

HERITAGE IMPACT ASSESSMENT

496 Dundas Street,
City of London, ON

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GLOSSARY OF ABBREVIATIONS

CHVI	<i>Cultural Heritage Value or Interest</i>
HIA	<i>Heritage Impact Assessment</i>
HCD	<i>Heritage Conservation District</i>
MHBC	<i>MacNaughton Hermsen Britton Clarkson Planning Limited</i>
MHSTCI	<i>Ministry of Heritage, Sport, Tourism and Culture Industries</i>
OHA	<i>Ontario Heritage Act</i>
OHTK	<i>Ontario Heritage Toolkit</i>
O-REG 9/06	<i>Ontario Regulation 9/06 for determining cultural heritage significance</i>
PPS 2020	<i>Provincial Policy Statement (2020)</i>

Disclaimer: Due to the Covid-19 pandemic, in-person research has been limited and therefore, this report may not be able to reference relevant hard copy sources that are within collections that are temporarily closed to the public.

Acknowledgement of Indigenous Communities

This Heritage Impact Assessment acknowledges that the subject property located at 496 Dundas Street, City of London, is situated within territory of the Haudenosaunee Confederacy. These lands are not acknowledged as being associated with any treaties ([whose.land](#), accessed online, 2020).

This document takes into consideration the cultural heritage of indigenous communities including the Chippewas of the Thames First Nation, Oneida Nation of the Thames, Munsee-Delaware Nation, Chippewas of Kettle, Stony Point First Nation and Walpole Island First Nation, including their oral traditions and history when available and related to the scope of work.

EXECUTIVE SUMMARY

The purpose of this Heritage Impact Assessment (HIA) is to assess the impact of the proposed development on the adjacent heritage properties to the subject property that are located at 434 and 438 Maitland Street, 507 Queen Avenue, 520-526 Dundas Street and 482-484 Dundas Street (Dundas Street Centre United Church). This report concluded that adverse impacts are limited to:

- Potential impact of land disturbances for the coach house associated with 507 Queen Avenue and the north-east wing of the Dundas Street Centre United Church as it relates to the construction of the underground parking garage and anticipated construction traffic along the western property line of the subject property.

The following mitigation measures have been identified to mitigate the above identified adverse impacts:

- *A Temporary Protection Plan (TPP)* that would include:
 - A Vibration Monitoring Plan for both the Coach House of 507 Queen Avenue and the adjacent Dundas Street Centre United Church at 482-484 Dundas Street (Dundas Street Centre United Church) and any other building or structure identified by the engineer in the findings of the assessment and Plan; and,
 - Certification by an engineer of the footings and foundation relative to coach house at 507 Queen Avenue will be constructed in a way that will avoid damage to the building.

It is recommended that a landscaped buffer be implemented at the rear of the property to provide a buffer between the new construction and existing mature neighbourhood; this buffer can also allow for a more aesthetically pleasing background view at ground level. Lighting and signage used for the proposed development should be sympathetic to adjacent heritage properties. Signage should not obstruct views of the Dundas Street Centre United Church.

1.0 INTRODUCTION

The purpose of this Heritage Impact Assessment is to assess the impact of the proposed construction of a 16 storey apartment building located at 496 Dundas Street hereafter referred to as “the subject property”. The existing building located at 496 Dundas Street is a two storey commercial building constructed in 1949 and is not listed or designated on the City of London’s Municipal Heritage Register (*Register of Cultural Heritage Resources*, 2019).

The subject property is adjacent to four (4) listed properties (507 Queen Avenue, 434 & 438 Maitland Street and 520-526 Dundas Street) and one (1) designated property (482-484 Dundas Street). The properties located at 438 Maitland Street and 507 Queen Avenue are located within the “Area of Special Sensitivity” as it relates to the *Old East Village Dundas Street Corridor Secondary Plan Area Boundary* and the properties located at 482-484 Dundas Street and 520-526 Dundas Street are located within the boundary in the character area identified as *Dundas Street- Midtown*.

The City of London supports the protection of built and cultural heritage resources to promote the unique identity of the City (Direction #3 & #7 of *The London Plan* (2016)). In accordance with Policy 565 of *The London Plan* and Section 3.7 (a) of the *Old East Village Dundas Street Corridor Secondary Plan*, the City requires a Heritage Impact Assessment when development is proposed on properties located adjacent to a property listed or designated on the Municipal Heritage Register with the secondary plan boundary. This report will analyze the impact of both the proposed new construction at 496 Dundas Street as it relates to adjacent cultural heritage resources and provide mitigation, conservation measures and/ or alternative development options, if necessary.

1.1 DESCRIPTION OF SUBJECT PROPERTY

1.1.1 DESCRIPTION OF EXISTING BUILDING ON SUBJECT PROPERTY

The subject property is located at 496 Dundas Street which is located in Central London (legally described as Lt 17, Ne Dundas St & Pt Lt 17 Se Queens Ave as in 924270 London). It is located within a mixed use area with commercial buildings and residential apartment buildings. It is south Queen Avenue, north of Dundas Street, east of Maitland Street and west of William Street (see Figure 1). Lot sizes in the immediate surrounding area vary in size. Buildings along Dundas Street vary in scale, age and architectural style.

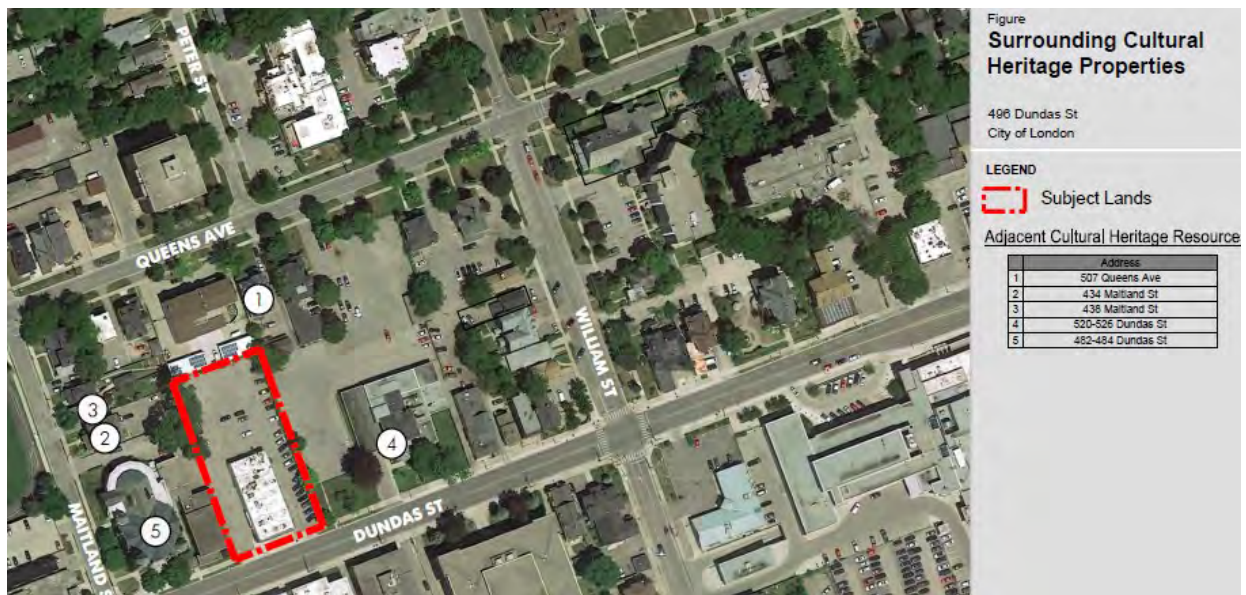


Figure 1: Aerial photograph of the subject property noted in red (Source: MHBC, 2020)

The subject property includes a two storey commercial building constructed in 1949. The property is bound by adjacent properties to the north, east and west. There are no significant landscape features existing on the property.



Figures 2 & 3: (above) Front elevation of 496 Dundas Street; (below) Photograph of existing building on the subject property looking west along Dundas Street towards Dundas Street Centre United Church (Source: MHBC, 2020)

The property is bounded by fences and walls along the west, east and north property lines. There is a retaining wall that runs north and south between the subject property and adjacent Dundas Street Centre United Church to the west. In addition to the retaining wall, there is a chain link fence on the adjacent property that runs from the rear church addition to the rear of the parking lot associated with the church. The rear property lines of remaining adjacent properties to the west are separated from the subject property by a wood board fence. The rear property line of the

subject property consists of the south elevation of two brick ancillary buildings associated 493-499 Queen Avenue. The property line between the subject property and 520-526 Dundas Street is divided by a wood board fence.



Figures 4, 5, 6, 7 & 8: (Above) Short concrete retaining wall between subject property and adjacent church (below left) View of fencing along western property line; (below right) View of wood board fencing on north stretch of western property line (Source: MHBC, 2020)

1.1.2 BRIEF HISTORY OF SUBJECT PROPERTY

The existing building on-site replaced a residence; the Figure below identifies the location of the original brick dwelling on the subject property as it were in the Fire Insurance Plan 1912 (revised 1922) in comparison to the existing building on-site. The overlay also demonstrates that a wood frame building originally was located north-west of the property which no longer exists.



Figure 9: Overlay of Fire Insurance Plan 1912 (revised 1922) on current aerial photograph (Source: MHBC, 2020)

The commercial building existing on-site today was constructed between c.1949. Figure 10 below is a photo dated May 13, 1949 which shows construction of the 'new' Dominion grocery store which opened on June 2, 1949 (June 1949, London Free Press). In 1954, the existing commercial building appears in an aerial photograph. The advertised features of the Dominion grocery store upon opening was its "free parking for one hundred cars" and "6,600 square feet for shipping" (May 1949, London Free Press).



Figure 10: Photograph of the construction of the Dominion grocery store at 496 Dundas Street, City of London on May 13, 1949 (Courtesy of the Western Archives, LFP Negative Collection).

The building was used for commercial businesses including the Dominion grocery store until the late 1970s and later the Marvel Beauty School; the building is currently vacant.

1.2 HERITAGE STATUS

The subject property is not listed or designated on the Municipal Heritage Register. The subject property is adjacent to four (4) listed properties (507 Queen Avenue, 434 & 438 Maitland Street and 520-526 Dundas Street) and one (1) designated property (482-484 Dundas Street) (see Figure

1). Table 1.0 on the following page outlines each property listing on the Municipal Heritage Register; description is extracted from the City's *Register of Cultural Heritage Resources* (2019).

Table 1.0 Heritage Status of Adjacent Listed and Designated Cultural Heritage Resources		
Address and Photograph	Description in Municipal Heritage Register	Heritage Status
434 Maitland Street	Edwardian, c.1910	Listed; March 26, 2019
438 Maitland Street	Craftsman, c.1925	Listed; March 26, 2019
520-526 Dundas Street	Italianate, c. 1870, Needham Funeral Home	Listed; Added to the register on March 26, 2007
507 Queen Avenue	Queen Anne, c.1887; Charles Crawford House, Hardy Geddes House	Listed; March 26, 2007
482-484 Dundas Street	Romanesque Revival, c.1895, Dundas Street Centre United Church	<i>Designated</i> Part IV; By-law L.Sp.-2855-378, L.S.P.-2855(a)-175, September 3, 1985 amended 1991.



Figure 11: Heritage map demonstrating 'listed' and 'designated' heritage properties and districts, the boundary of the Dundas-Midtown Area and "Area of Special Sensitivity" (Source: Old East Village Dundas Street Corridor Secondary Plan, Municipal Heritage Register and MHBC, 2020).

The subject property is not identified by the City of London as being part of a cultural heritage landscape as per Map 9 of The London Plan (see Figure 3). The property is not located in a heritage conservation district or on a 'historic main street' as identified in Figure 15 of the Official Plan, however, it is in close proximity to West and East Woodfield Heritage Conservation District located to the north.

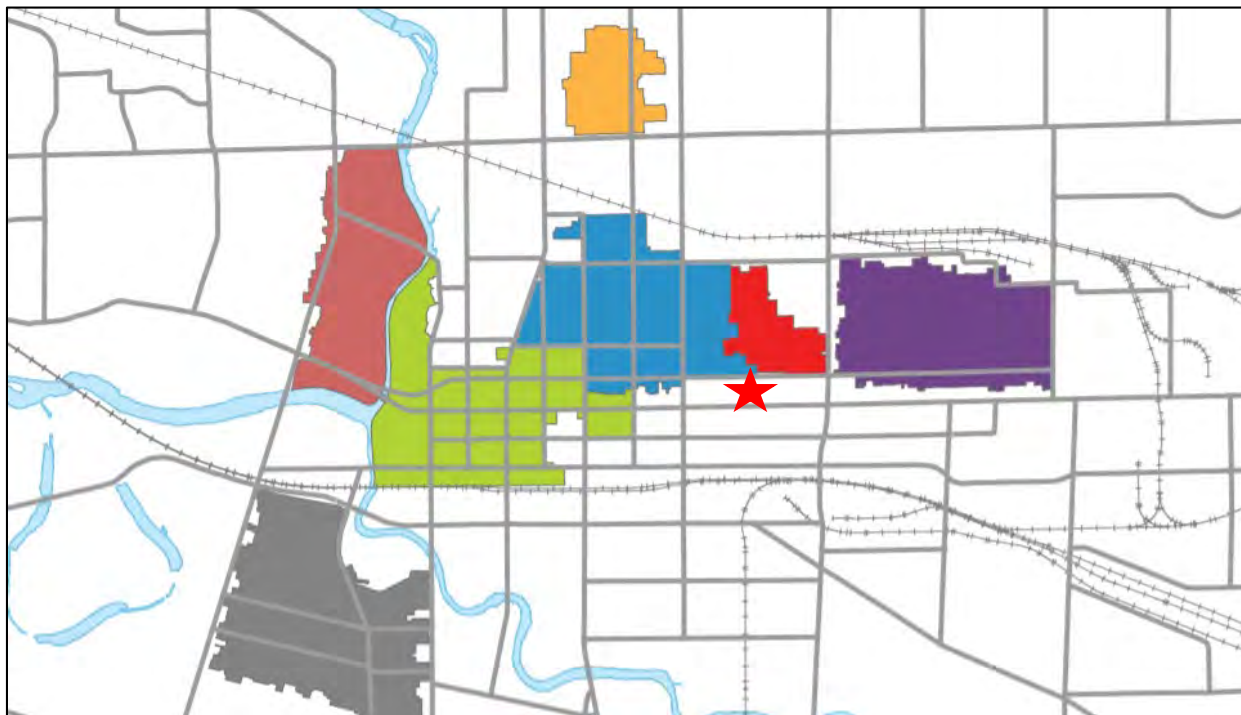


Figure 12: Excerpt of the Map 9 of The London Plan (Heritage Conservation Districts and Cultural Heritage Landscapes). Approximate location of subject property noted in red. (Source: Map 9, City of London Official Plan, accessed 2020)

The subject property and adjacent heritage properties located on Dundas Street are, however, located in the Old East Village Dundas Street Corridor Secondary Plan Area Boundary (see Figure 13). The properties located on the north side of the block at 438 Maitland Street and 507 Queen Avenue are located within the "Area of Special Sensitivity" as a buffer between the West Woodfield and East Woodfield HCDs and the Old East Village Dundas Street Corridor Secondary Plan Area boundary. Furthermore, the properties located on the south side of the block at 482-484 Dundas Street and 520-526 Dundas Street are located in the *Dundas Street-Midtown* character area (see Figure 14). The property located at 424 Maitland Street is neither located in the Secondary Plan or "Area of Special Sensitivity."

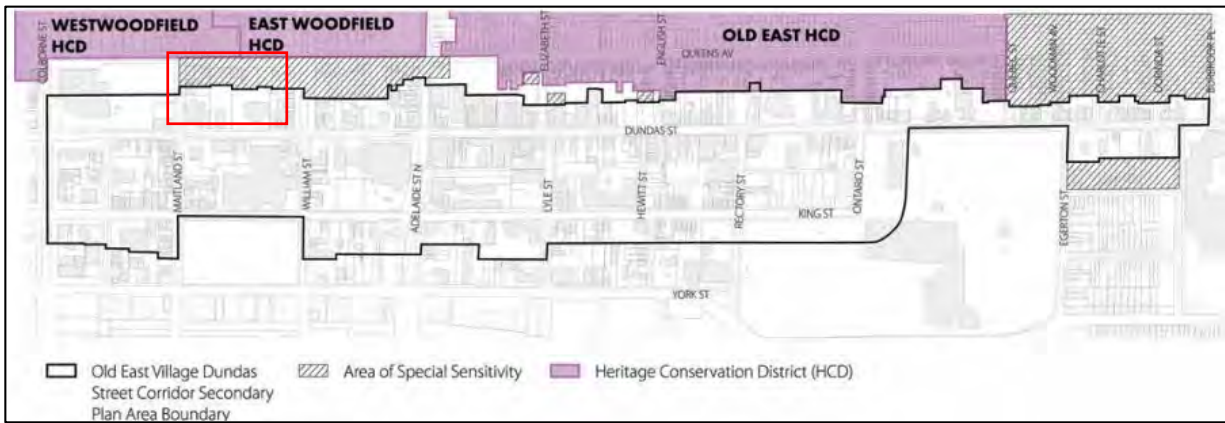


Figure 13: Schedule 1 demonstrating boundary of the Old East Village Dundas Street Corridor Secondary Plan Area Boundary; red block identifies block including subject property (Source: Old East Village Dundas Street Corridor Secondary Plan, p.2)

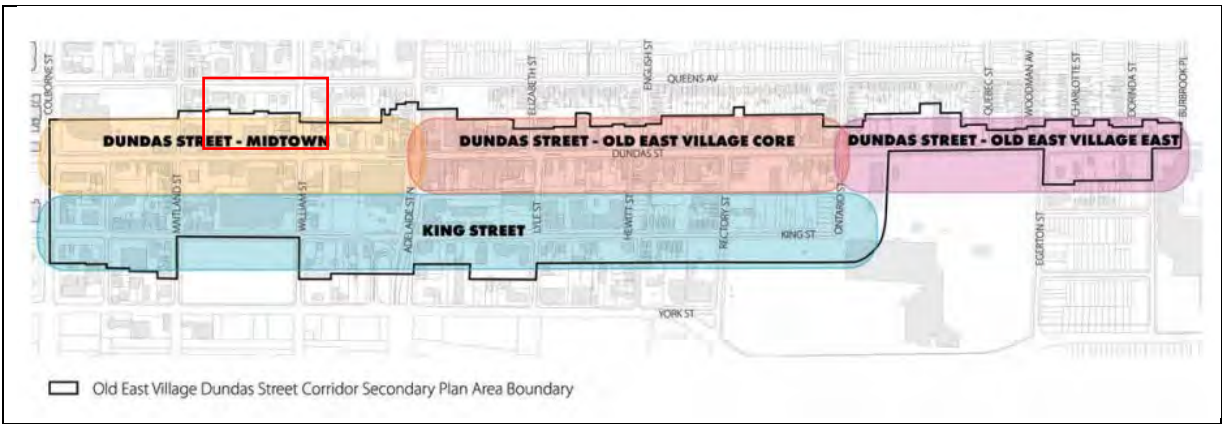


Figure 14: Character areas within the Old East Village Dundas Street Corridor Secondary Plan Area Boundary; red box outlines the block including the subject property (Source: Old East Village Dundas Street Corridor Secondary Plan, p.5)

1.3 LAND USE AND ZONING

The subject property is located in the Central London Planning District and is Zoned ORD250H46BDC as per Section 16, of By-law No. Z.-1 (see Figure 4). The zoning includes downtown office residential uses in a business district commercial zone. The majority of the surrounding area is zoned for office residential and office conversion and residential zoning to the north.

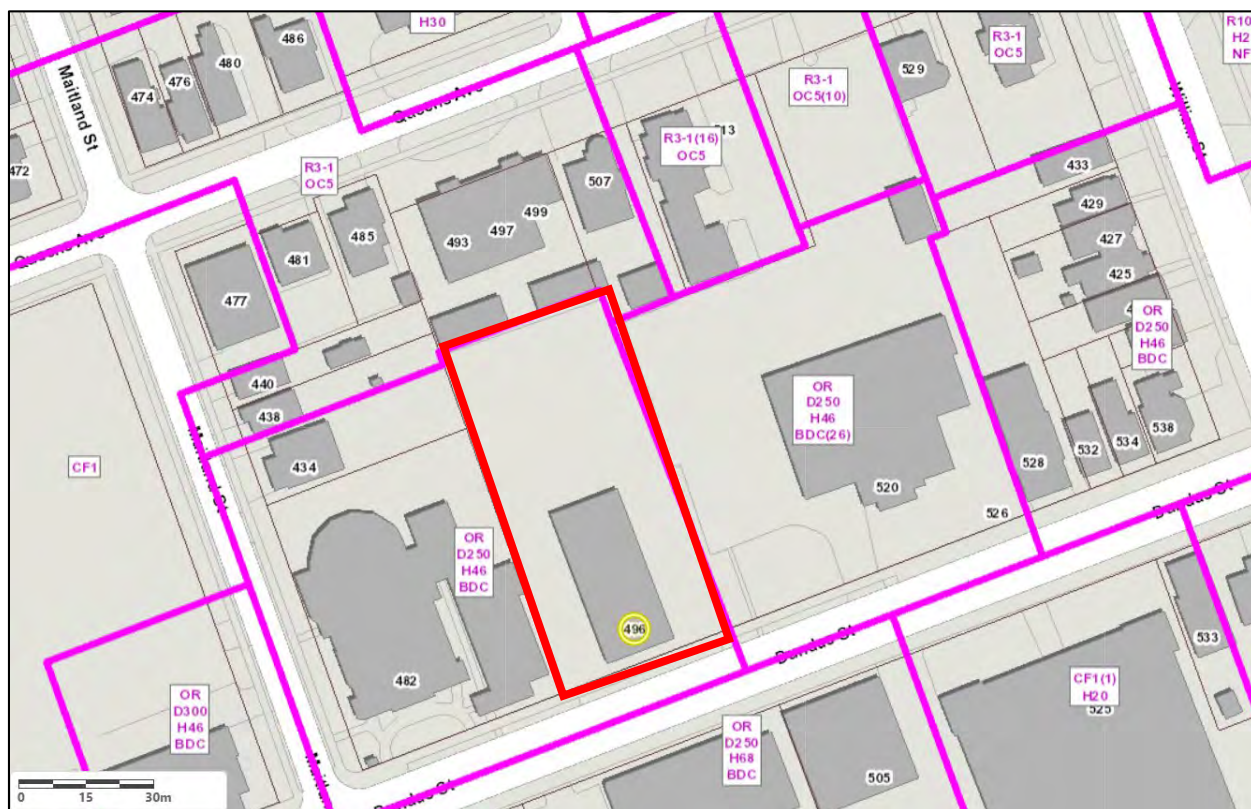
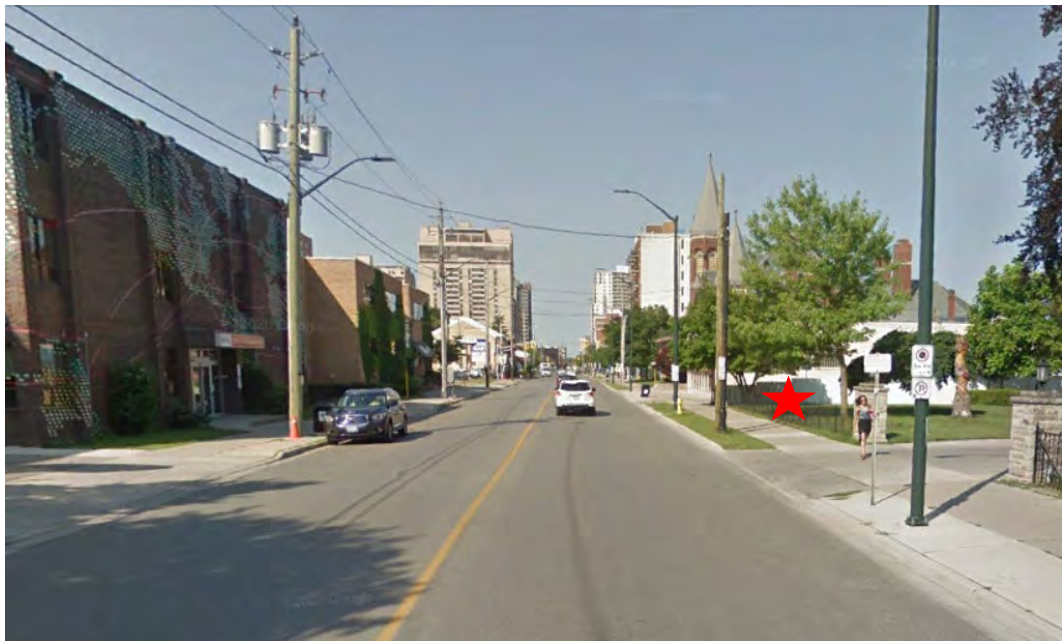


Figure 15: Excerpt of the City of London Interactive Map noting the location of the subject property (outlined in red), zoned R3-2. (Source: City of London Citymap, Zoning layer, accessed 2020)

The scale, mass and use of buildings along Dundas Street looking westward and eastward along Dundas Street in the context of the subject property varies in scale, mass, architectural style and use. The Dundas Street Centre United Church is distinguishable along the streetscape and the buildings in the block bounded by Maitland Street, Queen Avenue, William and Dundas Street are primarily two storey residential buildings.



Figures 16 & 17: (Above) Streetscape view of Dundas Street looking eastward towards subject property; (Below) Streetscape view of Dundas Street looking westward towards subject property (Google Earth Pro, 2020); Red star indicates approximate location of subject property.

2.0 POLICY CONTEXT

2.1 THE ONTARIO PLANNING ACT

The *Planning Act* makes a number of provisions respecting cultural heritage, either directly in Section 2 of the Act or Section 3 respecting policy statements and provincial plans. In Section 2, the *Planning Act* outlines 18 spheres of provincial interest that must be considered by appropriate authorities in the planning process. Regarding cultural heritage, Subsection 2(d) of the Act provides that:

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as, ...

(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

The *Planning Act* therefore provides for the overall broad consideration of cultural heritage resources through the land use planning process.

2.2 PROVINCIAL POLICY STATEMENT (2020)

In support of the provincial interest identified in Subsection 2 (d) of the *Planning Act*, and as provided for in Section 3, the Province has refined policy guidance for land use planning and development matters in the *Provincial Policy Statement, 2020* (PPS). The PPS is “intended to be read in its entirety and the relevant policy areas are to be applied in each situation”. This provides a weighting and balancing of issues within the planning process. When addressing cultural heritage planning, the PPS provides for the following:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Planning authorities shall not permit *development and site alteration on adjacent lands to protected heritage property* except where the proposed *development and site alteration* has been evaluated and it has been demonstrated that the *heritage attributes of the protected heritage property* will be conserved.

The PPS defines the following terms

Significant: *e) in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.*

Built Heritage Resource: *means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers.*

Protected Heritage Property: *means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.*

2.3 ONTARIO HERITAGE ACT

The *Ontario Heritage Act*, R.S.O, 1990, c.0.18 remains the guiding legislation for the conservation of significant cultural heritage resources in Ontario. This HIA has been guided by the criteria provided with *Regulation 9/06* of the *Ontario Heritage Act* outlines the mechanism for determining cultural heritage value or interest. The regulation sets forth categories of criteria and several sub-criteria.

2.4 CITY OF LONDON OFFICIAL PLAN

The London Official Plan requires that a Heritage Impact Assessment be completed when development is proposed adjacent to cultural heritage resources. The London Plan identifies adjacent as follows:

Adjacent when considering potential impact on cultural heritage resources means sites that are contiguous; sites that are directly opposite a cultural heritage resource separated by a laneway, easement, right-of-way, or street; or sites upon which a proposed development or site alteration has the potential to impact identified visual character, streetscapes or public views as defined within a statement explaining the cultural heritage value or interest of a cultural heritage resource.

Policy 152 discusses the importance of urban regeneration in the City which includes the protection of built and cultural heritage resources while “facilitating intensification within [the City’s] urban neighbourhoods, where it is deemed to be appropriate and in a form that fits well within the existing neighbourhood” (Policy 152, 8). Policy 554, reinforces the important of the protection and conservation of built and heritage resources within the City and in particular, in the respect to development. As part of this initiative the City states in Policy 586, that,

The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved.

Thus, it is the purpose of this report to analyze the potential impact(s) to the existing built heritage adjacent to the subject property located at 434 & 438 Maitland Street, 507 Queen Avenue, 520-526 Dundas Street and 482-484 Dundas Street, City of London to determine whether the development is appropriate or not as it relates to the conservation of its associated heritage attributes.

2.5 OLD EAST VILLAGE STREET CORRIDOR SECONDARY PLAN (DRAFT, FEB 2019)

The Old East Village Dundas Street Corridor Secondary Plan is applicable to the general area bounded by Dundas Street between Colborne Street and Burbook Place and King Street between Colborne and Ontario Street (2). The purpose of the Secondary Plan is to provide a framework for “land uses, built form, public realm design and the mobility framework; and, heritage” (p.11). From the six outlined guiding principles the Plan states, “Respect and reinvest in heritage resources to enhance the unique character of the area” (4).

The properties located on the south side of the block at 482-484 Dundas Street and 520-526 Dundas Street are located in the *Dundas Street-Midtown* character area. The character of this area is described in Section 2.2 of the Secondary Plan as, “is characterized by low-rise buildings with institutional and commercial uses fronting Dundas Street.” Furthermore the Plan describes the area as:

High-quality cultural heritage resources line both sides of the street. The area provides a transition between the downtown to the west, and the core of Old East Village to the east. The vision for Midtown is for the area to be a vibrant and pedestrian-oriented connection between the downtown and Old East Village... New development is envisioned, especially on the south side of the corridor, in a form that is well integrated into the existing context and is respectful of the cultural heritage resources in the area (p. 6).

The Plan acknowledges that the area has a variety of building forms and types, which, combined create a ‘unique sense of place’. The boundary reflects low-rise development along Dundas Street to high-rise condominiums to the south along King Street. It states that, “the variety of building types that allow diverse uses to flourish will be key to the area’s continued evolution and vibrancy” (14). The Dundas Street streetscape along the south side of the block reflects the variety of building forms described above and it is acknowledged that diversity is important to the evolution of the area.

Section 3.7 of the Plan outlines its promotion of restoring and enhancing cultural heritage resources and states that, “Significant cultural heritage resources shall be integrated with new development and public realm improvements in respectful and creative ways” (p.32). The proposed development is located adjacent to four (4) listed and (1) designated cultural heritage resource; as a result, the policies in the Plan state that the City will:

a) Require a Heritage Impact Assessment (HIA) to ensure that significant cultural heritage resources are conserved. Any assessment must include consideration of its historical and natural context within the City of London, and should include a comprehensive evaluation of the design, historical, and contextual values of the property.

The Plan outlines the following options for approaches to mitigation to minimize potential impacts to adjacent cultural heritage resource as a result of development in Section 3.7. (b-e):

- *Avoidance and mitigation to allow development to proceed while retaining the cultural heritage resources in situ and intact;*
- *Adaptive re-use of a built heritage structure or cultural heritage resources;*
- *Commemoration of the cultural heritage of a property/structure/area, historical commemoration means such as plaques or cultural heritage interpretive signs; and,*
- *Urban design policies and guidelines for building on, adjacent, and nearby to heritage designated and heritage listed properties, and properties with potential cultural heritage resources to ensure compatibility by integrating and harmonizing mass, setback, setting, and materials.*

This report reflects the policies of the Old East Village Dundas Street Corridor Secondary Plan in its assessment of potential impacts to adjacent cultural heritage resources.

2.6 CITY OF LONDON TERMS OF REFERENCE

This Heritage Impact Assessment is based on the requirements of a Heritage Impact Assessment as per the Ministry of Heritage, Sport, Tourism and Culture Industries *InfoSheet #5* which are as follows:

- Historical Research, Site Analysis and Evaluation;
- Identification of the Significance and Heritage Attributes of the Cultural Heritage Resource;
- Description of the Proposed Development or Site Alteration;
- Measurement of Development or Site Alteration Impact;
- Consideration of Alternatives, Mitigation and Conservation Methods;
- Implementation and Monitoring; and
- Summary Statement and Conservation Recommendations.

The above-noted categories will be the method to determine the overall impact to the subject property and its heritage attributes as it relates to the proposed development.

3.0 HISTORICAL BACKGROUND

3.1 INDIGENOUS COMMUNITIES AND PRE-CONTACT HISTORY

The pre-contact period of history in Ontario specifically refers to the period of time prior to the arrival of Europeans in North America. The prehistory of Ontario spans approximately 11,000 years from the time the first inhabitants arrived in the Paleo-lithic period to the late Woodland period, just before the arrival of Europeans and the “contact” period, in the 16th and 17th centuries. The periods (and sub-periods) of Indigenous history in Ontario includes the Paleo period (beginning approximately 11,500 B.P.), the Archaic Period (9,500 B.P. to 2,900 B.P.), and the Woodland period (900 B.C. to approximately the 16th century). There are several registered archaeological sites in London dating to the Paleo period, the Early, Middle and Late Archaic period, as well as Early, Middle, and Late Woodland period. This includes Iroquoian longhouse settlements during the Early and Late Ontario Iroquoian period (*Archaeological Management Plan* (2017)). The Region included the Anishnaabeg, Haudenosaunee, and Lenni-Lenape Nations (City of London, 2020). In 1796, the initial agreement between indigenous peoples in the Region and European settlers was established, the *London Township Treaty* (Whebell & Goodden, 2020).

Today, the neighbouring indigenous communities including: the Chippewas of the Thames First Nation, Munsee- Delaware Nation and Oneida Nation of the Thames, identify the City of London and area as traditional territory (The London Plan, 2019, 137).

3.2 BRIEF HISTORY OF THE CITY OF LONDON

Three years prior to the establishment of *The London Treaty* of 1796, Lieutenant-Governor John Graves Simcoe, attracted by the Forks of the Thames, envisioned that it would be the location for the capital of the province (City of London, 2020). It was not until more than three decades, in 1826, that London was founded as the district town of the area. The town was surveyed by

Colonel Thomas Talbot in 1824 and later Colonel Mahlon Burwell, “which covered the area now bounded on the south and west by the two branches of the Thames” (City of London, 2020).

The town expanded from the court house with the development of storefronts and by 1834, there were 1,000 residents (City of London, 2020). It is claimed that the Mackenzie Rebellion was the catalyst to establishing a garrison in the town which served as a military base between 1838 and 1869 in what is presently Victoria Park (City of London, 2020). The presence of the military is claimed to be one of the main contributors to the rapid growth in population. Two years after the garrison was established, the town became incorporated which was followed by the development of necessary municipal services. Leading merchants such John Labatt and Thomas Carling were instrumental in connecting the town with the surrounding area in the 1840s by constructing the “Proof Line Road” and manufacturers such as Simeon Morrell and Ellis W. Hyman, Elijah Leonard and McClary brothers became well known in the area as prominent manufacturers (Whebell & Goodden, 2020).

By 1848, however, the town was rebuilt and reincorporated; the population at the time was recorded as 4,584 (Whebell & Goodden, 2020). By 1854, the Great Western Railway line was running through the town, allowing for businesses to flourish with the ability to import and export more goods. In 1855, the Town of London was officially incorporated as a City (Whebell & Goodden, 2020). With the debut of the American Civil War, London was able to prosper with the shipment of wheat. By the 1870s, several buildings were constructed in the centre of the city including the erection of mansions and institutions such as the University of Western Ontario. Infrastructure such the London Street Railway and new bridges (Whebell & Goodden, 2020).

In the latter half of the 19th century, many of London’s neighbouring communities were annexed in 1890. By the First World War, there were approximately 55,000 people living in London (City of London, 2020). Between the first and second world war, the City grew albeit challenges posed by the Great Depression. Many new residences were constructed in London South near Huron Street (City of London, 2020).

The year 1961 marked the great annexation of London which increased its population by 60,000 residents which included the annexation of Westminster Township (Meligrana, 5) (Whebell & Goodden, 2020). Since then, the City has grown and as of 2016, the population of the City has reached approximately 383, 822 (Canadian Census, 2016).

3.3 HISTORICAL OVERVIEW OF 496 DUNDAS STREET AND SURROUNDING BLOCK

The subject property located at 496 Dundas Street is included in a block bounded by Queen Avenue, Dundas Street, Maitland Street and Williams Street which is originally part of Concession

1, Lot 13. Figure 18 below is an excerpt of a map entitled, "Map of London, Canada West" dated 1840-1841 by William Robinson. The south-west corner of the block is included in an area entitled "Schofield" and the remaining block is identified as "Wilson". The area labelled "Schofield" would have referred to Major Ira Schofield who originally settled in the East Woodfield Area and the first house that he erected and a dwelling built between 1830 and 1842 by Bishop Cronyn called "The Pines" formerly located at 580 Dundas Street (Canada's Historic Places, 2020). Wilson likely referenced Justice John Wilson who was the Warden for the London District from 1842 to 1844 and City solicitor (Ivey Family London Room, London Public Library).



Figure 18: Excerpt of Map of London, Canada West, dated 1840 & 1841; red box indicates location of block (Courtesy of Western University).

By 1875, the subject property originally included a residence. John Elliot is listed as residing at this location and he is described as a 'sexton', a term that was associated with a person who would look after a church, churchyard, sometimes acting as bell ringer and formerly as a gravedigger (McAlpine's London city and county of Middlesex, 1875). In 1884, the subject property was associated with Henry Elliot (possibly John's brother), but by 1890 the property was associated with Benjamin Higgins (London city and Middlesex County directory, 1890).

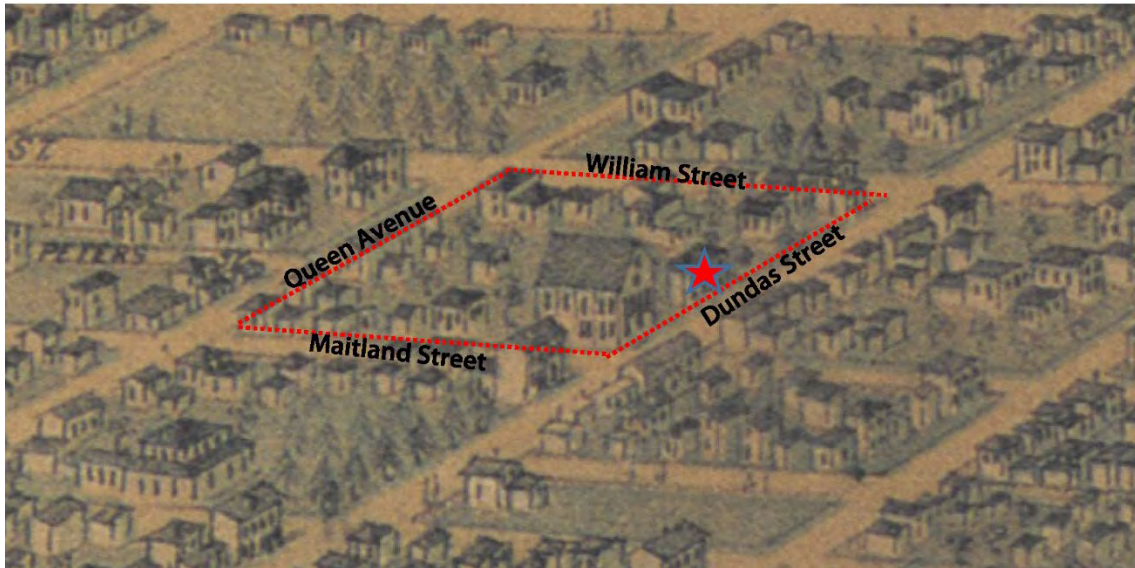


Figure 19: Excerpt of Bird's Eye view of block in 1872; red star indicates approximate location of subject land (Courtesy of Western University).

By 1872, the block contained several residences including a residence on the subject property. The church on the corner of Maitland and Dundas Street depicted in the Bird's Eye View of 1890 and 1893 was destroyed in a fire in 1895. Both of these depictions, including the earlier depiction in 1872, demonstrate that the block did not have an internal central 'laneway' as the block to the north which included Peter Street which remains today. The interior of the block is depicted as being populated by trees/ vegetation. The houses located at 520-526 Dundas Street, 507 Queen Avenue and 434 Maitland Street are depicted in Figure 9 in the 1890 Bird's Eye View.

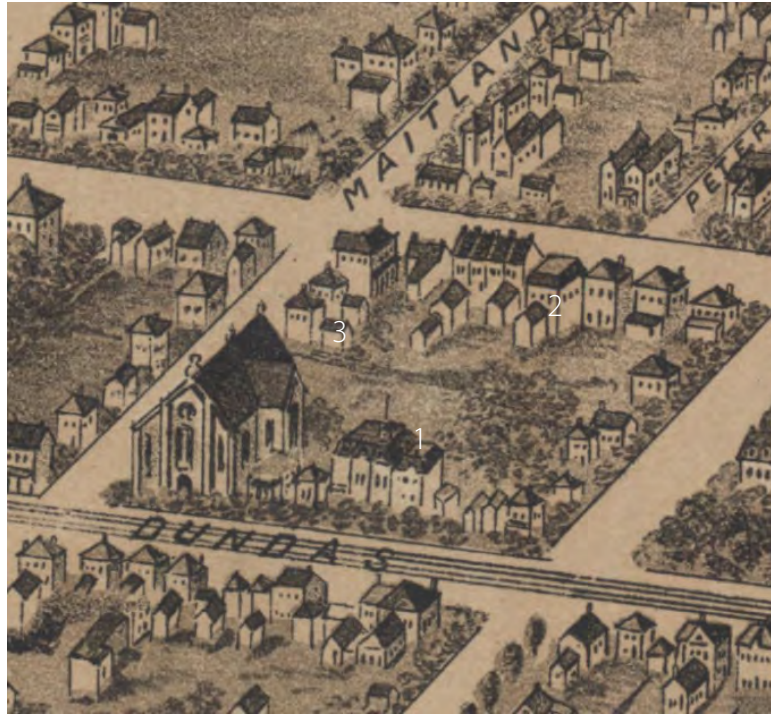


Figure 20: Excerpt of Bird's Eye view of block in 1890; 1) 520-526 Dundas St, 2) 507 Queen Avenue, 3) 434 Maitland Street (Courtesy of Western University).

The streetscape of Queen Avenue and Dundas Street in the late 19th century was dominated by residences and places of worship. The FIP of 1881 (revised 1889) of the City of London shown in Figure 20 demonstrates that the south side of the block along Dundas Street included several brick residences with the exception of the original brick church at the corner and associated parish hall. It also demonstrates that the original building on the subject property was brick residence with a wood frame addition to the rear. The house was located centrally on the current lot. There was also a brick residence located at 514 Dundas Street between 496 Dundas Street and 520-526 Dundas Street. The lot associated with 520-526 Dundas Street was a through lot, extending to Queen Avenue as it does today.

The FIP of 1892 (revised 1907) shows that the wood frame building to the north-east of the block was replaced by two brick buildings. A lot line was also created between two brick houses (including 507 Queen Avenue) to the north along Queen Avenue and the residence at 514 Dundas Street to the south which included an additional brick building in addition to the larger brick stable; this additional brick building is the existing coach house now associated with 507 Queen Avenue. Note the existing church building replaced the original church building shown in the FIP of 1881 (revised 1888). The parish hall appears in the FIP 1892 (revised 1907), however is no longer present on the subsequent FIP (1912 revised 1922).

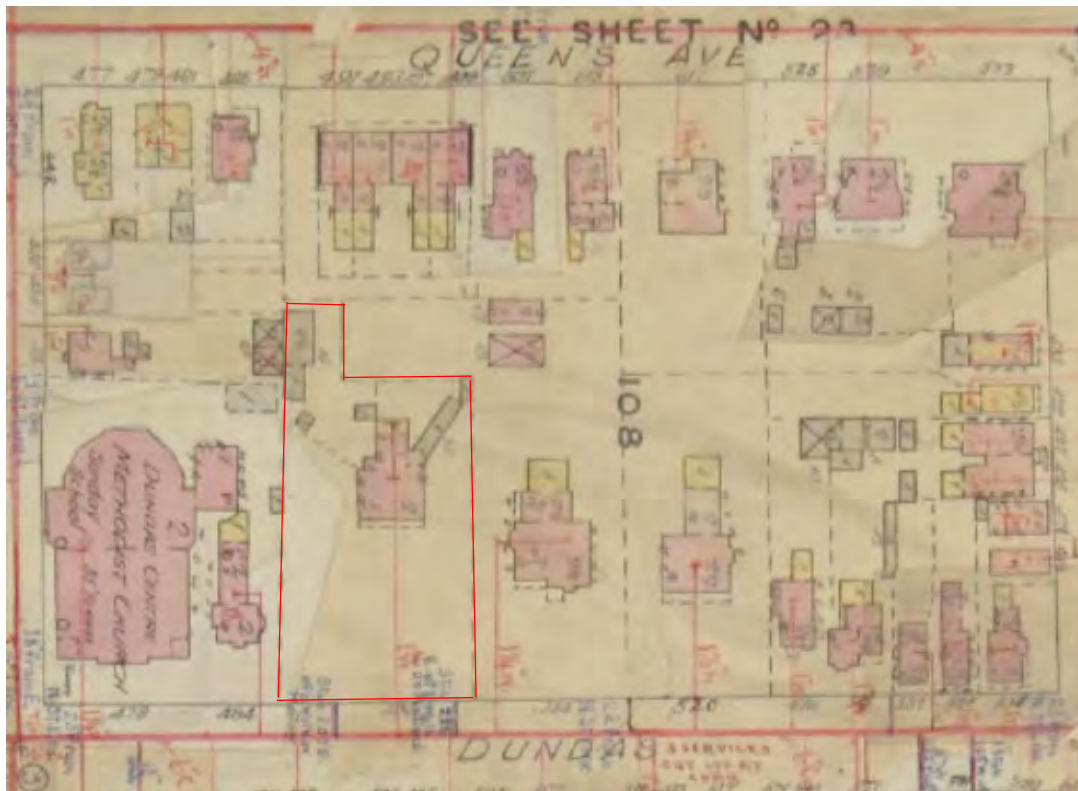
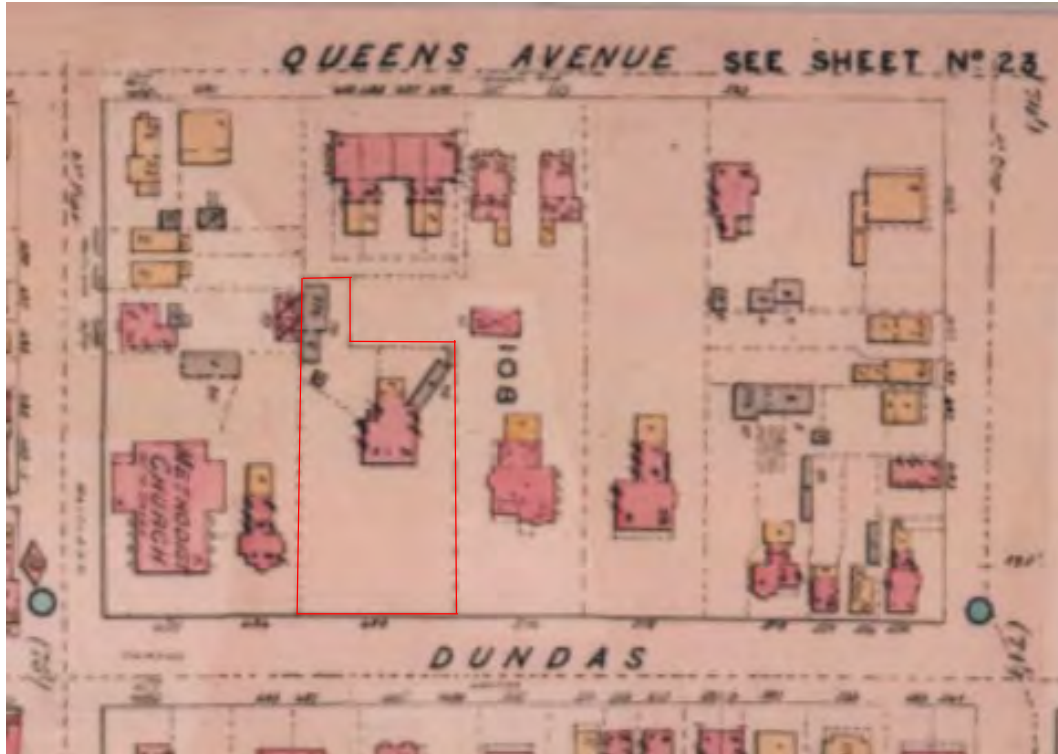


Figure 21 & 22: (above) City of London Fire Insurance Plan 1881 (revised 1888); (below) City of London Fire Insurance Plan 1892 (revised 1907); subject land identified by red outline (Courtesy of Western University).

By 1912, the block consisted of several dwellings both brick and wood frame in construction. The subject property included a brick dwelling setback from the streetscape parallel to the north-east wing of the adjacent church. There was also a brick dwelling between the subject property and the existing building at 520-526 Dundas Street. The coach house/ livery currently associated with 507 Queen Avenue can be viewed at the north-east corner of the subject property outlined in red (see Appendix 'A' for larger version).

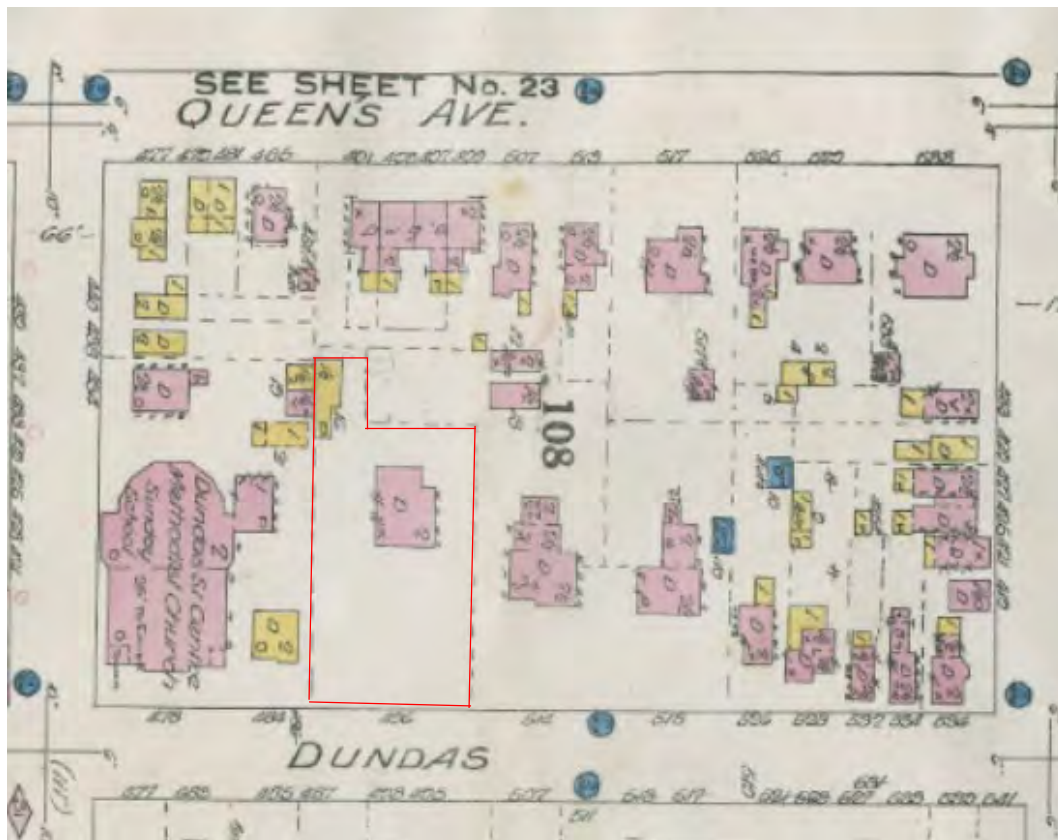
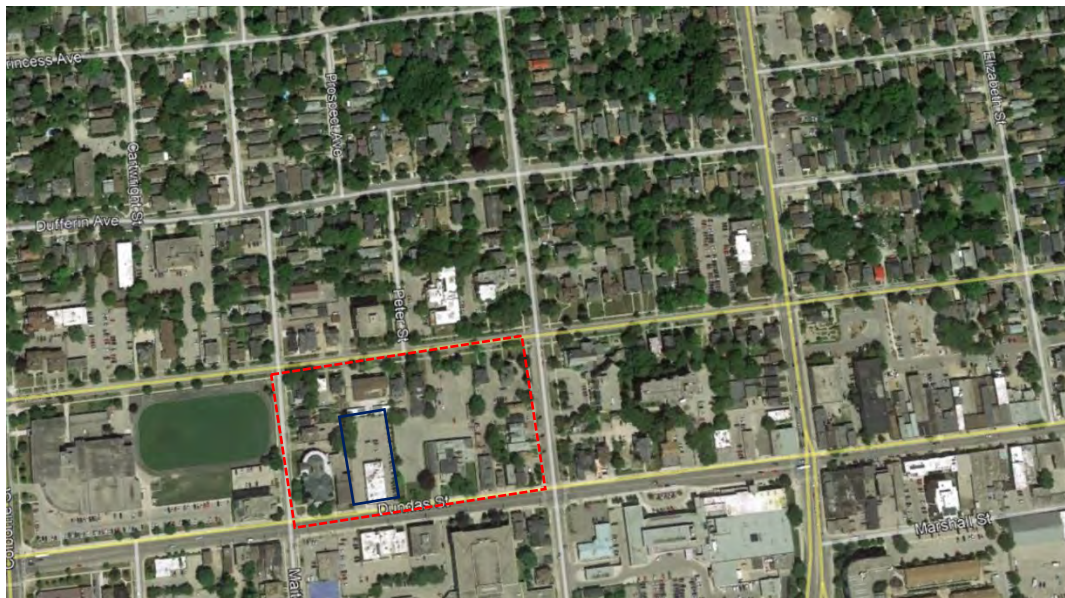


Figure 23: City of London Fire Insurance Plan 1912 (revised 1922); red outline identified subject land (Courtesy of Western University).

In 1954, the original dwelling on the subject property had been replaced by the commercial building that exists on the property today. The laneway no longer exists as it appears in the photograph but merged with the parking area dedicated to Needham Funeral Service which has altered the original landscaped area internal to the east end of the block.

Since the mid-19th century, the block including the subject property has changed. Brick residences along Dundas Street (496 and 514 Dundas Street) have been removed- 496 Dundas Street was replaced with the existing mid-20th century commercial building and the property formerly associated with 514 Dundas Street is now part of the parking lot associated Needham

Funeral Service. Residences transitioned into commercial businesses along Dundas Street which contributes to the variety and diversity along the existing streetscape.



Figures 24 & 25: (above) 1954 aerial photograph of block (red outline) including subject property outlined in blue (Courtesy of University of Toronto Library); (below) 2018 aerial photograph of block (red outline) including subject property outlined in blue (Source: Google Earth Pro, 2020).

4.0 DESCRIPTION OF CULTURAL HERITAGE RESOURCES

4.1 REVIEW OF ADJACENT HERITAGE PROPERTIES

The following sub-section will evaluate the adjacent listed properties located at 434 and 438 Maitland Street, 507 Queen Avenue and 520-526 Dundas Street. This sub-section will also review the adjacent designated property to the west of the subject property located at 482-484 Dundas Street. The property was designated under Part IV of the Ontario Heritage Act in 1985 and an amendment was made to the designation by-law in 1991 to include exterior features. As the evaluation was completed prior to the Ontario Regulation 9/06, this section will also review the heritage attributes of the designation by-law L.Sp.-2855-378, L.S.P-2855(a)-175, September 3, 1985 amended in 1991 to ensure that it is consistent with the Provincial regulation.

4.1.1 Evaluation of 434 Maitland Street



Address: 434 Maitland Street

Legal Description: Lot 9, plan 66 (e) London

Heritage Status: Listed

Approximate Date of Construction: c. 1907

The two storey house is constructed of red buff brick with elements of wood shingling and stone. The asphalt roof is cross gabled and includes two brick chimneys of either side. The front elevation of the house has architectural details representative of the Edwardian Era. Details include: open gable rooflines and dormers, classic pediment surmounting the porch entry which is supported by columns and a stone foundation. Wood corbels decorate the soffits of the porch roofline.

The first floor includes a pair of windows to the east of the façade with a stone sill and lintel. To the west of the façade is a set of three windows with a stone surround. The second level includes a pair of windows to the east with stone sill and lintel and to the west one single pane window with stone sill and lintel and further to the west a pair of windows with stone sill and lintel. The upper storey or attic space includes a set of three windows with stone surround within the open gable with hexagonal shingling; a classic dentil moulding separates the brick from the shingling. There is an open gable dormer to the east of the roof.

The west elevation includes a two storey bay window projection and a stairway/ egress that leads to a door opening below the open gable with hexagonal shingling. The rear of the house includes a variety of window shapes and sizes most of which have stone sills and lintels. There is a chimney shaft which appears to have been capped. There is a rear wing that includes a landing for a human door entry on the second floor to the east of the façade. The north elevation includes a variety of windows including a second storey bay window projection and above this an arched window opening with rounded brick voussoir within a bricked open gabled with stone coping.

The house is representative of Edwardian architecture with elements of classicism such as the porch pediment, columns and dentil moulding. Other notable details include bay windows, hexagonal shingling in open gable and wood corbelling along soffits of porch roofline.

The house was likely commissioned by the Santos Family in 1907 for Mary Santo. Mary Santo was English in origin and a widow to a butcher, John Santo. The property was later owned jointly by Harry and Anthony Grant to use for commercial purposes. Both these families, however, are not notably significant in the City of London.

The house has contextual value as it is physically linked with surrounding Victorian and Edwardian houses within the area and is important in maintaining the character of the area.

Heritage Attributes:

- *Porch pediment with columns;*
- *Wood corbels along soffits of porch roofline;*
- *All original window and door openings including associated stone sills, lintels and quoins;*
- *Hexagonal shingling pattern on open gable;*
- *Dentil moulding between open gable and brick façade;*

- *Stretch bond buff brick construction and stone foundation; and,*
- *Original roofline and chimney shaft.*

4.1.2 Evaluation of 438 Maitland Street



Address: 438 Maitland Street

Legal Description: S ½ Lt 10 Plan 66 (e), S/T & T/w 751916 London

Heritage Status: Listed

Approximate Date of Construction: c. 1930

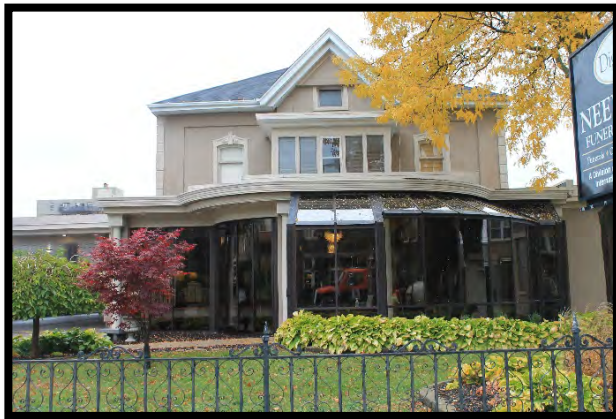
The one and a half storey house is constructed of brick and stone and has a concrete foundation. It has an intersecting/ overlaid gabled asphalt roof with gable openings on both sides, a centred dormer and one chimney. The first level includes two bays; the bay to the west includes the main door opening with transom and sidelights and a stone door header. To the east of the elevation is a ribbon window with four panes and stone sill and lintel. The dormer on the upper half storey includes a pair of double sash windows and appears to be clad in painted wood. The south elevation includes four window openings of various sizes with stone sills and lintels. The north elevation includes four window openings including two foundation sill windows, one first level window and one second storey window all of which have stone sills and lintels. There is also a door opening on this elevation with stone lintel.

The house is a modest representation of the Arts and Craft architectural movement in the 1920s. Architectural elements include the bungalow style house, simplistic design elements and natural materials. The house was commissioned by Benjamin Noble and his wife Annie. B. Noble. Mr. Noble was a plumber according to the 1921 census. The property was later owned by the Copeland family between 1947 and 1975. Chester Copeland was a mail clerk according to the 1949 census. The owners associated with the house are not significant to the City of London. There are few Arts of Crafts buildings in the surrounding area and the building does not define, maintain or support the surrounding area nor is it linked.

Heritage Attributes:

- *Bungalow style massing including brick construction including chimney shaft;*
- *Front entry with transom and sidelights and stone header; and*
- *Front window opening with stone sill and lintel*

4.1.3 Evaluation of 520-526 Dundas Street



Address: 520-526 Dundas Street

Legal Description: Lot 18 & Part Lot 19 Ne Dundas St; Part Lot 18 Se Queens Av; Part Lot 19 Se Queens Av; Part Lots 1 & 4 Plan 36(e) Designated As Parts 1 & 2, Plan 33r-13208 Save & Except Parts 1 & 2, Plan 33r-18094 Together With An Easement As In Lc127326 Together With An Easement As In 574340 Together With An Easement As In Lc168251 City Of London

Heritage Status: Listed

Approximate Date of Construction: c. 1875

The building complex includes a former two storey house with rear wing which originally was constructed of brick and stone currently clad in a plaster/ stucco with quoins. The house has had several alterations made including several additions to facilitate commercial business. The house has a hipped roof with open gabled dormer on the front elevation. On either side of the second level is a single window opening with double sash window frame; these windows have decorative surrounds. The centre of the second level on the front elevation includes a projecting bay/ sunroom with gallery windows and flat platform roof with soffits and cornicing reminiscent of classic entablature. The open gable dormer includes a single pane window opening.

The first level of the front elevation is a rounded glass gallery that wraps around the façade with segmental, classic trim which is supported by a column on the west side of the elevation. The west elevation includes one window opening and door opening on the first level and three window openings on the second level; it appears that the window double sash window openings are original and stone sills. The rear elevation includes a contemporary complex of additions which encloses the original rear wing. The east elevation includes a chimney shaft, and exposes the second level of the original house and rear wing. There are two window openings on the main building and three window openings on the second level of the rear wing.

The house has limited Italianate architectural elements of the roofline and quoins and is not a clear representation of this architectural style. The original house is a rectangular plan with rear wing but has been encased by several later additions. The original exterior has been covered with plaster/ stucco. Some of the original window and door openings, frames and stone sills still exist. The original hipped roofline and centred open gable remain. The modern alterations has detracted from the original massing and design elements of the house.

The house is associated originally with James H. Fraser until the turn of the 20th century when it was associated with Robert Nicholson and William Yeates. The house is associated with Russell Needham who purchased the property in 1953 which became the Needham Funeral Home in 1972.

The house is not important in defining, supporting or maintaining the character of the area. It is physically linked to the coach house now associated with the address at 507 Queen Avenue and historically linked as one of the older houses in the block.

Heritage Attributes:

- *Original hipped roofline with centre open gable;*
- *Quoin detailing; and,*
- *Original window and door openings;*
- *Mature trees along frontage of property.*

4.1.4 Evaluation of 507 Queen Avenue - House



Address: 507 Queen Ave.

Legal Description: Pt Lt 18 Se Queens Av As In 555802; S/t & T/w 555802 London

Heritage Status: Listed

Approximate Date of Construction: c. 1887

The two storey house is constructed of brick, wood and stone and has a cross hipped roof with asphalt shingles. The roof includes several open gabled dormers. The front elevation of the house includes several architectural details representative of the Queen Anne style. These details include bay window, open gable dormers with bargeboard, cornice brackets, front porch with pediment

with geometric moulded fascia and conical roof supported by wood posts. The upper storey windows, including the bay window, have individual dichromatic segmental arches situated between double red brick stretcher courses that are parallel to the top and bottom level of the window openings that wrap along the side elevations. There are decorative, painted wood corbels along the roofline accompanied by decorative fascia with geometric shapes along the roofline. The gable dormer above the bay window includes a single window opening and finely decorated bargeboard. The east elevation includes a two storey bay window with similar dichromatic segmental arches above each window opening. A gable dormer is above the bay window projection. The rear elevation includes two narrow open gable dormers.

The house is representative of the Queen Anne architectural style and includes bay windows, open gable dormers with bargeboard, cornice brackets, generous front porch with pediment with geometric moulded fascia and conical roof supported by wood posts.

The original owner of the property was Emerson J. MacRobert who was listed as an Insurance Agent in the 1891 census. He is listed in 1901 as one of the "Present Business Men of London", he was on the Board of Education, a member of the Local Executive Committee, London Old Boys, which produced the International London Old Boys Reunion Souvenir Programme. The house is also associated with Charles Crawford and Hardy Geddes who donated the house for community use. The house is currently used for W.A.Y.S.

The house is important in maintaining the historic residential character of the street. It is physically, functionally, visually, and historically linked to its surroundings as it relates to the coach house to the south of the property and surrounding homes dating to this era.

Heritage Attributes:

- *Two and half storey massing and dichromatic brick exterior including brick coursing and segmental arches above windows;*
- *Decorative fascia, finials and corbels;*
- *Original roofline with gabled dormers and original chimneys;*
- *Original window and door openings include original doors and windows; and,*
- *Front porch with supportive wood posts, pediment and conical roof.*

4.1.5 Evaluation of 507 Queen Avenue – Coach House



Address: 507 Queen Ave.

Legal Description: Pt Lt 18 Se Queens Av As
In 555802; S/t & T/w 555802 London

Heritage Status: Listed

Approximate Date of Construction: c.
1887

The one and half storey coach house to the rear of the property is constructed of yellow brick with an open gabled roof with asphalt shingles. The south elevation includes a slight projection from the façade at the one storey level with a roof overhang. This elevation includes a series of window openings and one door opening. The west elevation includes a door opening at the upper half storey level with transom light. The south elevation is covered in vegetation so openings on this elevation is undetermined. There are two window openings on the east elevation. The building does not have a basement only a foundation sill.

The coach house is representative of Victorian architecture primarily due to its use of yellow brick and shape and size of window openings on the east elevation and the use of a transom light on the second storey door opening. The coach house can yield information as it relates to early transportation in the City of London and the historical use of stables/ coach houses in an urban context. It is supportive of the character of the area and it is historically linked to its surroundings as it relates to the former residence at 514 Dundas Street as it originally was located on this property which still includes the original house.

Heritage Attributes:

- *One and half storey massing with open gabled roof;*
- *Buff, yellow brick, stretch bond;*
- *Original window and door openings with associated sills and transom light;*
- *Original foundation.*

4.1.6 Evaluation of 482-484 Dundas Street (Centre United Church)



Address: 482-484 Dundas Street

Legal Description: Lots 4, 5, 6, 7, 8, Plan 66 (e)
London

Heritage Status: Designated

Approximate Date of Construction: 1895

Note: The following section was developed by using the designation by-law from 1985 for interior features (By-law No. L.S.P. 2855-378) and by-law amendment in 1991 that identified exterior features (By-law No. L.S.P. 2855 (a)-175). As the by-laws and associated amendment were developed prior to Ontario Regulation 9/06, this section has used the information from them and inserted them in a format that is consistent with the Provincial legislation.

The Dundas Street Centre United Church has several elements representative of the Romanesque Revival period of architecture and is constructed of red sandstone (foundation) and brick coursing in between yellow sandstone. The church is based on a corner tower church plan which includes several bays and complex massing which includes a complex roofline. The roof contains the majority of the original slate and includes several chimneys. Architectural details include the main tower with projecting gutter spouts, round arches for window and door openings observed on the south and west elevation primarily. The church has three towers, several turrets and gable ends. The door openings include solid wood doors and segmental transoms with segmental brick surrounds with hanging lanterns below.

A modern addition was added to the church on the east side of the south elevation which wraps around the west elevation. This addition intersects with the original wing of the church constructed of brick and of modest architectural style. The north (rear) elevation of the church includes a projecting apse with an intersecting conical roof.

The original church at this location that was constructed in 1869 and was formed by a Wesleyan Methodist congregation that was established in 1856. Prior to the church being built, the

members met at a cottage on Adelaide Street until the church's construction in 1869 (dedicated April 3, 1870). The original church was destroyed in a fire on February 13, 1895.

The existing church is representative of the Romanesque Revival architectural style based on a corner plan and displays a high degree of craftsmanship both in the interior and exterior. The church was dedicated in May of 1896. The church was originally Methodist but transitioned to the United church in 1925 when they opted for the United Church merging with the Presbyterian Church.

The church supports the character of late 19th century Victorian buildings in the surrounding neighbourhood and is visually and historically linked to its surroundings. The Dundas Street Centre United Church has been located at the corner of Maitland and Dundas Street for over a century and is considered a landmark in the City.

The Exterior Heritage Attributes:

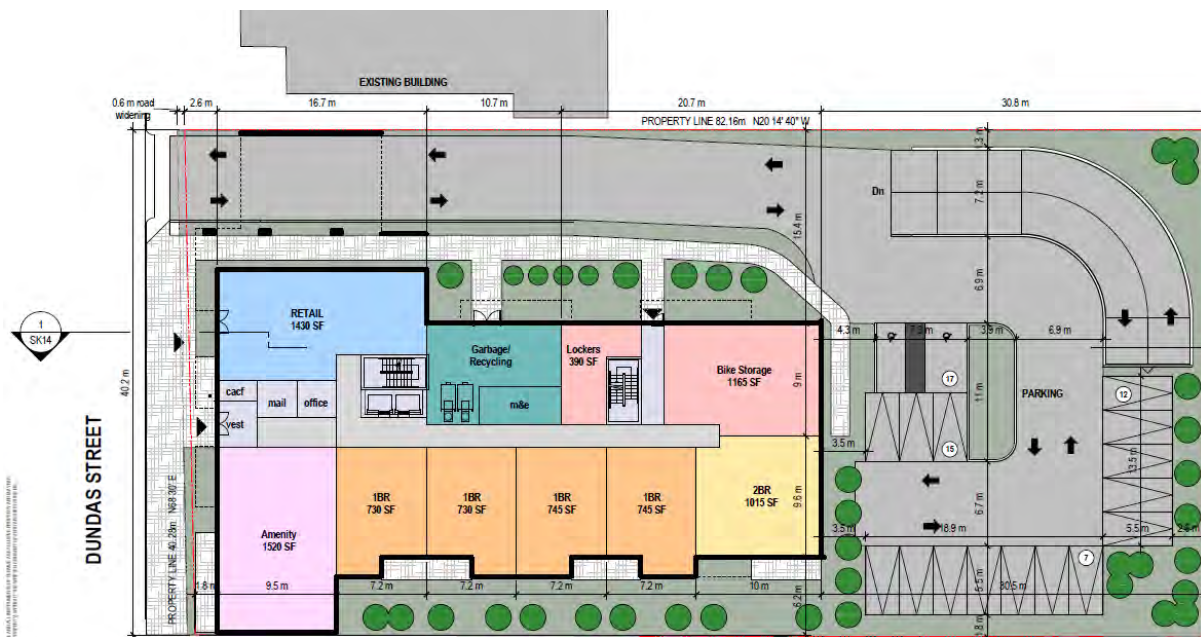
- *Exterior facades with decorative red brick coursing and bands of yellow sandstone;*
- *Red sandstone foundation;*
- *Complex massing with three towers (including main tower), smaller turrets and gable end;*
- *Rounded arches and narrow arched openings and niches;*
- *Arcaded portico;*
- *Remaining original slate roof with projecting gutter spouts on the main tower, several prominent chimneys;*
- *All original window and door openings and tracery; and,*
- *All original windows and doors including the four lanterns over the front doors;*
- *Location at the corner of Maitland and Dundas Street as part of a corner tower church plan.*

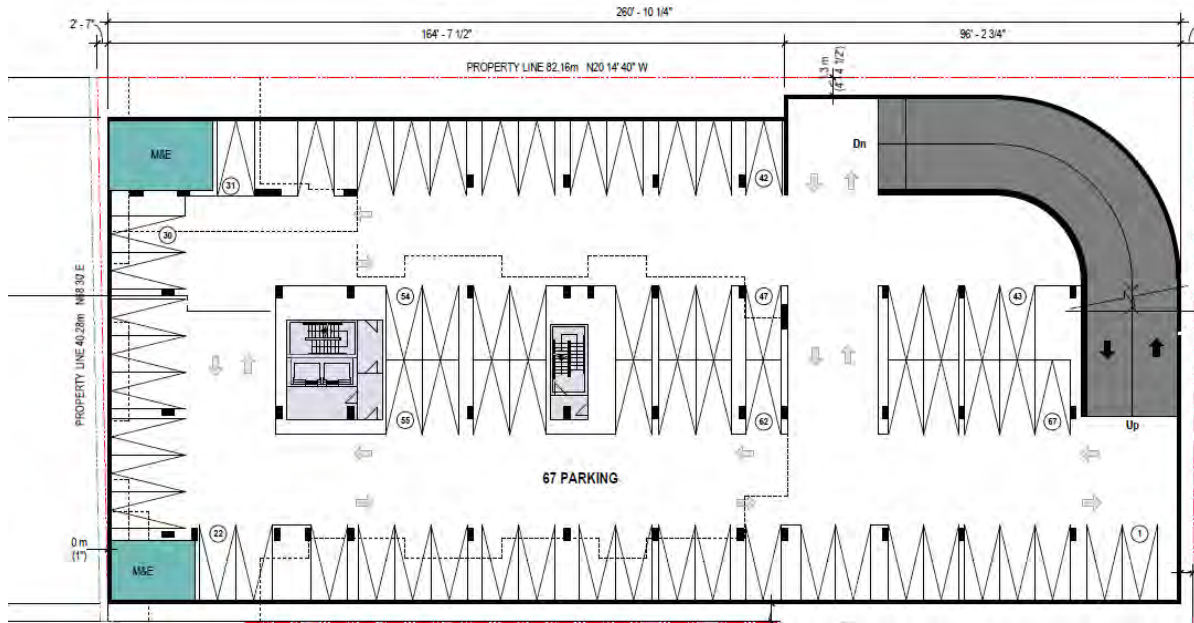
Interior Heritage Attributes:

- *Narthex with stained glass elements and woodwork;*
- *Crescent shaped, stained glass transoms with emblems of St. Luke and Mark within trefoil tracery above front entrance doors;*
- *Woodwork in staircase, wainscoting, ceiling and newel posts;*
- *Granite columns with Romanesque detailing on sandstone capital and a long ceiling beam accompanying each staircase;*
- *Interior sanctuary with original arrangement including centrally placed choir above a pulpit platform with an organ;*
- *Balcony with ornate cast iron railing;*
- *Byzantine decorative details in plaster on pilasters and cornice moulding;*
- *Decorative plaster ceiling with Armenian arches and stained glass lantern.*

5.0 DESCRIPTION OF PROPOSED DEVELOPMENT

The proposed development of the property consists of removing the existing building on site and constructing a 16 storey mixed use multi-unit residential building with 172 units. The total floor area for 1st to 16th level is 161,851 SF. The building will also include a two level underground parking garage accommodating approximately 136 cars (see Appendix B for detailed site plan).





Figures 26 & 27– (Above) Architectural drawing of first floor; (Below) Architectural drawing of underground parking garage (Source: Zedd Architecture, 2020)

The proposed building includes a setback along the southern portion on the west elevation, front façade and along the south portion of the east elevation (see Figure 28 and 29). This setback is for the first three levels. The setback is 5 metres in length. There is an additional setback on the southern side of the building at the 15th level to 16th level which is 6.3 metres. The rear of the building includes setbacks at the 11th, 14th and 16th levels (see Figure 28).



Figure 28– Massing model of proposed development (Source: Zedd Architecture, 2020)

A parking lot is located to the rear of the building and a landscape buffer proposed at the rear of the property. The entrance to the underground parking garage is at the north- west corner of the property.



Figure 29– (Above) Massing model of proposed development looking westward showing stepbacks on third and 15th floor; (Below) Massing model from the rear demonstrating stepbacks on the 11th, 14th and 16th levels (Source: Zedd Architecture, 2020)

6.0 IMPACT ANALYSIS

6.1 INTRODUCTION

There are three classifications of impacts a proposed development may have on an identified cultural heritage resource: beneficial, neutral or adverse. Beneficial effects may include such actions as retaining a property of cultural heritage value, protecting it from loss or removal, maintaining restoring or repairing heritage attributes, or making sympathetic additions or alterations that allow for a continued long-term use and retain heritage building fabric. Neutral effects have neither a markedly positive or negative impact on a cultural heritage resource. Adverse effects may include the loss or removal of a cultural heritage resource, unsympathetic alterations or additions that remove or obstruct heritage attributes, the isolation of a cultural heritage resource from its setting or context, or the addition of other elements that are unsympathetic to the character or heritage attributes of a cultural heritage resource. Adverse effects may require strategies to mitigate their impact on cultural heritage resources.

The impacts of a proposed development or change to a cultural heritage resource may be direct or indirect. They may occur over a short term or long term duration, and may occur during a pre-construction phase, construction phase or post-construction phase. Impacts to a cultural heritage resource may also be site specific or widespread, and may have low, moderate or high levels of physical impact.

The following sub-sections of this report provide an analysis of the impacts which may occur as a result of the proposed development.

- **Destruction:** of any, or part of any *significant heritage attributes* or features;
- **Alteration:** that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- **Shadows:** created that alter the appearance of a *heritage attribute* or change the viability of a natural feature or plantings, such as a garden;
- **Isolation:** of a *heritage attribute* from its surrounding environment, context or a significant relationship;
- **Direct or Indirect Obstruction:** of significant views or vistas within, from, or of built and natural features;

- **A change in land use:** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;
- **Land disturbances:** such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.

6.2 IMPACT ANALYSIS

The following charts will evaluate the impact that the proposed development has on the adjacent listed and designated properties to the subject land. The first table will evaluate the designated property and the second table will evaluate the impact on adjacent listed properties. The evaluation is based on the criteria mentioned in sub-section 6.1.

Table 2.0 Adverse Impacts for 507 Queen Avenue, 434 & 438 Maitland Street & 520-526 Dundas Street		
Impact	Level of Impact (Potential, No, Minor, Moderate or Major)	Analysis
Destruction or alteration of heritage attributes	No.	The development does not result in destruction or alteration of any heritage attributes of the adjacent listed properties.
Shadows	No	Proposed development will not result in shadows that negatively impact heritage attributes. The new construction is set to the south of the property along the frontage of Dundas Street which allows for a distance between the building and the adjacent properties to the rear to reduce shadowing. During the Spring/ March Equinox, shadows will be cast on 520-526 Dundas Street in the afternoon, however, most of these shadows are cast on the associated parking lot. See Appendix D. See 6.2.1.
Isolation	No	The relationship of the buildings to the street will not change. The buildings will retain their current context in the neighbourhood. See 6.2.2
Direct or Indirect Obstruction of Views	No	There will be no direct or indirect obstruction of significant views any of the buildings which consists primarily of the main façades. The background view of 507 Queen Avenue will be altered by the proposed development but will not obstruct the view of its heritage attributes.
A Change in Land Use	No.	There will be no change in land use.

Land Disturbance	Potential.	<p>The underground parking garage is two levels and extends close to the property lines.</p> <p>The parking areas associated with the adjacent properties located at 434 and 438 Maitland Street and 520-526 Dundas Street create a geographical barrier between the new construction and the buildings on-site.</p> <p>The rear ancillary building (former stable c. 1892) now associated with 507 Queen Avenue is within approximately 4 metres from the construction.</p> <p>6.2.4 for detailed analysis.</p>
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Table 3.0 Adverse Impacts for 482-484 Dundas Street, Dundas Street Centre United Church

Impact	Level of Impact (Potential, No, Minor, Moderate or Major)	Analysis
Destruction or alteration of heritage attributes	No.	The development will not result in destruction or alteration of any heritage attributes of the church.
Shadows	No	Proposed development will not result in shadows that negatively impact heritage attributes. See Appendix D. See 6.2.1.
Isolation	No	The relationship of the church to Dundas Street and particularly its relationship with the intersection of Dundas and Maitland Street will not change. See 6.2.2
Direct or Indirect Obstruction of Views	No.	The background of views of the church will be altered by the proposed development but will not obstruct the view of its heritage attributes. See 6.2.3 for analysis.
A Change in Land Use	No.	There will be no change in land use.
Land Disturbance	Potential.	<p>The underground parking garage is two levels and extends close to the property lines.</p> <p>The original north east wing of the church (c.1896 at the time the church was rebuilt) is approximately 10 metres from the construction site. See sub-section 6.2.4 for detailed analysis.</p>

6.2.1 Impact of Shadows

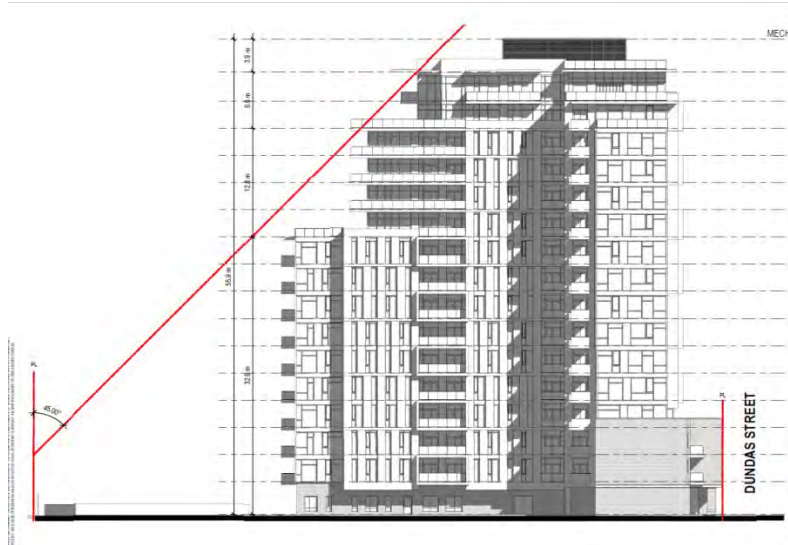
The proposed construction was designed with a 45-degree angular plane which places the building towards the frontage along the Dundas Street streetscape. The location of the building as a result of the angular plane significantly reduces shadowing on neighbouring properties. Shadows that may occur as a result of the new development would appear in the rear yards of adjacent properties located on Maitland Street and Queen Avenue and does not adversely impact the heritage attributes outlined in sub-section 5.2 of this report.

The parking lot associated with Needham's Funeral Service to the west of the property located at 520-526 Dundas Street allows for a significant distance between the new construction and the building on the property (approximately 26 metres between the funeral home and western property line alone). There are shadows on the property during the afternoon of the Spring Equinox but the majority of these shadows are cast on the associated parking lot.

There is approximately 31 metres between the roofline and associated massing of Dundas Street Centre United Church and the new building. There is no significant shadowing cast on the church based on the Shadow Study.

A Shadow Study is included in Appendix 'D' of this report.





Figures 30 & 31– (Above) Massing model of proposed development looking south east in comparison to neighbouring properties; (below) Angular plane study demonstrating the proposed building’s compliance with a 45 degree plane from rear property line (Source: Zedd Architecture, 2020) .

6.2.2 Impact of Isolation

The proposed development is located along Dundas Street which has a variety of lot sizes, mass, scale and uses. Maitland and Queen Avenue within the block are residential character and include older buildings as it transitions to the West Woodfield Heritage Conservation District on the north side of Queen Avenue. Isolation is defined as “Isolation of a heritage attribute from its surrounding environment, context or a significant relationship” (Ontario Heritage Tool Kit, Info Sheet # 5, 3).

The adjacent properties located at 434 & 438 Maitland Street and 507 Queen Avenue will not be isolated from their neighbourhood buildings or streetscapes (see Figures 32 & 33). The coach house at 507 Queen Avenue will not be isolated from the house on its current property or its former associative building located at 520-526 Dundas Street. The proposed development will not isolate Needham Funeral Service from its associated heritage attributes including the mature trees on-site. The proposed development will not isolate heritage attributes of the Dundas Street Centre United Church from its surrounding environment, context or significant relationship as it relates to the north-eastern wing and eastern modern addition or its location at the intersection of Maitland and Dundas Street.



Figures 32 & 33– (above) Aerial view of massing model of proposed development looking north-east in comparison to adjacent properties; (below) Aerial view of massing model of proposed development looking south-east in comparison to adjacent properties (Source: Zedd Architecture, 2020) .

6.2.3 Impact of Direct or Indirect Obstruction of Views

The Standards and Guidelines for the Conservation of Historic Places (Second Edition) defines in Section 4.1.5 “Visual Relationships” which is included as part of a character-defining element of a historic place and relates to an observer and their relationship with a landscape or landscape feature or between the relative dimensions of landscape features (scale). This policy with the Ministry of Heritage, Sport, Tourism and Culture Industries has adopted the following definitions of a view and vista, respectively:

Vista means a distant visual setting that may be experienced from more than one vantage point, and includes the components of the setting at various points in the depth of field.

The Ontario Heritage Toolkit acknowledges that views of a heritage attributes can be components of its significant cultural heritage value. This can include relationships between settings, landforms, vegetation patterns, buildings, landscapes, sidewalks, streets, and gardens, for example.

View means a visual setting experienced from a single vantage point, and includes the components of the setting at various points in the depth of field.

Views can be either static or kinetic. Static views are those which have a fixed vantage point and view termination. Kinetic views are those related to a route (such as a road or walking trail) which includes a series of views of an object or vista. The vantage point of a view is the place in which a person is standing. The termination of the view includes the landscape or buildings which is the purpose of the view. The space between the vantage point and the termination (or object(s) being viewed) includes a foreground, middle-ground, and background. Views can also be ‘framed’ by buildings or features.

While there may be many vantage points providing views and vistas of a property, landscape, building or feature, these must be evaluated to determine whether or not they are significant. Significance is defined by PPS 2020 as follows:

Significant: means e) in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people.

Therefore, a significant view must be identified as having an important contribution to the understanding of a place, event or people.

Views of 434, 438 Maitland Street, 520-526 Dundas Street and 507 Queen Street

The significant views of the adjacent listed properties for 434, 438 Maitland and 507 Queen Avenue include a static view of the front elevation from the associated streetscape. The proposed development will be included in the background but will not obstruct, directly or indirectly, these views (Figures 34 & 36).

The significant view of the building at 520-526 Dundas Street is a perspective view as it relates to the remaining exposed south and west elevations and original massing of the building. This view will not be directly or indirectly obstructed from view (Figure 35).



Figures 34, 35 & 36– (above left) Perspective view of 434 and 438 Maitland Street as it relates to Dundas Street Centre United Church; (above right) Perspective view of 520-526 Dundas Street (below) Elevation view of front façade of 507 Queen Avenue (Source: MHBC, 2020) .

482-484 Dundas Street- Dundas Street Centre United Church

For the purpose of this review, two (2) significant views have been identified that have potential to be impacted. The diagram on the following page outlines these views.

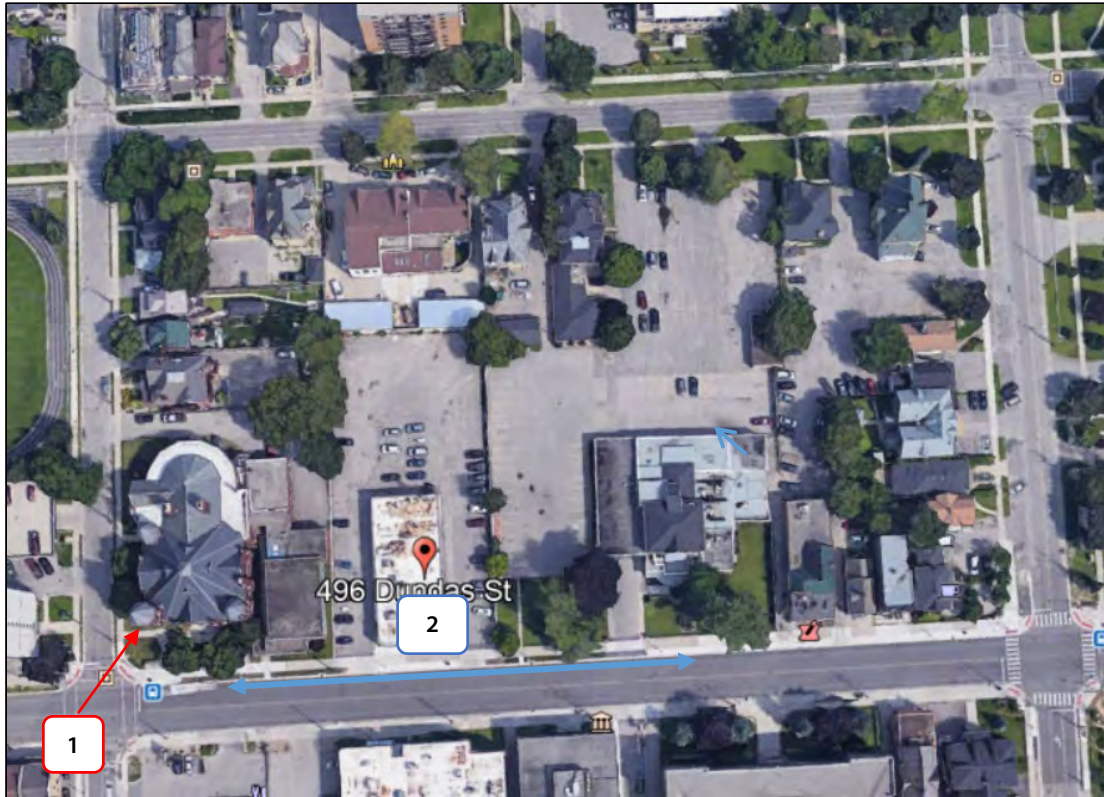


Table 4.0- Significant Views	
View No.	Description of View
View No.1	Static view of church at the intersection of Dundas and Maitland Street.
View No .2	Kinetic view of church moving along Dundas Street.

View No.1 -Static View from intersection of Maitland Street and Dundas Street

The Dundas Street Centre United Church was based upon a corner tower plan which capitalized the location of two intersecting streets. The architectural design of this church draws attention to the highest, and most prominent corner tower at the intersection of Maitland and Dundas Street. Often significant views are demonstrated in artist's depictions, most commonly seen in ephemera such as postcards. The sketch in Figure 38 below depicts the church in 1905. Note that the perspective view includes the corner tower and the south elevation where the front entry is located.

In review of the design intent of the corner church plan and depictions of the church, the view depicted in Figure 37 is identified as the significant static view of the church. It is concluded that the significant views of the church will not be directly or indirectly impacted by the proposed development. The new construction is approximately 31 metres from the church which allows for a visual buffer between the massing and scale of the church and the proposed building.

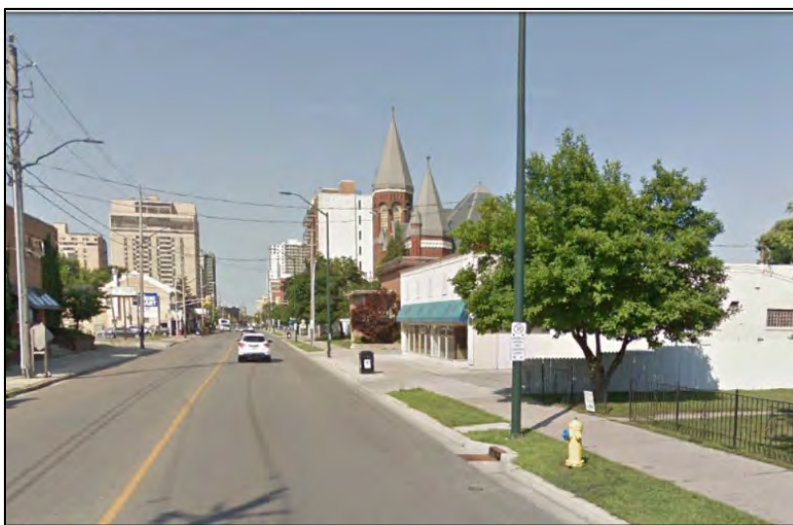


Figures 37 & 38: (above right) Artist's depiction of the church c. 1905 (Source: Dundas Street Centre United Church, 2020) (below) Massing model of proposed development as it relates to adjacent church (Source: Zedd Architecture, 2020)

View No.2 –Kinetic view along Dundas Street

The kinetic view of the church going eastward and westward along Dundas Street is significant as it relates to the projecting towers and turrets of the church which perceptively changes as one approaches the church. The kinetic view moving eastward along Dundas Street will be altered in that the background of the view will include the proposed new building. Currently, the apartment building located at 470 Dundas Street blocks a portion of this view as one approaches the intersection of Maitland and Dundas Street. The massing and scale, particularly as it relates to the complex roofline, will remain prominent in the foreground.

The kinetic view moving eastward along Dundas Street will not be altered due to the proposed stepback (approximately 5.8 metres) at the third level of the building which sets the podium further north to allow for the main corner tower and eastern tower to remain visible along the streetscape.



Figures 39 & 40: (above) Coloured perspective rendering of existing church and proposed development (Zedd Architecture, 2020); (below) Kinetic view going westward along Dundas Street.

6.2.4 Impact of Land Disturbances

A detailed analysis was completed on the distance between the proposed new development and adjacent heritage properties. Larger versions of the figures in this sub-section are included in Appendix 'A' of this report. The development proposes an underground parking garage so in addition to assessing the proximity to the construction of the new building, it also reviews the proximity to construction required as part of the underground parking. The figure below and associated table identifies the approximate distance between the proposed underground parking garage and adjacent heritage properties (see Appendix 'A' for larger figures).



Table 5.0 Distance Between Underground Parking and Adjacent Heritage Properties	
Building	Distance from Underground Parking Level
434 Maitland Street	29 metres
438 Maitland Street	34 metres
520-526 Dundas Street	40 metres
507 Queen Street- House Coach House	20 metres 4 metres
482-484 Dundas Street (Dundas Centre Church) Main church building North-east wing	21 metres 10 metres

The figures below and associated table shows the approximate distance between the construction of the new building (ground floor) and adjacent heritage properties (see Appendix 'A' for larger figures).



Table 6.0 Distance Between New Building (Ground Floor) and Adjacent Heritage Properties

Building	Distance from Ground Level
434 Maitland Street	46 metres
438 Maitland Street	57 metres
520-526 Dundas Street	43 metres
507 Queen Street-House Coach House	46 metres 28 metres
482-484 Dundas Street (Dundas Centre Church) Main church building North-east wing	31 metres. 22 metres

In conclusion, the distances between the underground parking garage and new building (ground floor) and adjacent heritage properties is sufficient to not anticipate impacts of land disturbances with the exception of the coach house associated with 507 Queen Avenue and the north-east wing of the church.

The coach house located at 507 Queen Avenue is constructed of brick with a rubble stone foundation (Figure 41). The building does not include a basement which significantly reduces impacts of land disturbances as a result of the construction of the underground parking, however, there is a potential impact of land disturbances.

The original north-east wing of the Dundas Street Centre United Church (Figure 42) is approximately 10 metres from the construction of the underground garage and is adjacent to an entry point that will likely be used for incoming and outgoing traffic during construction. Thus, there is a potential impact of land disturbances.



Figures 41 & 42: (left) Photograph of coach house associated with 507 Queen Avenue looking eastward; (right) Photograph of north-east wing of Dundas Street Centre United Church looking south-west.

6.3 COMPLIANCE WITH THE OFFICIAL PLAN AND OLD EAST VILLAGE DUNDAS STREET CORRIDOR SECONDARY PLAN

Policy 152 of the City of London Official Plan discusses the importance of urban regeneration in the City which includes the protection of built and cultural heritage resources while “facilitating intensification within [the City’s] urban neighbourhoods, where it is deemed to be appropriate and in a form that fits well within the existing neighbourhood”. The proposed development is located in central London and is part of urban regeneration. The surrounding urban neighbourhood as it relates to the Dundas streetscape is various in size of lots and scale and mass of buildings which is consistent with the description of the Dundas Street Midtown character which is described as “highly diverse” (Section 3.3.2 (b)). The Old East Village Dundas Street Corridor Secondary Plan discusses the integration of new development within the existing neighbourhood,

New development is envisioned, especially on the south side of the corridor, in a form that is well integrated into the existing context and is respectful of the cultural heritage resources in the area (p. 6).

The Plan also dictates that within the Midtown character area, “the placement of buildings will respond to the immediately adjacent built form context” (Section 3.3.2 (b)). The compatibility of new development with adjacent cultural heritage resources as it relates to “integrating and harmonizing mass, setback, setting, and materials (Section 3.7 (e)).

The proposed front yard setback for the first three floors of the development is 0.8m which is consistent with the existing building on-site on the buildings along Dundas Street to the east of 520-526 Dundas Street. The proposed design of the building includes a stepback along the southern portion on the west elevation, front façade and along the south portion of the east elevation after the first three levels. There is an additional stepback on the southern side of the building at the 15th level to 16th level which is 6.3 metres (see Appendix ‘C’ for elevations and renderings). The stepbacks reduce the amount of massing to the rear of the property as it transitions to the “sensitive area” on the north half of the block which acts as a buffer for the HCDs to the north.



Figure 43: Coloured massing model perspective on Dundas Street streetscape looking north-east
(Source; Zedd Architecture, 2020)

The first three levels are proposed to be primarily constructed of brick that is a similar hue of the adjacent church (see Figure 43); this brick will also be incorporated in the higher levels of the building. Glazing used in the upper levels reduces the perspective of mass and scale of the building.

The architectural design details of Dundas Street Centre United Church inspire architectural elements of the proposed development inspire, such as the vertical strip of windows openings along the front elevation, mimics the narrow niches that are exemplified on the exterior of the church. The alternation of material and associated natural hues, reduces perspective of mass and scale to promote its integration with the surrounding area and in particular, its integration with the context of the adjacent cultural heritage resource.

The combination of sympathetic material and architectural articulation (step backs) allows for a rhythmic streetscape and sense of consistency with the surrounding context.



Figures 44 & 45: Coloured rendering of proposed front (south) and west elevation of new building demonstrating the sympathetic use of material and colour (Source: Zedd Architecture, 2020).

7.0 ALTERNATIVE DEVELOPMENT OPTIONS

7.1. INTRODUCTION

The following have been identified as a range of development alternatives that may be considered as part of the heritage planning process. These options have been assessed in terms of impacts to cultural heritage resources as well as balancing other planning policies within the planning framework. The following sub-sections of this report consider the potential for alternative development options as it relates to the proposed development.

7.1.1 'Do Nothing' Alternative

The 'do nothing' alternative would prevent the development from occurring and as a result there would be no adverse impacts to adjacent heritage properties. However, the limited adverse impacts of land disturbances does not warrant the negation of development. This option is not recommended.

7.1.2 Revised Building Design to be Consistent with Existing Zoning By-law

The existing zoning for the property permits a height of eight storeys (as per Schedule 3: Old East Village Dundas Street Corridor Secondary Plan). Through the evaluation in sub-section 6.2 of this report it was determined that the height or density of the building does not have an adverse impact on adjacent cultural heritage resources and therefore, a reduction in height would be a neutral impact. The construction of the proposed building is sufficient distance from adjacent heritage buildings that it is not expected to adversely impact the adjacent properties, therefore, a revised building design reducing height is not required.

7.1.3 Remove the Underground Parking Garage from Development

This option would remove underground parking (136 parking spaces) for the proposed development. This option would remove some of the risk of land disturbances to the identified the coach house associated with 507 Queen Avenue. This option, however, is not required as the

mitigation measures for land disturbances discussed in Section 8.0 of this report should sufficiently address any potential impact and negate the need to remove the underground parking garage.

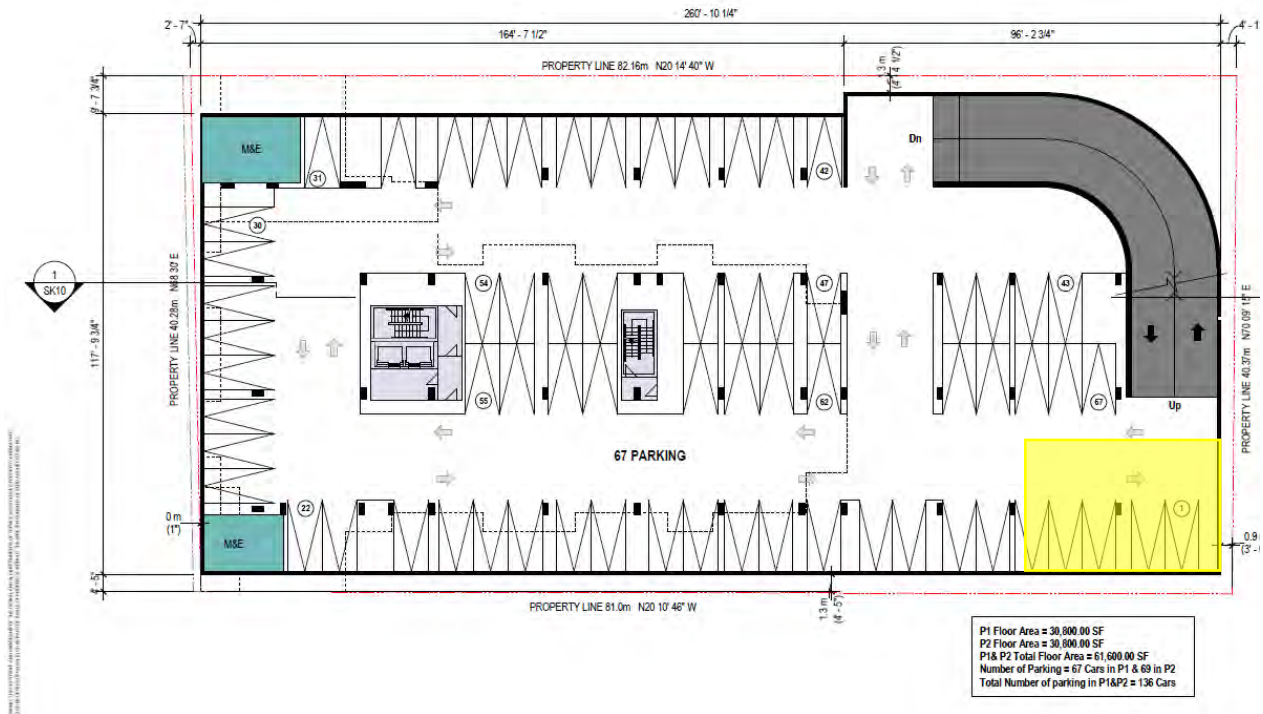


Figure 46: Floor plan of proposed underground parking garage for new building; yellow box indicates the area of the underground parking garage that is within four metres of the coach house associated with 507 Queen Avenue (Source: Zedd Architecture, 2020).

8.0 MITIGATION AND CONSERVATION RECOMMENDATIONS

8.1 MITIGATION MEASURES

Section 3.7 of the *Old East Village Dundas Street Corridor Secondary Plan* outlines potential mitigation approaches for consideration and application for minimizing impacts from proposed developments on or adjacent to listed, designated, and potential cultural heritage resources within the Secondary Plan area (in addition the requirement of the HIA a)):

b) Avoidance and mitigation to allow development to proceed while retaining the cultural heritage resources in situ and intact;

c) Adaptive re-use of a built heritage structure or cultural heritage resources;

d) Commemoration of the cultural heritage of a property/structure/area, historical commemoration means such as plaques or cultural heritage interpretive signs; and,

e) Urban design policies and guidelines for building on, adjacent, and nearby to heritage designated and heritage listed properties, and properties with potential cultural heritage resources to ensure compatibility by integrating and harmonizing mass, setback, setting, and materials.

The impact assessment in sub-section 7.2 of this report concluded that there is a potential impact of land disturbances to the coach house associated with 507 Queen Avenue and the original north-east wing of the Dundas Street Centre United Church.

The following is recommended to mitigate potential impacts of land disturbances in accordance with Section 3.7 (b) of the Secondary Plan:

- *A Temporary Protection Plan (TPP)* that would include:
 - A Vibration Monitoring Plan for both the Coach House of 507 Queen Avenue and the adjacent Dundas Street Centre United Church at 482-484 Dundas Street (Dundas Street Centre United Church) and any other building or structure identified by the engineer in the findings of the assessment and Plan; and,
 - Certification by an engineer of the footings and foundation of the new building will be constructed in a way that will avoid damage to the coach house at 507 Queen Avenue.

8.2 CONSERVATION RECOMMENDATIONS

It is recommended that a landscaped buffer be developed along the rear of the property to provide a buffer between the new construction and existing mature neighbourhood; this buffer can also allow for a more aesthetically pleasing background view at ground level. Lighting and signage used for the proposed development should be sympathetic to adjacent heritage properties. Signage should not obstruct views of the Dundas Street Centre United Church.

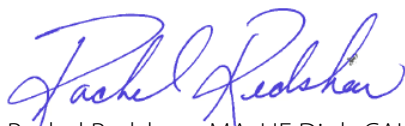
9.0 CONCLUSIONS & RECOMMENDATIONS

The purpose of this Heritage Impact Assessment (HIA) is to assess the impact of the proposed development on the adjacent heritage properties to the subject property located at 434, 438 Maitland Street, 507 Queen Avenue, 520-526 Dundas Street and 482-484 Dundas Street (Dundas Street Centre United Church). This report concluded that adverse impacts are limited to:

- Potential impact of land disturbances for the coach house associated with 507 Queen Avenue and the north-east wing of the Dundas Street Centre United Church as it relates to the construction of the underground parking garage and anticipated construction traffic along the western side of the subject property.

The mitigation measures described in Section 8.0 will ensure any potential impacts are sufficiently minimized.

Respectfully submitted,



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Partner, MHBC

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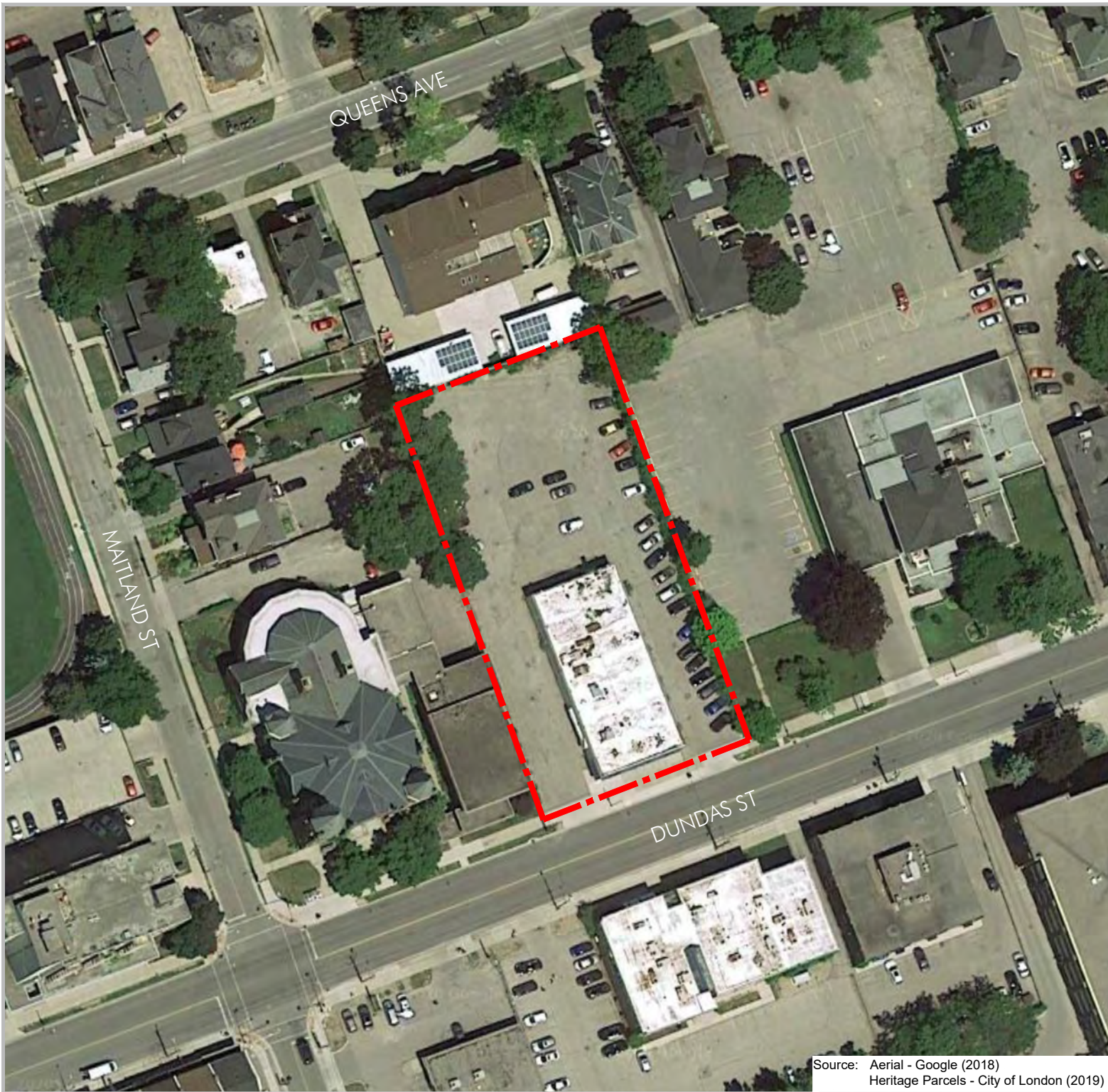
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APPENDIX **A** – LOCATION MAP



Source: Aerial - Google (2018)
Heritage Parcels - City of London (2019)

**Figure
Location**

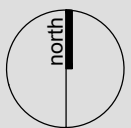
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496 Dundas St
City of London



**PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE**


200-540 BINGEMANS CENTRE DR, KITCHENER, ON, N2B 3X9
P: 519.576.3650 F: 519.576.0121 | WWW.MHBCPLAN.COM



Figure
**Surrounding Cultural
 Heritage Properties**

496 Dundas St
 City of London

LEGEND

 Subject Lands

A

	Address
1	507 Queens Ave
2	434 Maitland St
3	438 Maitland St
4	520-526 Dundas St
5	482-484 Dundas St

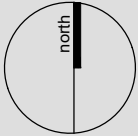
Source: Aerial - Google (2018)

DATE November 2020

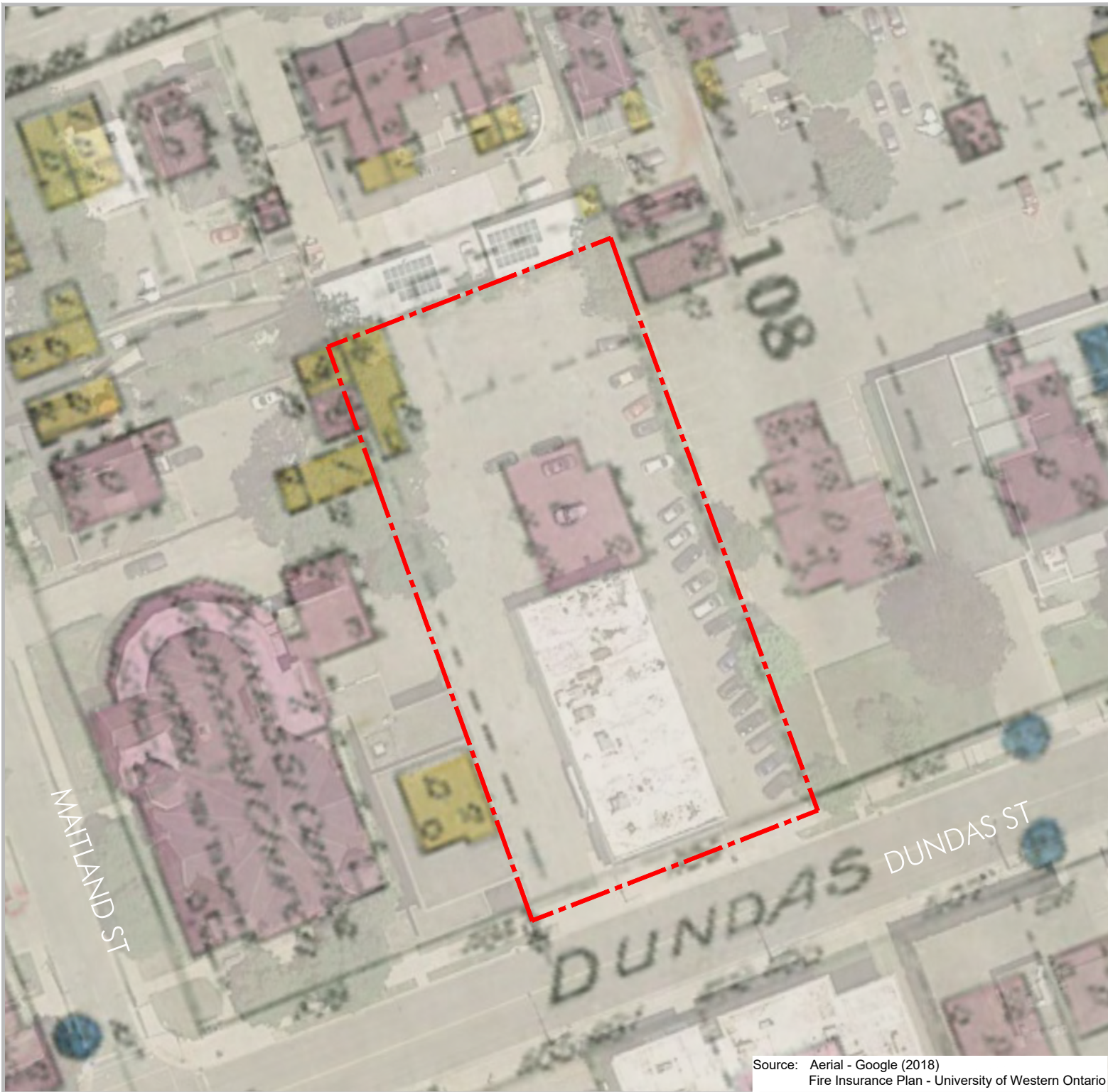
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Source: Aerial - Google (2018)
 Fire Insurance Plan - University of Western Ontario

Figure
**Fire Insurance Plan
 1912-1922**
 (City of London)

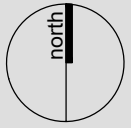
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SCALE: NTS

FILE: Y509 AW

DRAWN: CAC



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496 Dundas St
 City of London

MHBC PLANNING
 URBAN DESIGN
 & LANDSCAPE
 ARCHITECTURE
 200-540 BINGEMAN'S CENTRE DR, KITCHENER, ON, N2B 3X9
 P: 519.576.3650 F: 519.576.0121 | WWW.MHBCPLAN.COM

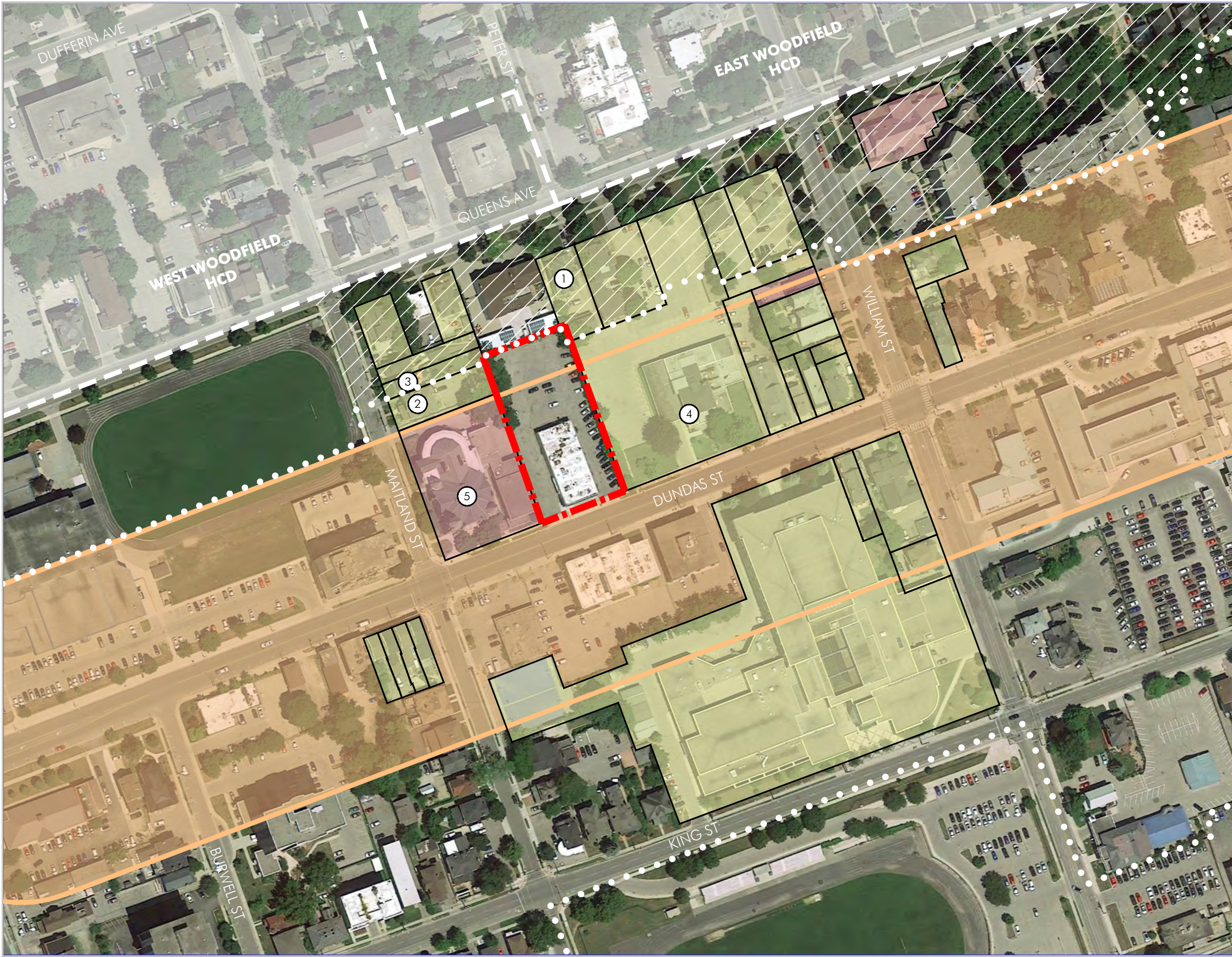




Figure
Heritage Map

496 Dundas St
City of London

LEGEND

-  Subject Lands
-  Heritage Conservation District
-  Old East Village Dundas Street Corridor Secondary Plan
-  Area of Special Sensitivity
-  Dundas-Midtown Area
(Dundas Street Old East Village Core)

Heritage Properties

-  Listed
-  Designated

Adjacent Cultural Heritage Resources

	Address	Heritage Status
1	507 Queens Ave	Listed; March 26, 2007
2	434 Maitland St	Listed; March 26, 2019
3	438 Maitland St	Listed; March 26, 2019
4	520-526 Dundas St	Listed; March 26, 2007
5	482-484 Dundas St	Designated Part IV; By-law L.Sp.-2855-378, L.S.P.-2855(a)-175, September 3, 1985 amended 1991

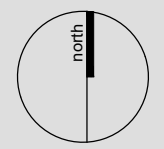
Source: Aerial - Google (2018)

DATE November 2020

SCALE NTS

DRN CAC

FILE 14212C




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Source: Aerial - Google (2018)
 Site Plan - Zedd Architecture (2019)

Figure
 Parking Site Plan

LEGEND
 Subject Lands

DATE: October 2020

SCALE: NTS

FILE: Y509 AW

DRAWN: CAC



K:\14212C-496 Dundas St-London\Rpt\ParkingPlan.dwg

496 Dundas St
 City of London




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Source: Aerial - Google (2018)
 Site Plan - Zedd Architecture (2019)

Figure
**Ground Floor
 Site Plan**

LEGEND
 Subject Lands

DATE: November 2020

SCALE: NTS

FILE: Y509 AW

DRAWN: CAC

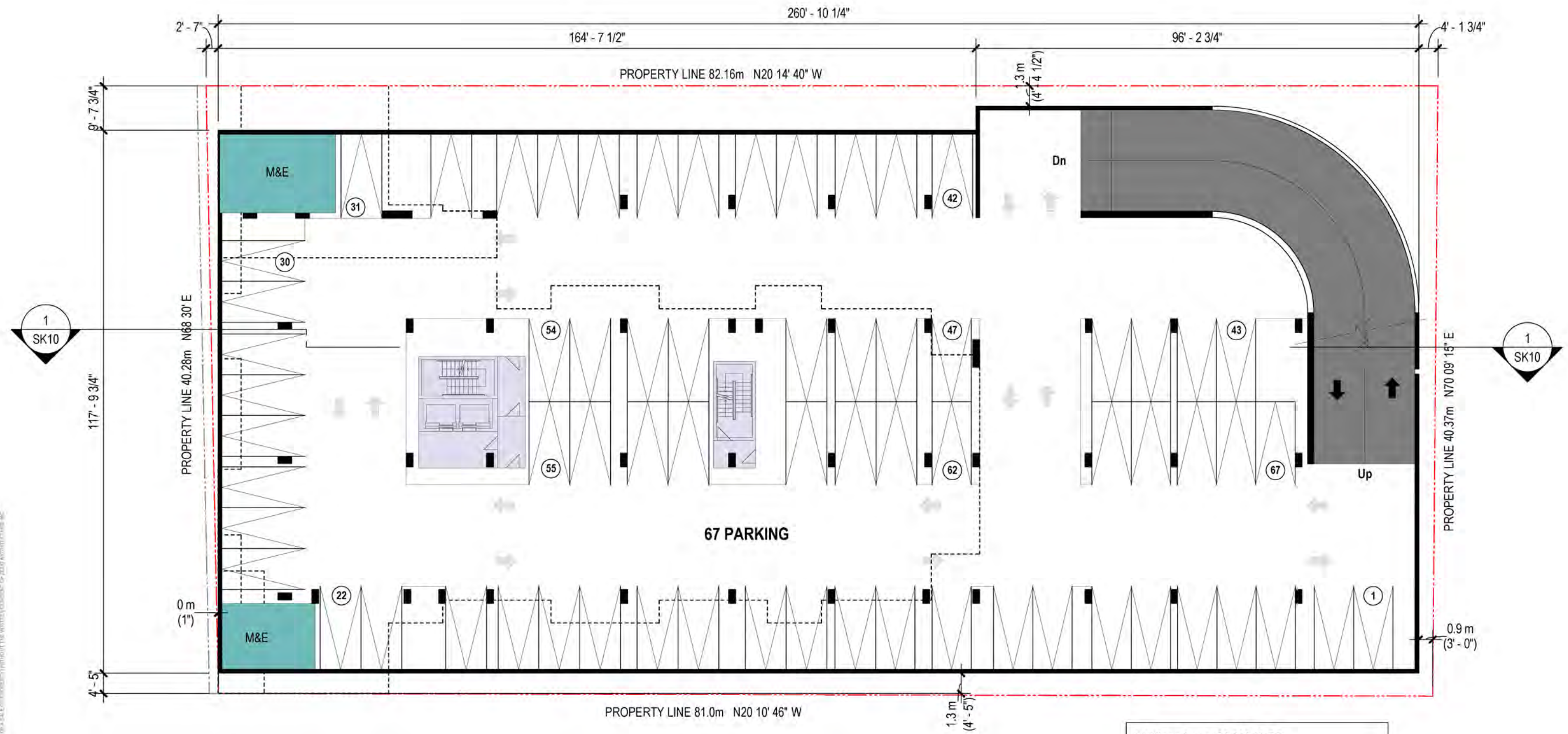


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496 Dundas St
 City of London

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APPENDIX **B** – SITE PLAN



P1 Floor Area = 30,800.00 SF
 P2 Floor Area = 30,800.00 SF
 P1 & P2 Total Floor Area = 61,600.00 SF
 Number of Parking = 67 Cars in P1 & 69 in P2
 Total Number of parking in P1&P2 = 136 Cars



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 www.zeddarchitecture.com info@zeddarchitecture.com

Scale: 3/64" = 1'-0"

19-019 Dundas Apartments

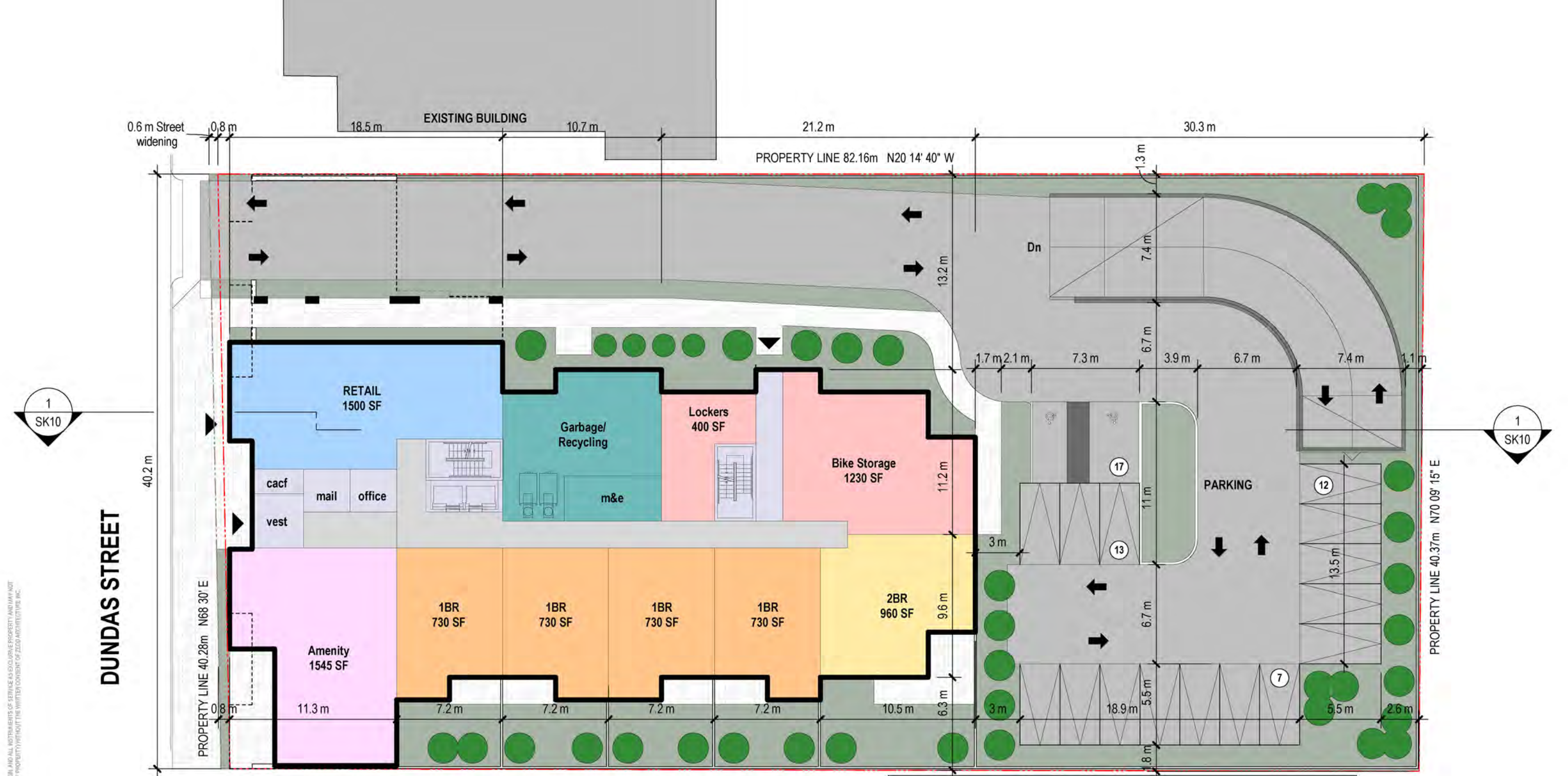
496 Dundas Street, London Ontario

P1 & P2

2020-07-09

SK02

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2 Level Underground Parking = 136 Cars
 On Grade Parking = 17 Cars
 Total # of Cars = 153
 Required : 3 Cars For Retail (1per45m2)
 Required Residential Parking = (172x1.0)=172
 16 Storey Building - 172 Units 1(3BR) , 50(2BR) & 121(1BR)
 [5 Units on First Floor, 15 Units per Floor (2nd & 3rd), 12 Units per Floor(4th to 11th), 10 Units per Floor (12th to 14th), 8 Units on 15th Floor, 3 Units on 16th Floor.]
 Level 1 Floor Area = 11,693.00 SF
 Total Floor Area (1st to 16th) = 161,851.00 SF

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Scale : 3/64" = 1'-0"

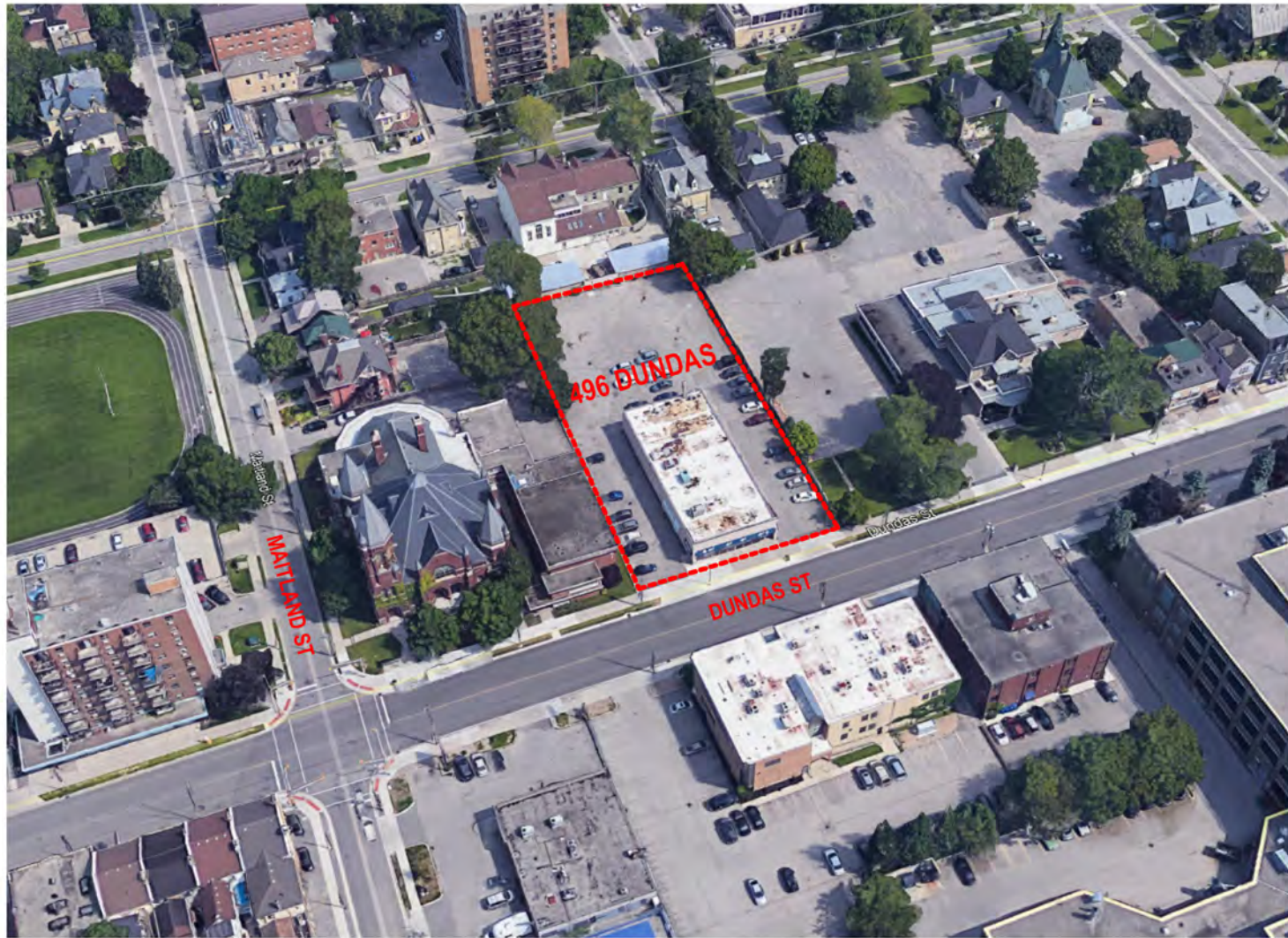
APPENDIX **C** – URBAN DESIGN BRIEF

Dundas Apartments

496 Dundas Street, London Ontario

19-019

2020.08.17



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ARCHITECTURE | DESIGN | PLANNING

zedd architecture inc Z-627 maitland street london ontario N5Y 2V7 519 518 9333 www.zeddarchitecture.com info@zeddarchitecture.com

Site Development Statistics

496 DUNDAS STREET, LONDON ONTARIO

Item	Existing Requirements	Proposed/Provided
ZONE - PROPOSED BLDG. PERMITTED USES		MIXED USE MULTI UNIT RESIDENTIAL
ZONE - EXISTING BLDG. PERMITTED USES		NO CHANGE
LOT AREA (MINIMUM)		35,370 sq ft (3,286 sqm - 0.32 ha)
LOT COVERAGE (MAX. FOR ALL MAIN & ACCESSORY BUILDINGS)		37.7%
LOT FRONTAGE (MINIMUM)		40.2m
LOT DEPTH (MINIMUM)		82.2m
FRONT YARD DEPTH (MINIMUM)		0m
INTERIOR SIDE YARD WIDTH EAST (MINIMUM)		0m
INTERIOR SIDE YARD WIDTH WEST (MINIMUM)		0m
REAR YARD DEPTH (MINIMUM)		30.3m
DENSITY		172 UNITS 538 upha
LANDSCAPED OPEN SPACE (MINIMUM)		24.9%
HEIGHT (MAXIMUM)		55.7m
PARKING	residential: 1.0 spaces per 1 units = 172 commercial: 1 space per 45 sqm = 3	150 RESIDENTIAL SPACES 3 COMMERCIAL SPACES



Scale : 1/2" = 1'-0"

19-019 Dundas Apartments

496 Dundas Street, London Ontario

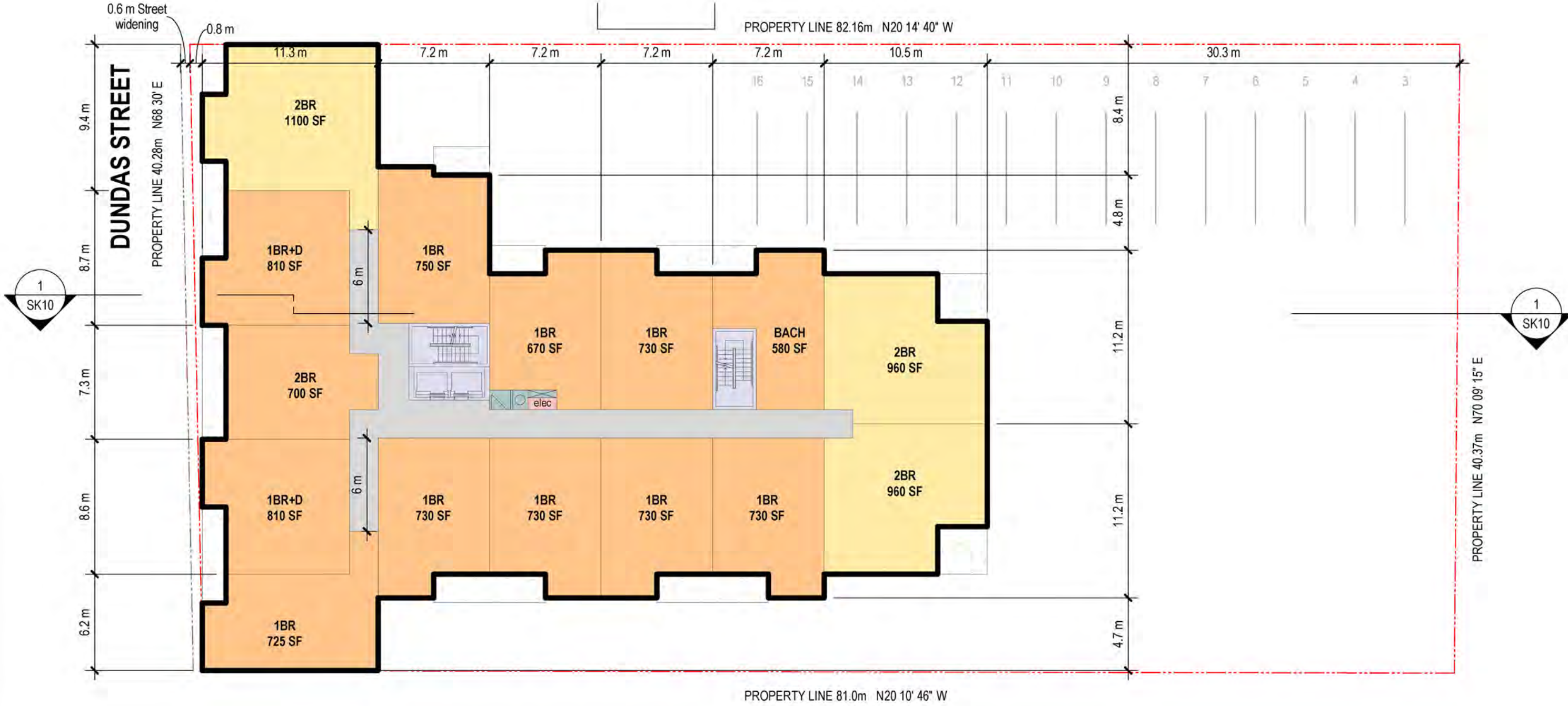
Isometric

07/13/20

SK01

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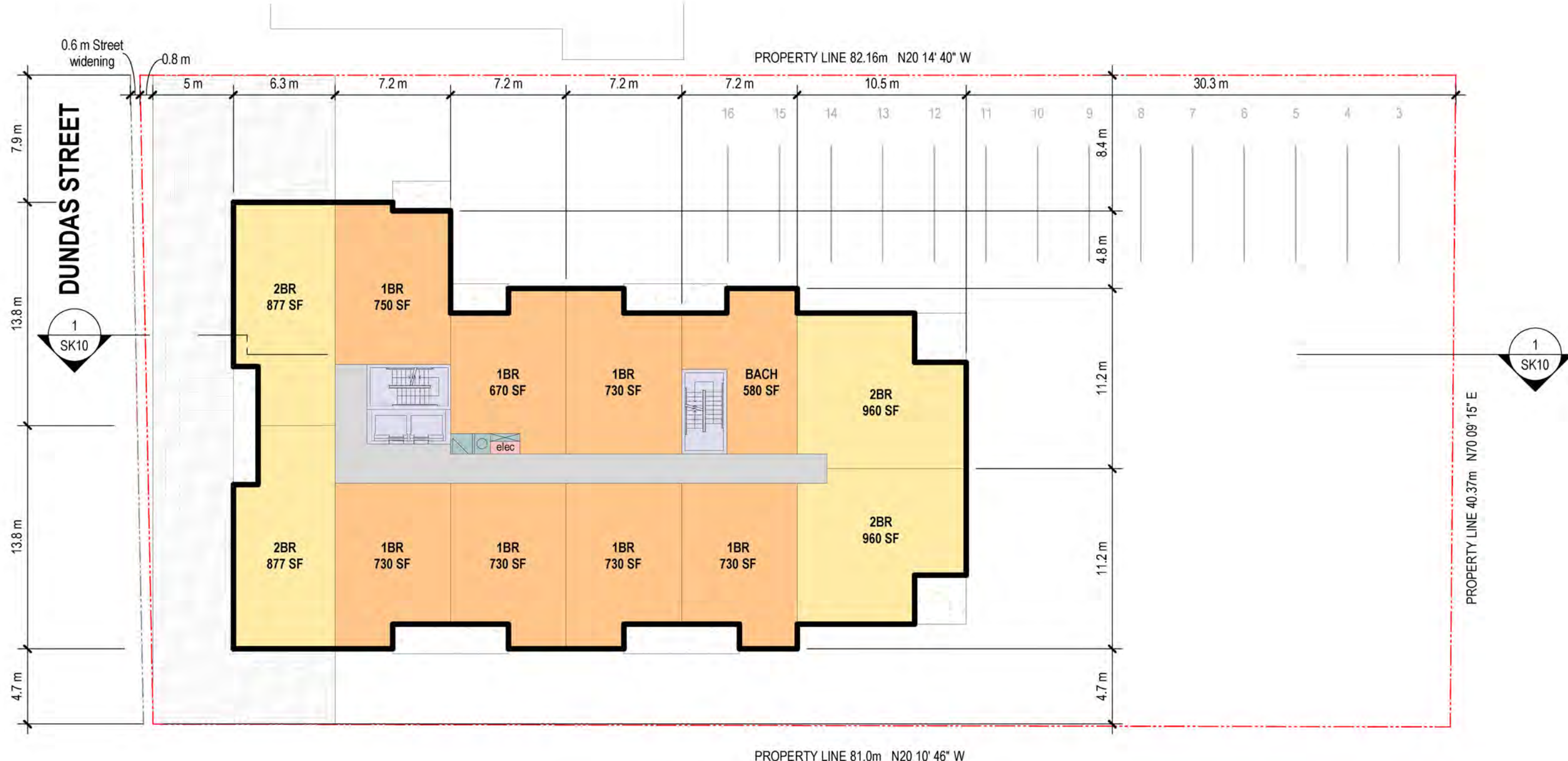


15 UNITS
13,350.00 SF (Each Floor)

ZEDD ARCHITECTURE INC. IS THE DESIGNER OF THIS DRAWING. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE DESIGN AND ALL INFORMATION IS AS SHOWN AS EXCEPT WHERE SHOWN OTHERWISE. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE DESIGN AND ALL INFORMATION IS AS SHOWN AS EXCEPT WHERE SHOWN OTHERWISE. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE DESIGN AND ALL INFORMATION IS AS SHOWN AS EXCEPT WHERE SHOWN OTHERWISE.

Scale : 3/64" = 1'-0"





12 UNITS
10,595.00 SF (Each Floor)



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Scale : 3/64" = 1'-0"

19-019 Dundas Apartments

496 Dundas Street, London Ontario

LEVEL 4

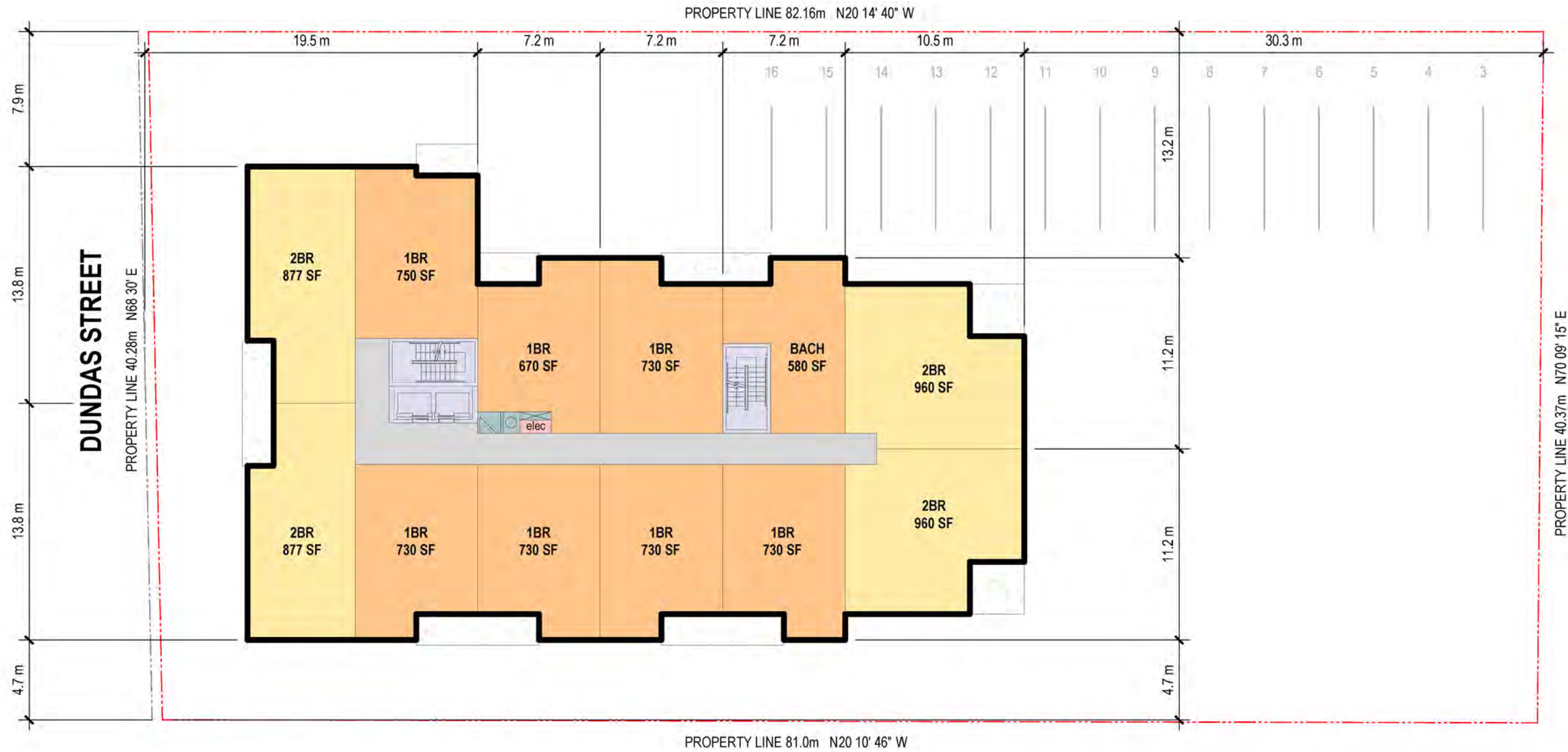
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File: Z:\Projects\2019-019-496 Dundas St-4th Floor (Residential) Drawings\19-019-496 Level 4-4th Floor (Residential).dwg

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12 UNITS
10,595.00 SF (Each Floor)

Scale : 3/64" = 1'-0"

19-019 Dundas Apartments

496 Dundas Street, London Ontario

LEVEL 5-11

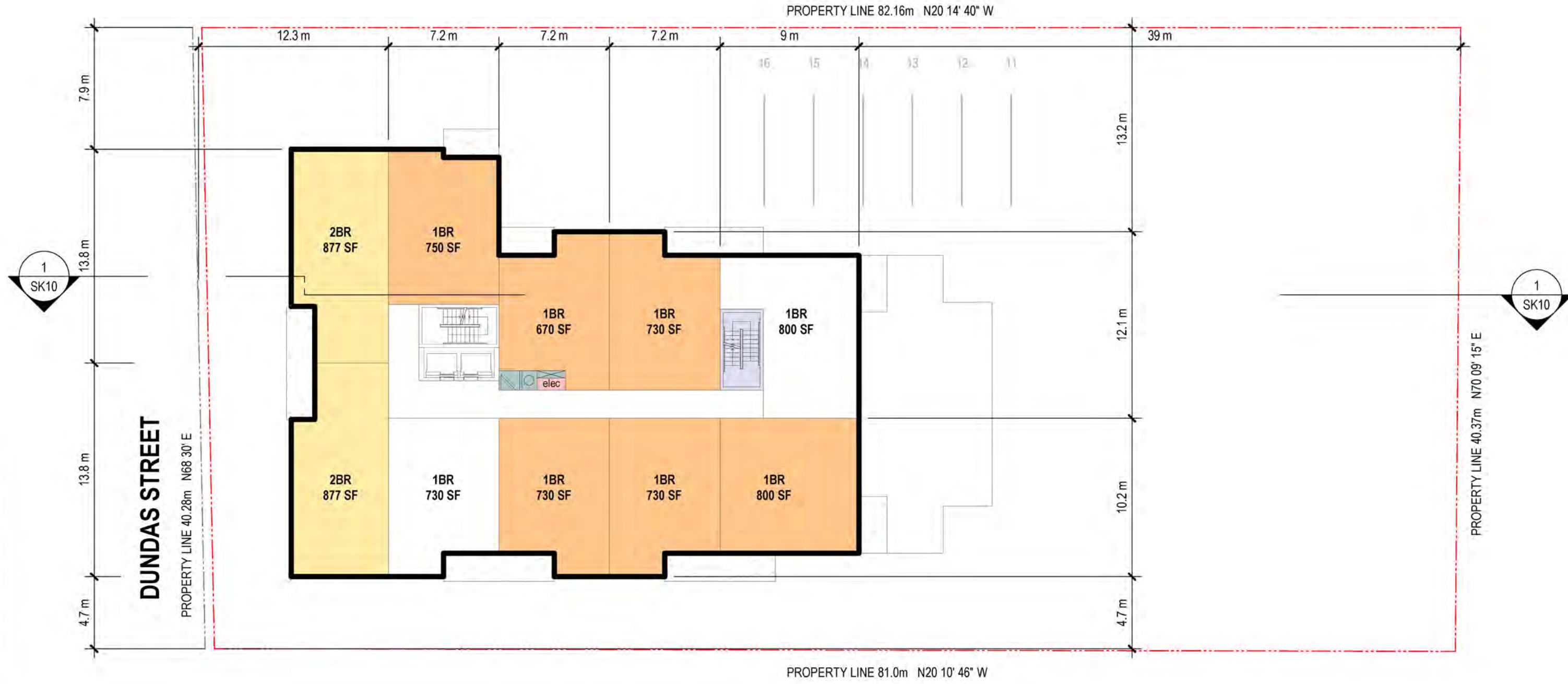
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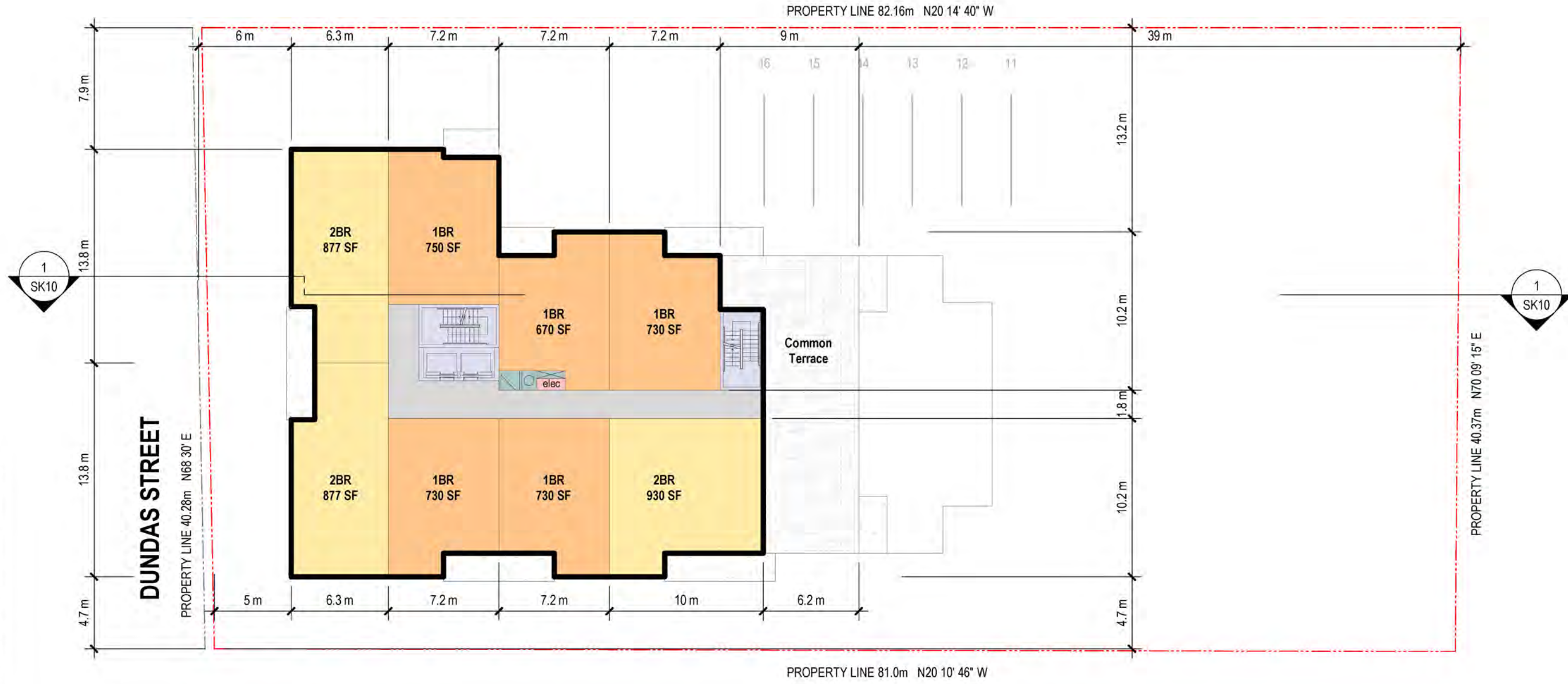


10 UNITS
8,880.00 SF (Each Floor)

Scale : 3/64" = 1'-0"



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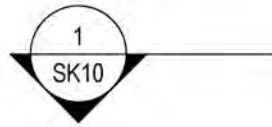
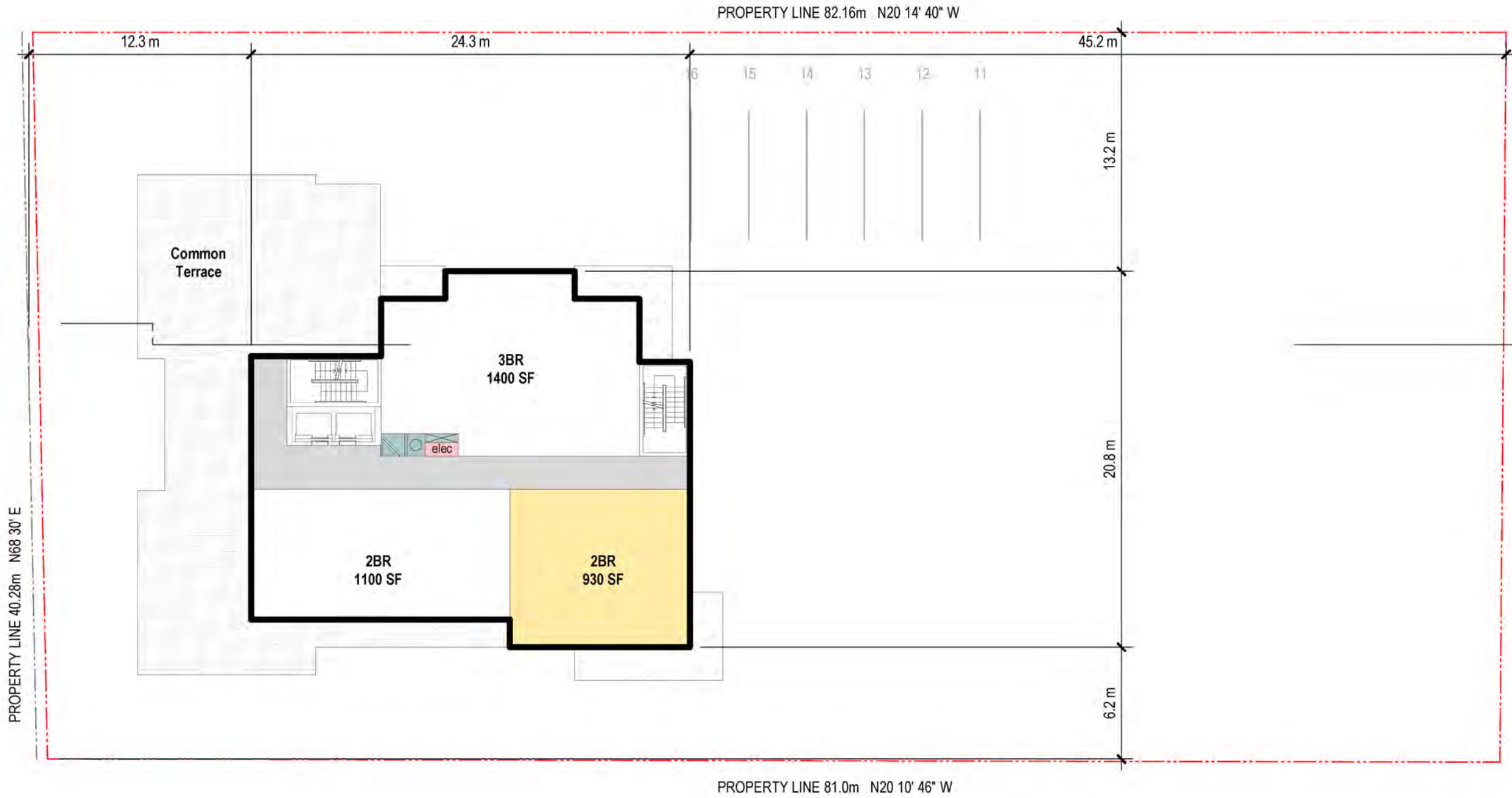


8 UNITS
7,488.00 SF (Each Floor)

Scale : 3/64" = 1'-0"



DUNDAS STREET



3 UNITS
4,570.00 SF

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Scale : 3/64" = 1'-0"

19-019 Dundas Apartments

496 Dundas Street, London Ontario

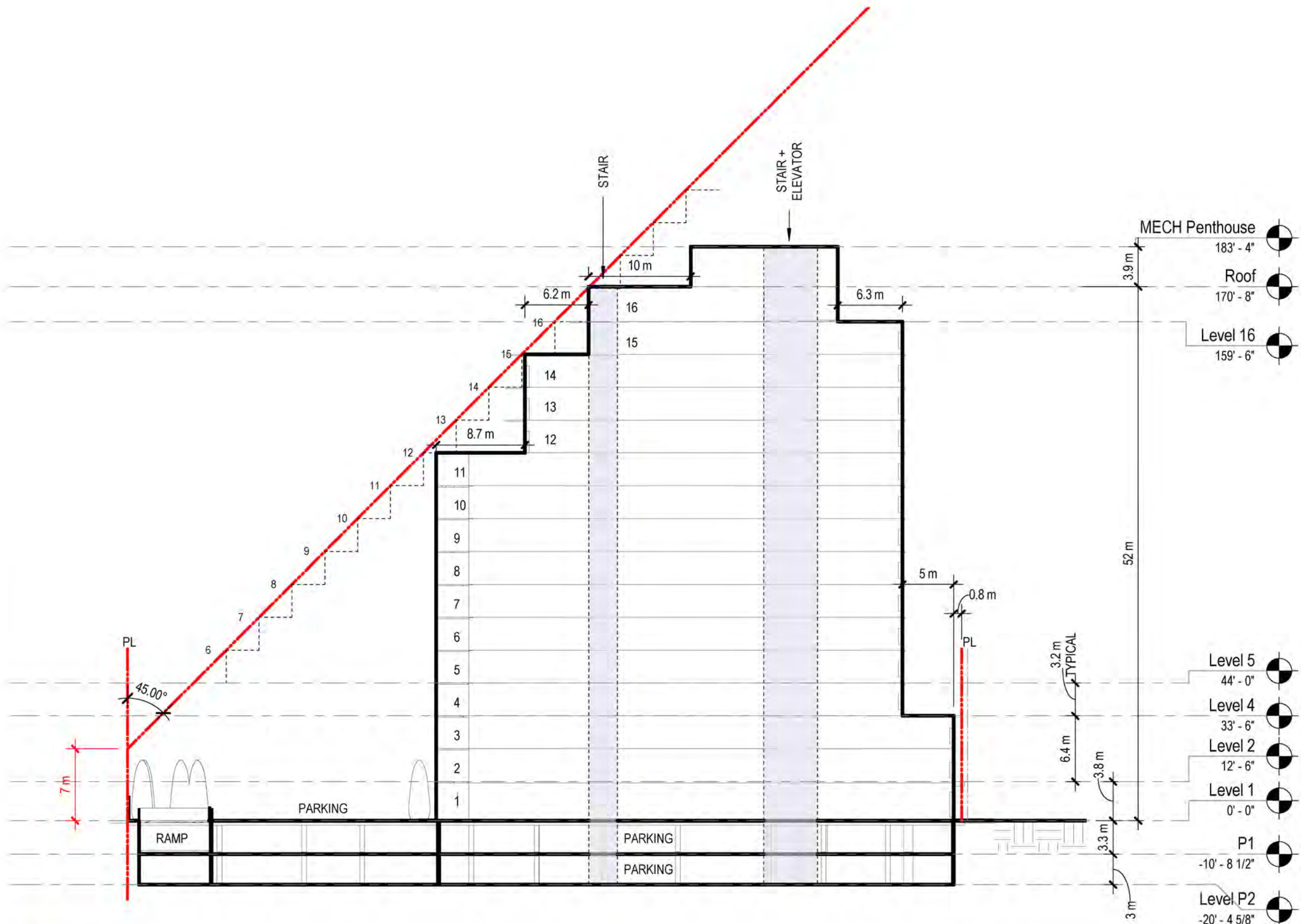
LEVEL 16

2020-07-09 SK09



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Scale : 1/32" = 1'-0"

19-019

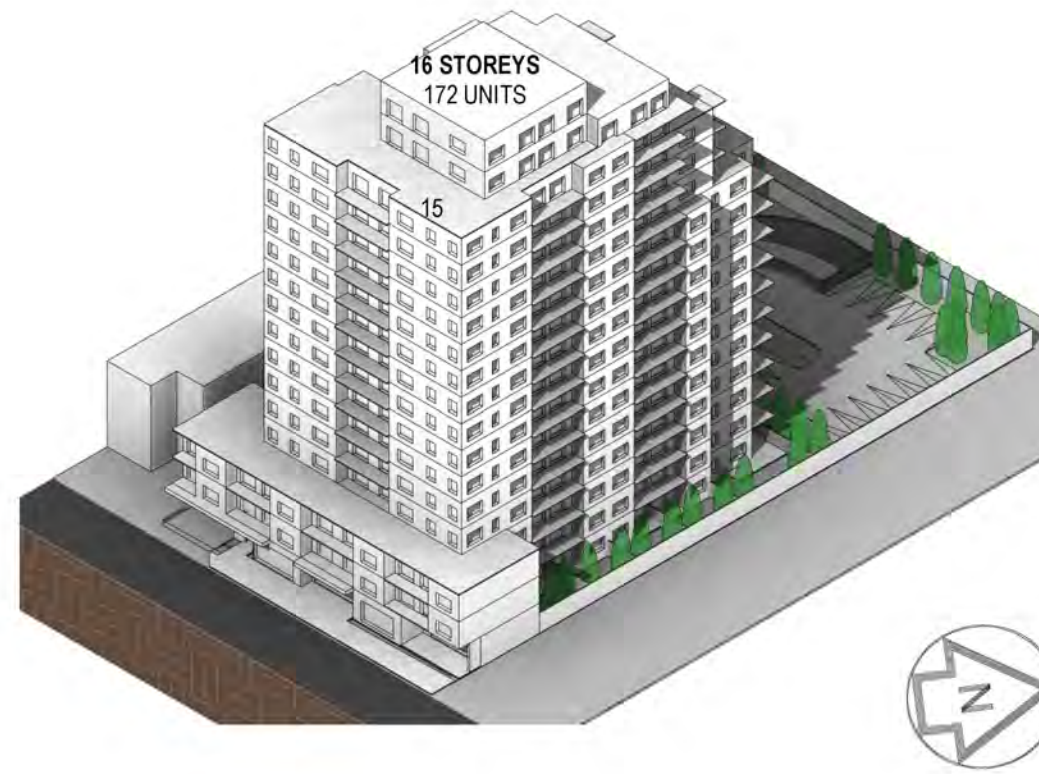
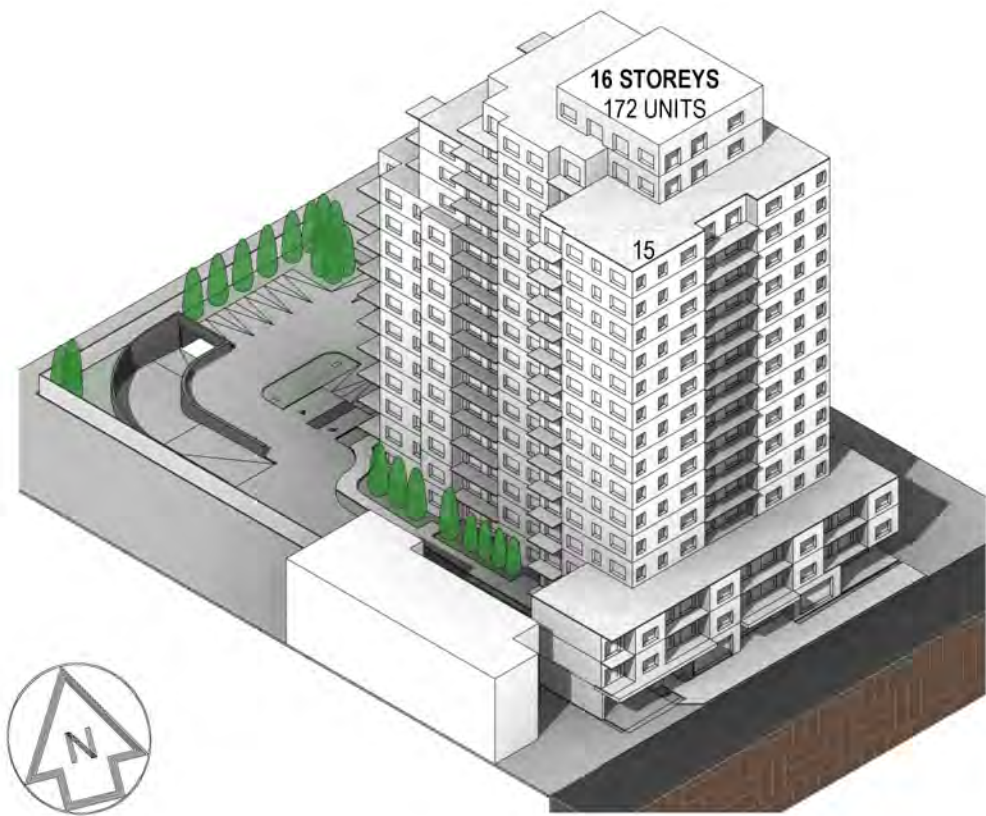
Dundas Apartments

496 Dundas Street, London Ontario

Section A-A

2020-07-09 SK10





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Scale :

19-019 Dundas Apartments

496 Dundas Street, London Ontario

Isometric Views

2020-07-09

SK11

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APPENDIX **D** – SHADOW STUDY

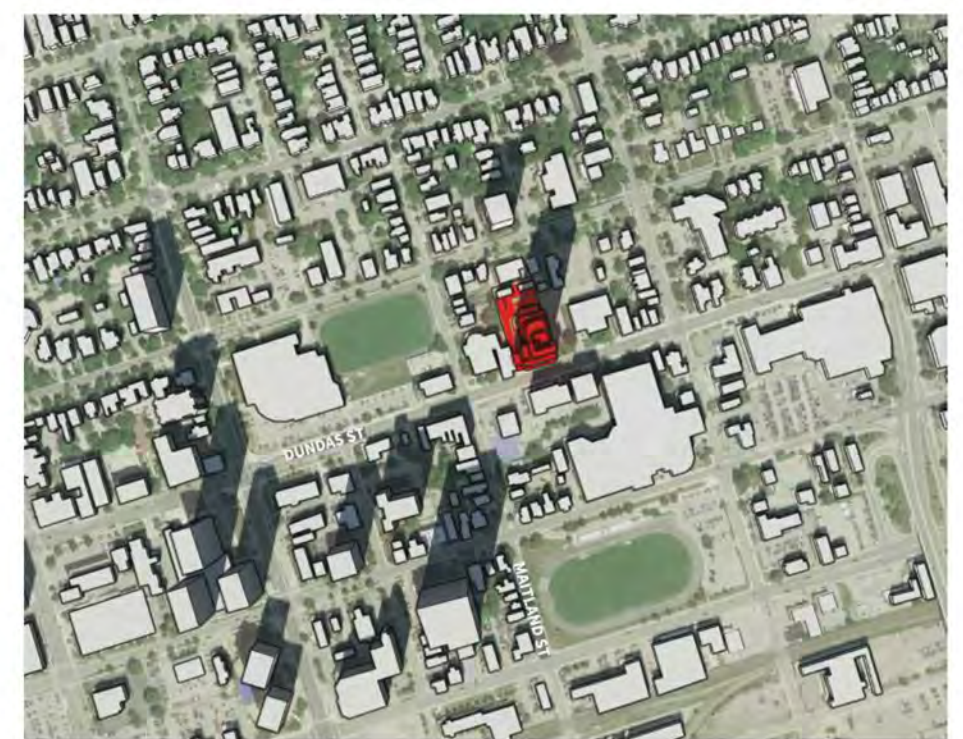
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DECEMBER 21 300 PM



DECEMBER 21 900 AM



DECEMBER 21 1200 PM

Scale :

19-019

Dundas Apartments

496 Dundas Street, London Ontario

SHADOW STUDY - DECEMBER

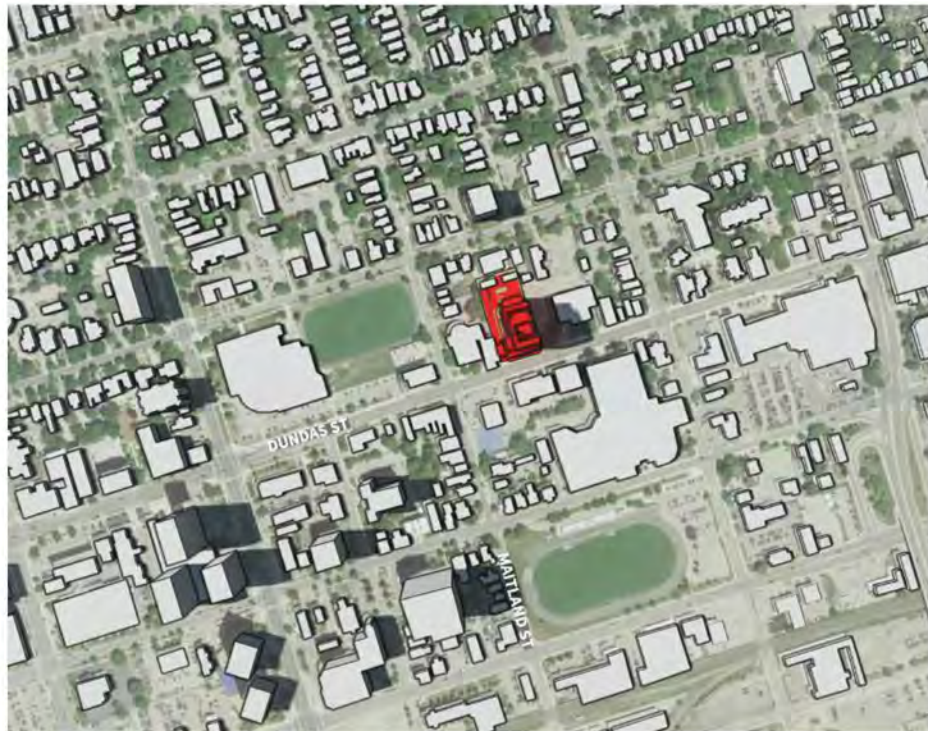
11/03/20

SK-30

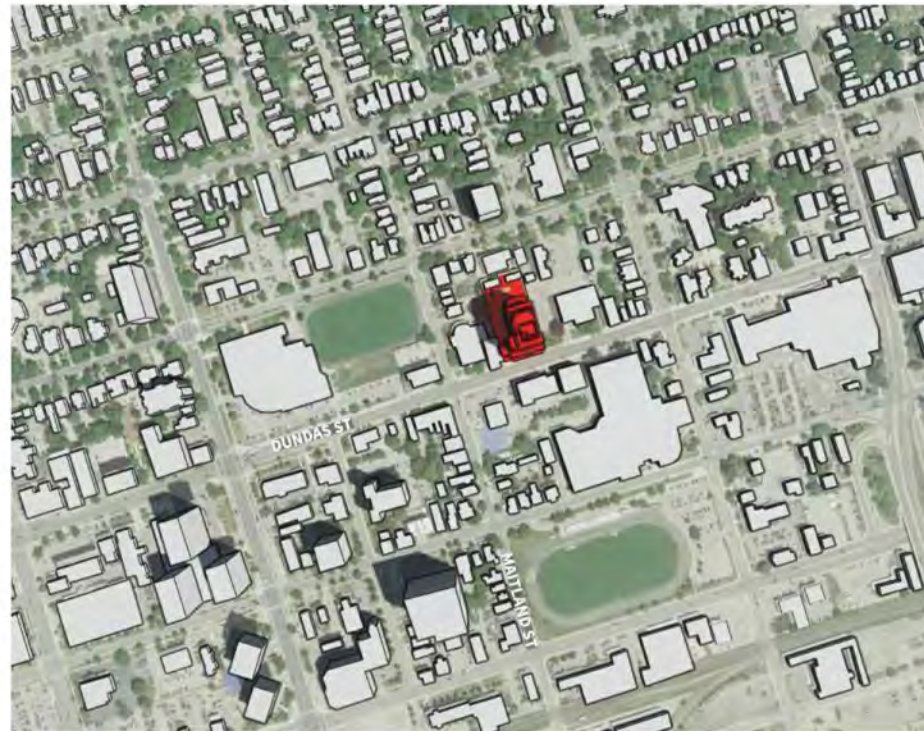
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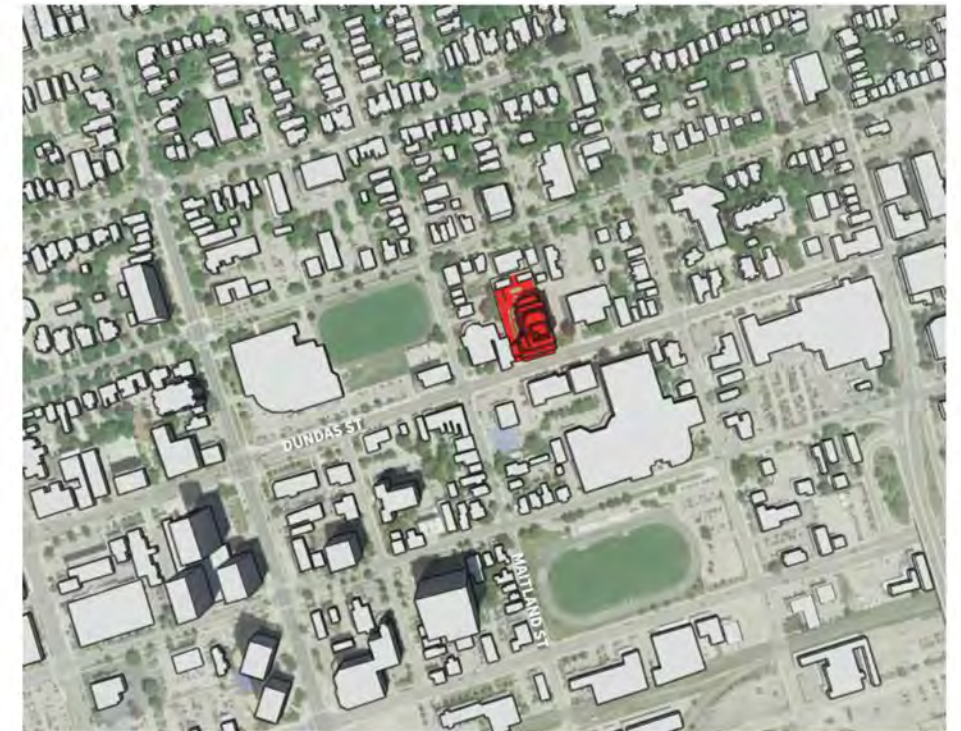
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JUNE 21 300 PM



JUNE 21 900 AM



JUNE 21 1200 PM

Scale :

19-019

Dundas Apartments

496 Dundas Street, London Ontario

SHADOW STUDY - JUNE

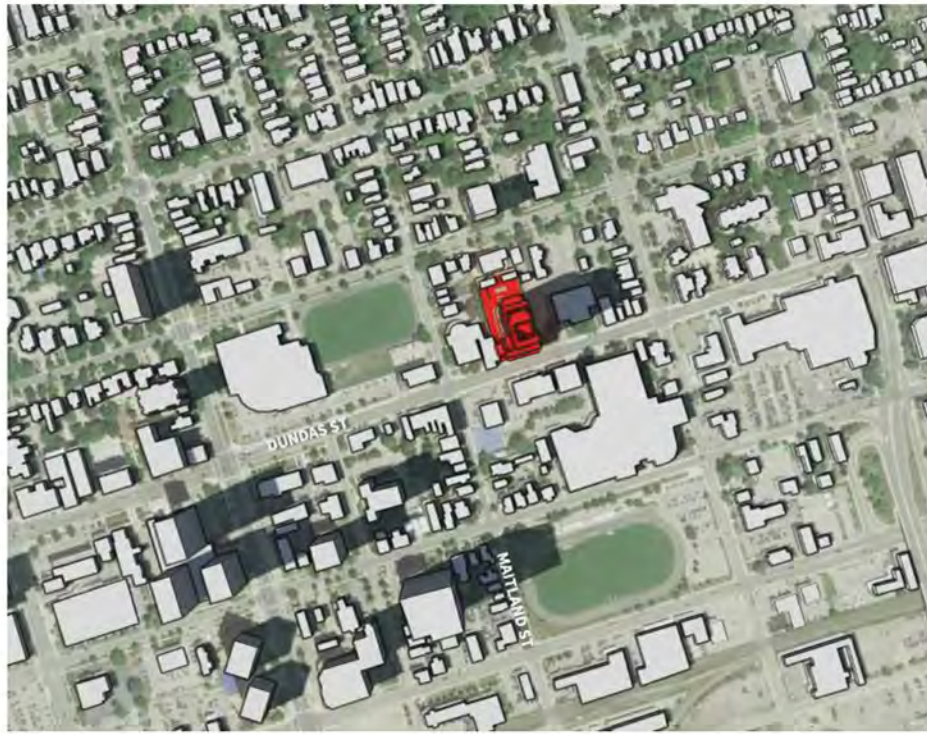
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SK-31

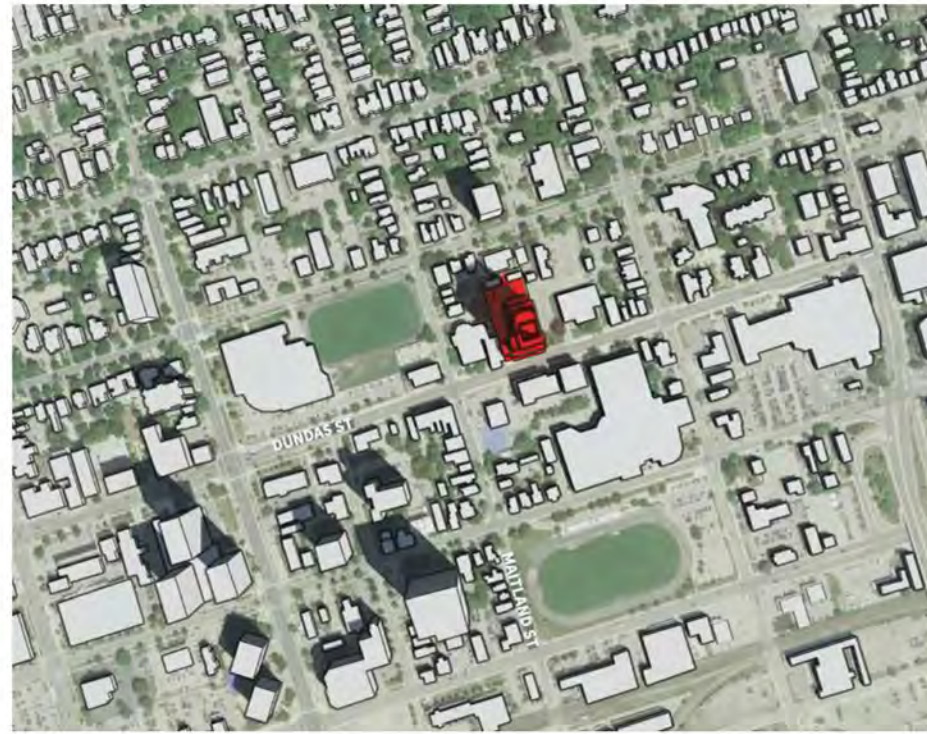
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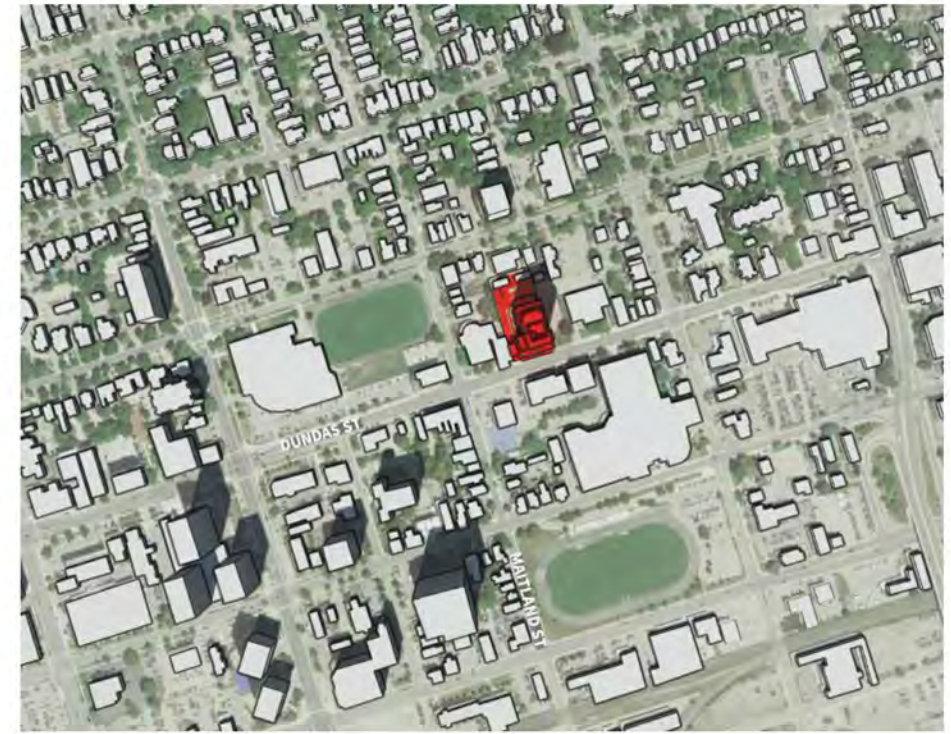
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MARCH 21 300 PM



MARCH 21 900 AM



MARCH 21 1200 PM

Scale :

19-019

Dundas Apartments

496 Dundas Street, London Ontario

SHADOW STUDY - MARCH

11/03/20

SK-32

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APPENDIX **E**– DESIGNATION BY-LAW AND AMENDMENT

By-law No. L.S.P.-2855-378

A by-law to designate 482 Dundas Street
of architectural value.

WHEREAS pursuant to The Ontario Heritage Act, R.S.O. 1980, c. 337 the Council of a municipality may by by-law designate a property including buildings and structures thereon to be of historic or architectural value or interest;

AND WHEREAS notice of intention to so designate the property at 482 Dundas Street having been duly published and served, no notice of objection was received to such designation;

BE IT THEREFORE ENACTED by the Municipal Council of The Corporation of the City of London, as follows:

1. There is designated as being of architectural value or interest the interior portion of the Dundas Street Centre Church, known municipally as 482 Dundas Street, which church is situate on the real property more particularly described in Schedule "A" hereto, known as the Dundas Street Centre at 482 Dundas Street, for the reasons set out in Schedule "B" hereto.
2. The City Clerk is authorized to cause a copy of this by-law to be registered upon the title to the property described in Schedule "A" hereto in the proper Land Registry Office.
3. The City Clerk is authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in the London Free Press, and to enter the description fo the aforesaid property, the name and address of its registered owner, and short reasons for its designation in the Register of all properties designated under The Ontario Heritage Act, R.S.O. 1980.
4. This by-law comes into force on the day it is passed.

PASSED in Open Council on September 3, 1985.



M. A. Gleeson
Mayor



P. C. McNorgan
City Clerk

First reading - September 3, 1985
Second reading - September 3, 1985
Third reading - September 3, 1985

SCHEDULE "A"

to By-law No. L.S.P.- 2855-378

All of Lots 4, 5, 6, 7 and 8, Registered Plan 66(e) in the City of London in the County of Middlesex and Province of Ontario, being the lands described in Instruments 5298 (1868), 6469 (1870), and 21821 (1883).

SCHEDULE "B"

to By-law No. L.S.P.- 2855-378

Architectural Reasons (Interior Only)

Built in 1895, Dundas Street Centre United Church was designed in the then prevalent Romanesque Revival Style of architecture. The interior sanctuary is among the most remarkable and well preserved in London. The arrangement remains in conformity with the Methodist tradition as established in the mid to late 19th century: a centrally-placed choir above a pulpit platform with an ornamental organ case behind. Structurally, the organization of interior spacing is ideally suited for its religious function, for it presents the worshipper with an uninterrupted sightline to the pulpit from any place in the sanctuary. The delicately curving, cantilevered balcony, which sweeps gracefully around three sides of the auditorium, is decorated with an ornate cast iron railing. Byzantine decorative details in plaster adorn the capitols and panels of the pilasters and the cornice moulding that encircles the interior. Beautiful stained glass windows, original to the church, project streams of coloured light into the interior. The decorative plaster ceiling, supported by Armenian arches, is crowned in a culminating touch of splendor by a magnificent stained glass lantern.

889414

CERTIFICATE OF REGISTRATION

24 MAY 91 11 24

MIDDLESEX DISTRICT
REG. OFF.
LONDON
[Signature]
LAND REGISTRAR

(1) Registry Land Titles (2) Page 1 of 3 pages

(3) Property Identifier(s) Block Property Additional: See Schedule

(4) Nature of Document
By-law No. L.S.P.-2855(a)-175

(5) Consideration
Dollars \$

(6) Description
All of Lots 4, 5, 6, 7 and 8, Registered Plan 66(e) in the City of London in the County of Middlesex and Province of Ontario, being the lands described in Instruments 5298 (1868), 6469(1870) and 21821 (1883).

New Property Identifiers Additional: See Schedule

Executions Additional: See Schedule

(7) This Document Contains: (a) Redescription New Easement Plan/Sketch (b) Schedule for: Description Additional Parties Other

(8) This Document provides as follows:

A copy of the By-law is attached.

Continued on Schedule

(9) This Document relates to instrument number(s)
5298, 6469 and 21821

(10) Party(ies) (Set out Status or Interest)
Name(s) Signature(s) Date of Signature
THE CORPORATION OF THE CITY OF LONDON
Applicant *[Signature]* 1991 05 23
R. J. Tolmie
Assistant City Clerk
I have the authority to bind the Corporation.

(11) Address for Service
P.O. Box 5035, London, Ontario, N6A 4L9

(12) Party(ies) (Set out Status or Interest)
Name(s) Signature(s) Date of Signature
Y M D

(13) Address for Service

(14) Municipal Address of Property
482 Dundas Street

(15) Document Prepared by:
City Clerk's Office
P.O. Box 5035
LONDON, Ontario
N6A 4L9

Fees and Tax	
Registration Fee	
Total	

By-law No. L.S.P.-2855(a)-175

A by-law to amend By-law No. L.S.P.-2855-378 entitled "A by-law to designate 482 Dundas Street of architectural value."

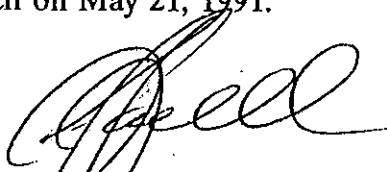
WHEREAS pursuant to The Ontario Heritage Act, R.S.O. 1980, c. 337, the Council of a municipality may by by-law designate a property including buildings and structures thereon to be of historic or architectural value or interest;

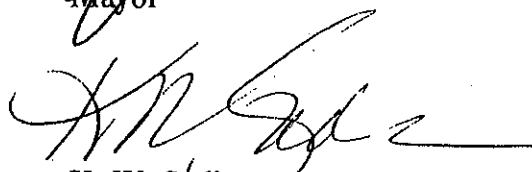
AND WHEREAS notice of intention to so designate the property known as 482 Dundas Street having been duly published and served and no notice of objection to such designation has been received;

The Municipal Council of The Corporation of the City of London enacts as follows:

1. There is designated as being of architectural value or interest, the narthex in the interior and the exterior of the Dundas Street Centre United Church, known municipally as 482 Dundas Street, which church is situate on the real property more particularly described in Schedule "A" hereto, for the reasons set out in Schedule "B" hereto.
2. The City Clerk is authorized to cause a copy of this by-law to be registered upon the title to the property described in Schedule "A" hereto in the proper Land Registry Office.
3. The City Clerk is authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in the London Free Press, and to enter the description of the aforesaid property, the name and address of its registered owner, and short reasons for its designation in the Register of all properties designated under The Ontario Heritage Act, R.S.O. 1980.
4. This by-law comes into force on the day it is passed.

PASSED in Open Council on May 21, 1991.


T. C. Gosnell
Mayor


K. W. Sadler
City Clerk

First reading - May 21, 1991
Second reading - May 21, 1991
Third reading - May 21, 1991

SCHEDULE "A"

To By-law No. L.S.P.-2855(a)-175

All of Lots 4, 5, 6, 7 and 8, Registered Plan 66(e) in the City of London in the County of Middlesex and Province of Ontario, being the lands described in Instruments 5298 (1868), 6469 (1870), and 21821 (1883).

SCHEDULE "B"

To By-law No. L.S.P.-2855(a)-175

Architectural Reasons:

Exterior

The red brick exterior of Dundas Centre is in the Romanesque Revival style, with a corner tower church plan, a restrained façade, complex massing and a strong impression of solidity providing the architectural statement. The church possesses typical Romanesque features such as the main tower, rounded arches, many narrow arched openings and niches and an arcaded portico (narthex). The main mass of the building is punctuated by three towers, many smaller turrets, and gable ends. The red sandstone foundation, decorative brick coursing and bands of yellow sandstone break up the building mass. The original slate remains on much of the roof, but the ornamental work at the tops of the towers and the tower roofs have recently been covered with metal. Other features of note include projecting gutterspouts on the main tower, several prominent chimneys, and four lanterns over the front doors.

Interior

The narthex provides a splendid entry point to the sanctuary with its stained glass and woodwork. It is divided into three sections by two sets of stained glass doors. The four exterior double doors also have beautiful glass, with particular reference to the painted glass transoms with the emblems of Sts. Luke and Mark. At either end of the narthex are curved staircases. A great deal of detailed woodwork can be seen in the staircase, wainscotting, ceiling and on the newel posts. Each staircase is identified by a granite column with Romanesque detailing on the sandstone capital and along a ceiling beam.

APPENDIX **F** – PHOTOGRAPHS FROM SITE VISIT (OCTOBER 22, 2020)

434 Maitland Street



(Above left) Front elevation of house; (above right) North elevation of house; (below left) south elevation of house; (below right) Rear elevation of house (Source: MHBC, 2020).

438 Maitland Street



(Above) Front elevation of house; (below left) North elevation of the house; (below right) South elevation of house (Source: MHBC, 2020).

520-526 Dundas Street



(Above left) Front elevation of building; (above right) West elevation of building; (middle left) West and north (rear) elevation of building; (middle right) Rear elevation of building; (below left) Rear elevation of the building; (below right) East elevation of building (Source: MHBC, 2020).

507 Queen Avenue

House



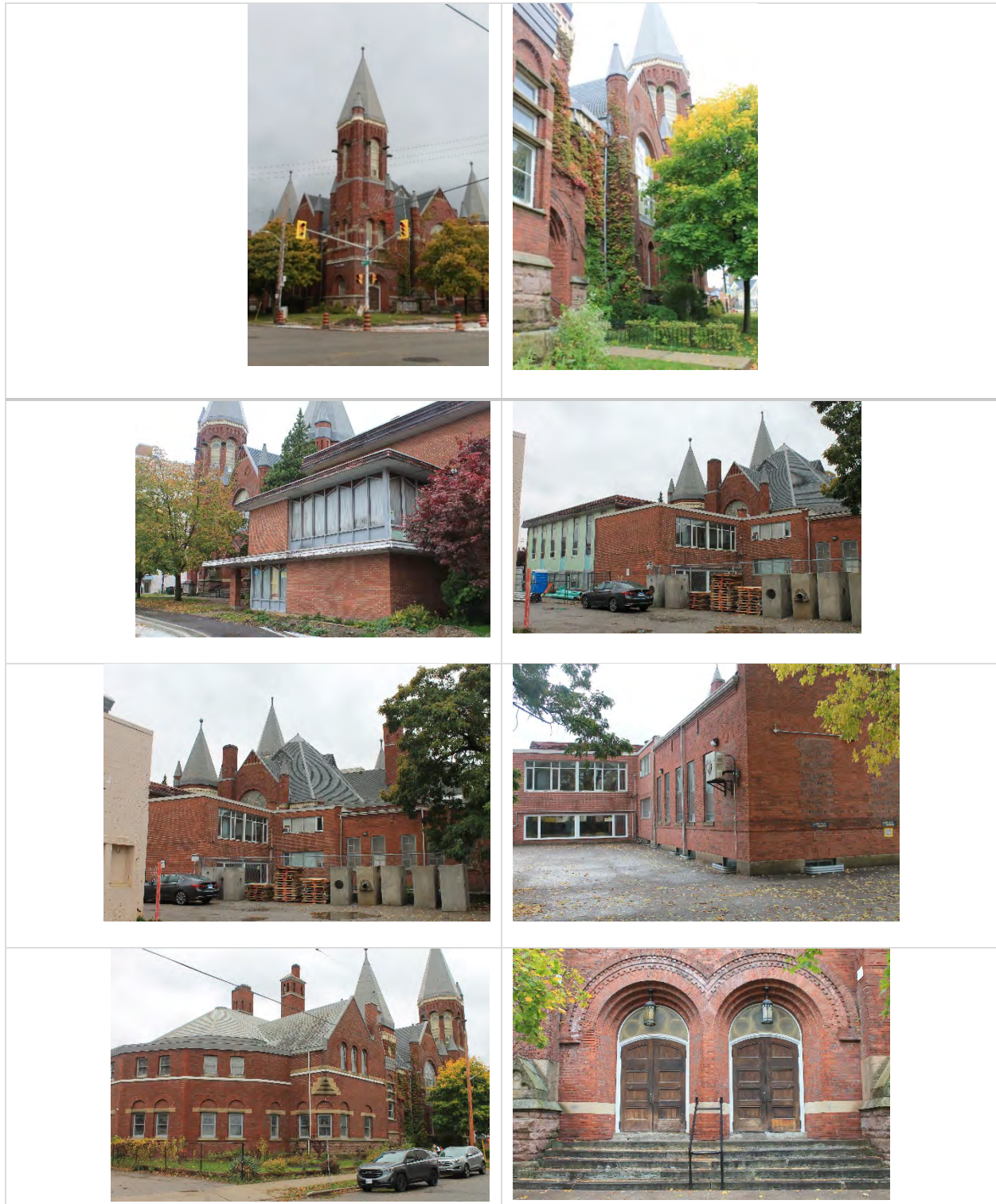
(Above left) View of front elevation of house; (above right) View of front (north) and east elevation looking south east; (below left) View of east elevation; (below right) View of rear dormers along south elevation (Source: MHBC, 2020).

Coach House/Stable



(Above left) View of west elevation of coach house from subject property; (above right) View from Dundas Street of south elevation of the coach house covered with vegetation (below) Partial view of south elevation of coach house from Queen Avenue (Source: MHBC, 2020).

482-484 Dundas Street



(Above left) View of church at intersection of Dundas and Maitland Street; (above right) View of portion of south elevation where main entry is located; (Upper middle left) View of eastern addition along Dundas Street; (upper middle right) View of rear addition and portion of original wing of church; (lower middle left) View of church looking south west at original wing and later addition; (below middle right) View of portion of original wing and later addition; (below left) View of rear of church looking south east from Maitland Street; (below right) View of main entry on south elevation (Source: MHBC, 2020).

APPENDIX **G**– CURRICULUM VITAE



CURRICULUM VITAE

Dan Currie, MA, MCIP, RPP, CAHP

Dan Currie, a Partner and Managing Director of MHBC's Cultural Heritage Division, joined MHBC Planning in 2009, after having worked in various positions in the public sector since 1997 including the Director of Policy Planning for the City of Cambridge and Senior Policy Planner for the City of Waterloo.

Dan provides a variety of planning services for public and private sector clients including a wide range of cultural heritage policy and planning work including strategic planning, heritage policy, heritage conservation district studies and plans, heritage master plans, heritage impact assessments and cultural heritage landscape studies.

EDUCATION

2006

Masters of Arts (Planning)
University of Waterloo

1998

Bachelor of Environmental Studies
University of Waterloo

1998

Bachelor of Arts (Art History)
University of Saskatchewan

PROFESSIONAL ASSOCIATIONS

Full Member, Canadian Institute of Planners

Full Member, Ontario Professional Planners Institute

Professional Member, Canadian Association of Heritage Professionals

SELECTED PROJECT EXPERIENCE

Heritage Conservation District Studies and Plans

Alton Heritage Conservation District Study, Caledon (underway)

Port Stanley Heritage Conservation District Plan (underway)

Port Credit Heritage Conservation District Plan, Mississauga

Town of Cobourg Heritage Conservation District Plan updates

Rondeau Heritage Conservation District Study & Plan, Chatham Kent,

Barriefield Heritage Conservation District Plan Update, Kingston

Victoria Square Heritage Conservation District Study, Markham

Bala Heritage Conservation District Study and Plan, Township of Muskoka Lakes

Downtown Meaford Heritage Conservation District Study and Plan

Brooklyn and College Hill Heritage Conservation District Plan, Guelph

Garden District Heritage Conservation District Study and Plan, Toronto

Heritage Master Plans and Management Plans

City of Guelph Cultural Heritage Action Plan

Town of Cobourg Heritage Master Plan

Burlington Heights Heritage Lands Management Plan

City of London Western Counties Cultural Heritage Plan

CONTACT

540 Bingham Centre Drive,
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F 519 576 0121
dcurrie@mhbcplan.com
www.mhbcplan.com

CURRICULUM **VITAE**

Dan Currie, MA, MCIP, RPP, CAHP

Cultural Heritage Evaluations

MacDonald Mowatt House, University of Toronto
City of Kitchener Heritage Property Inventory Update
Niagara Parks Commission Queen Victoria Park Cultural Heritage Evaluation
Designation of Main Street Presbyterian Church, Town of Erin
Designation of St Johns Anglican Church, Norwich
Cultural Heritage Landscape evaluation, former Burlingham Farmstead, Prince Edward County

Heritage Impact Assessments

Heritage Impact Assessment for Pier 8, Hamilton
Homer Watson House Heritage Impact Assessment, Kitchener
Expansion of Schneider Haus National Historic Site, Kitchener
Redevelopment of former industrial facility, 57 Lakeport Road, Port Dalhousie
Redevelopment of former amusement park, Boblo Island
Redevelopment of historic Waterloo Post Office
Redevelopment of former Brick Brewery, Waterloo
Redevelopment of former American Standard factory, Cambridge
Redevelopment of former Goldie and McCullough factory, Cambridge
Mount Pleasant Islamic Centre, Brampton
Demolition of former farmhouse at 10536 McCowan Road, Markham

Heritage Assessments for Infrastructure Projects and Environmental Assessments

Heritage Assessment of 10 Bridges within Rockcliffe Special Policy Area, Toronto
Blenheim Road Realignment Collector Road EA, Cambridge
Badley Bridge EA, Elora
Black Bridge Road EA, Cambridge
Heritage and Cultural Heritage Landscape Assessment of Twenty Mile Creek Arch Bridge, Town of Lincoln
Heritage Evaluation of Deer River, Girven, Burnt Dam and MacIntosh Bridges, Peterborough County

Conservation Plans

Black Bridge Strategic Conservation Plan, Cambridge
Conservation Plan for Log house, Beurgetz Ave, Kitchener
Conservation and Construction Protection Plan - 54 Margaret Avenue, Kitchener

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CURRICULUM VITAE

Dan Currie, MA, MCIP, RPP, CAHP

Tribunal Hearings: Local Planning Appeal Tribunal & Conservation Review Board
 Port Credit Heritage Conservation District (LPAT)
 Demolition 174 St Paul Street (Collingwood Heritage District) (LPAT)
 Brooklyn and College Hill HCD Plan (LPAT)
 Rondeau HCD Plan (LPAT)
 Designation of 108 Moore Street, Bradford (CRB)
 Redevelopment of property at 64 Grand Ave, Cambridge (LPAT)
 Youngblood subdivision, Elora (LPAT)
 Designation of St Johns Church, Norwich (CRB - underway)
 Designation of 27 Prideaux Street, Niagara on the Lake (CRB – underway)

MASTER PLANS, GROWTH MANAGEMENT STRATEGIES AND POLICY STUDIES

Town of Frontenac Islands Marysville Secondary Plan
 Niagara-on-the-Lake Corridor Design Guidelines
 Cambridge West Master Environmental Servicing Plan
 Township of West Lincoln Settlement Area Expansion Analysis
 Ministry of Infrastructure Review of Performance Indicators for the Growth Plan
 Township of Tiny Residential Land Use Study
 Port Severn Settlement Area Boundary Review
 City of Cambridge Green Building Policy
 Township of West Lincoln Intensification Study & Employment Land Strategy
 Ministry of the Environment Review of the D-Series Land Use Guidelines
 Meadowlands Conservation Area Management Plan
 City of Cambridge Trails Master Plan
 City of Kawartha Lakes Growth Management Strategy

DEVELOPMENT PLANNING

Provide consulting services and prepare planning applications for private sector clients for:

- Draft plans of subdivision
- Consent
- Official Plan Amendment
- Zoning By-law Amendment
- Minor Variance
- Site Plan

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 dcurrie@mhbcplan.com
 www.mhbcplan.com



EDUCATION

2011

Higher Education Diploma
Cultural Development/ Gaelic Studies

Sabhal Mòr Ostaig, University of the Highlands and Islands

2012

Bachelor of Arts
Joint Advanced Major in Celtic Studies and Anthropology

Saint Francis Xavier University

2014

Master of Arts
World Heritage and Cultural Projects for Development

The International Training Centre of the ILO in partnership with the University of Turin, Politecnico di Torino, University of Paris 1 Pantheon- Sorbonne, UNESCO, ICCROM, Macquarie University

www.linkedin.com/in/rachelredshaw

CONTACT

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redshaw@mhbcplan.com
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CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

Rachel Redshaw, a Heritage Planner with MHBC, joined the firm in 2018. Ms. Redshaw has a Bachelor of Arts in Anthropology and Celtic Studies and a Master of Arts in World Heritage and Cultural Projects for Development. Ms. Redshaw completed her Master's in Turin, Italy; the Master's program was established by UNESCO in conjunction with the University of Turin and the International Training Centre of the ILO. Rachel is member of the Canadian Association of Heritage Professionals.

Ms. Redshaw provides a variety of heritage planning services for public and private sector clients. Ms. Redshaw has worked for years completing cultural heritage planning in a municipal setting. She has worked in municipal building and planning departments and for the private sector to gain a diverse knowledge of building and planning in respect to how they apply to cultural heritage. Rachel enjoys being involved in the local community and has been involved in the collection of oral history, in English and Gaelic, and local records for their protection and conservation and occasionally lecturers on related topics. Her passion for history and experience in archives, museums, municipal building and planning departments supports her ability to provide exceptional cultural heritage services.

PROFESSIONAL ASSOCIATIONS

Intern Member, Canadian Association of Heritage Professionals (CAHP)

PROFESSIONAL HISTORY

2018 - Present Heritage Planner,
MacNaughton Hermsen Britton Clarkson Planning Limited

2018 Building Permit Coordinator, (Contract)
Township of Wellesley

2018 Building Permit Coordinator (Contract)
RSM Building Consultants

2017 Deputy Clerk,
Township of North Dumfries

2015-2016 Building/ Planning Clerk
Township of North Dumfries



CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

- 2009-2014 Historical Researcher & Planner
Township of North Dumfries
- 2012 Translator, Archives of Ontario
- 2012 Cultural Heritage Events Facilitator (Reminiscence Journey)
and Executive Assistant, Waterloo Region Plowing Match
and Rural Expo
- 2011 Curatorial Research Assistant
Highland Village Museum/ Baile nan Gàidheal

PROFESSIONAL/COMMUNITY ASSOCIATIONS

- 2019-2020 Intern Member, Canadian Association of Heritage
Professionals
- 2017-2020 Member, AMCTO
- 2018-2019 Member of Publications Committee, Waterloo Historical
Society
- 2018 Member, Architectural Conservancy of Ontario- Cambridge
- 2018 - 2019 Secretary, Toronto Gaelic Society
- 2012 -2017 Member (Former Co-Chair & Co-Founder), North Dumfries
Historical Preservation Society
- 2011 - 2014 Member, North Dumfries Municipal Heritage Committee
- 2013 Greenfield Heritage Village Sub-committee, Doors Open
Waterloo Region
- 2012 Volunteer Historical Interpreter, Doon Heritage Village, Ken
Seiling Waterloo Region Museum
- 2008-2012 Member, Celtic Collections, Angus L. Macdonald Library
- 2012-2013 Member (Public Relations), Mill Race Folk Society
- 2011 Member, University of Waterloo Sub-steering Committee for
HCD Study, Village of Ayr, North Dumfries
- 2010-2011 Member (volunteer archivist), Antigonish Heritage Museum

AWARDS / PUBLICATIONS / RECOGNITION

- 2019 Waterloo Historical Society Publication, *Old Shaw: The Story
of a Kindly Waterloo County Roamer*
- 2014 Master's Dissertation, *The Rise of the City: Social Business
Incubation in the City of Hamilton*
- 2014 Lecture, *A Scot's Nirvana*, Homer Watson House and
Gallery

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CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

2013	Lecture, <i>The Virtual Voice of the Past: The Use of Online Oral Accounts for a Holistic Understanding of History</i> , University of Guelph Spring Colloquium
2012-2013	Gaelic Events Facilitator, University of Guelph
2012-2015	Intermediate Gaelic Facilitator, St. Michael's College, University of Toronto
2012	<i>Nach eil ann tuilleadh: An Nòs Ùr aig nan Gàidheal</i> (BA Thesis) Thesis written in Scottish Gaelic evaluating disappearing Gaelic rites of passage in Nova Scotia.
2012	Waterloo Historical Society Publication, <i>Harvesting Bees and Feasting Tables: Fit for the Men, Women and Children of Dickie Settlement and Area, Township of North Dumfries</i>
2007-2012	25 historical publications in the Ayr News (access to some articles http://ayrnews.ca/recent)

PROFESSIONAL DEVELOPMENT COURSES

2020	Condo Director Training Certificate (CAO)
2018	Building Officials and the Law (OBOA Course)
2017-2018	AMCTO Training (MAP 1)
2017	AODA Training
2010	Irish Archaeological Field School Certificate

COMPUTER SKILLS

- Microsoft Word Office
- Bluebeam Revu 2017
- ArcGIS
- Keystone (PRINSYS)
- Municipal Connect
- Adobe Photoshop
- Illustrator
- ABBYY Fine Reader 11
- Book Drive

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CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

SELECT PROJECT EXPERIENCE 2018-2020

CULTURAL HERITAGE IMPACT ASSESSMENTS

- Peterborough Lift Lock and Trent-Severn Waterway (TSW), National Historic Sites, Development for 380 Armour Road, City of Peterborough
- City of Waterloo Former Post Office, Development for 35-41 King Street North, City of Waterloo, Phase II
- Consumers' Gas Station B, Development for 450 Eastern Avenue, City of Toronto
- 82 Weber Street East, City of Kitchener
- 87 Scott Street, City of Kitchener
- 2348 Sovereign Street, Town of Oakville (Phase I)
- Carriage House Restaurant, 2107-2119 Old Lakeshore Road, City of Burlington
- 34 Manley Street, Village of Ayr, Township of North Dumfries
- Quinte's Isle Campark, 558 Welbanks Road, Prince Edward County (LPAT)
- 174 St. Paul Street, Town of Collingwood (LPAT)
- 30-40 Margaret Avenue, City of Kitchener
- McDougall Cottage and Historic Site, Development for 93 Grand Avenue South, City of Kitchener
- 60 Broadway, Town of Orangeville
- 45 Duke Street, City of Kitchener
- 383-385 Pearl Street, City of Burlington
- Old Kent Brewery, 197 Ann Street, City of London
- St. Patrick's Catholic Elementary School, (SPCES), 20 East Avenue South, City of Hamilton
- 2325 Sunningdale Road, City of London
- 250 Allendale Road, City of Cambridge
- 110 Deane Avenue, Town of Oakville
- 249 Clarence Street, City of Vaughan
- 2-16 Queen Street West, City of Cambridge (Hespeler)

Specific for Relocation of Heritage Buildings

- 1395 Main Street, City of Kitchener
- 10379 & 10411 Kennedy Road, City of Markham
- 50-56 Weber Street West & 107 Young Street, City of Kitchener (temporary relocation of 107 Young St)

CONTACT

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CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

CULTURAL HERITAGE SCREENING REPORT

- Kelso Conservation Area, Halton County

CULTURAL HERITAGE EVALUATION REPORTS

- 52 King Street North, City of Kitchener
- Sarnia Collegiate Institute and Technical School (SCITS), 275 Wellington, City of Sarnia (Municipal contingency study)
- 10536 McCowan Road, City of Markham
- Former Burns Presbyterian Church, 155 Main Street, Town of Erin (Designation Report)
- Former St. Paul's Anglican Church, 23 Dover Street, Town of Otterville, Norwich Township (CRB)
- 6170 Fallsview Boulevard, City of Niagara Falls

CONSERVATION PLANS

- City of Waterloo Former Post Office, 35-41 King Street North, City of Waterloo
- 82 Weber Street East, City of Kitchener
- 87 Scott Street, City of Kitchener
- 107 Young Street, City of Kitchener (Temporary relocation)
- 1395 Main Street, City of Kitchener (Relocation)
- 10379 & 10411 Kennedy Road, City of Markham (Relocation)

Cultural Heritage Conservation Protection Plans (Temporary protection for heritage building during construction)

- 12 & 54 Margaret Avenue, City of Kitchener
- 45 Duke Street, City of Kitchener
- 82 Weber Street West and 87 Scott Street, City of Kitchener

DOCUMENTATION AND SALVAGE REPORTS

- 57 Lakeport Road City of St. Catharines
- Gaslight District, 64 Grand Avenue South, City of Cambridge
- 242-262 Queen Street South, City of Kitchener (Photographic Documentation Report)
- 721 Franklin Boulevard, City of Cambridge

HERITAGE PERMIT APPLICATIONS

- 35-41 King Street North, City of Waterloo (Old Post Office), Phase II (alteration to building with a municipal heritage easement, Section 37, OHA)

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CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

- 50-56 Weber Street West & 107 Young Street, City of Kitchener (demolition and new construction within HCD)
- 30-40 Margaret Avenue, City of Kitchener (new construction within HCD)
- 249 Clarence Street, City of Vaughan (alteration within HCD)
- 174 St. Paul Street, Town of Collingwood (demolition within HCD)

MASTER PLANS/ HERITAGE CHARACTER STUDY

- Elgin, Central and Memorial Neighbourhoods, Municipality of Clarington

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A R C H I T E C T U R E