plan to ensure that no damage will occur to the existing buildings on site and adjacent;
 - Entry and exit point for construction traffic be located to the west of the site;
 - A structural engineers report describing how the removals will occur and assurance that the integrity of the existing buildings will be maintained
- Documentation with high resolution photographs to document the building fabric to be removed to occur in advance of any removals.

In order to conserve the historical context of existing buildings on the subject lands and adjacent properties as it relates to Richmond Row, the following is recommended:

- *Materials should be sympathetic to historic buildings at street level (the first and second floor level and preferably the use of high quality materials i.e. brick, stone);*
- *Proposed lighting and associated signage be sympathetic to the existing buildings on the subject lands; and,*

- *Mechanical equipment on the roof be screened to not detract from overall character.*

The above-mentioned recommendations should be part of the site plan process.

1.0 INTRODUCTION

The purpose of this Cultural Heritage Impact Assessment is to assess the impact of the proposed development located at 599-601 Richmond Street, London, hereinafter referred to as ‘the subject lands’. The property located at 599-601 Richmond Street is listed (non-designated) on the City of London Heritage Register as per Section 27 of the *Ontario Heritage Act on the Register of Cultural Heritage Resources* (2019).

The City of London supports the protection of built and cultural heritage resources to promote the unique identity of the City (Direction #3 & #7 of *The London Plan* (2016)). As a precautionary measure, the City requires a Cultural Heritage Impact Assessment when development is proposed on properties listed on the Municipal Heritage Register. Pre-application consultation notes of September 29, 2020 confirmed the requirement of a Heritage Impact Assessment for development on the subject lands (see Appendix ‘D’). This report will analyze the impact of proposed development upon the existing built heritage located on-site at 599-601 Richmond Street and adjacent property located at 595 Richmond Street and provide mitigation, conservation measures and/ or alternative development options as required.

1.1 DESCRIPTION OF SUBJECT LANDS

The subject lands located at 599-601 Richmond Street (alternatively addressed at 205 Central Avenue) are legally described as Lot 3 S Central Avenue & W Richmond St Plan 167 (w), Pts 1,2,4 & 5 33r4497; S/t & T/w 722752 London. They are located at the intersection of Richmond Street and Central Avenue near downtown London. The subject lands are approximately 112.79m² in size. See “Appendix A” for map of subject lands.

The subject lands include a building complex that is comprised of two, two storey commercial buildings; one located at 599 Richmond Street and the other at 601 Richmond Street. The building at 601 Richmond Street is at the corner of Richmond Street and Central Avenue fronting both streets and 599 Richmond Street fronts Richmond Street. The rear portion of the property is used as surface parking.



Figures 1 & 2: (above) View of 599-601 Richmond Street from north-east corner of intersection of Richmond Street and Central Avenue; (below) View of rear parking lot associated with 599-601 Richmond Street (Source: MHBC, 2020)

The Figure 3 below page outlines the subject lands as it relates to Richmond Street and Central Avenue. It also outlines the adjacent 'listed' property located at 595 Richmond Street to the south.



Figure 3: Aerial photograph of the subject property noted in red (Source: London City Map, accessed October 2020)

1.2 DESCRIPTION OF SURROUNDING AREA

The subject lands are located at the intersection of Richmond Street and Central Avenue abutting commercial, residential and parkland areas within a diverse context. The buildings to the west along Richmond Street are dominated by two storey dwellings, some of which have been converted for commercial use. To the east is Victoria Park which offers an open parkland landscape. The Richmond Street corridor that runs north and south is dominated by commercial buildings.

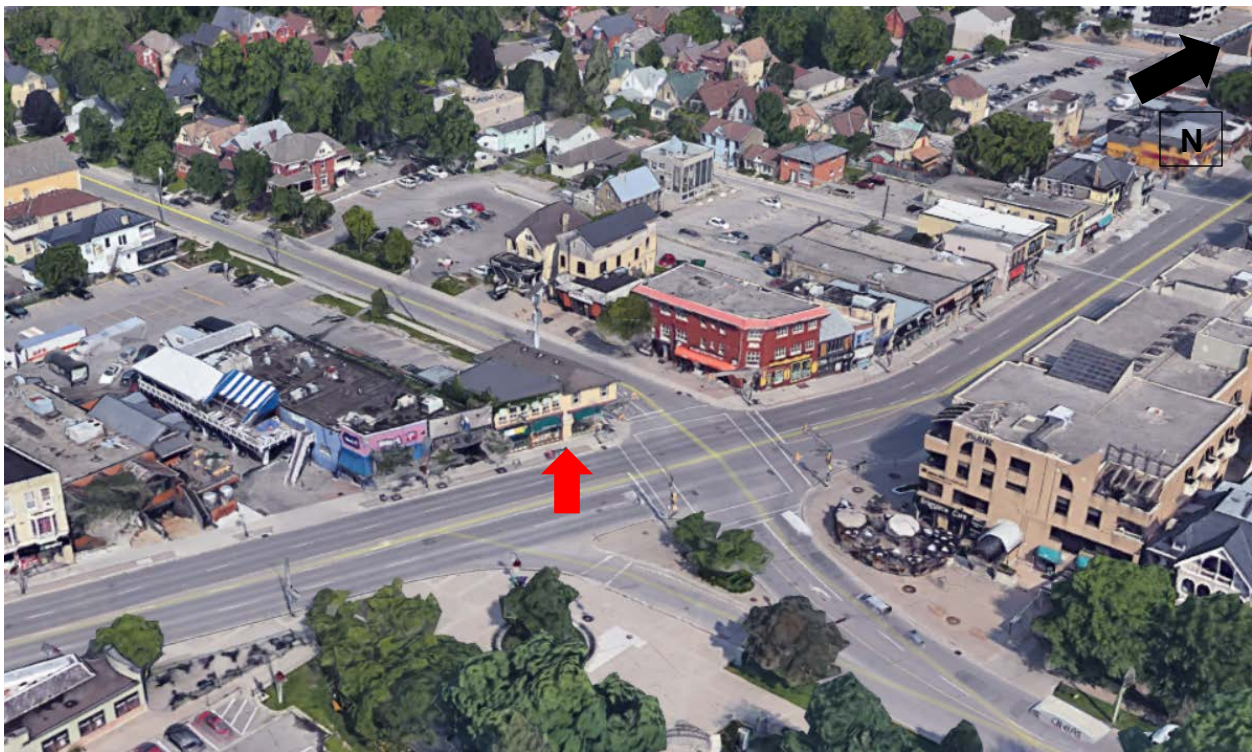


Figure 4: Aerial photograph of the subject property noted in red (Source: London City Map, accessed October 2020)



Figure 5: Streetscape view of 595, 599-601 Richmond Street from corner of Victoria Park (Source: MHBC, 2020)

1.3 HERITAGE STATUS

The subject lands are listed (non-designated) on the *Register of Cultural Heritage Resources* (2019) as per Part IV, Section 27 of the *Ontario Heritage Act (OHA)*. The properties were listed by Council resolution on March 27, 2018. The listing does not identify an ‘architectural style’ or ‘year built’ within the Register. The subject property is adjacent to a ‘listed’ property to the south at 595 Richmond Street which is identified as being constructed c.1881. The West Woodfield Heritage Conservation District which is designated under Part V of the OHA is located on the east side of Richmond Street. See Appendix ‘A’ for Heritage Map.

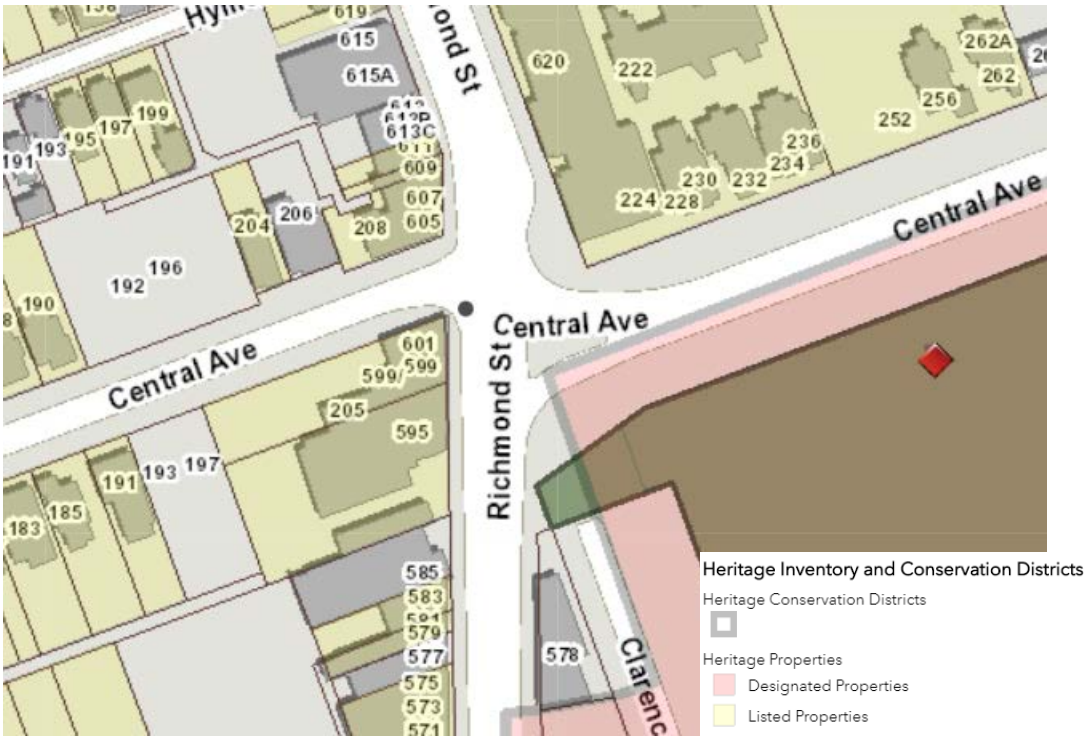


Figure 6: Excerpt of the London’s City Map noting the location of the subject property (outlined in red), listed on the heritage register (Source: City of London City Map, Heritage Inventory and Conservation Districts layer, accessed 2020)

The subject lands and adjacent listed property are not identified by the City of London as being part of a cultural heritage landscape as per Map 9 of The London Plan (see Figure 7). Both the subject property and adjacent listed property are not located in a heritage conservation district. The subject property is located on a ‘historic main street’ as identified in Figure 15 of the Official Plan identified as “Richmond Row”.

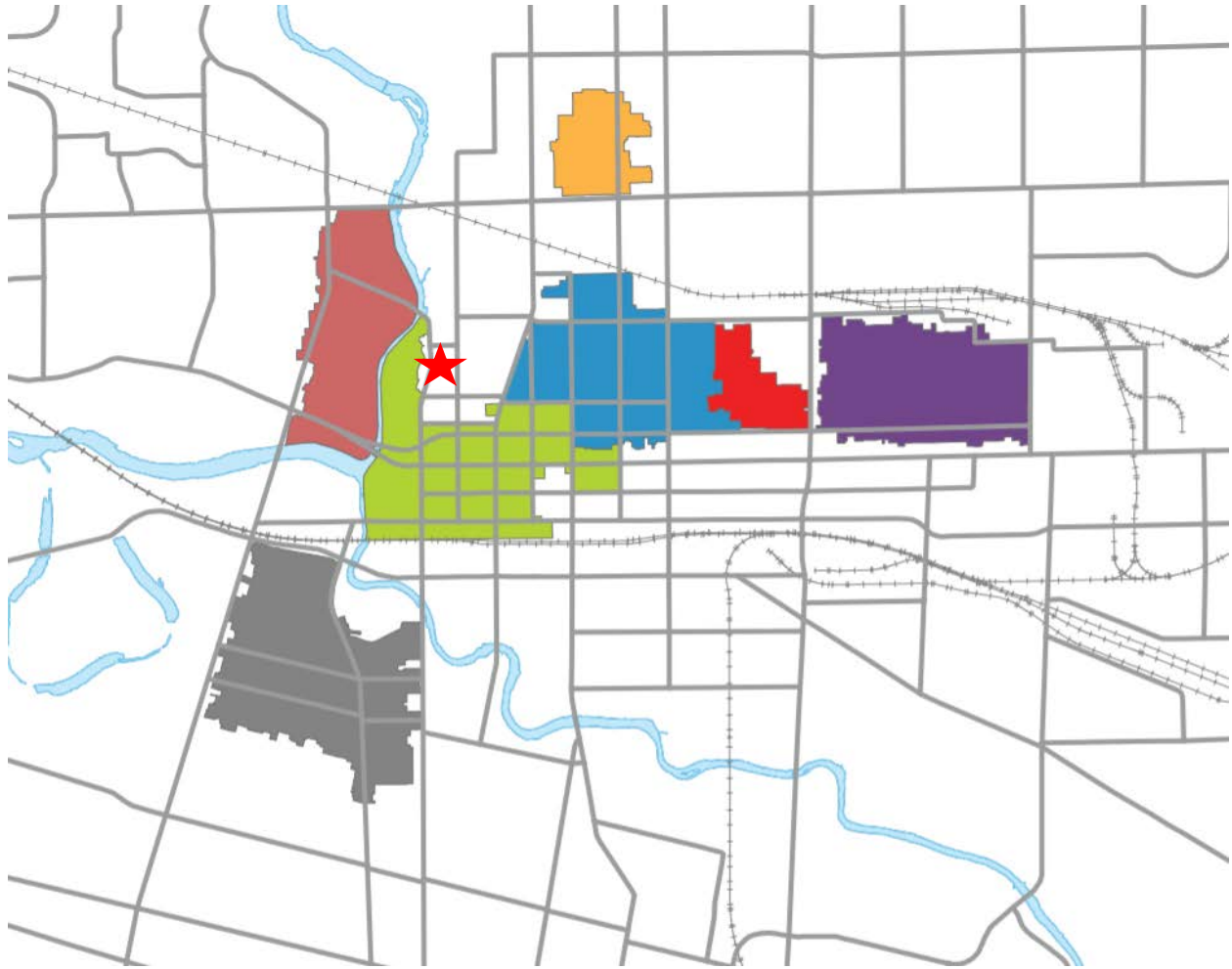


Figure 7: Excerpt of the Map 9 of The London Plan (Heritage Conservation Districts and Cultural Heritage Landscapes) (Source: Map 9, City of London Official Plan, accessed 2020)

1.4 LAND USE AND ZONING

The subject lands are located in the Central London Planning District and is zoned BDC (1) which is Business District Commercial Special Provision (see Figure 8). The current designation also includes it within the Main Street Commercial Corridor (MSCC) and therefore it is subject to specific policies for the Richmond Street Main Street Commercial Corridor. The proposal is requesting a Zoning By-law Amendment to facilitate a severance and development of an 8-storey building.



Figure 8: Excerpt of the City of London Interactive Map noting the location of the subject property located at 599-601 Richmond Street/ 205 Central Avenue indicated by the yellow circle. (Source: City of London City Map, accessed November, 2020)

2.0 POLICY CONTEXT

2.1 THE ONTARIO PLANNING ACT

The *Planning Act* makes a number of provisions respecting cultural heritage, either directly in Section 2 of the Act or Section 3 respecting policy statements and provincial plans. In Section 2, the *Planning Act* outlines 18 spheres of provincial interest that must be considered by appropriate authorities in the planning process. Regarding cultural heritage, Subsection 2(d) of the Act provides that:

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as, ...

(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

The *Planning Act* therefore provides for the overall broad consideration of cultural heritage resources through the land use planning process.

2.2 PROVINCIAL POLICY STATEMENT

In support of the provincial interest identified in Subsection 2 (d) of the *Planning Act*, and as provided for in Section 3, the Province has refined policy guidance for land use planning and development matters in the *Provincial Policy Statement, 2020* (PPS). The PPS is “intended to be read in its entirety and the relevant policy areas are to be applied in each situation”. This provides a weighting and balancing of issues within the planning process. When addressing cultural heritage planning, the PPS provides for the following:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been

demonstrated that the *heritage attributes of the protected heritage property will be conserved.*

The PPS defines the following terms

Significant: *in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.*

Built Heritage Resource: *means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers.*

Protected Heritage Property: *means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.*

2.3 ONTARIO HERITAGE ACT

The *Ontario Heritage Act*, R.S.O, 1990, c.0.18 remains the guiding legislation for the conservation of significant cultural heritage resources in Ontario. This HIA has been guided by the criteria provided with *Regulation 9/06* of the *Ontario Heritage Act* which outlines the mechanism for determining cultural heritage value or interest. The regulation sets forth categories of criteria and several sub-criteria.

2.4 CITY OF LONDON OFFICIAL PLAN

The Official Plan states that new development on or adjacent to heritage properties will require a heritage impact assessment. The London Plan identifies adjacent as follows:

Adjacent when considering potential impact on cultural heritage resources means sites that are contiguous; sites that are directly opposite a cultural heritage resource separated by a laneway, easement, right-of-way, or street; or sites upon which a proposed development or site alteration has the potential to impact identified visual character, streetscapes or public views as defined within a statement explaining the cultural heritage value or interest of a cultural heritage resource.

Policy 152 discusses the importance of urban regeneration in the City which includes the protection of built and cultural heritage resources while “facilitating intensification within [the City’s] urban neighbourhoods, where it is deemed to be appropriate and in a form that fits well within the existing neighbourhood” (Policy 152, 8). Policy 554, reinforces the important of the protection and conservation of built and heritage resources within the City and in particular, in the respect to development. As part of this initiative the City states in Policy 586, that,

The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved.

Thus, it is the purpose of this report to analyze the potential impact(s) to the existing listed properties on site located at 599-601 Richmond Street/ 205 Central Avenue and adjacent listed property located at 595 Richmond Street, City of London to determine whether the development is appropriate or not as it relates to the conservation of its associated heritage attributes.

2.5 VICTORIA PARK SECONDARY PLAN (DRAFT)

Sub-section 1.3 of the Victoria Park Secondary Plan (Draft of January 2020) identifies the importance of cultural heritage resources within the neighbourhood of Victoria Park which is designated under Part IV and Part V of the OHA. The purpose of the Plan is to develop a “consistent framework to evaluate future development...while ensuring conservation of the cultural heritage resources in the area” (VPSP, 4). One of the plans key principles states, “[to] enhance and conserve cultural heritage resources within and surrounding Victoria Park” (VPSP, 7). The subject lands are outside the boundary of the Plan. Appendix ‘A’ of the Plan outlines the Plan boundary in red, designated area in dark blue

line and highlights listed properties in yellow; the subject lands and adjacent property to the south at 595 Richmond Street are highlighted as they are listed properties.

APPENDIX A: CULTURAL HERITAGE

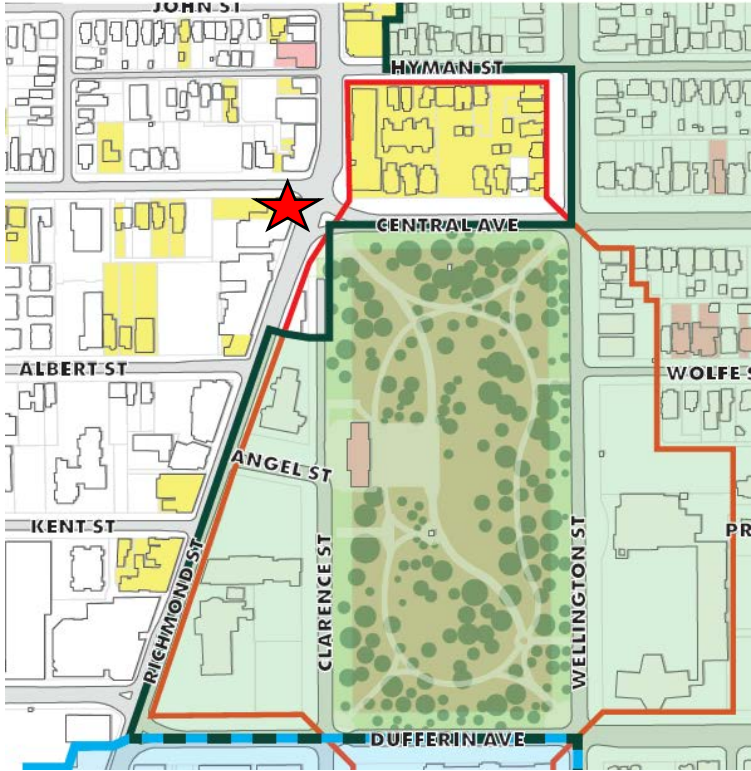


Figure 9: Appendix ‘A’ of the Draft Victoria Park Secondary Plan; red star identifies subject lands.

Subsection 3.2 in this Plan entitled “View Corridors” will be reviewed as it relates to the proposed development. Sub-section 3.5 of the Plan focuses on cultural heritage. It states that, “-cultural heritage resources are foundational to its character” (VPSP, 21). It is understood that the City is currently going through the process of drafting the Victoria Park Secondary Plan and acknowledges this Plan within the context of this report.

2.6 CITY OF LONDON TERMS OF REFERENCE

This Heritage Impact Assessment is based on the requirements of a Heritage Impact Assessment as per the Ministry of Heritage, Sport, Tourism and Culture Industries *InfoSheet #5* which are as follows:

- Historical Research, Site Analysis and Evaluation;
- Identification of the Significance and Heritage Attributes of the Cultural Heritage Resource;
- Description of the Proposed Development or Site Alteration;
- Measurement of Development or Site Alteration Impact;
- Consideration of Alternatives, Mitigation and Conservation Methods;
- Implementation and Monitoring; and
- Summary Statement and Conservation Recommendations.

The above-noted categories will be the method to determine the overall impact to the subject property and its heritage attributes as it relates to the proposed development.

3.0 HISTORICAL BACKGROUND

3.1 INDIGENOUS COMMUNITIES AND PRE-CONTACT HISTORY

The pre-contact period of history in Ontario specifically refers to the period of time prior to the arrival of Europeans in North America. The prehistory of Ontario spans approximately 11,000 years from the time the first inhabitants arrived in the Paleo-lithic period to the late Woodland period, just before the arrival of Europeans and the “contact” period, in the 16th and 17th centuries. The periods (and sub-periods) of Indigenous history in Ontario includes the Paleo period (beginning approximately 11,500 B.P.), the Archaic Period (9,500 B.P. to 2,900 B.P.), and the Woodland period (900 B.C. to approximately the 16th century). There are several registered archaeological sites in London dating to the Paleo period, the Early, Middle and Late Archaic period, as well as Early, Middle, and Late Woodland period. This includes Iroquoian longhouse settlements during the Early and Late Ontario Iroquoian period (*Archaeological Management Plan* (2017)). The Region included the Anishnaabeg, Haudenosaunee, and Lenni-Lenape Nations (City of London, 2020). In 1796, the initial agreement between indigenous peoples in the Region and European Settlers was established, the *London Township Treaty* (Whebell & Goodden, 2020).

Today, the neighbouring First Nations communities including: the Chippewas of the Thames First Nation, Munsee- Delaware Nation and Oneida Nation of the Thames, identify the City of London and area as traditional territory (The London Plan, 2019, 137).

3.2 CITY OF LONDON

Three years prior to the establishment of *The London Treaty* of 1796, Lieutenant-Governor John Graves Simcoe, attracted by the Forks of the Thames, envisioned that it would be the location for the capital of the province (City of London, 2020). It was not until more than three decades, in 1826, that London was founded as the district town of the

area. The town was surveyed by Colonel Thomas Talbot in 1824 and later Colonel Mahlon Burwell, “which covered the area now bounded on the south and west by the two branches of the Thames” (City of London, 2020).

The town expanded from the court house with the development of storefronts and by 1834, there were 1,000 residents (City of London, 2020). It is claimed that the Mackenzie Rebellion was the catalyst to establishing a garrison in the town which served as a military base between 1838 and 1869 in what is presently Victoria Park (City of London, 2020). The subject property was located in the land designated as “John Kent Farm 1824” in the 1845 Map of Features of North Central London in the 1840s. The presence of the military is claimed to be one of the main contributors to the rapid growth in population. Two years after the garrison was established, the town became incorporated which was followed by the development of necessary municipal services.



Figure 10: Excerpt of the map entitled “Features of North Central London in the 1840s” published in May, 1845; red star identifies approximate location of subject property (Source: Western University Library)

Leading merchants such as John Labatt and Thomas Carling were instrumental in connecting the town with the surrounding area in the 1840s by constructing the “Proof Line Road” and manufacturers such as Simeon Morrell and Ellis W. Hyman, Elijah Leonard and McClary brothers became well known in the area as prominent manufacturers (Whebell & Goodden, 2020).

Unfortunately, in 1844 and 1845 a fire resulted in the destruction of some of the town’s centre. By 1848, however, the town was rebuilt and reincorporated; the population at the time was recorded as 4,584 (Whebell & Goodden, 2020). By 1854, the Great Western Railway line was running

through the town, allowing for businesses to flourish with the ability to import and export more goods. In 1855, the Town of London was officially incorporated as a City (Whebell & Goodden, 2020).



Figure 11: Reproduction of a drawing of London, Ontario in Whitefield's Original View of North American Cities, No. 36 in 1855 (Source: Western University Library)

In the latter half of the 19th century, many of London's neighbouring communities were annexed including London South in 1890, in which the subject property is located, into Westminster Township, which at the time was one of the largest townships within Middlesex County (Whebell & Goodden, 2020). The Council for the Westminster Township was first established in March of 1817 (Brock and Moon, 84). By the mid-1800s, the City of London had significantly expanded resulting in the annexation of land from Westminster Township as part of the city's boundaries.

By the First World War, there were approximately 55,000 people living in London (City of London, 2020). Between the first and second world war, the City grew albeit challenges posed by the Great Depression. Many new residences were constructed in London South near Huron Street (City of London, 2020). The year 1961 marked the great annexation of London which increased its population by 60,000 residents which included the annexation of Westminster Township (Meligrana, 5) (Whebell & Goodden, 2020). Since then, the City has grown and as of 2016, the population of the City has reached approximately 383, 822 (Canadian Census, 2016).

3.3 HISTORICAL OVERVIEW OF 599-601 RICHMOND STREET/ 205 CENTRAL AVENUE & 595 RICHMOND STREET

In 1855, the subject lands were located in Ward 2. The unique trajectory of Richmond Street and Central Avenue is apparent in the *Map of the City of London* of 1855 (Figure X), however with different street names; Central Avenue was known as Lichfield Street to the west and Great Market Street to the east and Richmond Street was known as “Mark Lane”. In an 1856 Map of the City of London, surveyed and drawn by Sam Peters for the London Directory, the area to the east including Ward 4 was labelled “Government Reserve” which previously is labelled in the 1854 as the military and infantry barracks reserve.

In 1863, Lot ‘3’ of Plan 167, which includes the subject lands, was sold from Joseph Kent to Thomas McDonough (LRO)¹. Thomas McDonough was an emigrant from Ireland and born in 1821 (1881 Census of Canada). By 1872, the subject lands appear to have buildings on-site at the corner of Litchfield Street (now Central Avenue) and Richmond Street. Black Friar’s Bridge is just to the west of Litchfield Street. The subject lands are at the gateway of two open spaces; to the north was the fairgrounds and to the south barracks and a cricket field.

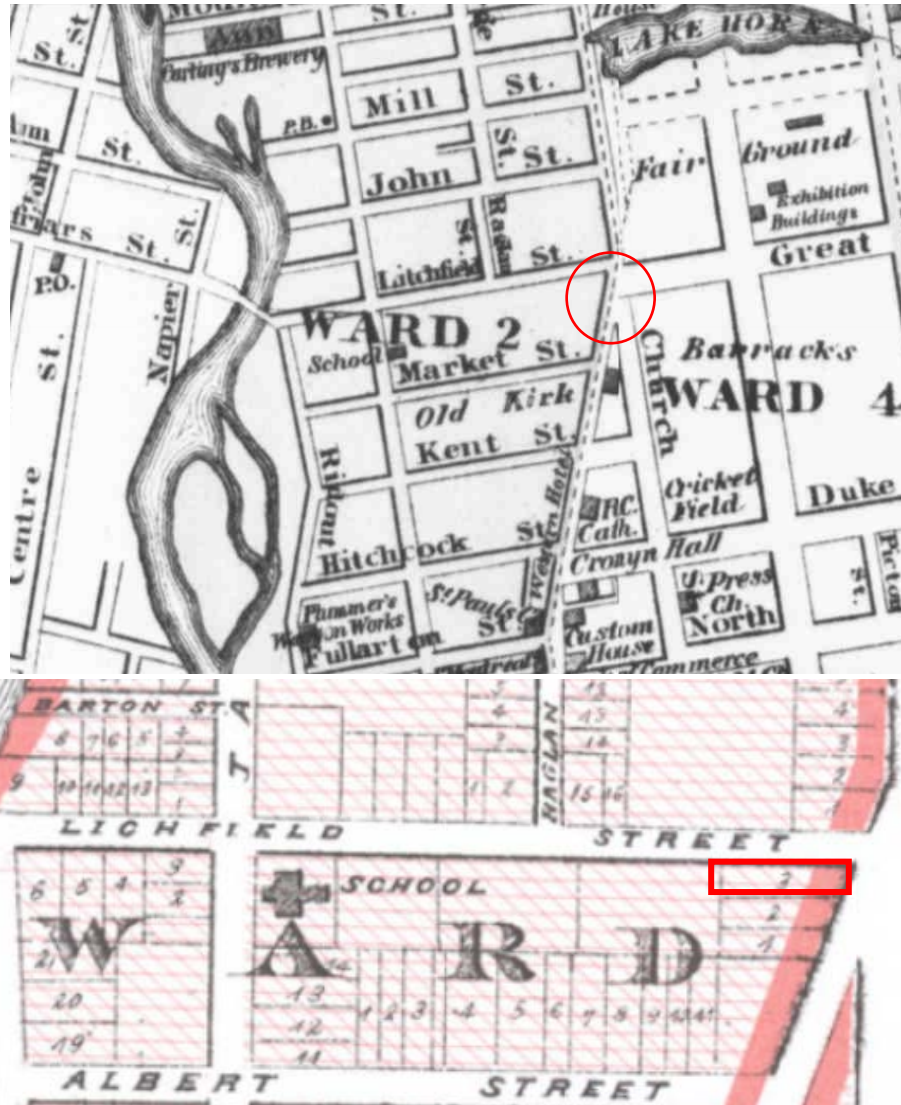
In the 1872-1873 *Cherrier & Kirwin London, Petersville, Westminster Directory* listed William Riddell, a “cutter” at the corner of Litchfield and Richmond Street and adjacent to the south two houses as ‘unoccupied’. The 1872 Bird’s Eye View depicts a two storey building at the corner and a one storey building to the south. The 1874-1875 *City of London and County of Middlesex Gazetteer* identifies Patrick Collins (tanner) and P.B. Flanagan (tanner) on the south-west corner of Richmond and Litchfield. In 1875, Patrick Flanagan is listed at the corner as a ‘grocer’ (McAlpine, Everett & Co.).

¹ Early LRO records do not include G.R. Reference or Remarks relating to portions of the subject lands granted in transactions but rather state “undivided one-third interest.”



Figures 12 & 13: (above) Excerpt of the Map of the City of London Canada West surveyed and drawn by S. Peters in 1856; red star identifies approximate location of subject property; (below) Excerpt of Bird's Eye View of London, Ontario, Canada, 1872 by E.S. Glover; red box indicates built form on the subject property (Courtesy of Western University Library).

The 1870s was an era of great development for Richmond Street and it was populated with various industries. In 1878, the subject lands include “Lot 3” and 595 Richmond Street is listed as “Lot 2” (see Figure 15); the current property retains the same lot fabric. The south side of Central Avenue between Richmond Street and Talbot Street appears to be vacant with the exception of a school at the corner of Litchfield² Street (Central Avenue) and Talbot Street.



Figures 14 & 15: (above) Excerpt Map of London 1875 from McAlpine's *London city and county of Middlesex directory*; red circle indicates approximate location of subject lands (Courtesy of Library and Archives Canada); (below) Excerpt 1878 survey; red box indicates location of subject lands (Courtesy of Western University Library).

²Litchfield Street written is “Lichfield” in 1878 Map of the City of London

The 1881 (revised 1889) Fire Insurance Plan (FIP) in Figure 16 demonstrates that the subject lands was originally addressed as 599 & 603 Richmond Street and adjacent property as 595-597 Richmond Street. The blue circle in the FIP indicates a fire hydrant. The building at 603 Richmond Street (currently 601 Richmond St) includes a two storey brick facade with two storey wood frame extension and a two one storey wood frame additions to the rear. The building at 599 Richmond Street included a two storey wood frame building with one storey addition to the rear; the entire building, including rear addition, is clad with a brick veneer. There is a two storey brick stable to the rear of the subject lands.

The building at 603 Richmond Street (currently 601 Richmond Street) is labelled 'Sal' which indicated that it was used as a saloon. The building at 599 Richmond Street is labelled 'S' which indicates that it was used as a store. The adjacent property at 595-597 Richmond Street was a one storey wood frame building with one storey stone rear addition and three one storey stone building cluster to the north-west of the property and is labelled as 'upholstery'.

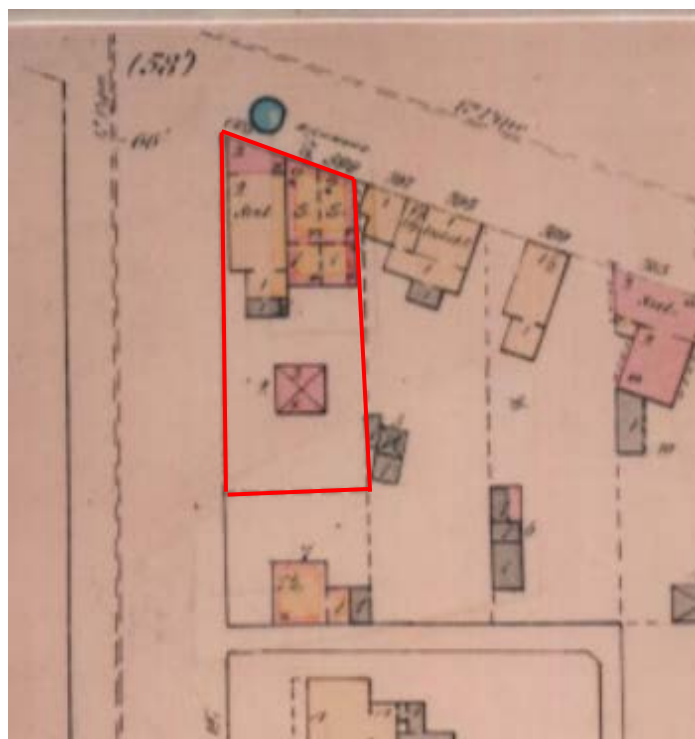


Figure 16: Excerpt of 1881 (revised 1889) Fire Insurance Plan; red outline identifies subject lands (Courtesy of Western University Library).

By 1890, Litchfield Street and Great Market Street was replaced with 'Central Avenue'. Several residences line Litchfield Street to the west of the subject lands in contrast with the larger buildings on the north side of the extension of the street to the east. Victoria Park south-east of the subject lands is bounded by a rows of trees. Several two storey

commercial buildings line Richmond Street to the south of the subject property. A two storey commercial building appears at the corner of Litchfield and Richmond Street on the subject property which appears to be the building that exists on-site today.



Figure 17 & 18: (Above) Excerpt from 1890 Bird's Eye View; red box indicates subject lands; (Below) Excerpt of 1893 Bird's Eye View; red box indicates location of subject lands and surrounding landscape (Courtesy of Western University Library).

The 1892 (revised 1907) Fire Insurance Plan demonstrates that the adjacent property's building mass remained the same with the exception of a one storey frame addition to the rear which was replaced with a larger one storey wood frame addition. A one storey frame addition for storage was constructed on the north side of the rear frame addition and to the west of the frame building was a one storey frame workshop with brick veneer which attached to the frame building cluster to the rear. The building is labelled as "H.W. Upholstery & Furniture".

The building located at 599-599 ½ Richmond Street, however, changed from having a wood frame two storey building along Richmond Street with brick veneer to being composed of brick, while the composition of the rear one storey additions remained the same. Another one storey frame addition appears to the rear of this building as well as two small wood frame projections on the south side of the stable. The building at 603 Richmond Street remained the same as in the earlier FIP of 1881 (revised 1889) with the exception of its use for 'drugs' instead of a 'saloon'; this FIP demonstrates that 601 Richmond Street (at the time 603 Richmond Street) also was associated with the address 205 Central Avenue.

Between 1884 and 1901, local directories identify that the building at 595 Richmond Street was leased by the Hunt Family (Alfred and J.F). By 1884, the building is listed as 'mattress manufacturer' and 'upholstery and furniture' (at the time addressed 593-597 Richmond Street). By 1900, the company was renamed "J.F.Hunt & Sons" which continued to sell furniture.

Local directories indicate that between 1884 and 1885, the building at 599 Richmond Street had tenants listed including Catherine Keenan (1884) and Robert Adams (1886) (London City and Middlesex County Directory). In 1888-1891, the property was listed under Mrs. A. Gibbling as a grocer and Robert Thomas as a barber (599 ½ Richmond St) (London city and Middlesex County directory). In 1893, F.W. Eberle replaced Robert Thomas as a barber at 599 ½ Richmond Street) (London City and Middlesex County Directory).

Local directories indicate that by 1884, the building at 603 Richmond Street was listed as the "Exhibition Hotel" owned by William Grant and in 1886 the ownership transferred to Louis Risk who retained the name of the hotel until 1892 when it was listed under Luke Jeffries, a grocer (1892). Between 1895 and 1901, it was listed under Peter Conlon, a grocer (London City and Middlesex County Directory). In 1889, the subject lands were sold from Thomas McDonough to Annie McDonough (instrument no. 7788) and Bessie, Edwin and Mary Shoebbotham (instrument no. 7785) (LRO). In 1900, Edwin A. Shoebbotham is listed as being the owner of "Shoebbotham & Co." as "grocers" (Foster's London City and Middlesex County Directory).

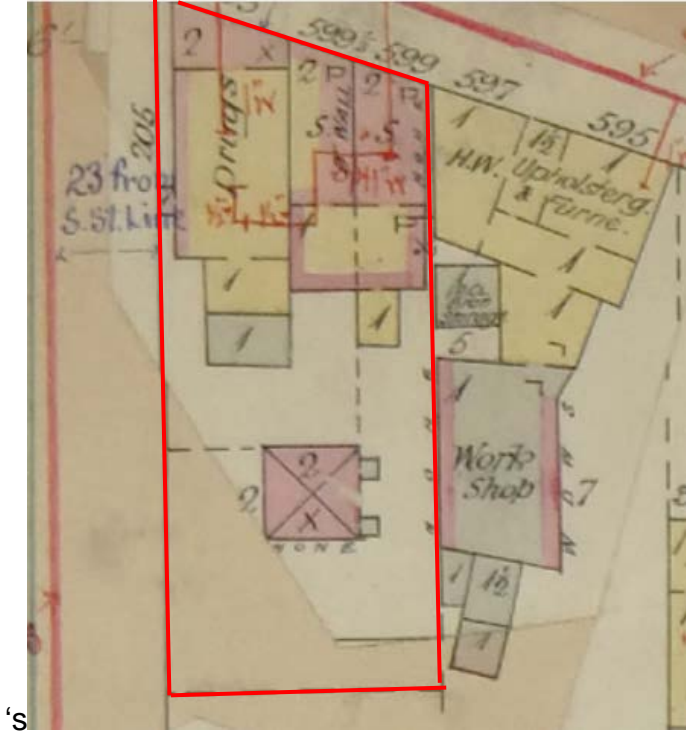


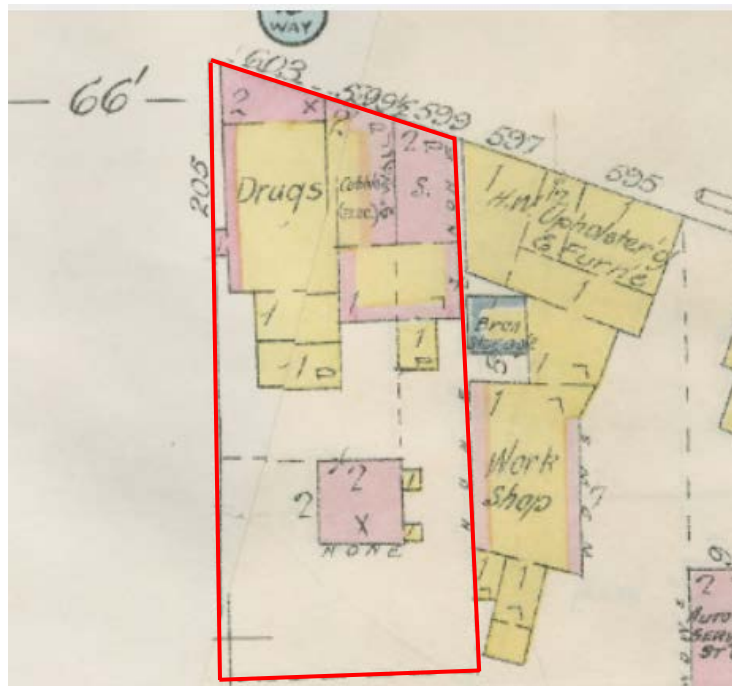
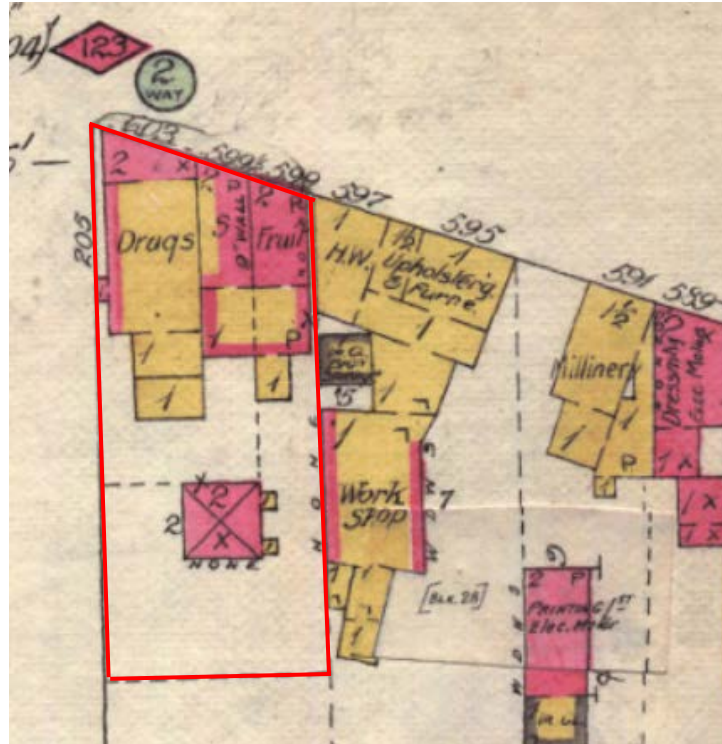
Figure 19: Excerpt of 1892 (revised 1907) Fire Insurance Plan; red outline identifies subject lands (Courtesy of Western University Library).

The 1912 (revised 1915) and 1912 (revised 1922) Fire Insurance Plans demonstrate that the building shapes and compositions (595, 599-601 Richmond Street) remained the same as depicted in the 1892 (revised 1907) FIP. The only change is the use of the south unit of 599 Richmond Street identifies the sale of fruit in 1912 (revised 1915) and the use of the north side of the unit for a ‘cobbler’⁴ (see following page for FIPs).

Between 1899 and 1924, 599-601 Richmond Street was owned by Hugh Douglass and Cora Pollock and Ada Hutchinson who leased the buildings to tenants (LRO).

In 1926, Bessie Maggee and James P. Moore, executors of Annie L. McDonough, granted her ownership to Edwin and Thomas Shoebottom and Bessie Magee (LRO). In the same year, Thomas Shoebottom and Bessie Magee granted their ownership to Edwin Shoebottom (LRO).

⁴ Note that the identification of the use ‘cobbler’ is somewhat illegible and may identify another use.



Figures 20 & 21: (above) Excerpt of 1912 (revised 1915) Fire Insurance Plan; red outline identifies subject lands; (below) Excerpt of 1912 (revised 1922) Fire Insurance Plan; red outline identifies subject lands (Courtesy of Western University Library).

By 1943, 595 Richmond Street is referred to as J.F. Hunt & Sons (est. 1901) by the London Free Press (LFP, 1943). By 1945 the building mass appears to change being enclosed in a new building envelope which appears today. It is inconclusive as to what extent of the original building remains within the existing building mass.

In 1948, Edwin Adolphus Shoebottom passed away (Find a Grave Index). In 1950, the Canada Trust Company, which was acting on behalf of the Estate of Edwin A. Shoebottom, granted the subject lands to Percy F. Williams and Minnie as joint tenants (LRO).

Historical aerial photographs of 1945 and 1955 demonstrate the mid-20th century landscape of Central Avenue and Richmond Street which includes residential dwellings lining both the north and south side of Central Avenue. At the time, the subject lands include a structure with a rectangular floor plan the rear. This ancillary building appears by the mid-century which means it was constructed between 1923 (as it was not included in the 1912 (revised 1922) FIP) and 1945. This is the building to the rear of the subject lands that exists today.



Figure 22: 1945 aerial photograph including subject property outlined in red (Courtesy of London Air Photo Collection, 2020).



Figure 23: 1955 aerial photograph including subject property outlined in red (Courtesy of London Air Photo Collection, 2020).

In 1970, John Harris Williams granted the subject lands to uses to Gerald Bradshaw and Lillian, his wife (LRO). A year later, Mr. Bradshaw granted the subject lands to uses to George Mihalopoulos and Sevasti, his wife as joint tenants (LRO). In 1974, the Canada Trust Company, which was acting on behalf of the Estate of Edwin A. Shoebottom, granted the land to Paul S. Kash and Harry Novak who each in 1979 granted half of their interest to Northfield Estates Limited (LRO). In 1986, 419298 Ontario Ltd. (who acquired the land after a series of liens, etc), granted the land to Central Park Place Ltd (LRO). The subject lands have since been leased to several different tenants, currently owned by Westdell Developments Corporation and leased to Lazeez Shawarma on the south half of 599 Richmond Street and Starbucks on the north half of 599 Richmond Street and 601 Richmond Street. The building at 595 Richmond Street has been operating as “Joe Kool’s” restaurant since 1983 to present day.

4.0 DETAILED DESCRIPTION OF POTENTIAL CULTURAL HERITAGE RESOURCES

4.1 DESCRIPTION OF BUILT HERITAGE ON SUBJECT LANDS

The subject lands and adjacent property to the south are included in a row of commercial units and by nature are affixed to each other. Therefore, the north elevation of 595 Richmond Street, north and south elevation of 599 Richmond Street and south elevation of 601 Richmond Street will not be described as these exterior elevations are not visible/ exposed. This section of the report is not intended to be a structural assessment but rather a general review of conditions from a heritage conservation perspective.

4.1.1 599 Richmond Street

Commercial Building

The commercial building has a rectangular floor plan with flat platform roof with three (3) original stone chimneys shafts.

Front (East) Elevation

The majority of the first level is composed of a contemporary storefront with large window panes. The façade is divided into two (2) storefronts which is consistent with the building's historical use for two commercial businesses. Painted cornicing and fascia board extend from either side of the façade along the second storey sill intermediately being interjected by wooden pilasters. The façade to the left of the building includes a wood pilaster crested with a corbel at the commencement of the second storey level which ties into cornicing along the second storey sill. Following the door opening is a storefront window divided into two panes of glass with wood panelling below. Another wood pilaster crested with a corbel detail divided the left side of the façade from the right. The right side of the façade includes a storefront divided into three window panes. Below the store windows is wood panelling. Enclosing the building's façade to the right is another wood pilaster crested

with corbel detail. There is an indentation between 599 and 601 Richmond Street where the buildings were 'fused' together.

The second storey includes a set of six (6) symmetrically placed window openings with wood sills which include contemporary vinyl windows. There is signs of 'bowing' in the brick along the second storey which is caused by the expansion of bricks as they absorb moisture over time; also the building may not have expansion joints large enough to have accommodated movement. The roofline of the second storey consists classical corncicing decorated with a series of smaller scale corbels/ brackets which are enclosed by two larger wood corbels.



Figures 24 & 25– (left) View of left side of front façade looking south-west, (right) View of front façade From Victoria Park (Source: MHBC, 2020).

West Elevation

The west elevation of the building is the only other elevation that is visible as the south and north elevations are enclosed by adjacent buildings at 595 and 601 Richmond Street. This elevation includes the second storey of the original building with two ((2) window openings; sills appear to have been covered by metal. Attached to this façade is one lean-to addition that sits snugly beneath the window sills and includes a plethora of mechanical equipment. Attached to the lean-to addition is a rectangular, flat-roof addition with vinyl cladding. These additions are interjected on the west (lean-to addition) and south (later rear addition) by the brick ancillary structure which will be examined in the following section.



Figures 26 & 27– (left) View of west elevation (right) View of west elevation looking south-east
(Source: MHBC, 2020)

Brick Ancillary Structure

The structure (not considered a building with no roof structure) includes two (2) remaining red brick retaining walls (north and west elevations). The south elevation and east elevation no longer exist although a wood extension has constituted the east elevation which is integrated into the rear additions of 599 Richmond Street. There appears to be concrete padding below the north retaining wall, however, not the west. The building is physically linked to an alleyway that is accessed between the units of 595 and 599 Richmond Street (see Figure 42).

North Elevation

The north elevation includes four (4) brick pilasters (one of which composes the north-west corner pilaster) with pseudo brick buttresses. There is a double door opening on this elevation approximately in the centre of the façade. There is a concrete wall sill plate on the top of the wall.

West Elevation

The west elevation includes three (3) pilasters (one of which composes the north-west corner pilaster). Similar to the north elevation, the pilaster form of a small buttress at towards the wall sill plate. There is a minimal space between the north elevation of 595 Richmond Street and the termination of the most southern pilaster on this elevation.

Interior

The interior could only be accessed from the interior of Joe Kool's restaurant and photos were only able to be taken from a door opening on the northern elevation of 595 Richmond Street.

The interior of the retaining wall along the north elevation includes two types of brick bonding. The half closer to the east includes herringbone brick bonding and to the west brick soldier coursing. It is inconclusive why the coursing changes from one side to the other, but it could be probable that either side was included in a separate unit within the former building.

The interior demonstrates that the exterior brick pilasters were structurally supported from the interior by concrete posts (typically brick pilasters constructed within this era would have been supported by concrete piers). The interior also includes some structural wood components such as a wood beam below the concrete wall sill plate.



Figures 28, 29, 30, & 31– (above left) View of north elevation; (above right) View of west elevation); (below left) View of interior of west side of north elevation from interior of Joe Kool's restaurant looking north-west; (below right) View of interior of east side of north elevation from the interior of restaurant looking north-east (Source: MHBC, 2020)

4.1.2 601 Richmond Street

The commercial building has a rectangular floor plan with a hipped roof with asphalt shingles and extended eaves.

Front (East) Elevation

The majority of the first level is composed of a storefront with three large pane windows with a wood panelling below. The front entrance is angled towards the intersection of Richmond Street and Central Avenue which negates building fabric on the north east corner of the building, due to this, the second level of the north east corner of the building acts as an overhang supported by a post. A small portion of the south-east corner of the first level includes the remaining portion of the exposed brick facade. The first and second storey is divided by cornicing. The second storey two window openings symmetrically placed with 4 x 3 fenestrations with brick header (bricks have been painted to mimic a decorative brick surround); the sills are covered in metal. The roofline includes wood fascia board below the extending eaves of the roof.



Figures 32 & 33– (left) View of front façade looking north-west (right) View of front façade from Victoria Park (Source: MHBC, 2020).



Figures 34 & 35– (left) View of entrance to 601 Richmond Street via south-west corner of the intersection at Richmond Street and Central Avenue. (right) View of front façade looking south, (right) View of entrance at corner of the intersection looking south-east (Source: MHBC, 2020).

North Elevation

The first level of the north elevation includes two bays. The first bay is to the left of the facade and includes a portion of the storefront and entrance overhang with corncicing dividing the second and first storey. The second level of the eastern bay includes one window opening with brick header and 4 x 4 fenestration and fascia board along roofline.

There is a slight projection on this elevation creating the second bay along the facade. This bay includes one square window opening, which appears to have replaced an original window opening and an enclosed portico. The portico includes an arched ‘Roman’ window opening with associated semi-circular brick arch surround on the east and west side. The portico also includes a decorative entryway with wood surround including pilasters and wave header which appears to conceal a brick voussoir. The door includes a unique design of panelling and centred, elongated window. There is a set of concrete stairs leading up to the portico and wood railing to the left of the portico. The masonry below the door threshold is in fair to poor condition with signs of cracked and missing mortar. To the right of the portico is a window opening with stone sill and header. The second storey on this bay includes four window openings with brick voussoirs with 4 x 3 fenestrations; the sills are clad in metal.



Figures 36, 37, & 38– (above) View of north elevation; (below left) View of enclosed portico looking south-west; (below right) View of front door entryway of portico (Source: MHBC, 2020)

West Elevation

The west elevation includes one window opening to the right of the second level with a pair of contemporary windows. The exterior is clad in vinyl siding.



Figure 39: View of west elevation (Source: MHBC, 2020)

4.2 DESCRIPTION OF ADJACENT LISTED PROPERTY

4.2.1 595 Richmond Street

Front (East) Elevation

The east elevation is composed of two separate front facades. The first level of the southern half of the building includes a stone veneer and glazed storefront which is interjected by a full awning. The façade to the north (Joe Kool's) includes a glazed storefront on the first level similar to that of 599-601 Richmond Street and includes a Boomtown inspired “postiche” which extends the façade beyond the one and half storey roof line; this is similarly used for the adjacent façade to the south (Circle K).



Figure 40—View of front façade of 595 Richmond Street including restaurant “Joe Kool’s” to the north and “Circle K” to the south; red box indicates location of access between 595 and 599 Richmond Street to rear ancillary brick structure (Source: MHBC, 2020)

The first level of the northern half of the building (Joe Kool's) includes a storefront reminiscent of the store front of adjacent 599-601 Richmond Street. Store windows are situated to the left of this half of the façade with wood panelling below. There are wood columns that are intermediately placed along the storefront below the stretch of corncicing that divides the first storey for the storey above. There are five (5) corbels intermediately placed along/ supporting this cornice. Following the storefront is a niche which includes a double door entry with wooden doors. To the right of this is another door opening which

is enclosed in a wood surround with wood columns that are topped with corbels. This entry is blocked off with boarding and gates. The access leads to the brick ancillary structure to the rear of 599 Richmond Street.



Figures 41 & 42– (left) View of front façade of 595 Richmond Street including restaurant “Joe Kool’s” to the north and “Circle K” to the south; (right) View of door opening/ access that leads to alleyway to brick ancillary structure to the rear of 595 Richmond Street (Source: MHBC, 2020)

South Elevation

The eastern portion of the south elevation is a continuation of the front elevation with stone veneer, awning and extension of the faux façade extension. It also includes a paired door opening. The remainder of the façade includes painted brick which to towards the rear is covered with a contemporary veneer associated with patio/ verandah addition, part of which is enclosed with a hipped roof. There are a series of mid-century glass block windows along this elevation so of which have been altered to accommodate the verandah. The verandah is supported by a series of concrete posts.



Figures 43 & 44– (left) View of right side of the south elevation; (right) View of verandah along south elevation looking north-east (Source: MHBC, 2020)

West Elevation

The west elevation includes the extension of the verandah on the south elevation with a stairway to the parking lot. The roof at the rear is composed of standing seam metal roof. The verandah is supported by a series of posts. There is an additional stairway leading from the verandah to a door opening on the left side of the elevation. Below this door opening is another door opening at the first level.



Figure 45– West elevation of 595 Richmond Street including associated parking lot.

North Elevation

The north elevation includes a cinder block façade which abuts the west elevation of the brick ancillary structure and wood extension of this structure.



Figure 46– View of north elevation (Source: MHBC, 2020)

5.0 EVALUATION OF CULTURAL HERITAGE RESOURCES

5.1 EVALUATION CRITERIA

The following sub-sections of this report will provide an analysis of the cultural heritage value of the subject property as per *Ontario Regulation 9/06*, which is the legislated criteria for determining cultural heritage value or interest. This criteria is related to design/physical, historical/associative and historical values as follows:

1. *The property has design or physical value because it:*
 - a. *Is a rare, unique, representative or early example of a style, type, expression, material or construction method,*
 - b. *Displays a high degree of craftsmanship or artistic merit, or*
 - c. *Demonstrates a high degree of technical or scientific achievement.*
2. *The property has historical value or associative value because it,*
 - a. *Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,*
 - b. *Yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or*
 - c. *Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*
3. *The property has contextual value because it,*
 - a. *Is important in defining, maintaining or supporting the character of an area,*
 - b. *Is physically, functionally, visually or historically linked to its surroundings,*
or
 - c. *Is a landmark.*

5.2 EVALUATION OF 599 RICHMOND STREET- *Commercial Building*

5.2.1 Design/Physical Value

The building is modestly representative of the Italianate architectural style popular in the Victorian area. Characteristics of this style include: the flat roof with overhanging eave and corbelling and cornicing along the roofline. The building has retained its original mass and scale as well as existing window openings along front facade.

5.2.2 Historical/Associative Value

The building has been used as commercial business since c. 1872 and continues to operate as a commercial business today. The building can yield information as it relates to the commercial development of Richmond Row over the past 150 years.

5.2.3 Contextual Value

The building is important in maintaining the character of the area which is early Victorian commercial. It is physically linked to the property as it relates to 601 Richmond Street. The main building is functionally linked as it relates to the use as a commercial business, visually linked to the corner of Richmond Street and Central Avenue and historically linked to the area is relates to surrounding commercial buildings and adjacent Victoria Park (former military reserve).

5.2.4 List of Heritage Attributes

- Original massing and scale of building;
- Original exterior brick veneer on north elevation;
- Original symmetrical row of window openings with stone sills;
- Original roofline with corbelling and cornicing;
- Original chimney shaft;
- Location along Richmond Row.

See following page for evaluation through Ontario Regulation 9/06.

5.2.5 SUMMARY OF EVALUATION

Ontario Regulation 9/06		599 Richmond Street
1. Design/Physical Value		
i.	Rare, unique, representative or early example of a style, type, expression, material or construction method	Yes.
ii.	Displays high degree of craftsmanship or artistic merit	No.
iii.	Demonstrates high degree of technical or scientific achievement	No.
2. Historical/Associative value		
iv.	Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	No.
v.	Yields, or has potential to yield information that contributes to an understanding of a community or culture	Yes.
vi.	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	Unknown.
3. Contextual Value		
vii.	Important in defining, maintaining or supporting the character of an area	Yes.
viii.	<u>Physically</u>, functionally, visually, or historically linked to its surroundings	Yes.
ix.	Is a landmark	No.

5.2.6 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

In summary, the cultural heritage value or interest of the property is vested in its modest representation of Italianate architectural style within a commercial context. It can yield information as it relates to the commercial development of Richmond Row. It is important in maintaining the character of the area and is physically, functionally, visually and historically linked to its surroundings.

5.3 EVALUATION OF 599 RICHMOND STREET- *Ancillary Brick Structure/Ruin*

Ancillary Brick Structure/ Ruin

5.3.1 Design/Physical Value

The original building has been considerably altered and as lost a great extent of its integrity, now considered a 'ruin' as it does not have a roof and has lost two of its four original exterior walls. The structure, as it relates to the northern, cinder block elevation of 595 Richmond Street and the wood extension along the east elevation, was used most recently as a bar patio, but has been left vacant for at least 10 years.

5.3.2 Historical/Associative Value

The structure was constructed between 1923 and 1944 and has been associated with both 599 Richmond Street and 595 Richmond Street. It is uncertain as to the exact use of the structure, possibly it was an extension of the Hunt Family's upholstery business or used for the commercial occupations of 599 Richmond Street. Most recently it was used as an outdoor patio for the restaurant at "Joe Kools". The removal of a great portion of the original building fabric challenges the understanding of its original purpose and use.

5.3.3 Contextual Value

The structure is associated with 595 and 599 Richmond Street, however, is not consistent with the overall character of Richmond Row which is dominated by Italianate commercial buildings constructed in the Victorian era.

See following page for evaluation through Ontario Regulation 9/06.

5.3.5 SUMMARY OF EVALUATION

Ontario Regulation 9/06		599 Richmond Street
4. Design/Physical Value		
x.	Rare, unique, representative or early example of a style, type, expression, material or construction method	No.
xi.	Displays high degree of craftsmanship or artistic merit	No.
xii.	Demonstrates high degree of technical or scientific achievement	No.
5. Historical/Associative value		
xiii.	Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	No.
xiv.	Yields, or has potential to yield information that contributes to an understanding of a community or culture	No.
xv.	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	Unknown.
6. Contextual Value		
xvi.	Important in defining, maintaining or supporting the character of an area	No.
xvii.	<u>Physically</u>, functionally, visually, or historically linked to its surroundings	No.
xviii.	Is a landmark	No.

5.3.6 CONCLUSIONS

In summary, the brick ancillary structure or ‘ruin’ has lost the majority of its integrity. The purpose and use of the original building is not clear which creates a gap in understanding its place in the ‘story’ or rather ‘history’ of the subject lands. Unfortunately, due to the removal of a great extent of its original heritage building fabric and dis-connectivity with the surrounding character, it has been determined that this structure or ‘ruin’ does not have significant cultural heritage value or interest.

5.4 EVALUATION OF 601 RICHMOND STREET

5.4.1 Design/Physical Value

The building is modestly representative of the Italianate architectural style popular in the Victorian area c. 1870. Characteristics of this style include: the overhanging eaves, decorative brick window surrounds, portico with flat roof and cornicing including Roman arched window opening on eastern side of this feature. The building has retained the majority of its original mass and scale with the exception of the removal of a one storey addition to the rear. It also retains most of the original window opening.

5.4.2 Historical/Associative Value

The building has been used as commercial business since c. 1870 and continues to operate as a commercial business today. The building can yield information as it relates to the commercial development of Richmond Row over the past 150 years. The building originally was used as a hotel, a saloon and later a grocer and exemplifies the diversity of commercial business on Richmond Row.

5.4.3 Contextual Value

The building is important in maintaining the character of the area. It is physically linked to 599 Richmond Street, functionally linked as a commercial business along Richmond Row and visually linked as a gateway between Richmond Street and Central Avenue. The building is historically linked to its surroundings, in particular, the Black Friar's Bridge; Central Avenue to the west of the property (formerly Litchfield Street) originally ran directly eastward from the bridge into the City's commercial area, upon which this building would have been a gateway. The building was used as a hotel between approximately 1884 and 1891 which historically suited its context with neighbouring hotels such as the hotel owned by Thomas Morkin at 587 Richmond Street and the "Western Hotel" c. 1854 formerly at 463 Richmond Street to the south in addition to its use as a grocer.

5.4.4 List of Heritage Attributes

- Original massing and scale of building;
- Original exterior brick veneer on north and east elevations;
- Original window openings with brick voussoirs, stone sills and headers;
- Enclosed portico on north elevation including door opening, door surround and door;

- Original roofline; and,
- Unique location at the corner of the intersection of Richmond Street and Central Avenue

See below for evaluation through Ontario Regulation 9/06.

5.4.5 SUMMARY OF EVALUATION

Ontario Regulation 9/06	601 Richmond Street
1. Design/Physical Value	
i. Rare, unique, representative or early example of a style, type, expression, material or construction method	Yes.
ii. Displays high degree of craftsmanship or artistic merit	No.
iii. Demonstrates high degree of technical or scientific achievement	No.
2. Historical/Associative value	
iv. Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	No.
v. Yields, or has potential to yield information that contributes to an understanding of a community or culture	Yes.
vi. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	Unknown.
3. Contextual Value	
v. Important in defining, maintaining or supporting the character of an area	Yes.
vi. <u>Physically</u> , functionally, visually, or historically linked to its surroundings	Yes.
vii. Is a landmark	No.

5.4.6 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

In summary, the cultural heritage value or interest of the property is vested in its modest representation of Italianate architectural style within a commercial context. It can yield information as it relates to the commercial development of Richmond Row as well as the development of early circulation patterns as it relates to the trajectory of Central Avenue (formerly Litchfield) and Richmond Street. It is important in defining, maintaining and supporting the character of the area and is physically linked to 599 Richmond Street, functionally linked as a commercial building, visually linked to the corner of Central Avenue and Richmond Street and historically linked to its surroundings including neighbouring commercial buildings along Richmond Row and adjacency to Victoria Park.

5.5 EVALUATION OF ADJACENT 595 RICHMOND STREET

5.5.1 Design/Physical Value

The building is not representative of specific architectural style and does not display a high degree of craftsmanship or artistic merit.

5.5.2 Historical/Associative Value

The property has potential to yield information as it contributes to development of Richmond Row. The property is associated with Hunt Family that operated a mattress manufacturing company which broadened to upholstery and furniture known as H.W. Upholstery & Furniture and later known as J.F. Hunt & Sons” and operated at least between 1881 and 1943 (a source from the London Free Press dates the building to 1861).

5.5.3 Contextual Value

The building is physically and visually linked to its location on Richmond Street as it relates to 599-601 Richmond Street. It is functionally linked as a commercial business along Richmond Row. The building is historically linked to its surroundings as it relates to adjacent commercial buildings constructed within the same era.

5.5.4 Heritage Attributes

- Location on Richmond Row; and,
- Remaining original features of storefront.

See below for evaluation through Ontario Regulation 9/06.

5.5.5 SUMMARY OF EVALUATION

Ontario Regulation 9/06		595 Richmond Street
1. Design/Physical Value		
i.	Rare, unique, representative or early example of a style, type, expression, material or construction method	No.
ii.	Displays high degree of craftsmanship or artistic merit	No.
iii.	Demonstrates high degree of technical or scientific achievement	No.
2. Historical/Associative value		
iv.	Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	No.
v.	Yields, or has potential to yield information that contributes to an understanding of a community or culture	Yes.
vi.	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	Unknown.
3. Contextual Value		
vii.	Important in defining, maintaining or supporting the character of an area	No.
viii.	<u>Physically, functionally, visually, or historically</u> linked to its surroundings	Yes.
ix.	Is a landmark	No.

5.5.6 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

In summary, the cultural heritage value or interest of the property is vested in its potential to yield information as it contributes to the commercial development of Richmond Row and H.W. Upholstery & Furniture and J.F. Hunt & Sons and is physically, functionally, visually and historically linked to its surroundings.

6.0 DESCRIPTION OF PROPOSED DEVELOPMENT

The proposed development of the subject property includes an 8 storey apartment complex with 53 units and a proposed development footprint of 750.60m². The building is proposed to be mixed-use with commercial units on the ground floor and residential from the 2nd to 8th floor. It proposes 5 surface parking spaces and 2 drop-off spaces on the west side of the building. An underground level is proposed which includes storage space, amenity rooms including exercise room, and a mechanical, electrical room. See Appendix 'B' for site plan and floor plans and Appendix 'C' for elevations.

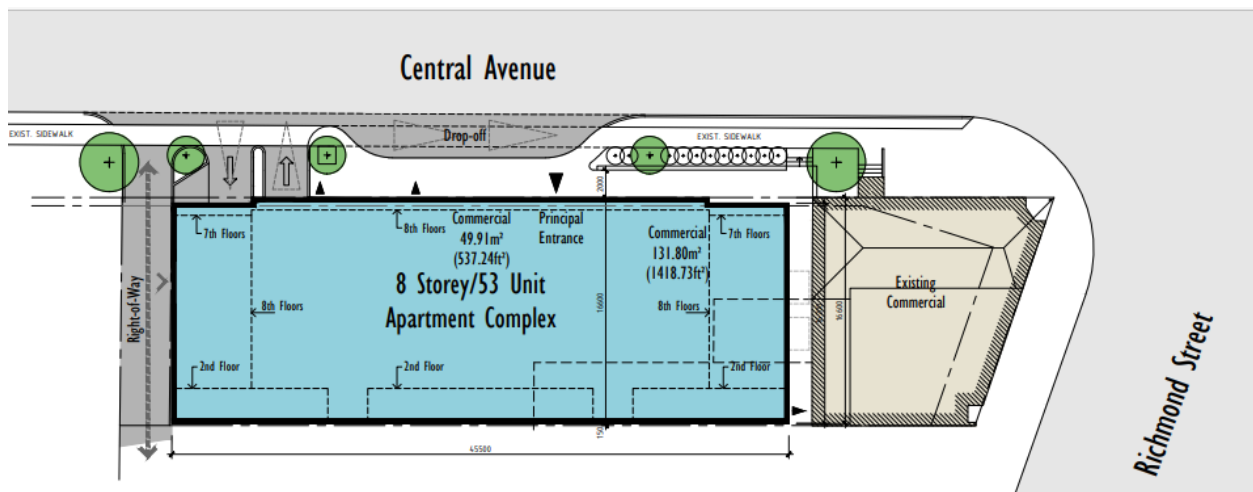


Figure 47– Excerpt of draft site plan (Source: R. Tomè and Associate, 2020)

The principal entrance to the building would be off of Central Avenue as well as the vehicular access to the surface parking on the ground floor. The floor plans from the 2nd to 7th floor are similar in size and layout; there are Juliette balconies proposed on the north elevation for these levels. The 8th floor is approximately 190m² less in size and includes two balconies on the south elevation and a full terrace on the east and west elevations.

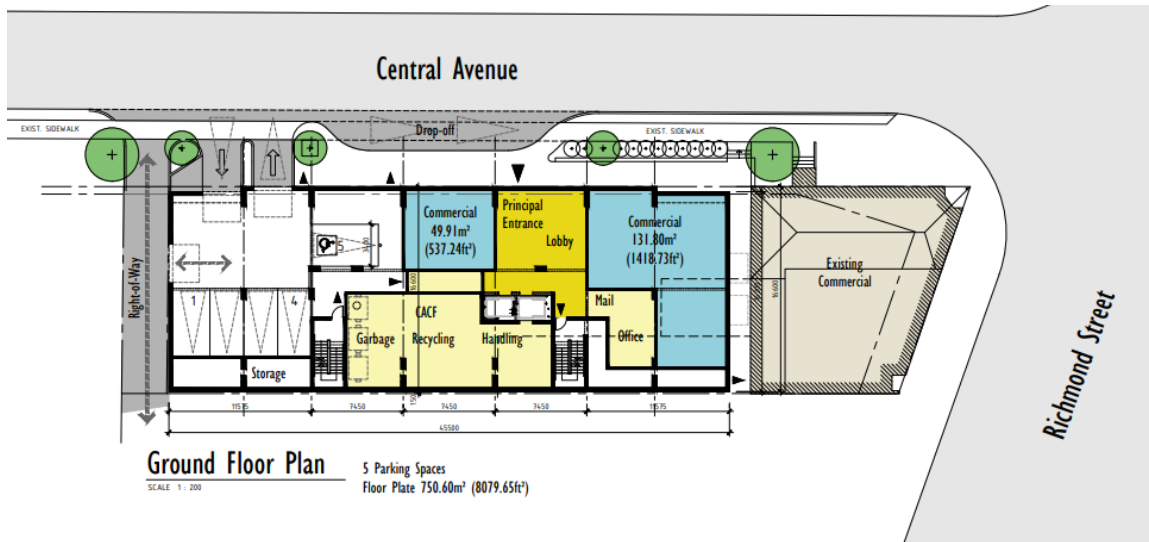


Figure 48– Excerpt of draft ground floor plan (Source: R. Tomè and Associate, 2020)

The building proposes to be a gradient neutral palette with the lower floors to contain a deeper hue while the upper floors visible from Richmond Street will be of lighter hues to lessen the perspective of mass and scale.



Figures 49 & 50– (left) Coloured west elevation; (right) Coloured east elevation (Source: R. Tomè and Associate, 2020)



Figures 51 & 52– (above) Coloured north elevation; (below) Coloured south elevation
(Source: R. Tomè and Associate, 2020)

7.0 IMPACT ANALYSIS

7.1 INTRODUCTION

There are three classifications of impacts a proposed development may have on an identified cultural heritage resource: beneficial, neutral or adverse. Beneficial effects may include such actions as retaining a property of cultural heritage value, protecting it from loss or removal, maintaining restoring or repairing heritage attributes, or making sympathetic additions or alterations that allow for a continued long-term use and retain heritage building fabric. Neutral effects have neither a markedly positive or negative impact on a cultural heritage resource. Adverse effects may include the loss or removal of a cultural heritage resource, unsympathetic alterations or additions that remove or obstruct heritage attributes, the isolation of a cultural heritage resource from its setting or context, or the addition of other elements that are unsympathetic to the character or heritage attributes of a cultural heritage resource. Adverse effects may require strategies to mitigate their impact on cultural heritage resources.

The following sub-sections of this report provide an analysis of the impacts which may occur as a result of the proposed development.

- **Destruction:** of any, or part of any *significant heritage attributes* or features;
- **Alteration:** that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- **Shadows:** created that alter the appearance of a *heritage attribute* or change the viability of a natural feature or plantings, such as a garden;
- **Isolation:** of a *heritage attribute* from its surrounding environment, context or a significant relationship;
- **Direct or Indirect Obstruction:** of significant views or vistas within, from, or of built and natural features;
- **A change in land use:** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;
- **Land disturbances:** such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.

The impacts of a proposed development or change to a cultural heritage resource may be direct or indirect. They may occur over a short term or long term duration, and may occur during a pre-construction phase, construction phase or post-construction phase. Impacts to a cultural heritage resource may also be site specific or widespread, and may have low, moderate or high levels of physical impact. Severity of impacts used in this report derives from *ICOMOS Guidance on Heritage Impact Assessments for Cultural World Heritage Properties (2011)*.

7.2 IMPACT ANALYSIS

The following chart evaluates the impact of the proposed development on the subject property to the adjacent cultural heritage resource. These impacts are based on the heritage attributes outlined in sub-section 5.2.4 of this report.

Table 1.0 Adverse Impacts 205 Central Ave		599-601 Richmond Street/
Impact	Level of Impact (No, Potential, Negligible, Minor, Moderate or Major)	Analysis
Destruction or alteration of heritage attributes	Negligible	The proposed development will remove the remains of a c.1923-1944 brick ancillary structure and a portion of rear additions associated with 599 Richmond Street c. 1881. The impact is negligible as although building fabric will be removed, it is limited to approximately 30m ² and is located to the rear of the property and will not impact the heritage attributes along the east (front) and west elevations. See sub-section 7.2.1.
Shadows	No	Proposed development will not result in shadows that negatively impact heritage attributes.
Isolation	No	The relationship of the buildings to the intersection of Richmond Street and Central Avenue will not change. The relationship that the buildings have to the commercial landscape of Richmond Row will not change. The mass and scale of the proposed development is an additional 6 storeys which will be set back from the existing buildings. The existing buildings act as a buffer to the Richmond streetscape. See sub-section 7.2.2.

Direct or Indirect Obstruction of Views	No	There will be no direct or indirect obstruction of significant views of the buildings which has vantage points from Victoria Park along Richmond Street. The background view of the buildings will be altered by the proposed development but it will not obstruct views. See sub-section 7.2.3.
A Change in Land Use	No.	The use of land will include a residential use. The frontage of the new building is along Central Avenue which historically included and continues to include residential buildings (some of which have been converted for commercial use).
Land Disturbance	Potential.	The proposed development includes an underground level which is within 2 metres of the existing buildings. The proposed construction will be within 2 metres of existing buildings at 595 and 599-601 Richmond Street. There is potential that changes in grade, drainage and vibrations emitted from construction equipment, including incoming and out-coming construction traffic could adversely affect the retained buildings on-site. See sub-section 7.2.4.

Table 2.0 Adverse Impacts		595 Richmond Street
Impact	Level of Impact (No, Potential, Negligible, Minor, Moderate or Major)	Analysis
Destruction or alteration of heritage attributes	No.	No heritage attribute associated with this building will be destroyed or altered.
Shadows	No	Proposed development will not result in shadows that negatively impact heritage attributes.
Isolation	No	The relationship of the buildings to Richmond Street will not change. The relationship that the building has to the commercial landscape of Richmond Row will not change. See sub-section 7.2.2.
Direct or Indirect Obstruction of Views	No	There will be no direct or indirect obstruction of significant views of the buildings which has vantage points from Victoria Park along Richmond Street. The background view of the buildings will be altered by the proposed development but it will not obstruct views. Sub-section 7.2.3.
A Change in Land Use	No.	The use of land on adjacent property will include a residential use but this will not negatively impact heritage attributes.
Land Disturbance	Potential.	The proposed development includes an underground level which is within 2 metres of the north elevation of the existing building. There is potential that changes in grade, drainage and vibrations emitted from construction equipment, including incoming and out-coming construction traffic could adversely affect the building. See sub-section 7.2.4

7.2.1 Impact of Destruction and Alteration

The proposed development will remove a portion (approximately 30m²) of the rear addition of 599-601 Richmond Street as well as the brick ancillary building (approximately 140m²). The removal of a portion of the rear addition will alter the original massing of the building c. 1892, however, the amount of building fabric to be removed is minimal.



Figures 53 & 54– (above) 1912 (revised 1922) FIP comparing existing built features since c. 1922 with existing, see Appendix ‘A’ for larger version; (below) Site plan overlay on existing (Source: MHBC, 2020)

The ancillary building to the rear of the building is a lean-to addition to 595 Richmond Street. Currently, only the rafters and purlins remain in addition to the exterior brick walls. The building does not appear in the 1922 FIP but appears in the 1945 aerial photograph. The removal of this building includes the removal of the brick facades with associated attribute of brick pilasters and contextual value as it relates to the historical commercial businesses on 595 and 599-601 Richmond Street.



Figure 55– Aerial view of subject property and adjacent property to the south looking south-east; red dotted lines indicate building fabric proposed to be removed from 599 Richmond (Source: Google Earth Pro, 2020)

7.2.2 Impact of Isolation

The *Ontario Heritage Tool Kit* outlines an impact of isolation is when a heritage attribute of a cultural heritage resource is isolated from its surrounding environment, context or significant relationship. The proposed development will not alter the relationship or orientation of the cultural heritage resources to Richmond Row. The consistency and rhythm of the streetscape will not be interrupted by the development which is set back from the main streetscape due to its location behind the existing buildings.



Figures 56 & 57– (above) Kinetic view of 595, 599-601 Richmond Street as it relates to Richmond Street looking southwards (Source: Google Earth Pro, 2020); (below) Aerial view of subject lands (Source: Westdell Development Corporation)

7.2.3 Impact of Direct or Indirect Obstruction of View

The Standards and Guidelines for the Conservation of Historic Places (Second Edition) defines in Section 4.1.5 ‘Visual Relationships’ which is included as part of a character-defining element of a historic place and relates to an observer and their relationship with a landscape or landscape feature or between the relative dimensions of landscape features (scale). This policy with the Ministry adopted the following definitions of a view and vista, respectively:

Vista means a distant visual setting that may be experienced from more than one vantage point, and includes the components of the setting at various points in the depth of field.

The Ontario Heritage Toolkit acknowledges that views of a heritage attributes can be components of its significant cultural heritage value. This can include relationships between settings, landforms, vegetation patterns, buildings, landscapes, sidewalks, streets, and gardens, for example.

View means a visual setting experienced from a single vantage point, and includes the components of the setting at various points in the depth of field.

Views can be either static or kinetic. Static views are those which have a fixed vantage point and view termination. Kinetic views are those related to a route (such as a road or walking trail) which includes a series of views of an object or vista. The vantage point of a view is the place in which a person is standing. The termination of the view includes the landscape or buildings which is the purpose of the view. The space between the vantage point and the termination (or object(s) being viewed) includes a foreground, middle-ground, and background. Views can also be ‘framed’ by buildings or features.

While there may be many vantage points providing views and vistas of a property, landscape, building or feature, these must be evaluated to determine whether or not they are significant. Significance is defined by PPS 2020 as follows:

Significant: means e) in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people.

Therefore, a significant view must be identified as having an important contribution to the understanding of a place, event or people.

The table on the following page identifies the two (2) identified significant views of the existing buildings on the subject lands and adjacent building at 595 Richmond Street.

Please note that the “View Corridors” identified in the draft VPSP in sub-section 3.2 are not impacted by the development.



Table 3.0 Significant Views

View No. 1- Static view from east side of Richmond Street/ Victoria Park

View No. 2- Kinetic view via Richmond Street travelling southwards

View No. 1- Static view from east side of Richmond Street/ Victoria Park

The background of the static view of the built heritage on the subject lands will change as a result of the proposed development. The foreground of the view will remain the same and there be no direct or indirect construction of this view.



Figure 58- Static view of subject lands and adjacent property looking westward from south side of Richmond Street/ Victoria Park (Source: Google Earth Pro, 2020)

View No. 2- Kinetic view via Richmond Street travelling southwards

The proposed development will be setback from the 599-601 Richmond Street which will reduce any impact on the kinetic view along Richmond Street along Richmond Street to the downtown core and towards Victoria Park and associated West Woodfield HCD.



Figure 59- Kinetic view of existing built heritage on subject lands travelling southwards along Richmond Street (Source: Google Earth Pro, 2020)

7.2.4 Impact of Land Disturbances

The proposed development includes an underground level which is within 2 metres of the existing buildings. The proposed construction will be within approximately 1.571 metres from the rear facade of 599 Richmond Street and approximately 1.5 metres from the north elevation of 595 Richmond Street. There is potential that changes in grade, drainage and vibrations emitted from construction equipment, and incoming and out-coming construction traffic could adversely affect the retained buildings on-site.

The underground level will be approximately 3.2 metres below grade (approximately 10.5 feet). Generally, a safe distance between sub-terrain construction and existing buildings should be the same distance of the depth of the construction. Therefore, the distance should be approximately 3.2 to be considered safe from proposed construction. In this case, the distance between both 595 and 599 Richmond Street is half of this distance and therefore, there is a potential for land disturbances and precautionary measures are required.



Figure 60-Aerial photograph with overlay of floor plan of underground level and relevant distances to proposed development (Source: Google Earth Pro & R. Tomè and Associate, 2020)

8.0 ALTERNATIVE DEVELOPMENT OPTIONS

8.1 INTRODUCTION

The following have been identified as a range of development alternatives that may be considered as part of the heritage planning process. These options have been assessed in terms of impacts to cultural heritage resources as well as balancing other planning policies within the planning framework. The following sub-sections of this report consider the potential for alternative development options as it relates to the proposed development.

8.1.1 'Do Nothing' Alternative

The 'do nothing' alternative would prevent the development from occurring and as a result there would be no adverse impacts to the existing cultural heritage resources including the removal of the rear addition and brick ancillary building associated with 599 Richmond Street. This would also result in no development and no contribution to the City's goal of urban regeneration in Central London.

8.1.2 Reduce Building Footprint and Retain Rear Addition of 599-601 Richmond Street

This option would reduce the size of the proposed development (including the sub terrain parking level) to retain at the least the remaining portion of the rear addition associated with 599-601 Richmond Street and increase the distance between both the rear façade of 599-601 Richmond Street and north elevation of 595 Richmond Street.

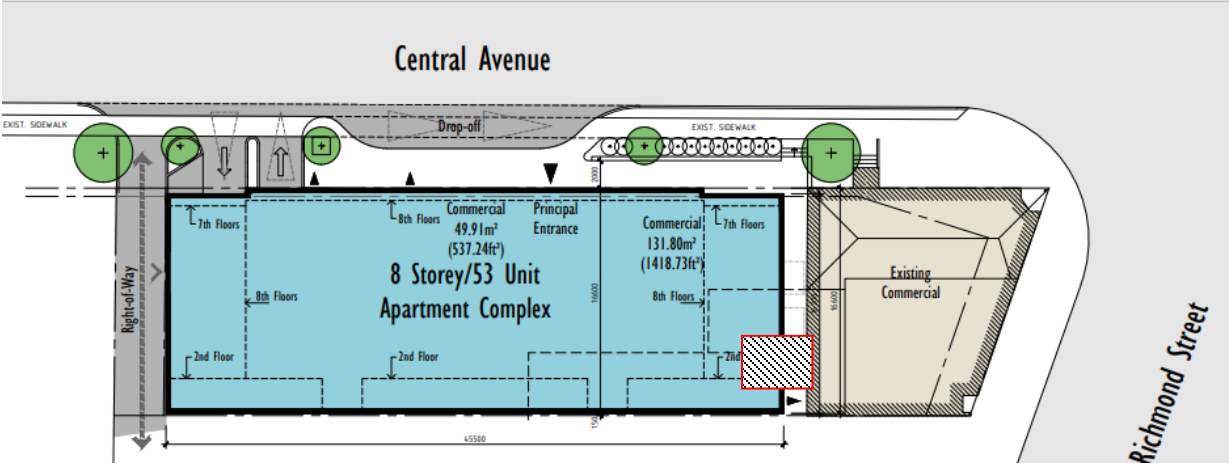


Figure 61- Site plan indicating area of original building fabric c.1892 that could be retained as an alternative development option (Source: R. Tomè and Associate, 2020)

This option is not recommended as the impacts are negligible and can be remedied with mitigation measures.

8.1.3 Reduce Building Footprint for Increased Setbacks

The building proposed on-site is within 2 metres of the rear elevation of 599 Richmond Street and north elevation of 595 Richmond Street. If the setback was increased, there would be an additional space between construction and the above-mentioned facades of adjacent buildings. This option would reduce the building density, or result in increased height. This option is not recommended since mitigation measures can address any potential impacts.

9.0 MITIGATION MEASURES

Table 1.0 and 2.0 of Section 7.2 of this report identifies adverse impacts as it relates to the existing cultural heritage resources located at 595 and 599-601 Richmond Street. The following Install temporary construction fence along the base perimeter of trees if the chain link fence is to be removed;

Mitigation Measures

A negligible impact for the removal of a portion of the rear addition of 599-601 Richmond Street and brick ancillary buildings was identified in Section 7.0 of this report. The following outlines mitigation measures as it relates to the impact:

- A *Temporary Protection Plan* is recommended which will include:
 - Vibration Monitoring Plan to ensure that no damage will occur to the existing buildings on site and adjacent;
 - Entry and exit point for construction traffic be located to the west of the site;
 - A structural engineers report describing how the removals will occur and assurance that the integrity of the existing buildings will be maintained
- Documentation with high resolution photographs to document the building fabric to be removed to occur in advance of any removals.

10.0 CONSERVATION MEASURES

10.1 APPLYING CONSERVATION PRINCIPLES FOR INFILL

The Ontario Heritage Tool Kit outlines acceptable infill designs which are to fit in the immediate context, be of the same scale and similar setback, maintain proportions of windows and entrances similar to other heritage resources and be of similar colour and material. Appropriate infill within an area with several heritage buildings is a form of conservation. The new infill proposed should be appropriate in that it conserves the heritage attributes of the existing buildings at 595, 599-601 Richmond Street and the overall historic character of Richmond Row including Victoria Park which is consistent with the goals of the Draft Victoria Park Secondary Plan (2020).



Figures 62 & 63 – (middle) East elevation of proposed development (Source: R. Tomè and Associate, 2020) (below left) Streetscape photo of built heritage on subject lands (Source: MHBC, 2020)



Figure 64 & 65- (main) Aerial photograph of subject lands looking south west (Source: Google Earth Pro, 2020); (below right) Coloured elevation of north elevation of proposed development (Source: R. Tomè and Associate, 2020)

The VPSP includes principles to design buildings to be sympathetic to Victoria Park, to appropriate ‘frame’ Victoria Park in addition to enhancing and conserving cultural heritage resources within and surrounding Victoria Park. This Plan also requires that adjacent cultural heritage resources be “physically and visually compatible with surrounding cultural heritage resources” and that “new buildings shall be designed to be sympathetic heritage attributes” (VPSP, 21). Methods to design sensitive infill in the Plan includes:

- *Massing;*
- *Rhythm of solids and voids;*
- *Significant design features; and,*
- *High quality materials.*

In addition to the above, it states that new development should be sympathetic to the heritage neighbourhood by considering:

- *Height;*
- *Built Form;*
- *Setback;*
- *Materials;*
- *Other architectural elements.*

The neutral colour palette of the proposed building is consistent with colours used in historic buildings in the neighbourhood. The symmetrical rows of windows contemporarily mimic the window of 599 Richmond Street. The east interior side yard setback and architectural articulations of the building (i.e. stepbacks) allow for the mass and scale of Richmond Row to be conserved.

The details of materials of the building and lighting and signage have to yet been confirmed. Due to this, the following is recommended to be completed in the site plan process:

- *Materials should be sympathetic to historic buildings at street level (the first and second floor level and preferably the use of high quality materials i.e. brick, stone);*
- *Proposed lighting and associated signage be sympathetic to the existing buildings on the subject lands; and,*
- *Mechanical equipment on the roof be screened to not detract from overall character.*

11.0 CONCLUSIONS & RECOMMENDATIONS

MHBC was retained in October 2020 by Westdell Development Corporation to undertake a Cultural Heritage Impact Assessment (CHIA) for the subject lands located at 599-601 Richmond/ 205 Central Avenue Street and subsequently 595 Richmond Street. The purpose of this CHIA is to determine the impact of the development on identified heritage attributes of the existing buildings on the subject lands and adjacent property. Both the buildings on the subject lands and existing building located at 595 Richmond Street have been determined to have cultural heritage or value (CHVI) which is identified in Section 5.0 of this report. The following impacts were identified:

Adverse Impacts:

1. Negligible impact of destruction with the removal of some of the building fabric of the rear addition of 599 Richmond Street; and,
2. Potential impact land disturbances for 595 Richmond Street and 599-601 Richmond Street/ 205 Central Ave.

As required, this report outlines mitigation measures for the proposed impacts in Section 7.0:

- A *Temporary Protection Plan* is recommended which will include:
 - Vibration Monitoring Plan to ensure that no damage will occur to the existing buildings on site and adjacent;
 - Entry and exit point for construction traffic be located to the west of the site;
 - A structural engineers report describing how the removals will occur and assurance that the integrity of the existing buildings will be maintained.
- Documentation with high resolution photographs to document the building fabric to be removed to occur in advance of any removals.

In order to conserve the historical context of existing buildings on the subject lands and adjacent properties as it relates to Richmond Row, the following is recommended:

- *Materials should be sympathetic to historic buildings at street level (the first and second floor level and preferably the use of high quality materials i.e. brick, stone);*
- *Proposed lighting and associated signage be sympathetic to the existing buildings on the subject lands;*
- *Mechanical equipment on the roof be screened to not detract from overall character.*

The above-mentioned recommendations should be part of the site plan process.

Respectfully submitted,



Rachel Redshaw, MA, HE Dipl., CAHP
Heritage Planner, MHBC



Dan Currie, MA, MCIP, RPP, CAHP
Partner, MHBC

12.0 BIBLIOGRAPHY

- Ancestry.com. Canada, Find A Grave Index, 1600s-Current [database on-line].
- ASI, LHC, D.R. Pulton & Associates In. Archaeological Resource Management. Archaeological Management Plan. June 2017 (amended April 2018).
- Armstrong, Frederick H, & Brock. Reflections on London's Past. Corporation of the City of London, 1975.
- Armstrong, F.H. The Forest City: An Illustrated History of London, Ontario, Canada. Windsor Publications, 1986.
- Blumenson, John. Ontario Architecture: A Guide to Styles and Building Terms 1874 to the Present. Fitzhenry and Whiteside, 1990.
- Bremner, Archibald. City of London, Ontario, Canada: The Pioneer Period and the London of Today (2nd Edition). FB& C Limited, 2016.
- Brock, Daniel and Muriel Moon. The History of the County of Middlesex, Canada. Belleville, Ontario: Mika Studio.
- Canada's Historic Places. West and East Woodfield District. Accessed November 19, 2020. HistoricPlaces.ca - HistoricPlaces.ca
- Cherrier & Kirwin's London Directory for 1872-73*. Cherrier & Kirwin, Editors, Proprietors and Publishers. 1873.
- City of London and County of Middlesex Gazetteer and Directory 1874-75*. Irwin & Co. 1874. Accessed December 1, 2020 [London_e010780534 \(collectionsCanada.gc.ca\)](http://London_e010780534_collectionsCanada.gc.ca)
- City of London. *City of London Register of Cultural Heritage Resources*. 2019. (PDF).
- City of London. *The London Plan*, 2016.
- City of London. *599-601 Richmond Street, London*. London City Map. Accessed September 30, 2020. <https://london.maps.arcgis.com/apps/webappviewer/index.html?id=0187f8a72f204edcbc95d595f31b5117>
- City of London. "Founding of the Forest City". *About London*. Accessed May 5, 2019. <http://www.london.ca/About-London/london-history/Pages/Overview.aspx>
- City of London. *Victoria Park Secondary Plan (Draft)*. January 2020. (PDF).

City of London and County of Middlesex Directory for 1883. London Publishing Company and The Free Press Printing Co. 1883.

of London Planning and Development. *Heritage Places: A Description of Potential Heritage Conservation Areas in the City of London*. London: City of London, 1994.

Foster's London City and Middlesex County Directory. J.G. Foster & Co. Publisher, 1900 & 1901.

Google Maps & Google Earth Pro. *599-601 Richmond Street, City of London*. 2020.

Government of Canada. "1851, 1861, 1881, 1901, 1911, 2016 census of (Ontario) Canada". Library and Archives Canada. Accessed November,10 2020. <https://www.bac-lac.gc.ca/eng/census/Pages/census.aspx>

Government of Canada. Parks Canada. *Standards and Guidelines for the Conservation of Historic Places in Canada*. 2010.

Land Registry Offices (LRO) of Ontario. LRO #33, Middlesex. *Book 129, Plan 167.pp 2013-213*. Accessed November 20, 2020. www.onland.ca.

Library and Archives Canada; Ottawa, Ontario, Canada; *Voters Lists, Federal Elections, 1935-1980*.

London Advisory Committee on Heritage and Department of Planning and Development. *Inventory of Heritage Resources (Real Property – Buildings and Structures)*. London: City of London, 2006.

Meligrana, John F. The Politics of Municipal Annexation: The Case of the City of London's Territorial Ambitions during the 1950s and 1960s. *Urban History Review*. Vo. 29 (1): 3–20.

McAlpine, Everett & Cos. Plan of London Middlesex County, Ontario, 1875. G.N. Tackabury, Montreal, 1875.

McAlpine's London City and County of Middlesex Directory. *McAlpine Everett & Co. and Lovell Printing and Publishing Company, 1875*.

Ministry of Tourism, Culture and Sport. *Ontario Heritage Tool Kit: Heritage Resources in the Land Use Planning Process*, InfoSheet #2, Cultural Heritage Landscapes . Queens Printer for Ontario, 2006.

Ministry of Tourism, Culture and Sport. *Ontario Heritage Tool Kit: Heritage Resources in the Land Use Planning Process*, InfoSheet #5 Heritage Impact Assessments and Conservation Plans . Queens Printer for Ontario, 2006.

Ontario Ministry of Tourism Culture and Sport. *Ontario Heritage Act Ontario Heritage Act 2005*, R.S.O. 1990, c. 0.18 . Retrieved from the Government of Ontario website: <https://www.ontario.ca/laws/statute/90o18>.

Ontario Ministry of Affairs and Housing. *Ontario Provincial Policy Statement 2020*. S.3 the Ontario Planning Act R.S.O 1996. Retrieved from the Government of Ontario website: <http://www.mah.gov.on.ca/Page215.aspx>

R. Tomè and Associate. *Preliminary Site Plan Proposal*. August 10, 2019.

R. Tomè and Associate. *Preliminary Floor Plate Proposals 8 Storeys*. August 10, 2019.

R. Tomè and Associate. *Preliminary North, East, South and West*. August 10, 2019.

The London City and Middlesex Directory. R.L. Polk & Co. and Hunter, Rose & Company, Toronto, 1884, 1887, 1890. Accessed November 20, 2020 [London e010780523 \(collections.canada.gc.ca\)](https://collections.canada.gc.ca/Collection/e010780523)

The London City and Middlesex Directory. Might's Directory Co., 1891, 1892, 1893, 1894 1895.

The London City and Middlesex Directory 1886. R. Hills & Co. and The Advertiser Printing and Publishing Co. London, 1886.

The London Free Press. *J.F. Hunts and Sons, London, Middlesex Co. Hunt Building, 1861 Illust.* December 4, 1943. Ivey Family London Room Digital Collections. Accessed November 20, 2020 [Hunt, J.F. & Sons.: Ivey Family London Room Digital Collections \(ourontario.ca\)](https://ourontario.ca/collections/ivey-family-london-room-digital-collections).

Whebell, C.F.J., & Gooden. "City of London, Ontario." *The Canadian Encyclopedia*. Accessed September 9, 2020. <https://www.thecanadianencyclopedia.ca/en/article/london>.

CARTOGRAPHY, ILLUSTRATIONS AND PHOTOGRAPHY

Goad, Charles E. *Insurance Plan of London Ontario*. 1881 (revised 1888). 500ft= 1 inch. Online. Accessed November 15, 2020. https://www.lib.uwo.ca/madgic/projects/fips/london_fip_1888/index.html

Goad, Charles E. *Key Plan of the City of London, Ontario*. 1892 (revised 1907). 500 ft- 1 inch. Online. Accessed November 15, 2020. https://www.lib.uwo.ca/madgic/projects/fips/london_fip_1907/index.html

Goad, Charles E. *Key Plan of the City of London, Ontario*. 1912 (revised 1915). 500 ft- 1 inch. Online. Accessed November 15, 2020. https://www.lib.uwo.ca/madgic/projects/fips/london_fip_1915/index.html

Glover, E.S. *Looking North-East, Population 20,000: Reproduction: Canadian Cities: Bird's Eye Views of 1872*. 1872. 71 x 56 cm. Coloured Lithograph. Cincinnati, Ohio: Strobridge & Co. Lith. J.J. Talman Regional Collection Room, University of Western, Ontario.

Government of Canada. *Middlesex: Historical Canadian County Atlas*. 1877. Scale not given. McGill University Rare Books and Special Collections Division, McGill University (Digital). <http://digital.library.mcgill.ca/CountyAtlas/searchmapframes.php>

Hobbs Manufacturing Co. *Bird's Eye View drawing of London, Ontario from Hobbs Manufacturing Co.* 1890. Scale not given. 51 x 91cm. Drawing. Courtesy of Western Libraries.

Peters, Samuel. *Map of the city of London, surveyed and drawn by Sam'l Peters, P.L.S., published by Geo. Railton, for the London Directory, 1856.* George Railton, 1856. 16 chains=1 inch. 43 x 28cm. Courtesy of Western Libraries.

Rogers, John. *Map of the city of London and suburbs, originally a supplemental map to the Illustrated Historical Atlas of Middlesex.* Hammerburg Productions. 1878. 10 chains =1 inch. 74 x 65 cm. Courtesy of Western Libraries.

Unknown. *Map reproduction dated 1970 outlining the historic features of North Central London in the 1840s.* Original production date May 21, 1845. Facsimile. 1"=400". 51 x 37cm. Courtesy of Western Libraries.

Unknown. *Aerial photograph of subject lands and surrounding area.* 1945 & 1955. Courtesy of London Air Photo Collection. Accessed November 29, 2020. [Aerial Photography - Western Libraries - Western University \(uwo.ca\)](#)

Unknown. *Copy of Part of the Township of London of the Early Plan for the Location of London, Ontario within London Township Survey by Mahlon Burwell.* 1824. 40 Chains per 1 inch. 51 x 48 cm. Courtesy of Western Libraries.

Unknown. *Plan of London, Middlesex County, Ontario.* 1875. 1cm= 40rods. 48 x 28cm. Coloured print. Courtesy of Western Libraries.

Unknown. *1954 Air Photos of Southern Ontario.* Online Map and Data Library. University of Toronto Libraries. [1954 Air Photos of Southern Ontario | Map and Data Library \(utoronto.ca\)](#)

Westdell Development Corporation. *Oblique aerial photograph of subject lands at 599-601 Richmond Street/ 205 Central Avenue.* Accessed November 30, 2020 [Richmond Central Centre | Westdell Development Corp \(westdellcorp.com\)](#).

Whitfield, E. *Whitefield's Original Views of North American Cities, No. 36. Reproduction of a drawing of London, Ontario.* 1855. 88 x 56 cm. Courtesy of Western Libraries.

APPENDIX A – LOCATION MAP



Data Source: City of London


Figure

Location Plan

**599-601 Richmond Street
& 205 Central Avenue,
London, Ontario**

Westdell Corporation,
London, Ontario

LEGEND

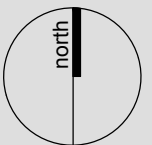
 Subject Lands

DATE: December 9, 2020

SCALE: Not to Scale

FILE: 20359A

DRN: LHB



K:\13198N - RICHMOND ST - LONDON\REPORT\LOCATION PLAN.DWG



Data Source: City of London


Figure

Heritage Conservation District

599-601 Richmond Street & 205 Central Avenue, London, Ontario

Westdell Corporation,
London, Ontario

LEGEND

 Subject Lands

Heritage Properties

 Designated Properties

 Listed Properties

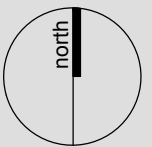
 Heritage Conservation Districts

DATE: December 9, 2020

SCALE: Not to Scale

FILE: 20359A

DRN: LHB



K:\13198N - RICHMOND ST - LONDON\REPORT\LOCATION PLAN.DWG

 **PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE**
200-540 BINGEMANS CENTRE DR. KITCHENER, ON. N2B 3X9
P: 519.576.3650 F: 519.576.0121 | WWW.MHBCPLAN.COM




Data Source: City of London

Figure

Site Plan Overlay

599-601 Richmond Street
& 205 Central Avenue,
London, Ontario

LEGEND

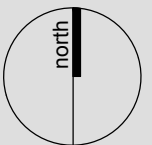
 Subject Lands

DATE: December 9, 2020

SCALE: Not to Scale

FILE: 20359A

DRN: LHB



K:\13198N - RICHMOND ST - LONDON\REPORT\LOCATION PLAN.DWG

Westdell Corporation,
London, Ontario



**PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE**

200-540 BINGEMANS CENTRE DR. KITCHENER, ON. N2B 3X9
P: 519.576.3650 F: 519.576.0121 | WWW.MHBCPLAN.COM



Data Source: City of London

Figure


Fire Insurance Plan 1912 - 1922

Source: University of Western Ontario

599-601 Richmond Street & 205 Central Avenue, London, Ontario

Westdell Corporation,
London, Ontario

LEGEND

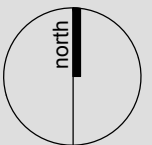
 Subject Lands

DATE: December 9, 2020

SCALE: Not to Scale

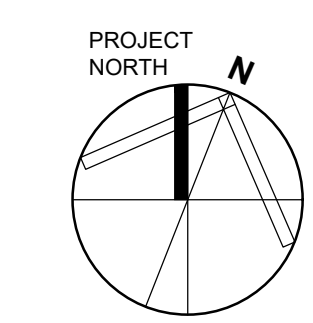
FILE: 20359A

DRN: LHB



K:\13198N - RICHMOND ST - LONDON\REPORT\LOCATION PLAN.DWG

APPENDIX **B**-SITE PLAN AND FLOOR PLANS



DO NOT SCALE DRAWINGS.

CONTRACTOR AND SUBCONTRACTORS SHALL CHECK ALL DIMENSIONS AND REPORT TO THE OWNERS ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.

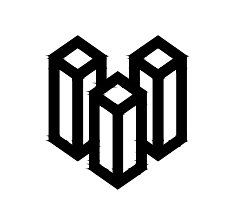
ALL WORKMANSHIP AND MATERIALS MUST CONFORM WITH O.B.C. AND C.M.H.C. STANDARDS AND BE APPROVED BY OWNER.

THIS DRAWING IS THE PROPERTY OF THE CONSULTANT AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT.

No.	DATE	REVISION
5	DEC 28/19	UNIT CORRECTION
6	FEB 5/20	DEVELOP SCHEME C PER CITY COMMENTS
7	FEB 11/20	REVISE SCHEME C PER I.M. REVIEW
8	MAR 27/20	PREPARE SCHEME D PER I.M. REVIEW
9	APR 18/20	PREP. ALT. SCHEME E PER I.M. REQUEST
10	AUG 10/20	PREP. SCHEME F/8 STOREY PER CITY REQ.
11	AUG 14/20	REV. SCHEME F PER I.M. REQUEST
12	SEPT 5/20	REV. SCHEME F PER D.T./CITY COMMENTS



R.Tomè & Associate Inc.
 51 Wimbledon Court
 London ON N6C 5C9
 t. 519.672.6622
 r_tome@bellnet.ca



Westdell
 Development Corp.
 782 RICHMOND ST., LONDON, ON

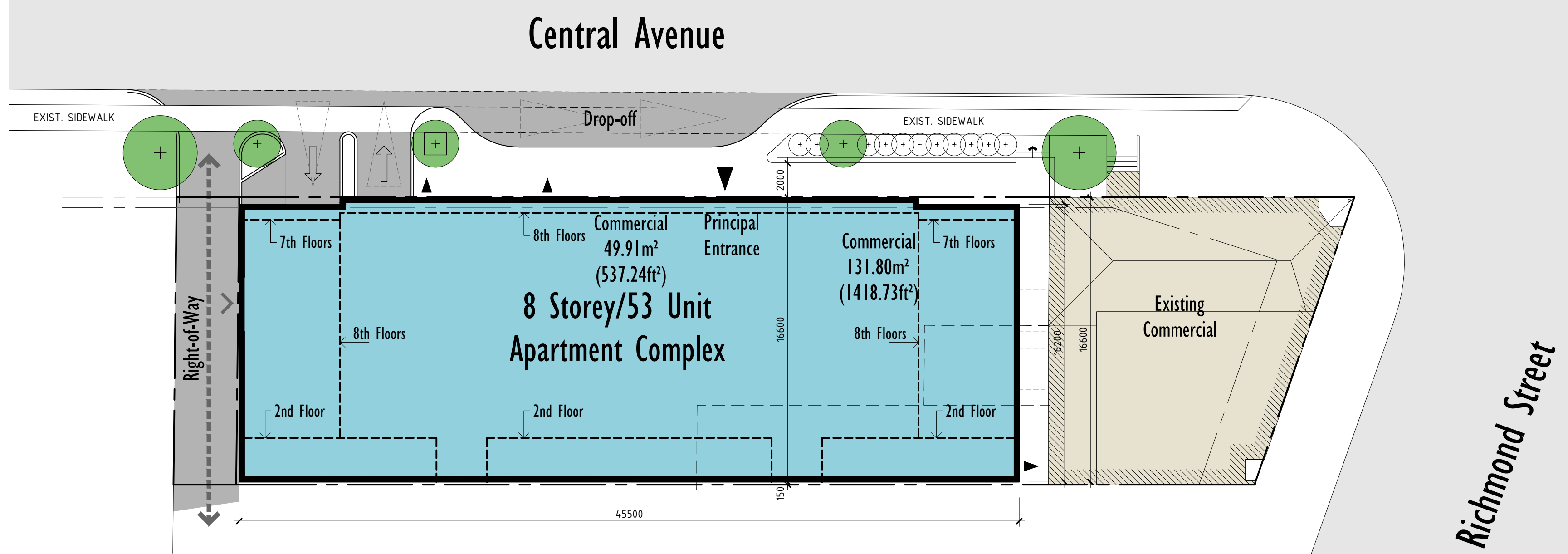
Project Name
**599 Richmond St.,
 Scheme F.2a
 Residential Tower
 Proposal**

London, Ontario

Drawing Title
**Preliminary Site
 Plan Proposal**

DATE: AUG. 10, 2019
 SCALE: AS NOTED
 DRAWN: C.T.
 REVIEWED: C.T.
 FILE No: 19-####A1.DWG
 PROJECT No: 19-####

A1.1 F.2a SPA



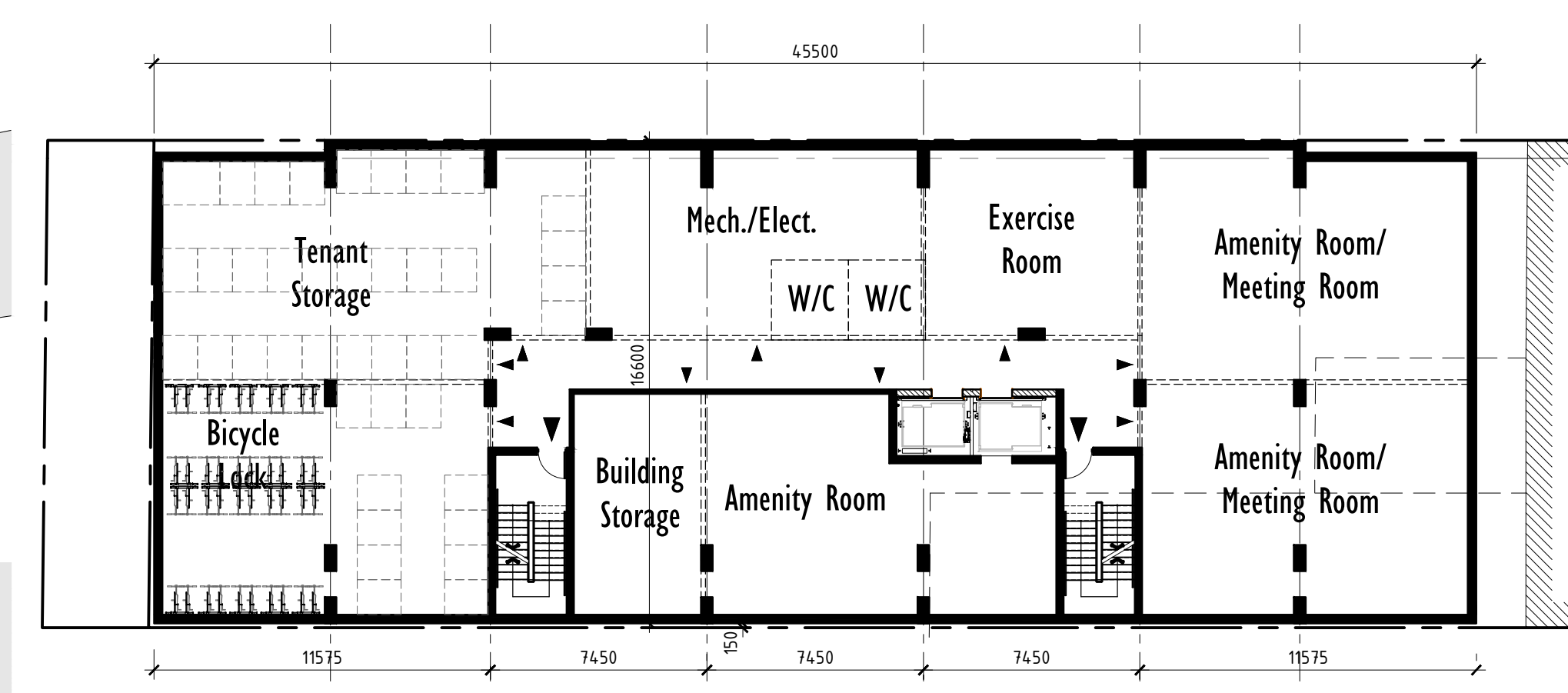
Site Plan Proposal
 SCALE 1 : 200

BOUNDARY INFORMATION TAKEN FROM PLAN PROVIDED BY OWNER.

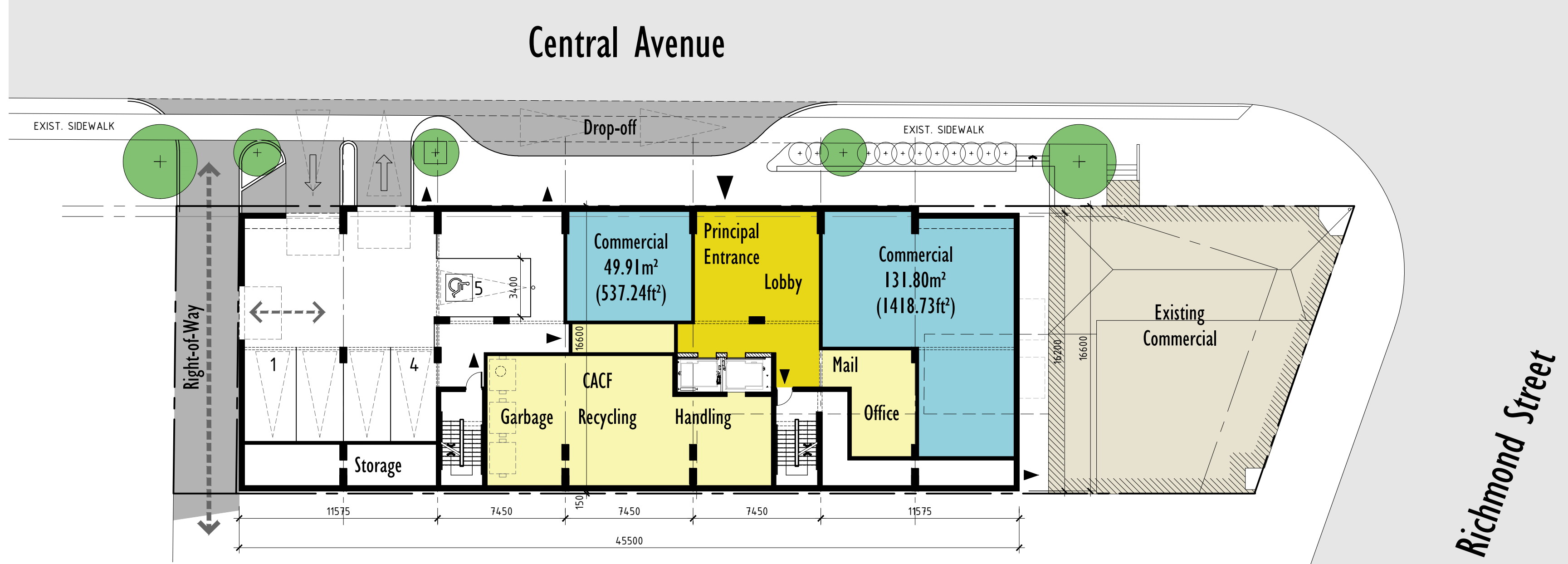
Proposed Development Footprint:
 750.60m² (8079.65ft²)

Parking
 Ground Floor 5 Space
 Drop-off 2 Spaces

Accommodation Data: F.2a Scheme
 1 Bedrooms 32 Suites
 2 Bedrooms 21 Suites
 Total 53 Suites

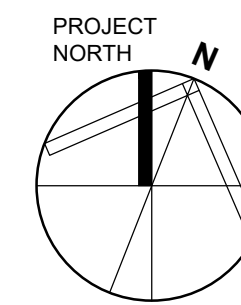


PI Level
 Floor Plate 750.60m² (8079.65ft²)
 SCALE 1 : 200



Ground Floor Plan
 SCALE 1 : 200

5 Parking Spaces
 Floor Plate 750.60m² (8079.65ft²)



DO NOT SCALE DRAWINGS.

CONTRACTOR AND SUBCONTRACTORS SHALL CHECK ALL DIMENSIONS AND REPORT TO THE OWNERS ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.

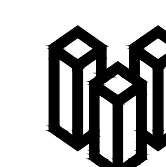
ALL WORKMANSHIP AND MATERIALS MUST CONFORM WITH O.B.C. AND C.M.H.C. STANDARDS AND BE APPROVED BY OWNER.

THIS DRAWING IS THE PROPERTY OF THE CONSULTANT AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT.

No.	DATE	REVISION
5	DEC 28/19	UNIT CORRECTION
6	FEB 5/20	DEVELOP SCHEME C PER CITY COMMENTS
7	FEB 11/20	REVISE SCHEME C PER I.M. REVIEW
8	MAR 27/20	PREPARE SCHEME D PER I.M. REVIEW
9	APR 18/20	PREP. ALT. SCHEME E PER I.M. REQUEST
10	AUG 10/20	PREP. SCHEME F/8 STOREY PER CITY REQ.
11	AUG 14/20	REV. SCHEME F PER I.M. REQUEST
12	SEPT 5/20	REV. SCHEME F PER O.T./CITY COMMENTS



R.Tomè & Associate Inc.
51 Wimbledon Court
London ON N6C 5C9
t. 519.672.6622
r_tome@bellnet.ca



Westdell
Development Corp.

782 RICHMOND ST., LONDON, ON

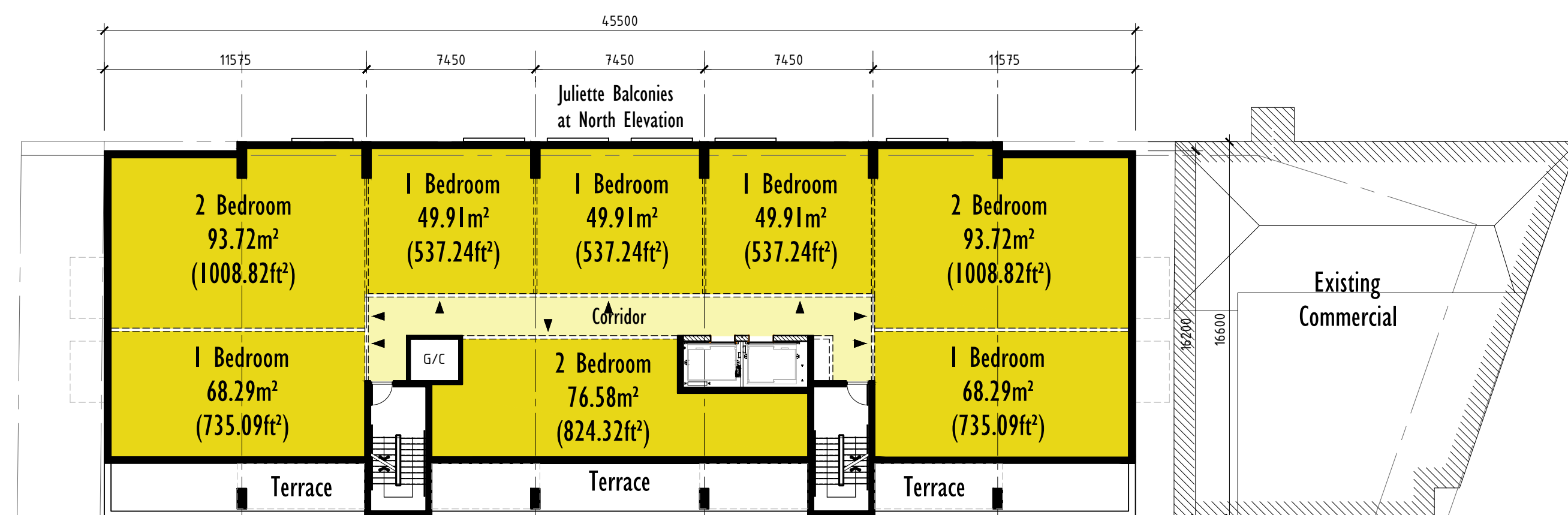
Project Name
**599 Richmond St.,
Scheme F.2a
Residential Tower
Proposal**

London, Ontario

Drawing Title
**Preliminary Floor
Plate Proposals
8 Storeys**

DATE: AUG. 10, 2019
SCALE: AS NOTED
DRAWN: C.T.
REVIEWED: C.T.
FILE No: 19-####A1.DWG
PROJECT No: 19-####

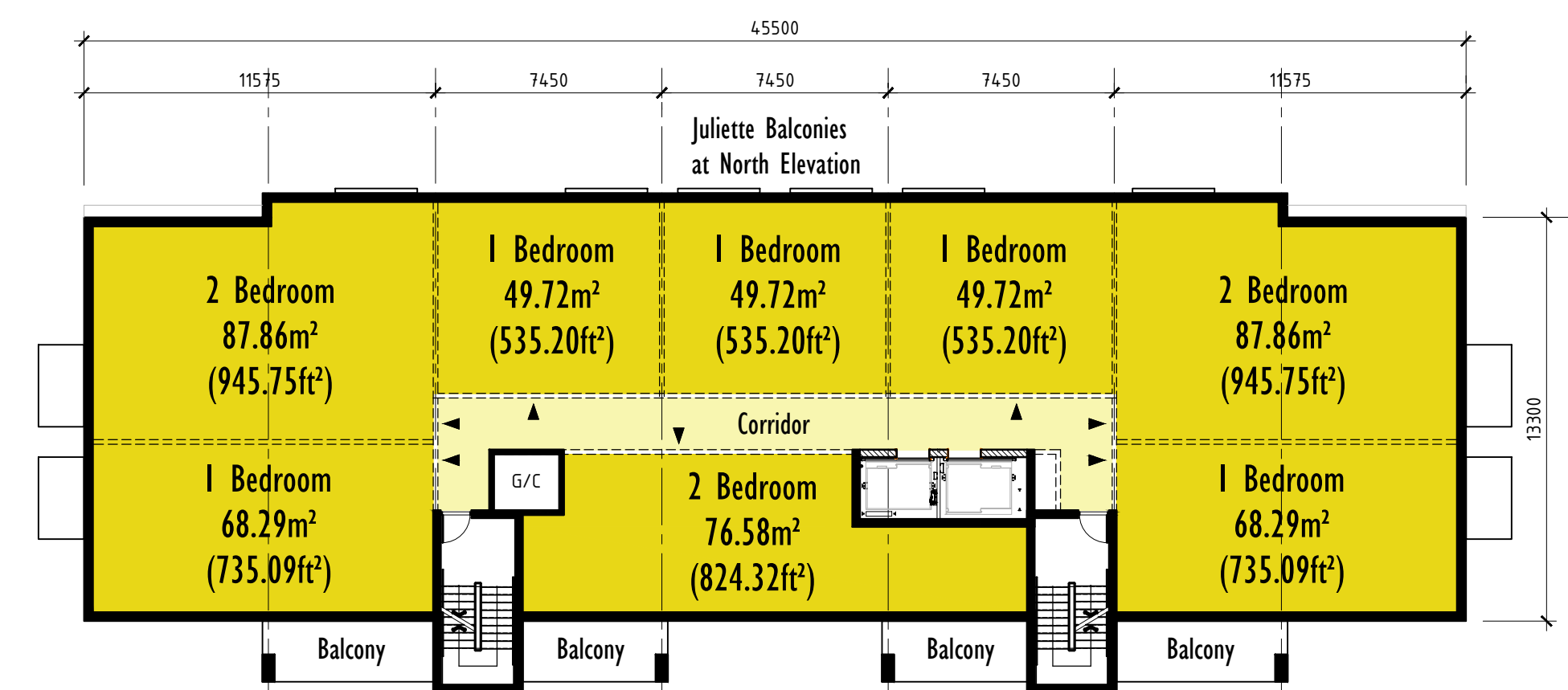
A1.2 F.2a SPA



2nd Floor Plan

Floor Plate 655.56m² (7056.62ft²)

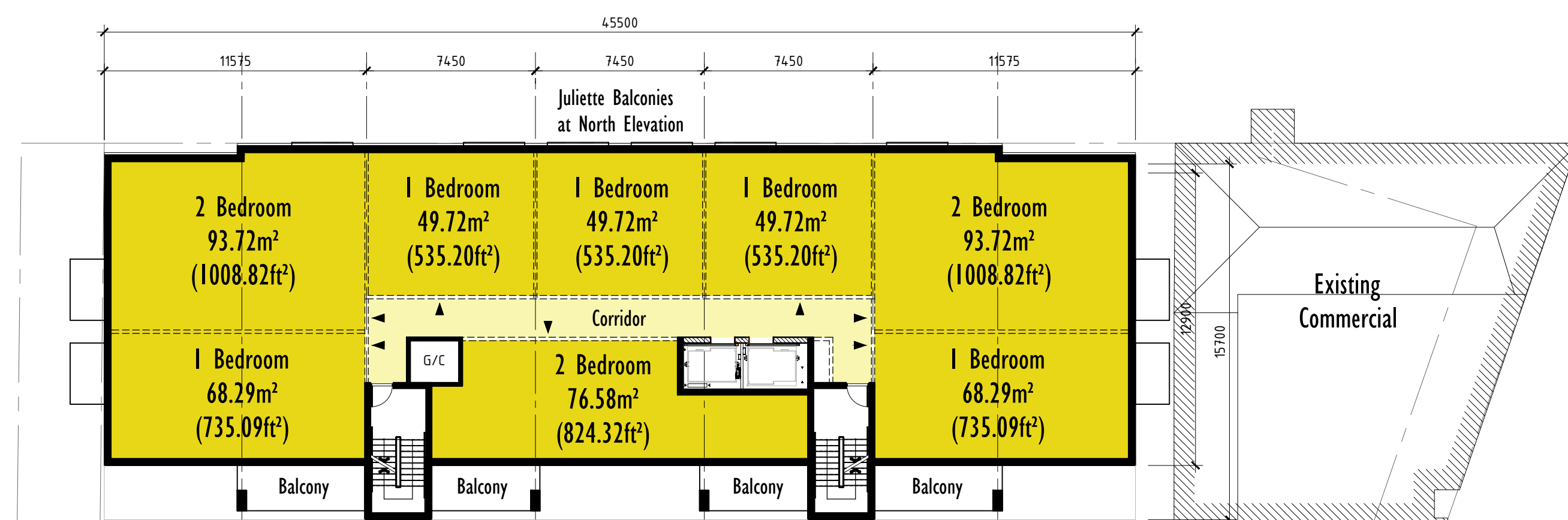
SCALE 1 : 200



7th Floor Plan

Floor Plate 655.56m² (7056.62ft²)

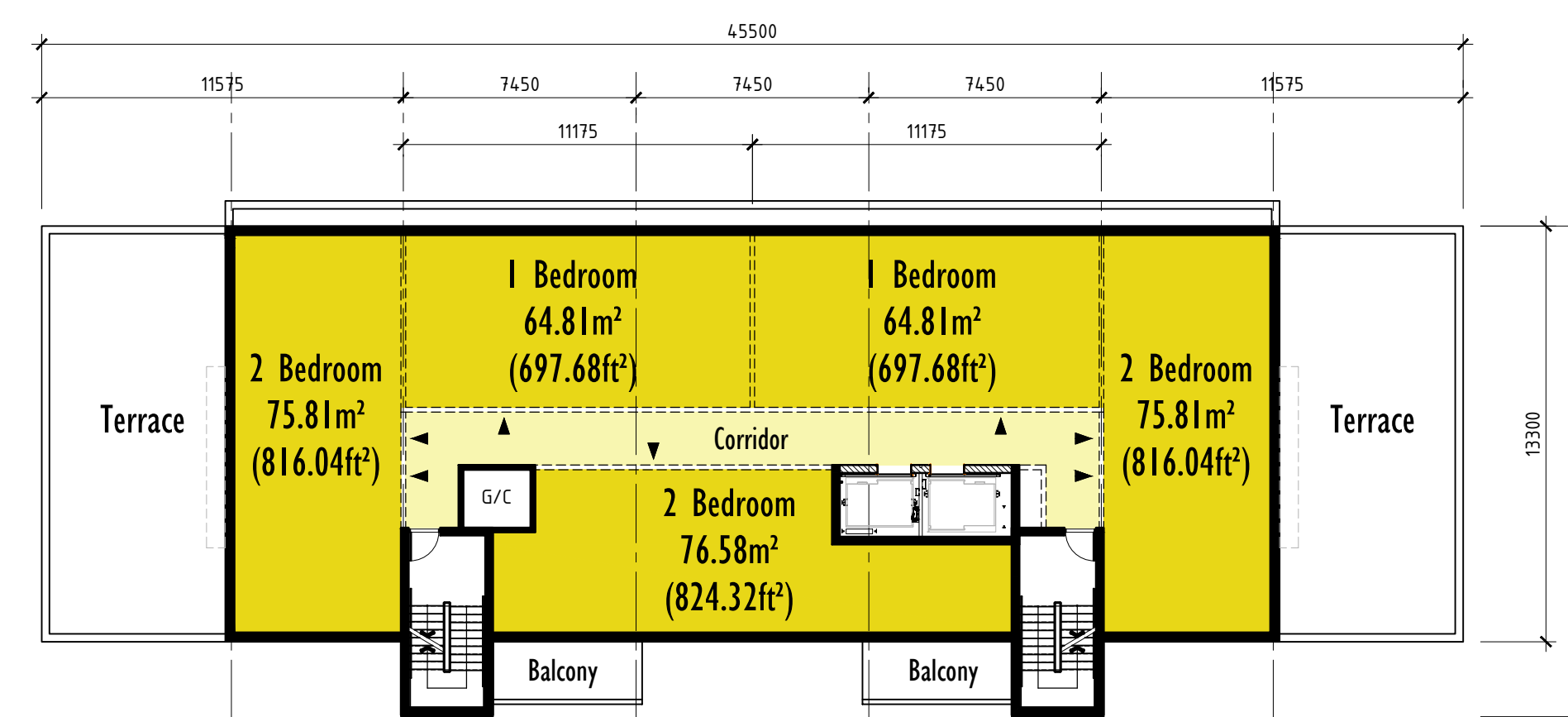
SCALE 1 : 200



3rd - 6th Floor Plans

Floor Plate 651.01m² (7007.64ft²)

SCALE 1 : 200



8th Floor Plan

Floor Plate 463.03m² (4984.17ft²)

SCALE 1 : 200

Scheme F.2a

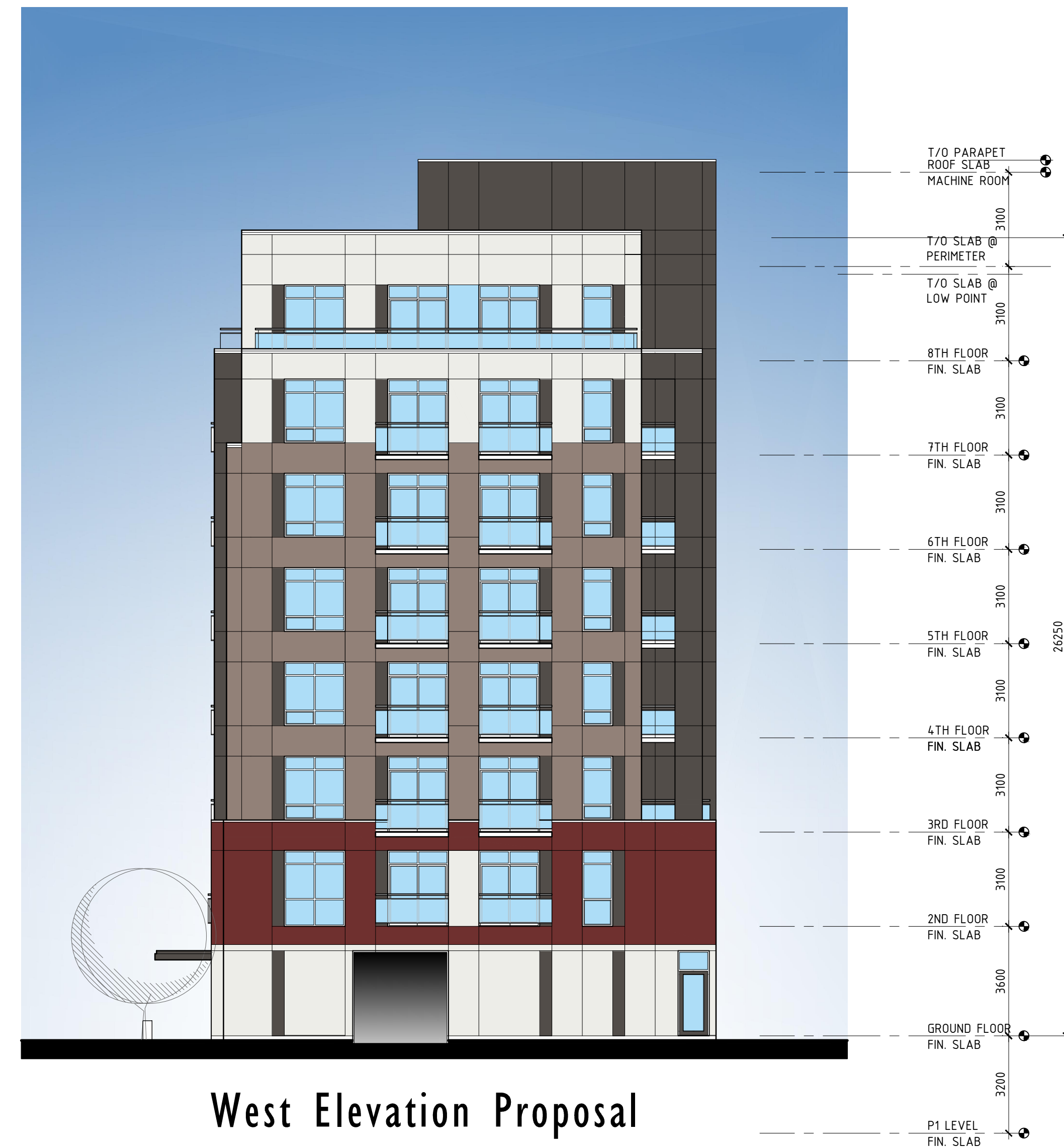
Accommodation Data:
1 Bedrooms 32 Suites
2 Bedrooms 21 Suites
Total 53 Suites

APPENDIX C – ELEVATIONS



East Elevation Proposal

September 5, 2020



West Elevation Proposal

September 5, 2020

DO NOT SCALE DRAWINGS.

CONTRACTOR AND SUBCONTRACTORS SHALL CHECK ALL DIMENSIONS AND REPORT TO THE OWNERS ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.

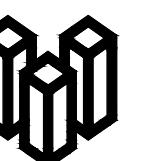
ALL WORKMANSHIP AND MATERIALS MUST CONFORM WITH O.B.C. AND C.M.H.C. STANDARDS AND BE APPROVED BY OWNER.

THIS DRAWING IS THE PROPERTY OF THE CONSULTANT AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT.

No.	DATE	REVISION
1	DEC 23/19	SCHEME B PROPOSAL
2	FEB 8/20	DEVELOP SCHEME C PER CITY COMMENTS
3	FEB 11/20	REVISE SCHEME C PER IM. REVIEW
4	MAY 11/20	REVISE PER SCHEME E REVISIONS PER IM. REVIEW
5	AUG 10/20	PREP. SCHEME E/8 STOREY PER CITY REQ.
6	SEPT. 5/20	REV. SCHEME F PER D.T./CITY COMMENTS



R. Tomè & Associate Inc.
 51 Wimbledon Court
 London ON N6C 5C9
 t. 519.672.6622
 r_tome@bellnet.ca



Westdell
 Development Corp.

782 RICHMOND ST., LONDON, ON

Project Name
**599 Richmond St.,
 Scheme F.2a
 Residential Tower
 Proposal**

London, Ontario

Drawing Title
**Preliminary East
 & West Elevations**

DATE: AUG. 10, 2019
 SCALE: AS NOTED
 DRAWN: C.T.
 REVIEWED: C.T.
 FILE No: 19-####A1.DWG
 PROJECT No: 19-####

A2.3F.2a



North Elevation Proposal

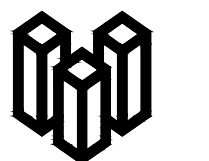
September 5, 2020

DO NOT SCALE DRAWINGS.
 CONTRACTOR AND SUBCONTRACTORS SHALL CHECK ALL DIMENSIONS AND REPORT TO THE OWNERS ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
 ALL WORKMANSHIP AND MATERIALS MUST CONFORM WITH O.B.C. AND C.M.H.C. STANDARDS AND BE APPROVED BY OWNER.
 THIS DRAWING IS THE PROPERTY OF THE CONSULTANT AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT.

No.	DATE	REVISION
1	DEC 23/19	SCHEME B PROPOSAL
2	FEB 8/20	DEVELOP SCHEME C PER CITY COMMENTS
3	FEB 11/20	REVISE SCHEME C PER IM REVIEW
4	MAY 11/20	REVISE PER SCHEME E REVISIONS PER IM REVIEW
5	AUG 10/20	PREP. SCHEME E/8 STOREY PER CITY REQ.
6	SEPT. 5/20	REV. SCHEME F PER D.T./CITY COMMENTS



R.Tomè & Associate Inc.
 51 Wimbledon Court
 London ON N6C 5C9
 t. 519.672.6622
 r_tome@bellnet.ca



Westdell
 Development Corp.
 782 RICHMOND ST., LONDON, ON

Project Name
 599 Richmond St.,
 Scheme F.2a
 Residential Tower
 Proposal

London, Ontario
Drawing Title
 Preliminary North
 Elevation

DATE: AUG. 10, 2019
 SCALE: AS NOTED
 DRAWN: C.T.
 REVIEWED: C.T.
 FILE No: 19-####A1.DWG
 PROJECT No: 19-####

A2.1F.2a SPA



South Elevation Proposal

September 5, 2020

DO NOT SCALE DRAWINGS.

CONTRACTOR AND SUBCONTRACTORS SHALL CHECK ALL DIMENSIONS AND REPORT TO THE OWNERS ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.

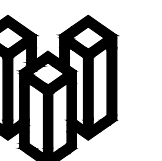
ALL WORKMANSHIP AND MATERIALS MUST CONFORM WITH O.B.C. AND C.M.H.C. STANDARDS AND BE APPROVED BY OWNER.

THIS DRAWING IS THE PROPERTY OF THE CONSULTANT AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT.

No.	DATE	REVISION
1	DEC 23/19	SCHEME B PROPOSAL
2	FEB 8/20	DEVELOP SCHEME C PER CITY COMMENTS
3	FEB 11/20	REVISE SCHEME C PER IM REVIEW
4	MAY 11/20	REVISE PER SCHEME E REVISIONS PER IM REVIEW
5	AUG 10/20	PREP. SCHEME E/8 STOREY PER CITY REQ.
6	SEPT. 5/20	REV. SCHEME F PER D.T./CITY COMMENTS



R.Tomè & Associate Inc.
51 Wimbledon Court
London ON N6C 5C9
t. 519.672.6622
r_tome@bellnet.ca



Westdell
Development Corp.

782 RICHMOND ST., LONDON, ON

Project Name
599 Richmond St.,
Scheme F.2a
Residential Tower
Proposal

London, Ontario

Drawing Title
Preliminary
South Elevation

DATE: AUG. 10, 2019
SCALE: AS NOTED
DRAWN: C.T.
REVIEWED: C.T.
FILE No: 19-####A1.DWG
PROJECT No: 19-####

A2.2F.2a

APPENDIX D- PRE- APPLICATION CONSULTATION- HERITAGE NOTES

Note: Application fees have changed as of January 1, 2020. The following new/revised fees for new applications submitted after January 1, 2020 are as follows: Combined Official Plan Amendment/Zoning By-law Amendment Applications \$20,480, Official Plan Amendment Applications \$12,288, Zoning By-law Amendment Applications \$11,264, Proposal Summaries \$256 (this amount will be discounted from the fee of an associated application).

upcoming meeting and the assigned planner as well as the applicant's agent will be notified. If you have any questions relating to the UDPRP or the Urban Design Briefs please contact Wyatt Rotteau at 519.661.2500 x7545 or by email at wrotteau@london.ca.

- Along with the standard requirements of the Urban Design Brief (as outlined in the Terms of Reference), please ensure the following visuals are included to facilitate a comprehensive review by the UDPRP.
 1. A Spatial Analysis of the surrounding neighbourhood;
 2. Site Plan;
 3. Landscape Plan with a detailed streetscape plan;
 4. Section drawings to include:
 - North-south showing how the proposed building interfaces with Central Avenue;
 5. Building elevations, for all four sides of the building;
 6. 3D Renders of the proposed building, with views of the tower from Richmond Street, Central Avenue, as well as from Victoria Park;
 7. Layout of the ground floor with proposed internal uses;
 8. Plan view of the extents of the tower and all proposed step backs, including with measurements;
 9. Wind study
 10. Shadow Study

Site Plan:

- The applicant will need to complete Site Plan Consultation prior to applying for a ZBA and consent.
 - In order to produce a zoning referral record for the consent, the submission must include a complete zoning data table for both the severed and retained parcels including the GFA for both residential and non-residential uses and a dimensioned site plan showing the proposed property boundaries.
- The right-of-way noted on the site plan does not appear to be City-owned and may be a private easement. The applicant should confirm in order to accurately determine the lot area for density and coverage calculations.
- A clean copy of the elevations showing all dimensions should be provided at Site Plan Consultation.
- Long-term bicycle parking should be shown internal to the building.
- The internal parking arrangement could present sightline issues for vehicles backing out of spaces.

Landscape Architecture:

- There are three recently planted street trees which require consent from Forestry Operations for their removal.

Parks:

- Cash-in-lieu of parkland required at Site Plan.

Heritage:

- 599-601 Street is a LISTED property on the City's *Register (Inventory of Heritage Resources)*.
- *The London Plan (Policy 586)* states that development and site alteration to properties LISTED on the *Register* has to be evaluated to demonstrate that the heritage attributes of the heritage designated properties or properties LISTED on the Register will be conserved.
- This evaluation process should take the form of an Heritage Impact Assessment (HIA) based the Ministry's InfoSheet #5. Note that this evaluation should clearly articulate the cultural heritage value or interest and *heritage attributes* of the heritage resource at 599-601; 559/ Richmond St and 205 Central Ave.
- Note that this property is not a protected heritage property, but is LISTED and may possess heritage significance. As per InfoSheet #5, the property should be

Note: Application fees have changed as of January 1, 2020. The following new/revised fees for new applications submitted after January 1, 2020 are as follows: Combined Official Plan Amendment/Zoning By-law Amendment Applications \$20,480, Official Plan Amendment Applications \$12,288, Zoning By-law Amendment Applications \$11,264, Proposal Summaries \$256 (this amount will be discounted from the fee of an associated application).

evaluated and statements of cultural heritage value or interest and heritage attributes should be developed as part of the HIA.

- The proposal appears to include the demolition of the building(s) at the addresses 205 Central Avenue and 599 Richmond Street. Demolition of properties on the City's *Register* requires consultation with the London Advisory Committee on Heritage (LACH) and Council approval.

Sewers Engineering:

- The proposed populations exceed the allocated as per Replacement program drawing for Central Ave. Prior to this zoning amendment moving forward, the applicant shall have his consulting engineer provide sanitary servicing report to demonstrate the outlet, building height, the maximum population and flow will be generated by the proposed site.

Water:

- Water is available via the 200mm PVC watermain on Central Avenue.
- A water servicing brief addressing domestic demands, fire flows, and water quality will be required.
- The report shall also include a section indicating the proposed ownership of the development (one owner or multiple owners).
- Water servicing shall be configured in a way to avoid the creation of a regulated drinking water system.
- Additional comments will be provided during site plan consultation/application.

Stormwater:

- As per as constructed plan# 14993 & 16814, the site (at C=0.90) is tributary to the existing 300mm and 450mm storm sewers on Central Avenue.
- As per the Drainage By-law, the consultant would be required to provide for a storm pdc ensuring existing peak flows from the 2 through 100 year return period storms are maintained pre to post development with any increase in flow being managed onsite. The servicing report should also confirm capacity in the existing sewers.
- As per the City of London's Design Requirements for Permanent Private Systems, the proposed application falls within the Central Subwatershed (case 4), therefore the following design criteria should be implemented:
 - the flow from the site must be discharged at a rate equal to or less than the existing condition flow;
 - the discharge flow from the site must not exceed the capacity of the stormwater conveyance system;
 - the design must account the sites unique discharge conditions (velocities and fluvial geomorphological requirements);
 - "normal" level water quality is required as per the MOE guidelines and/or as per the EIS field information; and
 - shall comply with riparian right (common) law.
 - The consultant shall update the servicing report and drawings to provide calculations, recommendations and details to address these requirements.
- The subject lands are located within a subwatershed without established targets. City of London Standards require the Owner to provide a Storm/Drainage Servicing Report demonstrating compliance with SWM criteria and environmental targets identified in the Design Specifications & Requirements Manual. This may include but not be limited to, quantity control, quality control (70% TSS), erosion, stream morphology, etc.
- The Developer shall be required to provide a Storm/drainage Servicing Report demonstrating that the proper SWM practices will be applied to ensure the maximum permissible storm run-off discharge from the subject site will not exceed the peak discharge of storm run-off under pre-development conditions up to and including 100-year storm events.

APPENDIX E—CURRICULUM VITAE



CURRICULUM VITAE

Dan Currie, MA, MCIP, RPP, CAHP

Dan Currie, a Partner and Managing Director of MHBC's Cultural Heritage Division, joined MHBC Planning in 2009, after having worked in various positions in the public sector since 1997 including the Director of Policy Planning for the City of Cambridge and Senior Policy Planner for the City of Waterloo.

Dan provides a variety of planning services for public and private sector clients including a wide range of cultural heritage policy and planning work including strategic planning, heritage policy, heritage conservation district studies and plans, heritage master plans, heritage impact assessments and cultural heritage landscape studies.

EDUCATION

2006

Masters of Arts (Planning)
University of Waterloo

1998

Bachelor of Environmental Studies
University of Waterloo

1998

Bachelor of Arts (Art History)
University of Saskatchewan

PROFESSIONAL ASSOCIATIONS

Full Member, Canadian Institute of Planners

Full Member, Ontario Professional Planners Institute

Professional Member, Canadian Association of Heritage Professionals

SELECTED PROJECT EXPERIENCE

Heritage Conservation District Studies and Plans

Alton Heritage Conservation District Study, Caledon (underway)

Port Stanley Heritage Conservation District Plan (underway)

Port Credit Heritage Conservation District Plan, Mississauga

Town of Cobourg Heritage Conservation District Plan updates

Rondeau Heritage Conservation District Study & Plan, Chatham Kent,

Barriefield Heritage Conservation District Plan Update, Kingston

Victoria Square Heritage Conservation District Study, Markham

Bala Heritage Conservation District Study and Plan, Township of Muskoka Lakes

Downtown Meaford Heritage Conservation District Study and Plan

Brooklyn and College Hill Heritage Conservation District Plan, Guelph

Garden District Heritage Conservation District Study and Plan, Toronto

Heritage Master Plans and Management Plans

City of Guelph Cultural Heritage Action Plan

Town of Cobourg Heritage Master Plan

Burlington Heights Heritage Lands Management Plan

City of London Western Counties Cultural Heritage Plan

CONTACT

540 Bingham Centre Drive,
Suite 200
Kitchener, ON N2B 3X9
T 519 576 3650 x 744
F 519 576 0121
dcurrie@mhbcplan.com
www.mhbcplan.com

CURRICULUM **VITAE**

Dan Currie, MA, MCIP, RPP, CAHP

Cultural Heritage Evaluations

MacDonald Mowatt House, University of Toronto
City of Kitchener Heritage Property Inventory Update
Niagara Parks Commission Queen Victoria Park Cultural Heritage Evaluation
Designation of Main Street Presbyterian Church, Town of Erin
Designation of St Johns Anglican Church, Norwich
Cultural Heritage Landscape evaluation, former Burlingham Farmstead, Prince Edward County

Heritage Impact Assessments

Heritage Impact Assessment for Pier 8, Hamilton
Homer Watson House Heritage Impact Assessment, Kitchener
Expansion of Schneider Haus National Historic Site, Kitchener
Redevelopment of former industrial facility, 57 Lakeport Road, Port Dalhousie
Redevelopment of former amusement park, Boblo Island
Redevelopment of historic Waterloo Post Office
Redevelopment of former Brick Brewery, Waterloo
Redevelopment of former American Standard factory, Cambridge
Redevelopment of former Goldie and McCullough factory, Cambridge
Mount Pleasant Islamic Centre, Brampton
Demolition of former farmhouse at 10536 McCowan Road, Markham

Heritage Assessments for Infrastructure Projects and Environmental Assessments

Heritage Assessment of 10 Bridges within Rockcliffe Special Policy Area, Toronto
Blenheim Road Realignment Collector Road EA, Cambridge
Badley Bridge EA, Elora
Black Bridge Road EA, Cambridge
Heritage and Cultural Heritage Landscape Assessment of Twenty Mile Creek Arch Bridge, Town of Lincoln
Heritage Evaluation of Deer River, Girven, Burnt Dam and MacIntosh Bridges, Peterborough County

Conservation Plans

Black Bridge Strategic Conservation Plan, Cambridge
Conservation Plan for Log house, Beurgetz Ave, Kitchener
Conservation and Construction Protection Plan - 54 Margaret Avenue, Kitchener

CONTACT

540 Bingemans Centre Drive,
Suite 200
Kitchener, ON N2B 3X9
T 519 576 3650 x 744
F 519 576 0121
dcurrie@mhbcplan.com
www.mhbcplan.com

CURRICULUM VITAE

Dan Currie, MA, MCIP, RPP, CAHP

Tribunal Hearings: Local Planning Appeal Tribunal & Conservation Review Board
 Port Credit Heritage Conservation District (LPAT)
 Demolition 174 St Paul Street (Collingwood Heritage District) (LPAT)
 Brooklyn and College Hill HCD Plan (LPAT)
 Rondeau HCD Plan (LPAT)
 Designation of 108 Moore Street, Bradford (CRB)
 Redevelopment of property at 64 Grand Ave, Cambridge (LPAT)
 Youngblood subdivision, Elora (LPAT)
 Designation of St Johns Church, Norwich (CRB - underway)
 Designation of 27 Prideaux Street, Niagara on the Lake (CRB – underway)

MASTER PLANS, GROWTH MANAGEMENT STRATEGIES AND POLICY STUDIES

Town of Frontenac Islands Marysville Secondary Plan
 Niagara-on-the-Lake Corridor Design Guidelines
 Cambridge West Master Environmental Servicing Plan
 Township of West Lincoln Settlement Area Expansion Analysis
 Ministry of Infrastructure Review of Performance Indicators for the Growth Plan
 Township of Tiny Residential Land Use Study
 Port Severn Settlement Area Boundary Review
 City of Cambridge Green Building Policy
 Township of West Lincoln Intensification Study & Employment Land Strategy
 Ministry of the Environment Review of the D-Series Land Use Guidelines
 Meadowlands Conservation Area Management Plan
 City of Cambridge Trails Master Plan
 City of Kawartha Lakes Growth Management Strategy

DEVELOPMENT PLANNING

Provide consulting services and prepare planning applications for private sector clients for:

- Draft plans of subdivision
- Consent
- Official Plan Amendment
- Zoning By-law Amendment
- Minor Variance
- Site Plan

CONTACT

540 Bingemans Centre Drive,
 Suite 200
 Kitchener, ON N2B 3X9
 T 519 576 3650 x 744
 F 519 576 0121
 dcurrie@mhbcplan.com
 www.mhbcplan.com



CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

EDUCATION

2011

Higher Education Diploma
Cultural Development/ Gaelic Studies

Sabhal Mòr Ostaig, University of the Highlands and Islands

2012

Bachelor of Arts
Joint Advanced Major in Celtic Studies and Anthropology

Saint Francis Xavier University

2014

Master of Arts
World Heritage and Cultural Projects for Development

The International Training Centre of the ILO in partnership with the University of Turin, Politecnico di Torino, University of Paris 1 Pantheon- Sorbonne, UNESCO, ICCROM, Macquarie University

www.linkedin.com/in/rachelredshaw

Rachel Redshaw, a Heritage Planner with MHBC, joined the firm in 2018. Ms. Redshaw has a Bachelor of Arts in Anthropology and Celtic Studies and a Master of Arts in World Heritage and Cultural Projects for Development. Ms. Redshaw completed her Master's in Turin, Italy; the Master's program was established by UNESCO in conjunction with the University of Turin and the International Training Centre of the ILO. Rachel is member of the Canadian Association of Heritage Professionals.

Ms. Redshaw provides a variety of heritage planning services for public and private sector clients. Ms. Redshaw has worked for years completing cultural heritage planning in a municipal setting. She has worked in municipal building and planning departments and for the private sector to gain a diverse knowledge of building and planning in respect to how they apply to cultural heritage. Rachel enjoys being involved in the local community and has been involved in the collection of oral history, in English and Gaelic, and local records for their protection and conservation and occasionally lecturers on related topics. Her passion for history and experience in archives, museums, municipal building and planning departments supports her ability to provide exceptional cultural heritage services.

PROFESSIONAL ASSOCIATIONS

Intern Member, Canadian Association of Heritage Professionals (CAHP)

PROFESSIONAL HISTORY

2018 - Present Heritage Planner,
MacNaughton Hermsen Britton Clarkson Planning Limited

2018 Building Permit Coordinator, (Contract)
Township of Wellesley

2018 Building Permit Coordinator (Contract)
RSM Building Consultants

2017 Deputy Clerk,
Township of North Dumfries

2015-2016 Building/ Planning Clerk
Township of North Dumfries

CONTACT

540 Bingemans Centre
Drive,
Suite 200
Kitchener, ON N2B 3X9
T 519 576 3650 x751
F 519 576 0121
redshaw@mhbcpplan.com
www.mhbcpplan.com



CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

- 2009-2014 Historical Researcher & Planner
Township of North Dumfries
- 2012 Translator, Archives of Ontario
- 2012 Cultural Heritage Events Facilitator (Reminiscence Journey)
and Executive Assistant, Waterloo Region Plowing Match
and Rural Expo
- 2011 Curatorial Research Assistant
Highland Village Museum/ Baile nan Gàidheal

PROFESSIONAL/COMMUNITY ASSOCIATIONS

- 2019-2020 Intern Member, Canadian Association of Heritage
Professionals
- 2017-2020 Member, AMCTO
- 2018-2019 Member of Publications Committee, Waterloo Historical
Society
- 2018 Member, Architectural Conservancy of Ontario- Cambridge
- 2018 - 2019 Secretary, Toronto Gaelic Society
- 2012 -2017 Member (Former Co-Chair & Co-Founder), North Dumfries
Historical Preservation Society
- 2011 - 2014 Member, North Dumfries Municipal Heritage Committee
- 2013 Greenfield Heritage Village Sub-committee, Doors Open
Waterloo Region
- 2012 Volunteer Historical Interpreter, Doon Heritage Village, Ken
Seiling Waterloo Region Museum
- 2008-2012 Member, Celtic Collections, Angus L. Macdonald Library
- 2012-2013 Member (Public Relations), Mill Race Folk Society
- 2011 Member, University of Waterloo Sub-steering Committee for
HCD Study, Village of Ayr, North Dumfries
- 2010-2011 Member (volunteer archivist), Antigonish Heritage Museum

AWARDS / PUBLICATIONS / RECOGNITION

- 2019 Waterloo Historical Society Publication, *Old Shaw: The Story
of a Kindly Waterloo County Roamer*
- 2014 Master's Dissertation, *The Rise of the City: Social Business
Incubation in the City of Hamilton*
- 2014 Lecture, *A Scot's Nirvana*, Homer Watson House and
Gallery

CONTACT

540 Bingemans Centre
Drive,
Suite 200
Kitchener, ON N2B 3X9
T 519 576 3650 x751
F 519 576 0121
redshaw@mhbcplan.com
www.mhbcplan.com



CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

2013	Lecture, <i>The Virtual Voice of the Past: The Use of Online Oral Accounts for a Holistic Understanding of History</i> , University of Guelph Spring Colloquium
2012-2013	Gaelic Events Facilitator, University of Guelph
2012-2015	Intermediate Gaelic Facilitator, St. Michael's College, University of Toronto
2012	<i>Nach eil ann tuilleadh: An Nòs Ùr aig nan Gàidheal</i> (BA Thesis) Thesis written in Scottish Gaelic evaluating disappearing Gaelic rites of passage in Nova Scotia.
2012	Waterloo Historical Society Publication, <i>Harvesting Bees and Feasting Tables: Fit for the Men, Women and Children of Dickie Settlement and Area, Township of North Dumfries</i>
2007-2012	25 historical publications in the Ayr News (access to some articles http://ayrnews.ca/recent)

PROFESSIONAL DEVELOPMENT COURSES

2020	Condo Director Training Certificate (CAO)
2018	Building Officials and the Law (OBOA Course)
2017-2018	AMCTO Training (MAP 1)
2017	AODA Training
2010	Irish Archaeological Field School Certificate

COMPUTER SKILLS

- Microsoft Word Office
- Bluebeam Revu 2017
- ArcGIS
- Keystone (PRINSYS)
- Municipal Connect
- Adobe Photoshop
- Illustrator
- ABBYY Fine Reader 11
- Book Drive

CONTACT

540 Bingemans Centre
Drive,
Suite 200
Kitchener, ON N2B 3X9
T 519 576 3650 x751
F 519 576 0121
redshaw@mhbcplan.com
www.mhbcplan.com



CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

SELECT PROJECT EXPERIENCE 2018-2020

CULTURAL HERITAGE IMPACT ASSESSMENTS

- Peterborough Lift Lock and Trent-Severn Waterway (TSW), National Historic Sites, Development for 380 Armour Road, City of Peterborough
- City of Waterloo Former Post Office, Development for 35-41 King Street North, City of Waterloo, Phase II
- Consumers' Gas Station B, Development for 450 Eastern Avenue, City of Toronto
- 82 Weber Street East, City of Kitchener
- 87 Scott Street, City of Kitchener
- 2348 Sovereign Street, Town of Oakville (Phase I)
- Carriage House Restaurant, 2107-2119 Old Lakeshore Road, City of Burlington
- 34 Manley Street, Village of Ayr, Township of North Dumfries
- Quinte's Isle Campark, 558 Welbanks Road, Prince Edward County (LPAT)
- 174 St. Paul Street, Town of Collingwood (LPAT)
- 30-40 Margaret Avenue, City of Kitchener
- McDougall Cottage and Historic Site, Development for 93 Grand Avenue South, City of Kitchener
- 60 Broadway, Town of Orangeville
- 45 Duke Street, City of Kitchener
- 383-385 Pearl Street, City of Burlington
- Old Kent Brewery, 197 Ann Street, City of London
- St. Patrick's Catholic Elementary School, (SPCES), 20 East Avenue South, City of Hamilton
- 2325 Sunningdale Road, City of London
- 250 Allendale Road, City of Cambridge
- 110 Deane Avenue, Town of Oakville
- 249 Clarence Street, City of Vaughan
- 2-16 Queen Street West, City of Cambridge (Hespeler)

Specific for Relocation of Heritage Buildings

- 1395 Main Street, City of Kitchener
- 10379 & 10411 Kennedy Road, City of Markham
- 50-56 Weber Street West & 107 Young Street, City of Kitchener (temporary relocation of 107 Young St)

CONTACT

540 Bingemans Centre
Drive,
Suite 200
Kitchener, ON N2B 3X9
T 519 576 3650 x751
F 519 576 0121
redshaw@mhbcplan.com
www.mhbcplan.com



CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

CULTURAL HERITAGE SCREENING REPORT

- Kelso Conservation Area, Halton County

CULTURAL HERITAGE EVALUATION REPORTS

- 52 King Street North, City of Kitchener
- Sarnia Collegiate Institute and Technical School (SCITS), 275 Wellington, City of Sarnia (Municipal contingency study)
- 10536 McCowan Road, City of Markham
- Former Burns Presbyterian Church, 155 Main Street, Town of Erin (Designation Report)
- Former St. Paul's Anglican Church, 23 Dover Street, Town of Otterville, Norwich Township (CRB)
- 6170 Fallsview Boulevard, City of Niagara Falls

CONSERVATION PLANS

- City of Waterloo Former Post Office, 35-41 King Street North, City of Waterloo
- 82 Weber Street East, City of Kitchener
- 87 Scott Street, City of Kitchener
- 107 Young Street, City of Kitchener (Temporary relocation)
- 1395 Main Street, City of Kitchener (Relocation)
- 10379 & 10411 Kennedy Road, City of Markham (Relocation)

Cultural Heritage Conservation Protection Plans (Temporary protection for heritage building during construction)

- 12 & 54 Margaret Avenue, City of Kitchener
- 45 Duke Street, City of Kitchener
- 82 Weber Street West and 87 Scott Street, City of Kitchener

DOCUMENTATION AND SALVAGE REPORTS

- 57 Lakeport Road City of St. Catharines
- Gaslight District, 64 Grand Avenue South, City of Cambridge
- 242-262 Queen Street South, City of Kitchener (Photographic Documentation Report)
- 721 Franklin Boulevard, City of Cambridge

HERITAGE PERMIT APPLICATIONS

- 35-41 King Street North, City of Waterloo (Old Post Office), Phase II (alteration to building with a municipal heritage easement, Section 37, OHA)

CONTACT

540 Bingemans Centre
Drive,
Suite 200
Kitchener, ON N2B 3X9
T 519 576 3650 x751
F 519 576 0121
rredshaw@mhbcplan.com
www.mhbcplan.com



CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

- 50-56 Weber Street West & 107 Young Street, City of Kitchener (demolition and new construction within HCD)
- 30-40 Margaret Avenue, City of Kitchener (new construction within HCD)
- 249 Clarence Street, City of Vaughan (alteration within HCD)
- 174 St. Paul Street, Town of Collingwood (demolition within HCD)

MASTER PLANS/ HERITAGE CHARACTER STUDY

- Elgin, Central and Memorial Neighbourhoods, Municipality of Clarington

CONTACT

540 Bingemans Centre
Drive,
Suite 200
Kitchener, ON N2B 3X9
T 519 576 3650 x751
F 519 576 0121
rredshaw@mhbcpplan.com
www.mhbcpplan.com



MHBC
P L A N N I N G
U R B A N D E S I G N
& L A N D S C A P E
A R C H I T E C T U R E