

Report to London Advisory Committee on Heritage

To: Chair and Members
London Advisory Committee on Heritage

From: Gregg Barrett
Director, City Planning and City Planner

Subject: Heritage Alteration Permit application for Heritage Designated Property at 660 Sunningdale Road East (2370 Blackwater Road) by Clawson Group Inc.

Meeting on: Wednesday December 9, 2020

Recommendation

That, on the recommendation of the Director, City Planning and City Planner, with the advice of the Heritage Planner, the application under Section 33 of the *Ontario Heritage Act* for consent to alter the heritage designated property at 660 Sunningdale Road East (2370 Blackwater Road) **BE GIVEN** subject to the following terms and conditions:

- a) The mortar used in the adaptive reuse colour match the existing mortar;
- b) A corrugated sheet metal roof material, as shown in Appendix D6, be used for the roof of the barns and their gable ends;
- c) The replica concrete piers faithfully replicate the details of the original concrete piers, including the colour and casting details/lines;
- d) Within amendment(s) to this Heritage Alteration Permit, the following details be provided:
 - i. Specifications on the proposed outer windows;
 - ii. Specification on the proposed new doors/doorways;
 - iii. Specifications on the proposed interior walls of the barns, demonstrating their reversibility, the protection of the interior clay tiles, as well as the cladding/finish of the interior walls;
 - iv. Mechanical and electrical requirements required to facilitate the adaptive reuse of the barns;
- e) Approval authority for subsequent amendment to this Heritage Alteration Permit required to implement the adaptive reuse of the red barns be delegated to the City Planner;
- f) Civic Administration be directed to pursue a Heritage Easement Agreement with the property owner to define the scope and extent of the interior clay tile required for preservation;
- g) Where possible, the Heritage Alteration Permit be displayed in a location visible from the street until the work is completed.

Executive Summary

The red barns located at 660 Sunningdale Road East are significant cultural heritage resources protected by their designation pursuant to the *Ontario Heritage Act* by By-law No. L.S.P.-3476-474. Alteration that may affect the property's heritage attributes is required to facilitate the adaptive reuse of these cultural heritage resources. With terms and conditions, Municipal Council should consent to the proposed alterations.

Analysis

1.0 Background

1.1 Property Location

The property at 660 Sunningdale Road East is on the northwest corner of Sunningdale Road East and Adelaide Street North.

1.2 Cultural Heritage Resource

The two red clay tile barns located at 660 Sunningdale Road East are significant cultural heritage resources. The property was evaluated using the criteria of O. Reg. 9/06, and it found that the barns are of cultural heritage value because of their physical/design values and their contextual values. The significance of the barns located at 660 Sunningdale Road East comes from their use of the red clay tile material, the intersection of a material more typically found in industrial structures but applied here in an agricultural form, and their existing location. These materials and forms are authentically displayed in their built form which has significance particularly the rarity of its materials used in this form.

The use of materials and construction method is rare for barns. The red clay tiles, used as the primary cladding material for the barns, is rare and not found elsewhere in the City of London. The use of protruding concrete piers in the construction of the barns is also rare, where barns more typically have concrete or stone foundations, rather than concrete piers, with a timber frame. The application of these materials is more commonly found in industrial applications, such as factory buildings, which makes the barns rare examples of this expression not seen elsewhere in London.

The barns display a degree of craftsmanship in the material qualities of the clay tile. While the variety in grooving, cutting, and colour of the tiles could suggest little regard for the appearance of the building, or the use of seconds, this contributes to the rustic qualities of the barns and were well suited to their original rural context.

The barns represent technical achievement in their combination of industrial materials in an agricultural form that is not seen elsewhere in London.

Contextually, the location and arrangement of the barns on the property, and the relationship between the barns contributes to the property's physical, functional, visual, and historical links to its surroundings.

1.3 Cultural Heritage Status

At its meeting on September 18, 2018, Municipal Council passed By-law No. L.S.P.-3476-474 to designate the property at 660 Sunningdale Road East to be of cultural heritage value or interest pursuant to Section 29 of the *Ontario Heritage Act*. As the *Ontario Heritage Act* is based in real property, the entire property at 660 Sunningdale Road was included in the legal description of the property protected by the heritage designating by-law.

As the Applewood Subdivision has developed in phases, as each phase of the subdivision is registered a technical amendment to the legal description is required. Two previous technical amendments to the heritage designating by-law have been completed:

- By-law No. L.S.P.-3476(a)-71 – passed March 5, 2019
- By-law No. L.S.P.-3476(b)-299 – passed October 29, 2019
- Technical amendment to legal description in report from Civic Administration to the LACH for its meeting on December 9, 2020

1.3.1 Heritage Attributes

Within the heritage designating by-law, By-law No. L.S.P.-2476-474, heritage attributes are identified. The heritage attributes are:

Heritage attributes which support and contribute to the cultural heritage value or interest of this property include:

- *The application of typically industrial materials in an agricultural form;*
- *Existing location of the two barns on the property;*
- *Physical relationship between the two barns; and,*
- *Materials, construction, and form of the two barns including: red clay tiles, protruding concrete piers, roof trusses with projecting purlins of the roof structures, multi-pane windows with five-over-five fenestration patterns, and metal gable roof with ventilators.*

The heritage attributes for this heritage designated property have been understood to reflect the exterior of the barns and the property.

1.4 Previous Reports

March 2, 1999. Municipal Council resolved that the lands be excluded from the Uplands Community Plan and be added to the Stoney Creek Community Plan be refused.

May 12, 1999. 6th Report of the LACH, Report of the Stewardship Sub-Committee of the LACH, re: discussion of 660 Sunningdale barns.

January 30, 2002. Report of the Stewardship Sub-Committee of the LACH, re: Uplands North Area Plan.

February 27, 2002. Report of the Stewardship Sub-Committee of the LACH, re: Uplands North Area Plan.

June 12, 2002. Monthly Report of the Heritage Planner to LACH Members, re: 660 Sunningdale Road East.

April 30, 2003. Report of the Stewardship Sub-Committee of the LACH, re: Uplands North Area Plan.

May 7, 2003. Memorandum from the Stewardship Sub-Committee of the LACH, re: Uplands North Area Plan.

June 9, 2003. Report to the Planning Committee recommending adoption of the Uplands North Area Plan.

August 7, 2007. Report to Planning Committee regarding 660 Sunningdale Road East (39T-99513/Z-5723).

March 11, 2009. 4th Report of the LACH. Re: Notice, 660 Sunningdale Road East.

May 6, 2009. Report to the Planning Committee regarding tree cutting on the property.

June 22, 2009. Report to the Planning Committee regarding the status of the subdivision/file.

October 10, 2010. 3rd Report of the LACH. Re: Notice, 660 Sunningdale Road East.

October 8, 2013. Report to the PEC. 39T-09501/OZ-7683.

March 12, 2014. 4th Report of the LACH. Re: Notice, 660 Sunningdale Road East.

April 9, 2014. 5th Report of the LACH. Re: Notice, 660 Sunningdale Road East.

July 28, 2014. Report to the PEC. 39T-09501/OZ-7638.

July 12, 2017. Report to the LACH. Request for Demolition of Heritage Listed Property at 660 Sunningdale Road East by: Peter Sergautis.

July 17, 2017. Report to the PEC. Request for Demolition of Heritage Listed Property at 660 Sunningdale Road East by: Peter Sergautis.

January 22, 2018. Report to the PEC: Application by Extra Realty Limited, 660 Sunningdale Road East, Applewood Subdivision, Public Participation Meeting.

February 20, 2018. Report to PEC. Application by Extra Realty Limited, 660 Sunningdale Road East, Applewood Subdivision. 39T-09501/Z-8818.

April 11, 2018. Report to the LACH: Demolition Request of Heritage Designated Property at 660 Sunningdale Road East by: Peter Sergautis.

April 16, 2018. Report to the PEC: Demolition Request of Heritage Designated Property at 660 Sunningdale Road East by: Peter Sergautis.

April 30, 2018. Report to the PEC: Application by Extra Realty Limited, 660 Sunningdale Road East, Applewood Subdivision Phase 1 – Special Provisions.

September 10, 2018. Report to the PEC. Passage of Heritage Designating By-law for 660 Sunningdale Road East.

October 29, 2018. Report to the PEC. 660 Sunningdale Road East, Stormwater Management (SWM) Facility Land Acquisition Agreement.

November 14, 2018. Report to the LACH. Amendment to Heritage Designating By-law for 660 Sunningdale Road East.

February 19, 2019. Report to the PEC. Passage of Amending By-law for Heritage Designated Property at 660 Sunningdale Road East.

August 14, 2019. Report to the LACH. Amendment to the Heritage Designating By-law for 660 Sunningdale Road East.

December 9, 2020. Report to the LACH. Amendment to the Heritage Designating By-law for 660 Sunningdale Road East (2370 Blackwater Road).

2.0 Heritage Alteration Permit Application

A Heritage Alteration Permit application (HAP20-067-L) was submitted by an agent, MHBC, for the property owner and received by the City on November 18, 2020. The Heritage Alteration Permit application seeks consent for alterations to support the adaptive reuse of the barns that are likely to affect the property's heritage attributes as identified in the heritage designating by-law. A rehabilitation approach has been proposed to support the adaptive reuse of the barns.

Photographic documentation of the existing conditions of the barns was included as part of the Heritage Alteration Permit application.

Conservation, in the Canadian context, is an umbrella term with a variety of different conservation approaches: preservation, restoration, and rehabilitation. While the *Standards and Guidelines* have not been adopted by the City of London, they represent best practice in heritage conservation. **Rehabilitation** is described in Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) (Appendix C).

Rehabilitation involves the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value. Rehabilitation can include replacing missing historic features. The replacement may be an accurate replica of the missing feature or it may be a new design compatible with the style, era and character of the historic place. ...

Consider Rehabilitation as the primary treatment when:

- a) Repair or replacement of deteriorated features is necessary;*
- b) Alterations or additions to the historic place are planned for a new or continued use, and,*
- c) Depiction during a particular period in its history is not appropriate.*

Rehabilitation can revitalize historical relationships and settings and is therefore more appropriate when heritage values related to the context of the historic place

dominate. A plan for rehabilitation should be developed before work begins (Parks Canada 2010, 16).

Standards and Guidelines emphasize minimal intervention to ensure the conservation of a historic place.

The adaptive reuse proposed for the large barn (also referred to as Barn 2; approximately 3,600 square feet in size) is as a restaurant. The adaptive reuse proposed for the small barn (also referred to as Barn 3; approximately 1,722 square feet in size) is a café.

The proposed alterations to the two barns are generally consistent, and are summarized here:

- Retain and conserve the red clay tiles of the interior of the barns;
- Retain the wood multi-pane five-over-five windows;
- Alter the exterior of the barns by erecting a new exterior wall around the existing wall
 - Remove the existing protruding concrete piers from the existing exterior wall;
 - Repair of the existing exterior walls as required prior to concealment by new exterior walls;
 - Replicate concrete piers on new exterior walls, replicating the details and dimensions;
 - Install new exterior windows;
 - Clad in new exterior walls of the barns
- Altering the roof of the barns by erecting a new roof above
 - Retain the existing trusses and roofing material;
 - Install new insulation;
 - Install structural reinforcement, where required;
 - Remove, retain, and reinstate the ventilators;
 - Install new roofing;
- Installing new entry doorways:
 - On the south façade of each of the barns within the existing opening;
 - On the north façade of the large barn within the existing opening; and,
 - A new entryway on the west façade of the large barn, spanning the width of one bay.
- A new concrete floor will be poured; and,
- Landscaping of the space between the barns.

Concepts, floor plans, architectural drawings, and renderings can be found in the Appendices D1-D6.

As this is a complex application with impacts to the heritage attributes of these cultural heritage resources, this application has met the Conditions for Referral to the LACH in the Delegated Authority By-law (By-law No. C.P.-1502-129).

Subsequent amendment to this Heritage Alteration Permit is anticipated, however this Heritage Alteration Permit sets the direction for the subsequent scopes of work. Amendment to this Heritage Alteration Permit is anticipated to be required to further the specific details of this Heritage Alteration Permit are developed.

Per Section 33(4) of the *Ontario Heritage Act*, the 90-day review timeline for this Heritage Alteration Permit application will expire on February 16, 2021.

3.0 Legislative and Policy Framework

Cultural heritage resources are to be conserved and impacts assessed as per the fundamental policies in the *Provincial Policy Statement* (2020), the *Ontario Heritage Act*, *The London Plan* and the *Official Plan* (1989 as amended).

3.1 Provincial Policy Statement

Heritage Conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (2020)* promotes the wise use and management of cultural heritage resources and directs that “significant built heritage resources and significant cultural heritage landscapes shall be conserved” (Policy 2.6.1, *Provincial Policy Statement 2020*).

“Significant” is defined in the *Provincial Policy Statement (2020)* as, “resources that have been determined to have cultural heritage value or interest.” Further, “processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*.”

Additionally, “conserved” means, “the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained.”

3.2 Ontario Heritage Act

The *Ontario Heritage Act* enables municipalities to protect properties of cultural heritage value or interest. Properties of cultural heritage value can be protected individually, pursuant to Section 29 of the *Ontario Heritage Act*, or where groups of properties have cultural heritage value together, pursuant to Section 41 of the *Ontario Heritage Act* as a Heritage Conservation District (HCD). Designations pursuant to the *Ontario Heritage Act* are based on real property, not just buildings.

An individual property may be designated pursuant to Section 29 of the *Ontario Heritage Act*. A heritage designating by-law, which includes a statement explaining the cultural heritage value or interest of the property and describes its heritage attributes, is registered on the title of the property. This ensures that the property is protected by the provisions of the *Ontario Heritage Act* even if the property is sold or transferred.

3.2.1 Heritage Alteration Permit

Per Section 33 of the *Ontario Heritage Act*, a Heritage Alteration Permit is required for any alteration that is “likely to affect” any of a property’s heritage attributes as identified in a heritage designating by-law pursuant to Section 29, *Ontario Heritage Act*. Section 33(1), *Ontario Heritage Act* states,

No owner of property designated under section 29 shall alter the property or permit the alteration of the property if the alteration is likely to affect the property’s heritage attributes, as set out in the description of the property’s heritage attributes that was required to be served and registered under subsection 29(6) or (14), as the case may be, unless the owner applies to the council of the municipality in which the property is situate and received consent in writing to the alteration.

Consistent with Section 33(4), *Ontario Heritage Act* within 90-days of receipt of a complete Heritage Alteration Permit application and following consultation with the London Advisory Committee on Heritage (LACH), Municipal Council shall,

- i. Consent to the application;*
- ii. Consent to the application with terms and conditions; or,*
- iii. Refuse the application.*

3.2.2 Heritage Easement Agreement

Section 37 of the *Ontario Heritage Act* enables municipalities, following consultation with the municipal heritage committee, to pass by-laws providing for the entering into easements or covenants with owners of properties for the conservation of property of cultural heritage value or interest.

Like heritage designations, Heritage Easement Agreements are registered on the title of the property. Unlike heritage designations, the agreement of the property owner is required as the municipality and property owner must agree to the specific details of a Heritage Easement Agreement. Heritage Easement Agreements can provide a greater level of specificity in the conservation of specific attributes of a property, for example.

3.3 The London Plan

The London Plan is the new official plan for the City of London (Municipal Council adopted, approved by the Ministry of Municipal Affairs and Housing with modifications, and the majority of which is in force and effect). *The London Plan* policies under appeal to the Local Planning Appeal Tribunal (Appeal PL170100) and not in force and effect are indicated with an asterisk throughout this report. *The London Plan* policies under appeal are included in this report for informative purposes indicating the intent of Municipal Council, but are not determinative for the purposes of this application.

The policies of *The London Plan* found in the Key Directions and Cultural Heritage chapter support the conservation of London's cultural heritage resources for future generations. To ensure the conservation of significant cultural heritage resources, the policies of *The London Plan* provide the following direction:

Policy 583_ To ensure a greater degree of protection to designated properties of cultural heritage value or interest, City Council may enter into agreements with property owners or may attempt to secure conservation easements in order to protect those features deemed to have heritage value. Council may also consider the application of zoning regulations that include regulations to further protect the property.

Policy 587_ Where a property of cultural heritage value or interest is designated under Part IV of the Ontario Heritage Act, no alteration, removal or demolition shall be undertaken that would adversely affect the reasons for designation except in accordance with the Ontario Heritage Act.

Policy 589_ A property owner may apply to alter the cultural heritage attributes of a property designated under the Ontario Heritage Act. The City may, pursuant to the Act, issue a permit to alter the structure. In consultation with the London Advisory Committee on Heritage, the municipality may delegate approvals for such permits to an authority.

3.4 Heritage Community Improvement Plan

The Heritage Community Improvement Plan (Heritage CIP) offers two grant programs to address some of the financial aspects of heritage conservation by offering incentive programs that promote building rehabilitation in conjunction with new development or adaptive reuse. The Tax Increment Grant provides the registered owner a refund on the increase in the municipal portion of the property tax ensuing from a reassessment as a result of a development or rehabilitation project related to an intensification or change of use which incorporates a heritage designated property. The second incentive program is a Development Charges Equivalent Grant which is issued when a heritage designated property is conserved and rehabilitated in conjunction with a development project relating to an intensification or change of use.

4.0 Analysis

A variety of potential adaptive reuse scenarios, from a technical and practical perspective, were considered for the barns. A "change of use" from a former agricultural use to a "major occupancy" (assembly occupancy) requires compliance with the *Ontario Building Code*. As a heritage designated property, the potential impacts of these code compliance requirements on the heritage attributes must be considered in identifying an appropriate adaptive reuse.

The preferred adaptive reuse scenario retains the existing exterior walls as non-loadbearing walls, with addition of a new exterior non-loadbearing wall to provide the required building envelopes and adding new posts and beams along the interior for structural support. This option will address many of the challenges of meeting the requirements of a "major occupancy use" while conserving, but affecting, the property's heritage attributes.

4.1 Exterior

A new exterior wall around the barns is required to provide the required building envelope. This will effectively cover the existing red clay tile of the exterior and alter the multi-pane windows and protruding concrete piers of the barns. The original interior walls can remain exposed.

4.1.1 Red Clay Tile

The existing exterior red clay tile is proposed to be repaired, as required, to stabilize and maintain this material. The new exterior wall will be built on new footings surrounding the barns and provide the required building envelope. This will effectively enclose the existing exterior walls of the barns, but is reported by the Heritage Alteration Permit application to be a reversible alteration. The new exterior walls is proposed to be clad in brick veneer, selected to replicate some of the material qualities of the red clay tile; specifically its colour and texture (see Appendix D6). The proportion of the proposed brick veneer is different than the existing red clay tiles.

Information in the Heritage Alteration Permit application states, "...this type [red clay tile] of material was not intended to be an exterior material in this climate" (MHBC, correspondence dated November 25, 2020). Further,

It should be noted that the existing clay block walls do not stand up well when used as an unprotected exterior wall in our climate, therefore when restoring these walls, protection from exterior elements should be put into place to extend the life of the original and replaced clay blocks (MHBC, correspondence dated November 25, 2020 – attachment No. 1, Roof Tile Management Inc.).

The new exterior wall will affect the roof and its overhang. The existing roof overhangs the exterior walls of the barns by approximately 10.5". The new exterior wall is approximately 5.25" in depth. This will reduce the overhang of the existing roof by approximately half.

There is an existing overhead door on the south façade of the small barn; this doorway will be adapted into a new entryway. The person-door to the left of the large doorway will be replaced as well as a doorway on the east façade. All of the new doors in the small barn are located within existing doorways. Further details on the doors and doorways are required in an amendment to this Heritage Alteration Permit.

The existing doorways of the north and south façades of the large barn will also be adapted into entryways. A new doorway will be created in the second from the south on the west façade; the doorway will span the entire bay. Further details on the doors and doorways are required in an amendment to this Heritage Alteration Permit.

4.1.2 Multi-Pane Windows

The existing multi-pane windows have a five-over-five fenestration pattern. The existing windows are wood.

The existing windows will be retained and repaired, with broken or missing panes of glass reinstated. The windows will be repainted or finished as necessary.

Through the new exterior wall to provide the building envelope, the existing multi-pane windows will effectively become interior windows. New outer windows (like storm windows) will be installed as part of the new building envelope. Further details on the proposed outer windows are required in an amendment to this Heritage Alteration Permit.

4.1.2 Protruding Concrete Piers

The protruding concrete piers of the barns are specifically identified as a heritage attribute. In particular, the protruding concrete piers emphasize the use of industrial materials, like concrete, in a building with an agricultural form.

To provide the required building envelope for the barns, the existing concrete piers will be removed from the exterior of the barns. Further details were included within the Heritage Alteration Permit application on the construction of the brick piers (buttresses):

There are formed in place buttresses between every set of windows. These buttresses were formed and poured against the clay block. In an effort to tie some of these buttresses back into the clay wall, it looks as though holes were punched into the outer cavity of the clay blocks, filled with concrete that was part of the buttress pour. The concrete buttresses were then reinforced with steel rebar which had deteriorated significantly and has started to rusk jack causing the concrete to break apart and detach from the clay block wall (MHBC, correspondence dated November 25, 2020 – attachment No. 1, Roof Tile Management Inc.).

Given these details on the construction of the concrete piers, it is unlikely that the concrete piers can be salvaged and reinstated into the new wall. As part of the new exterior walls, the concrete piers will be replicated. Pre-cast concrete piers are proposed, however it is essential that the concrete piers are accurately replicated including the casting details/lines and colour of the poured concrete originals. Maintaining the depth created in the façade (“reveals”) by the protruding concrete piers is also of importance, and has been reflected in the architectural drawings (see Appendix D).

4.1.3 Roof and Ventilators

Intervention to the roof is also required. The proposed alteration would retain the existing corrugated metal roof, but alter it by adding subpurlins on top with insulation and a new corrugated metal roof with a painted finish.

There is reference in the drawings to a “standing seam,” however a corrugated sheet metal roof should be used as it is what is presently cladding the roof and gable ends of the barns. A corrugated sheet metal is appropriate to maintain and support the cultural heritage value of these barns, particularly in the application of an industrial material in an agricultural form.

There are two ventilators on the small barn and three ventilators on the large barn. These ventilators will be removed, repaired/restored as necessary, and reinstated on top of the new roof.

4.2 Interior

While major alteration affecting the exterior of the barns is proposed, a less invasive approach is proposed for the interior of the barns. This is a *flip* of the usual approach seen in adaptive reuse of cultural heritage resources, where the interior is altered but the exterior preserved.

As noted above the City has previously articulated an understanding that the heritage attributes identified in the heritage designating by-law reflect the exterior of the barns. The proposed adaptive reuse presents the opportunity to preserve the original red clay tile on the interior. To ensure the preservation of the red clay tile of the interior, a Heritage Easement Agreement pursuant to Section 37 of the *Ontario Heritage Act* and Policy 583_ of *The London Plan* is recommended. This would allow the specific scope and extent of preservation to be determined, recognizing that some areas of the interior will require alteration to accommodate the kitchen and washroom areas of the adaptive reuse. A Heritage Easement Agreement can also more specifically define what alterations will, or will not, require approval. The agreement of both parties, the property owner and the City, is required for a Heritage Easement Agreement.

The preference is to preserve the interior clay tile as it exists. If absolutely necessary, and by the gentlest means possible, the interior clay tiles may be cleaned, repaired, or replaced. A suitable replacement clay tile has been sourced if isolated areas of replacement are required (structural clay tile, Sandkuhl Clayworks); it is unfortunate that the replacement clay tile not recommended by specialists for exterior applications.

New posts and beams along the interior for structural support; existing posts and beams may be replaced as well. A new concrete floor in each of the barns will be poured.

Interior partition walls are proposed to accommodate facilities within the barns, such as kitchen space or washroom facilities. New interior walls must be constructed to be reversible and in a manner that does not damage the existing interior walls. The new interior walls must not be constructed or clad in clay tile. Further details on the interior partition walls are required to confirm these concerns have been addressed and can be included within an addendum to this Heritage Alteration Permit.

The roof trusses of the existing roof will be retained (see Section 4.1.3). The roof trusses are proposed to be visible from the interior spaces of the barns, with structural reinforcement where required.

4.3 “Barnyard”

The connection between the barns is an important aspect of their contextual value. A general concept has been developed, which seeks to establish a “courtyard” or “barnyard” space between the barns to support the adaptive reuse of the barns as a restaurant and café. This is complimentary to the cultural heritage value of the barns, and is anticipated to be further supported by connections to the future adjacent park (see Section 4.4).

Further details on the materials and finishes for the “barnyard” are required in an amendment to this Heritage Alteration Permit.

4.4 Connection to Future Adjacent Park

A concept plan has been developed for the adjacent park space during the subdivision application, to the south of the red barns within the Applewood subdivision. The concept plan, attached in Appendix E, presents the “urban farm” theme for the park. As part of the development of the Applewood Subdivision, the park lot will be graded and serviced. Once the park lot is assumed by the City, Parks Planning & Design will proceed with detailed design of the park and construction.

Connections to the park are encouraged to support the cultural heritage value of the barns.

4.5 Amendment to Heritage Alteration Permit

The information presented in this Heritage Alteration Permit application. It is important to set the direction for this adaptive reuse, recognizing the unique considerations that the red barns warrant.

Amendments to this Heritage Alteration Permit are anticipated as further technical specifications are determined. For example, the requirements of establishing a commercial kitchen are not yet fully known. There is the potential that the mechanical and electrical requirements for a commercial kitchen could affect the heritage attributes of this protected heritage property. For these alterations, the principle of reversibility is of particular importance – designing interventions so that the essential form and integrity of a cultural heritage resource will not be impaired if the new work is removed in the future.

Amendment to this Heritage Alteration Permit is anticipated for, but not limited to:

- Specifications on the proposed outer windows;
- Specification on the proposed new doors/doorways;
- Specifications on the proposed interior walls of the barns, demonstrating their reversibility, the protection of the interior clay tiles, as well as the cladding/finish of the interior walls;
- Mechanical and electrical requirements required to facilitate the adaptive reuse of the barns;
- Details on the finish of the space between the barns; and,
- Signage.

Provided that Municipal Council consent to this Heritage Alteration Permit with terms and condition, it is recommended that amendments to this Heritage Alteration Permit be delegated to the City Planner.

5.0 Conclusion

The two red barns located at 660 Sunningdale Road East are significant cultural heritage resources. Adaptive reuse of the barns is required to facilitate the next chapter in their life. The proposed use as a restaurant and café will highlight the unique characteristics of the barns that emphasize their cultural heritage value.

The Heritage Alteration Permit presents the high-level decisions that are required to facilitate the adaptive reuse of the barns, particularly in the erection of a new exterior wall and interior structural supports. These changes will affect the heritage attributes of the barns, but are essential in facilitating their adaptive reuse. Amendment to this Heritage Alteration Permit is expected as further technical details are determined in the adaptive reuse of the barns. Consent, with terms and conditions, should be given for this Heritage Alteration Permit.

Prepared and Submitted by:	Kyle Gonyou, CAHP Heritage Planner
Recommended by:	Gregg Barrett, AICP Director, City Planner and City Planning
Note: The opinions contained herein are offered by a person or persons qualified to provide expert opinion. Further detail with respect to qualifications can be obtained from City Planning.	

November 30, 2020
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Appendix A	Property Location
Appendix B	Images
Appendix C	Extract - Rehabilitation, <i>Standards and Guidelines for the Conservation of Historic Places in Canada</i> (2010)
Appendix D1	Concept Details
Appendix D2	Renderings
Appendix D3	Concept Floor Plans
Appendix D4	Architectural Drawings – Small Barn
Appendix D5	Architectural Drawings – Large Barn
Appendix D6	Proposed Exterior Cladding – Images
Appendix E	Concept Plan for the Park

Sources

Corporation of the City of London. Property Files: 660 Sunningdale Road East.
 Corporation of the City of London. (2019). *Register of Cultural Heritage Resources*.
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 Ontario Heritage Act. (2019, c. 9, Sched. 11). Retrieved from e-Laws website
<https://www.ontario.ca/laws/statute/90o18>.

Ministry of Municipal Affairs and Housing. (2020). *Provincial Policy Statement, 2020*.
Parks Canada. (2010). *Standards and Guidelines for the Conservation of Historic Places in Canada*. Second Edition. Retrieved from Canada's Historic Places website <https://www.historicplaces.ca/en/pages/standards-normes>.

Appendix A Property Location

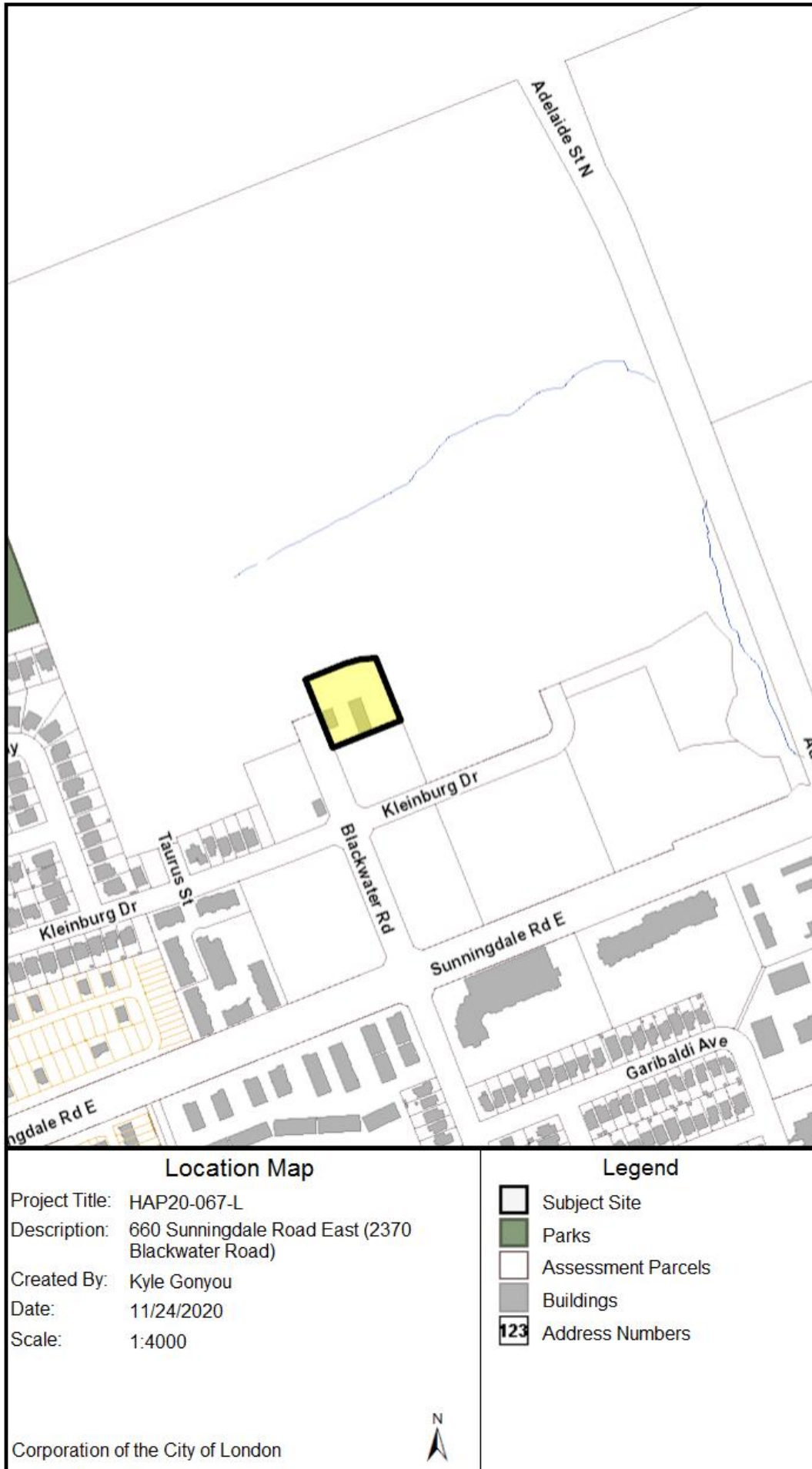


Figure 1: Location of the subject property with the red barns at 660 Sunningdale Road East (now 2370 Blackwater Road). Note: the parcel highlighted in Figure 1 is reflects the final property boundary of the block with the red barns.

Appendix B Images



Image 1: Photograph of the red barns at 660 Sunningdale Road East (now 2370 Blackwater Road). The smaller barn, with two ventilators, is located on the left. The larger barn, with three ventilators, is located on the right.

- (b) Depiction during a particular period in its history is not appropriate; and
- (c) Continuation or new use does not require extensive alterations or additions.

Preservation tends to be the most cautious of the conservation treatments and retains the most materials. It is therefore more appropriate when heritage values related to physical materials dominate. A plan for *Preservation* should be developed before work is undertaken.

The nine General Standards (see Chapter 3) and the General Guidelines (see Chapter 4) relate directly to *Preservation*. Since protecting, maintaining and stabilizing are at the core of all conservation projects, the General Standards and General Guidelines must be considered, and applied where appropriate, to any conservation project.

REHABILITATION

Rehabilitation involves the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value. *Rehabilitation* can include

replacing missing historic features. The replacement may be an accurate replica of the missing feature or it may be a new design compatible with the style, era and character of the historic place. In the context of archaeological sites, *Rehabilitation* allows their compatible use through actions aimed at communicating and conveying their heritage value.

Consider *Rehabilitation* as the **primary treatment** when:

- (a) Repair or replacement of deteriorated features is necessary;
- (b) Alterations or additions to the historic place are planned for a new or continued use; and
- (c) Depiction during a particular period in its history is not appropriate.

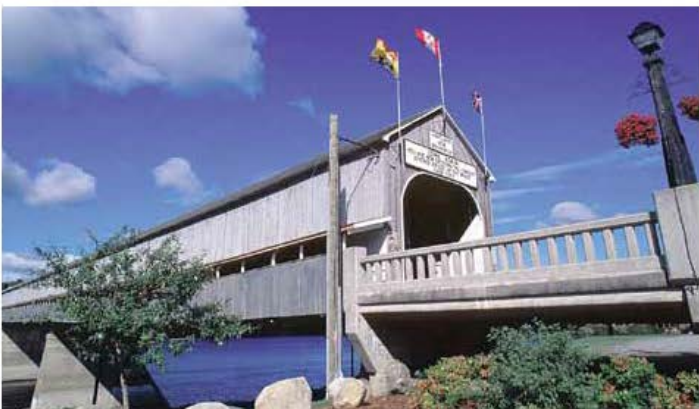
Rehabilitation can revitalize historical relationships and settings and is therefore more appropriate when heritage values related to the context of the historic place dominate. A plan for *Rehabilitation* should be developed before work begins.

Three Additional Standards (10-11-12) relate to *Rehabilitation* and all three must be considered, and applied where appropriate, to a *Rehabilitation* project,

in addition to the nine General Standards (see chapter 3). Both the General Guidelines and the Additional Guidelines for *Rehabilitation* must also be considered, and applied where appropriate, to any *Rehabilitation* project (see chapter 4).

RESTORATION

Restoration involves accurately revealing, recovering or representing the state of an historic place or individual component as it appeared at a particular period in its history, while protecting its heritage value. *Restoration* may include removing non character-defining features from other periods in its history and recreating missing features from the restoration period. *Restoration* must be based on clear evidence and detailed knowledge of the earlier forms and materials being recovered. *Restoration* does not apply to archaeological sites because archaeology does not favour one period over another. The value lies partly in the information the sites contain. In a cultural landscape, the difference must be clearly understood between ecological restoration and restoration as a heritage conservation treatment. For ecological restoration,



The Hartland Covered Bridge crossing the St. John River at Hartland, NB, is the world's longest covered bridge. It is significant for its structural qualities, contributions to transportation and as a symbol of the heritage of covered bridges in New Brunswick. The present bridge is a standard covered bridge structure composed of a Howe truss superstructure enclosed with vertical unpainted weatherboard siding. When the New Brunswick Department of Transportation recently *rehabilitated* the bridge by installing a fire suppression system, care was taken to ensure that this new system was barely visible in the upper structural system.

Figure 2: Extract from Standards and Guidelines for the Conservation of Historic Places in Canada (2010) describing “rehabilitation.”

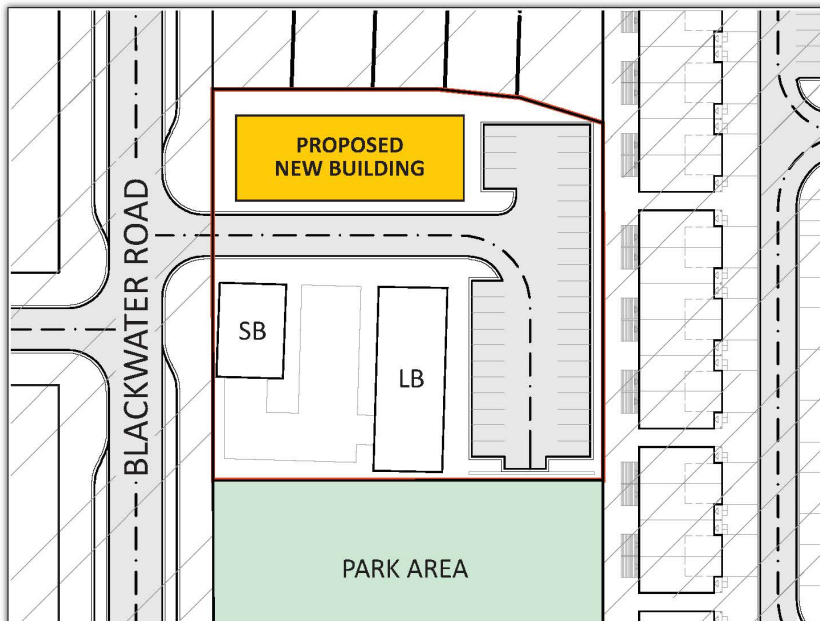


APPLEWOOD BARNs
Block 48
FEBRUARY/ 2020

Figure 3: Concept details for the “Applewood Barns” on Block 48, now 2370 Blackwater Road.



SUMMARY
PROJECT INFORMATION



PROPOSED DEVELOPMENT:

Block 48, with total area of 46,242sf, has two barns which will be retrofitted as per ongoing discussions with the City of London's Heritage Department: a small barn (SB) with area of 1,722sf will accommodate a coffee shop, and a large barn (LB) with area of 3,660sf will accommodate a restaurant.

The developer intends to construct a third building carrying the same architectural aesthetics of the building is being developed on neighbouring business district structures. There will be a roof-top patio overlooking the future community park.

PROJECT DESCRIPTION:

Retrofit the existing barns, updating the profiles of the exterior walls and roof to match the current building code requirements.

The proposal is, through a heritage easement agreement, adjust the exterior look, and preserve the interior of the barns.



Figure 4: Summary of project information for the large and small barn, and reference to the proposed detached new building to the north of the barns.



A structural consultant has been retained to provide feasibility assessments and design review of the existing structures. As part of this work, the current structural conditions will be assessed, and a report provided with recommendations for remedial work. A package of construction drawings and specifications will be prepared to ensure the structures are retrofitted achieving the heritage designation requirements.



Figure 5: Documenting the current status of the Small Barn.



Figure 6: Documenting the current status of the Large Barn.

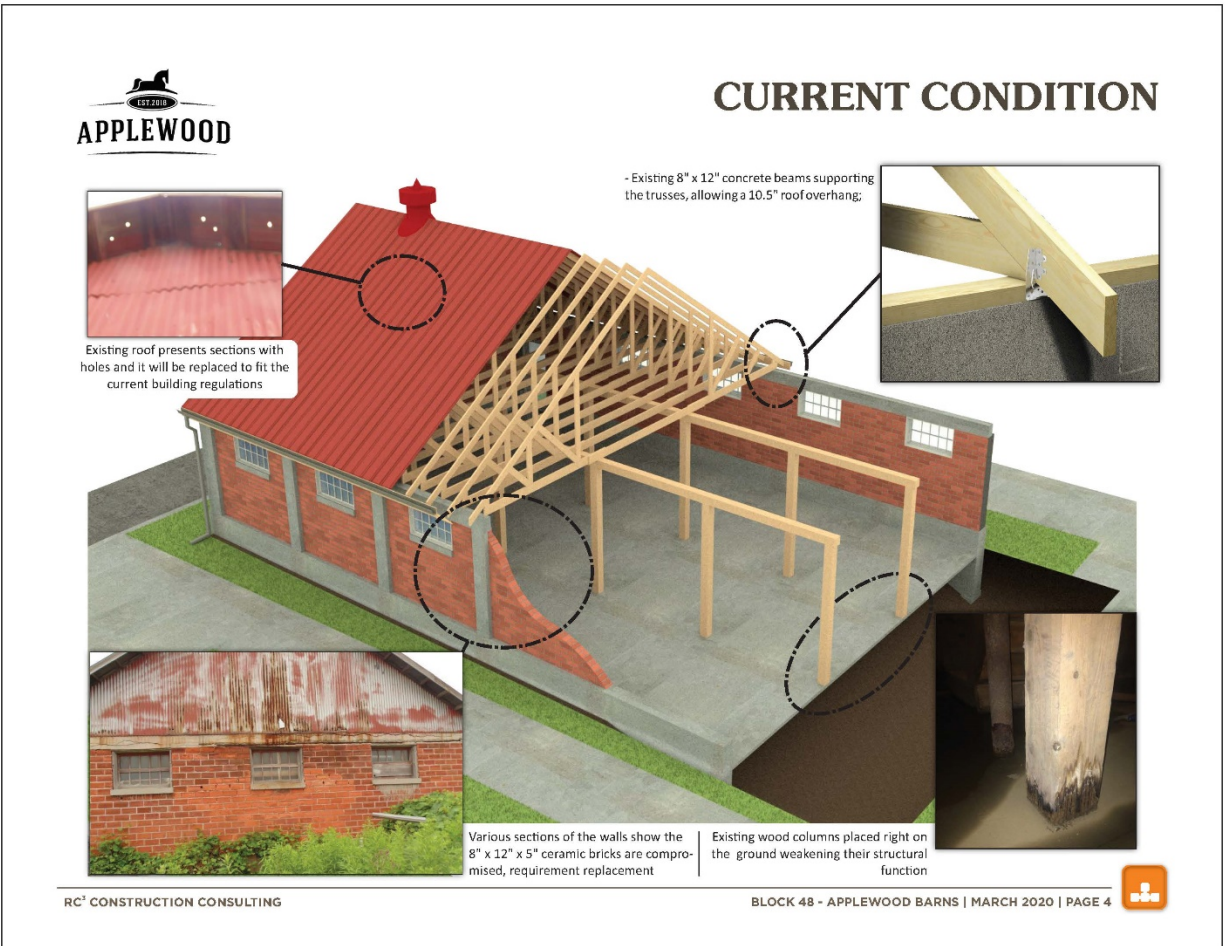


Figure 7: Cut-away detail showing the structure of the barns in their current condition.

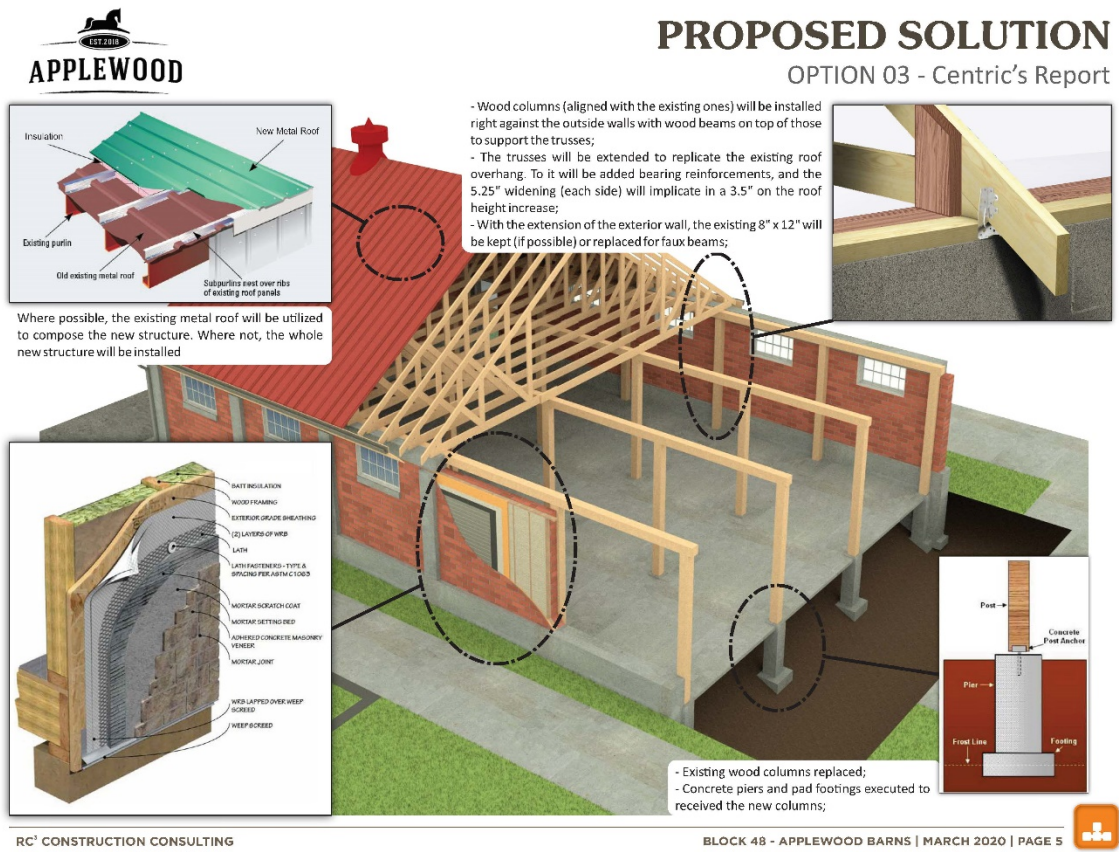


Figure 8: Cut-away detail showing the proposed solution to address code compliance issues for the barns, including new exterior wall for the building envelope, new roofing detail, and post and beam structural reinforcement on the interior.



RENDERINGS
PERSPECTIVE



Figure 9: Perspective rendering, in concept form (dated February 2020 and subject to change).



RENDERINGS
IMAGE 01



Figure 10: Rendering image of the barns, with the "barnyard" and connection to the adjacent park.



Figure 11: Rendering of the barns as seen from Blackwater Road.



Figure 12: Rendering, showing the small barn, looking south along Blackwater Road.



Figure 13: Rendering from the east corner of the property, looking internally through the site to the Large Barn.



Figure 14: Rendering showing the site with the two barns, looking north the proposed new building.



Figure 15: Rendering showing a concept of the park, with the barns in the background.



Draft conceptual rendering of interior

Source: Clawson Group Inc.
Applewood Developments (London) Inc.

Figure 16: Rendering showing the interior of the Small Barn.

Appendix D5 Concept Floor Plans

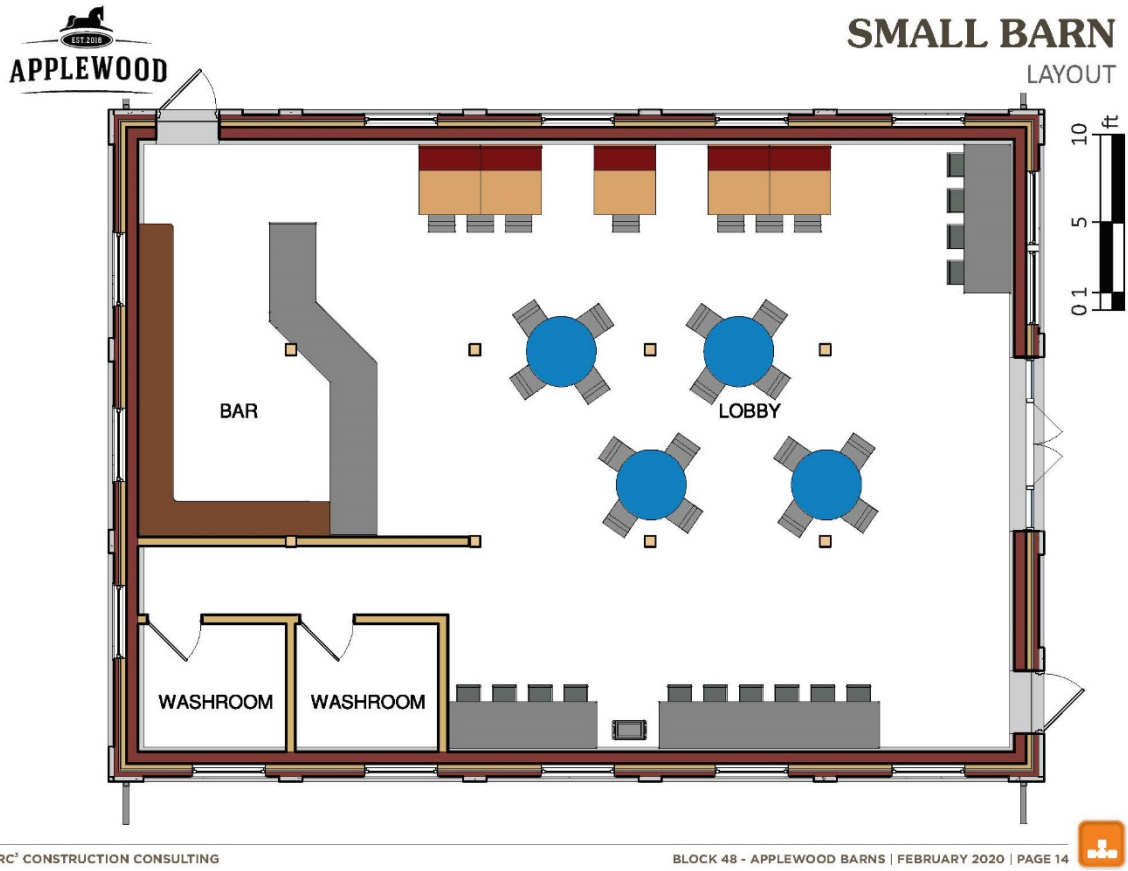


Figure 17: Concept floor plan of the Small Barn.

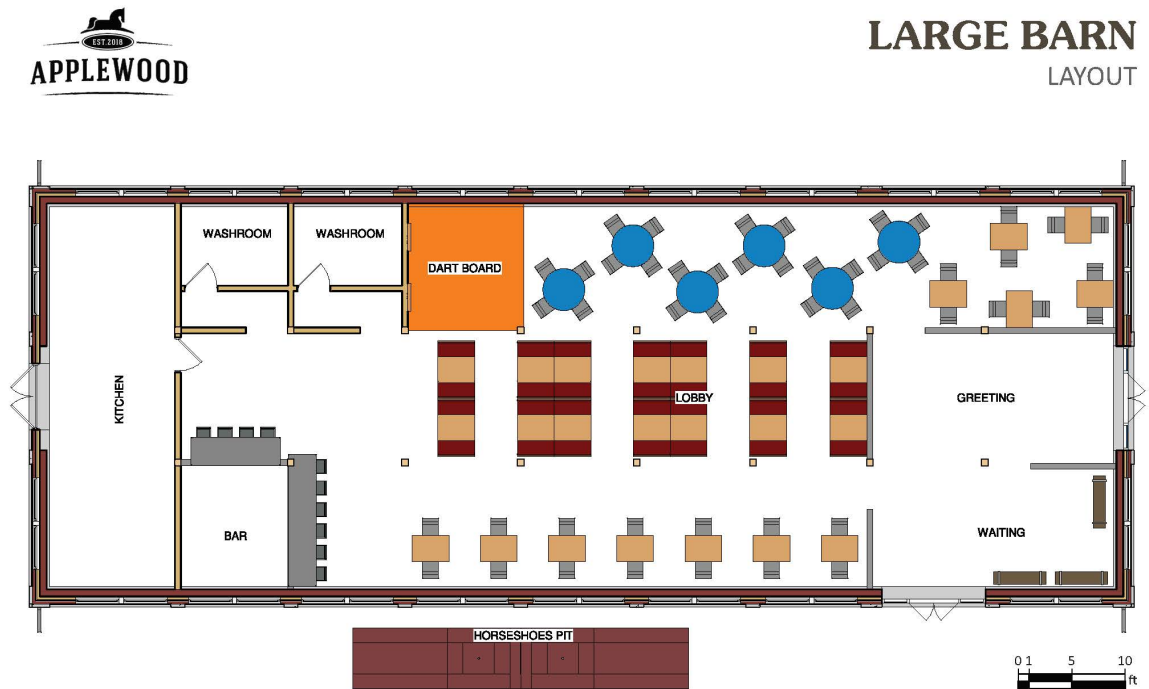


Figure 18: Concept floor plan of the Large Barn.

Appendix D5 Architectural Drawings – Large Barn

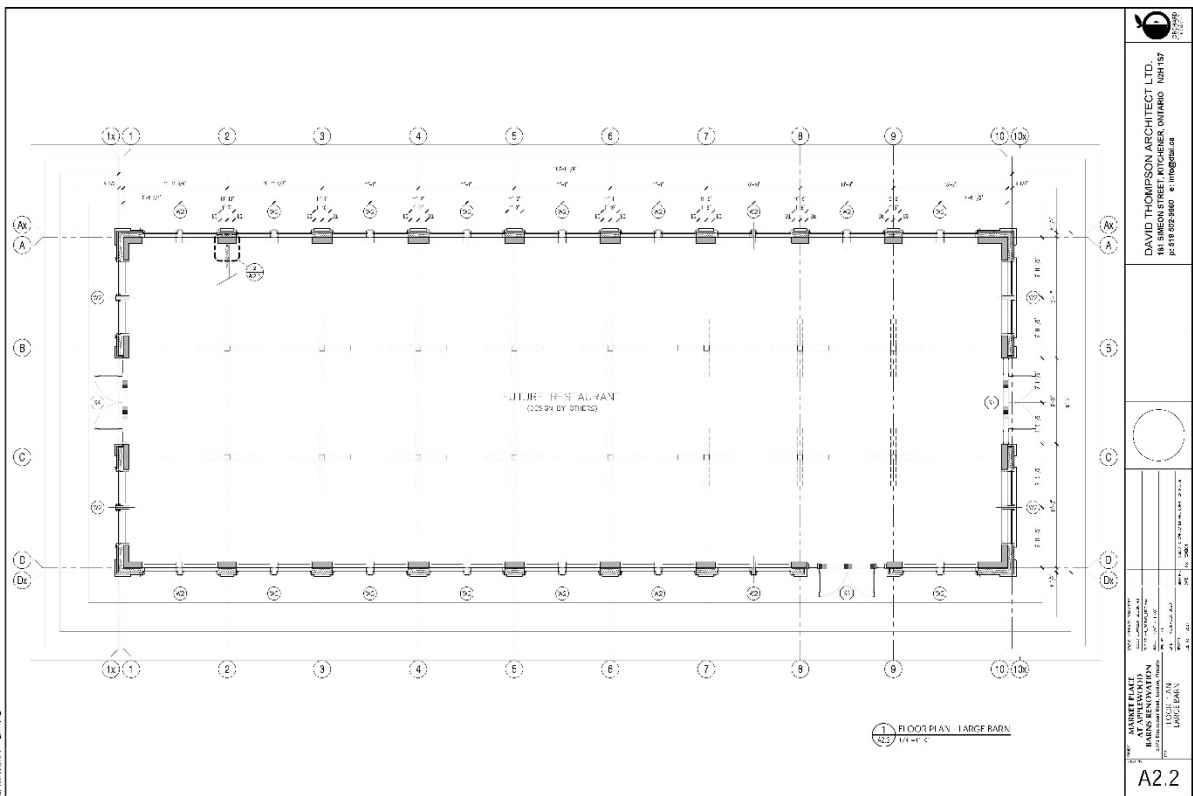


Figure 22: Floor plan of the Large Barn.

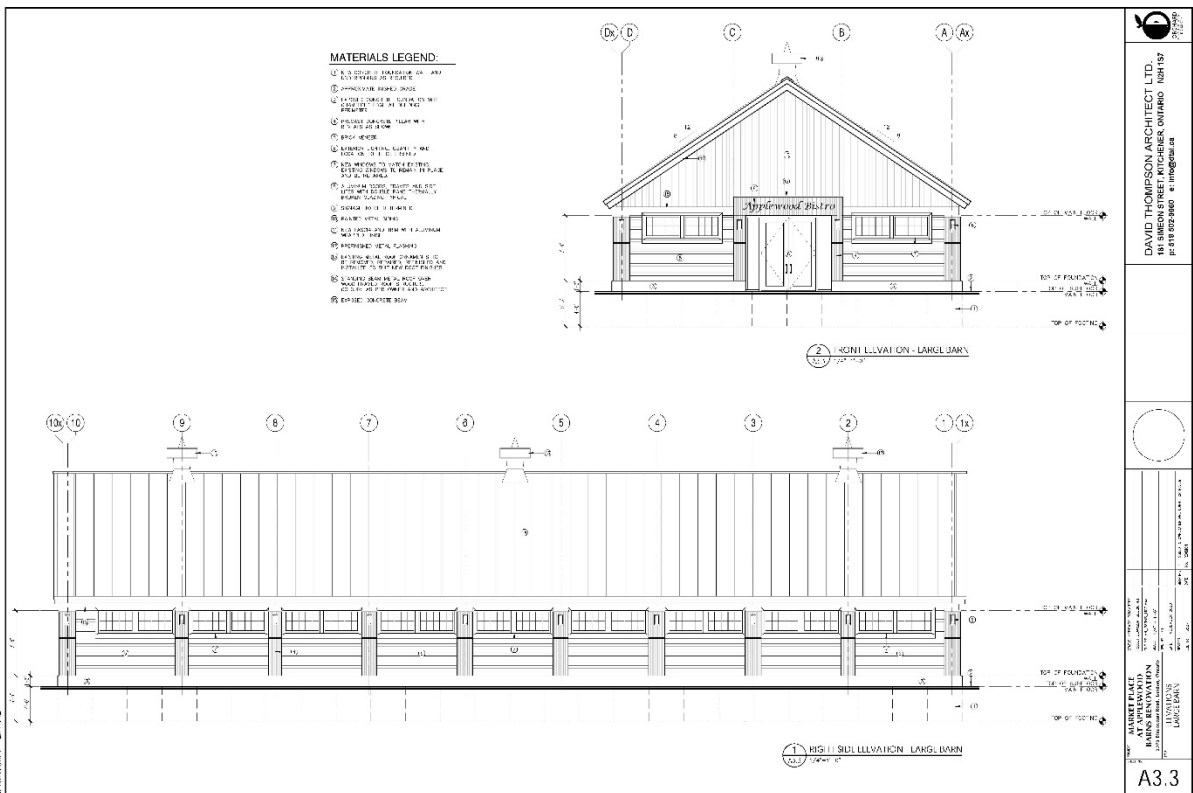


Figure 23: Elevations of the Large Barn.

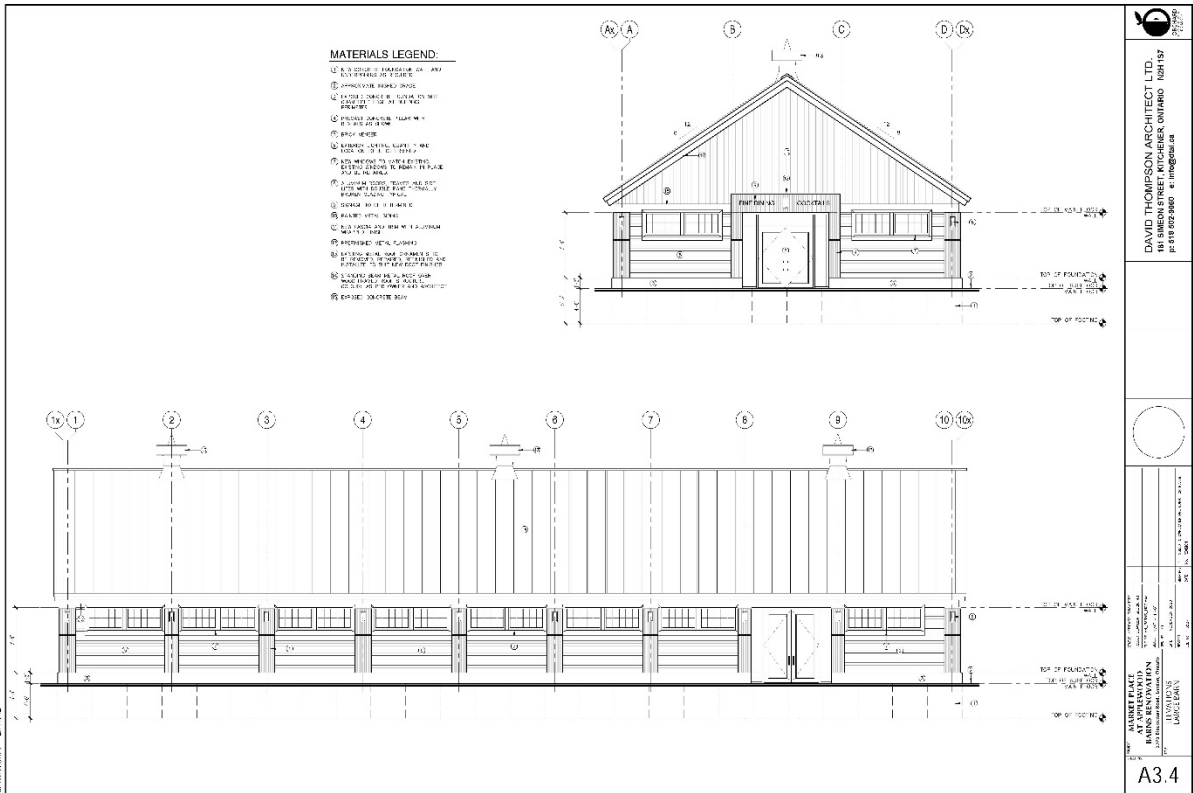


Figure 24: Elevations of the Large Barn.

Appendix D6 Proposed Exterior Cladding – Images



Image 2: Photograph showing two samples of a proposed veneer cladding, seeking a suitable colour match. The sample on the left has been selected as the preferred veneer cladding.



Image 3: Photograph showing two samples of a proposed veneer cladding, seeking a suitable colour match. The sample on the left has been selected as the preferred veneer cladding.



Image 4: Photograph showing the proposed veneer cladding for the new exterior walls of the barns, as well as two samples of a corrugated sheet metal roof.

Appendix E Concept Plan for the Park



PROPOSALS PARK INTEGRATION

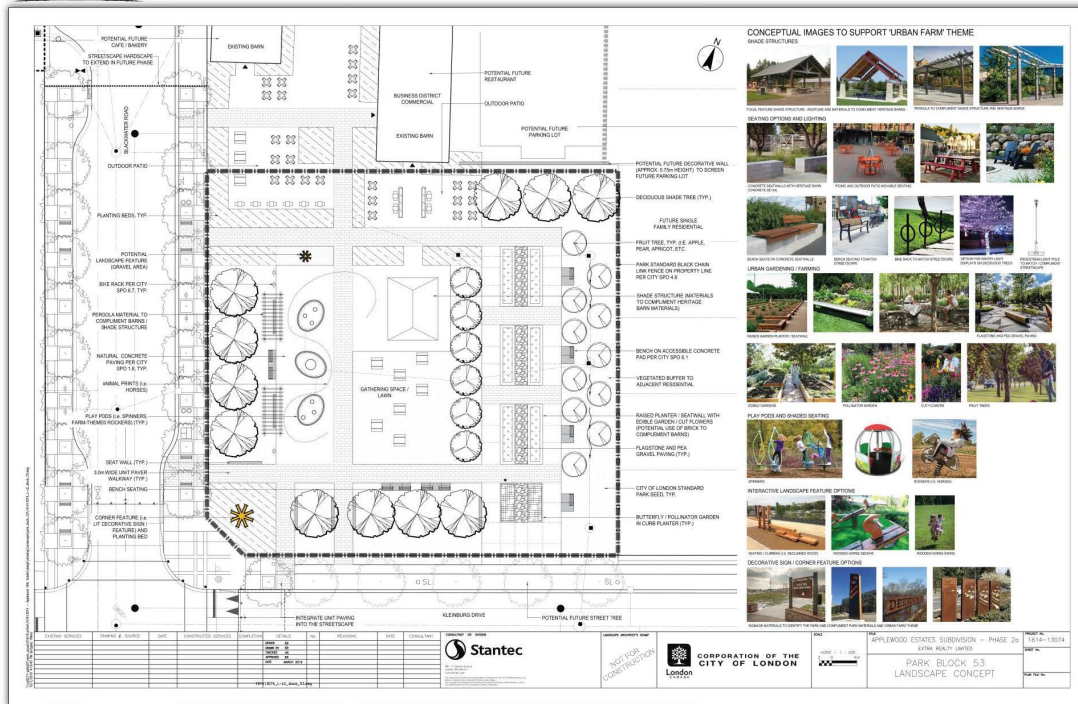


Figure 25: The Concept Plan for the park adjacent to the red barns at 660 Sunningdale Road East (2370 Blackwater Road). This Concept Plan is subject to change, but is included to demonstrate the efforts to connect the barns to the adjacent park space.