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T. KARIDAS
File No: SP12-033184

TO:	CHAIR AND MEMBERS – PLANNING AND ENVIRONMENT COMMITTEE MEETING
FROM:	G. KOTSIFAS P.ENG. MANAGING DIRECTOR, DEVELOPMENT & COMPLIANCE SERVICES AND CHIEF BUILDING OFFICIAL
SUBJECT:	APPLICATION BY: BANMAN DEVELOPMENTS (WEST) INC. 2095 CORONATION DRIVE PUBLIC SITE PLAN MEETING FEBRUARY 26,2013

RECOMMENDATION

That on the recommendation of the Manager of Development Services and Planning Liaison, the following actions be taken with respect to the site plan approval application by Banman Developments (West) Inc. relating to the property located at 2095 Coronation Drive:

- a) on behalf of the Approval Authority, the Planning and Environment Committee **BE REQUESTED** to conduct a public meeting on the subject site plan application and **REPORT TO** the Approval Authority the issues, if any, raised at the public meeting with respect to the application for Site Plan approval; and
- b) Council **ADVISE** the Approval Authority of any issues they may have with respect to the Site Plan application and **ADVISE** the Approval Authority whether they support the Site Plan application for the residential development.

PREVIOUS REPORTS PERTINENT TO THIS MATTER
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November 26, 2012, Report to PEC to rezone the lands from Neighbourhood Facility to R5 to permit townhouses.

PURPOSE AND EFFECT OF RECOMMENDED ACTION

The purpose of the report is to request the Planning & Environment Committee conduct a public participation meeting to receive feedback from the public and for Planning & Environment Committee and Council to provide advice to the Approval Authority when they are considering the plans, elevations, and requirements for the Site Plan.

The need for public engagement is to satisfy the h-5 holding provision.

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APPLICATION DETAILS

Date Application Accepted: October 15, 2012	Agent: Ric Knutson, Knutson Development Consultants Inc.
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REQUESTED ACTION: Application for Site Plan Approval for a 102 unit cluster townhouse development.
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SITE CHARACTERISTICS: <ul style="list-style-type: none"> • Current Land Use – Vacant • Frontage – 171 m • Depth – 248 m • Area – 27 200 m² • Shape – Rectangular

SURROUNDING LAND USES: <ul style="list-style-type: none"> • North – Residential and Public Park • South – Institutional (Place of Worship) • East – Public Park and Residential • West – Residential

OFFICIAL PLAN DESIGNATION: Multi Family Medium Density Residential
EXISTING ZONING: h.h-5.R5-5(2)

SIGNIFICANT DEPARTMENT/AGENCY COMMENTS

There are no significant issues.

PUBLIC LIAISON:	On February 5, 2013 notice of public meeting was sent out to area property owners and on February 21, 2013, notice of public meeting was placed in the Londoner.
Nature of Liaison: Application for Site Plan Approval for a 102 unit cluster townhouse development.	
Responses: To date there have been no emails or calls.	





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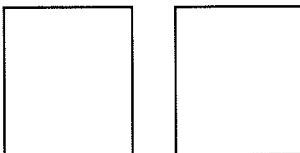
NOTIFICATION MAP

120m Radius Buffer
 Subject Site: 2095 Coronation Drive
 Applicant: Banman Developments (West) Inc
 File Number: SP12-033184
 Created By: Jeffrey Shaughnessy
 Date: 2013-02-04
 Scale: 1:3700

LEGEND

-  Subject Site
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers



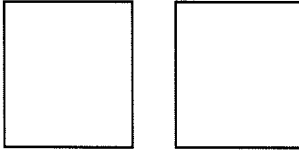


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BACKGROUND

On July 19, 2012, Banman Developments (West) Inc. filed an application for rezoning to change the zone from NF to R5 to permit Townhouses. On November 26, 2012, a public meeting of PEC was held and PEC recommended approval to Council. On December 11, 2012, City Council Resolved that the By-Law be passed and the Site Plan Approval Authority address the following design objectives through the Site Plan Application Process:

- i) a site plan and building elevations of a higher standard of design than shown in the illustrations be submitted;
- ii) minimize the number of points of egress and ingress to the site at these points, use building materials on the adjacent units to create a gateway effect;
- iii) no garages fronting onto Coronation Drive;
- iv) corner units at the intersection of the private road and Coronation Drive to incorporate the same building form, architectural elements, and materials as those units seen from the street to create a gateway effect;
- v) buildings shall be located to frame the public park and architectural elements, such as principle entrance doors and windows, are to be located on building facades facing the park.
- vi) fencing around the perimeter of the park to be low in height and of a high quality e.g. decorative black iron.
- vii) internal sidewalks around the perimeter of the park should connect with sidewalks in the neighbourhood.
- viii) landscape features are recommended at entrances from the sidewalks into the public park;
- ix) landscape features to attenuate the visual effect of parking areas are to be provided;
- x) pedestrian access to the park at the end of the driveway into the neighbourhood should be considered;
- xi) landscaping is to be provided on the west side of the site along Coronation Drive to strengthen the street edge; it being noted that landscaping to screen the parking area at the south driveway into the site should be provided;
- xii) privacy for residential properties to the north and east of the site should be considered;
- xiii) incorporate architectural variations in the individual units of the elevations on the street and park frontages;
- xiv) limit the maximum deck heights to no higher than the first finished floor level for each dwelling;
- xv) ensure the property is graded to not flood the neighbouring properties.



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ANALYSIS

Description of the Site Plan

The Property has two accesses from Coronation Drive directly opposite each end of Kimball Crescent.

The northerly access/drive provides a view to the public park to the east.

Parking is provided along the fronts of each unit and within garages on the interior of the site. The units facing Coronation Drive have their parking off the internal drive behind these units.

There is a private park/amenity space, centrally located west of the Public Park. This private amenity space is accessed by pedestrian walkways throughout the site. There is no walkway to the Public Park.

Does the Site Plan Comply with the R5-5(2) Zone?

The proposed site plan conforms to the zoning by-law.

The front yard setback was reduced from 6m to 4.5m through the special provision in the Zoning. The other regulation in the special provision requires that the deck height is to be no higher than the first finished floor level. The proposed plans will be revised to show this, and this will be confirmed at the permit stage.

The plan also provides for a 1.8m high board on board fence on the north property line abutting the residential lots and a 1.5m high black wrought iron (iron eagle) fence abutting the park.

There are two holding provisions:

h-5

Purpose: To ensure that development takes a form compatible with adjacent land uses, agreements shall be entered into following public site plan review specifying the issues allowed for under Section 41 of the Planning Act, R.S.O. 1990, c.P.13, prior to the removal of the "h-5" symbol.

Permitted Interim Uses: Existing uses (Z-1-94236)

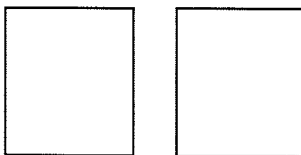
This holding provision requires the holding of a site plan public meeting and the entering into a development agreement, before the holding provision can be removed.

h

Purpose: To ensure the orderly development of lands and the adequate provision of municipal services, the "h" symbol shall not be deleted until a subdivision agreement or development agreement is entered into for the lands in question with the City of London.

Permitted Interim Uses: Existing Uses and/or Model Homes in accordance with Section 4.5(2) of By-law Z-1.

This holding provision cannot be removed until the Development Agreement has been entered into.



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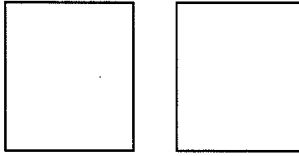
Is the Site Plan Compatible with the Neighbourhood?

The proposed site will be extensively landscaped. The design has been prepared by Ron Koudys Landscape Architects Inc. The plan has included urban design objectives and the plans adequately include all of the elements such as, shade trees, a strong street presence and privacy to the neighbouring residential lands.

Other Issues

The following design objectives were addressed as requested by Municipal Council on December 11, 2012:

- i) A site plan and building elevations of higher standard of design.**
 The higher standard has been addressed as seen on the attached building elevation drawings and is supported by Urban Design staff.
- ii) Minimize points of egress and ingress.**
 There are two points of egress and ingress as shown on the attached Site Plan.
- iii) No garages fronting onto Coronation Drive.**
 There are no garages fronting onto Coronation Drive.
- iv) Corner units at the intersection of the private road and Coronation Drive to incorporate the same building form, architectural elements as those units seen from the street to create a gateway effect.**
 As shown on the proposed building elevation drawings, the corner units create a gateway effect.
- v) Buildings shall be located to frame the public Park and architectural elements such as principle entrance doors and windows are to be located on building facades facing the park.**
 This has been addressed by the use of man doors as well as a decorative porch feature on all units adjacent to the park. (see attached drawing).
- vi) Fencing around the perimeter of the park to be low in height and of a high quality e.g. decorative black iron.**
 The proposed fencing is 1.5m high black wrought iron (iron eagle) fence. (as shown on the latest site plan and landscape plan). This meets the minimum height for a fence abutting a Park.
- vii) Internal sidewalks around the perimeter of the park should connect with sidewalks in the neighbourhood.**
 The sidewalks throughout the site connect the private park with the City sidewalk.
- viii) Landscape features are recommended at entrances from the sidewalks into the public park.**
 There will not be landscape features installed at the entrances from the sidewalks into the public park as there will not be a direct connection.
- ix) Landscape features to attenuate the visual effect of parking areas are to be provided.**



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All parking spaces are located on the interior of the site and landscaping is proposed between the parking and the dwelling unit.

- x) Pedestrian access to the park at the end of the driveway into the neighbourhood should be considered.**

The applicant has considered a pedestrian access to the public park but is concerned with the potential liability for damage to private property by the public passing through the site. Consequently, their plan does not provide any gates into the Park.

- xi) Landscaping is to be provided on the west side of the site along Coronation Drive to Strengthen the street edge; it being noted that landscaping to screen the parking area at the south driveway into the site should be provided;**

Landscaping is proposed to strengthen the street edge. Landscaping to screen the parking area east of the south entrance is proposed.

- xii) Privacy for residential properties to the north and east of the site should be considered.**

Privacy fencing (1.8m high wood fence) and landscape materials will screen the adjacent residential properties. Additional plantings will be added to implement this.

- xiii) Incorporate architectural variations in the individual units of the elevations on the street and park frontages.**

The buildings that face Coronation Drive have been improved with the middle unit of each building having a stone element from the ground to the eave, as well as having the siding incorporate tonal differences in the units that face the park.

- xiv) Limit the maximum deck heights to no higher than the first finished floor level for each dwelling unit.**

This has been addressed as a special provision in the Zoning By-law and decks will be added to the elevation drawings to confirm this.

- xv) Ensure the property is graded to not flood the neighbouring properties.**





Grading plans are under review by Engineering Review. Generally, the surface run-off will be directed to the storm sewer system on the site and generally contained. Neighbouring properties should not be affected by the design.

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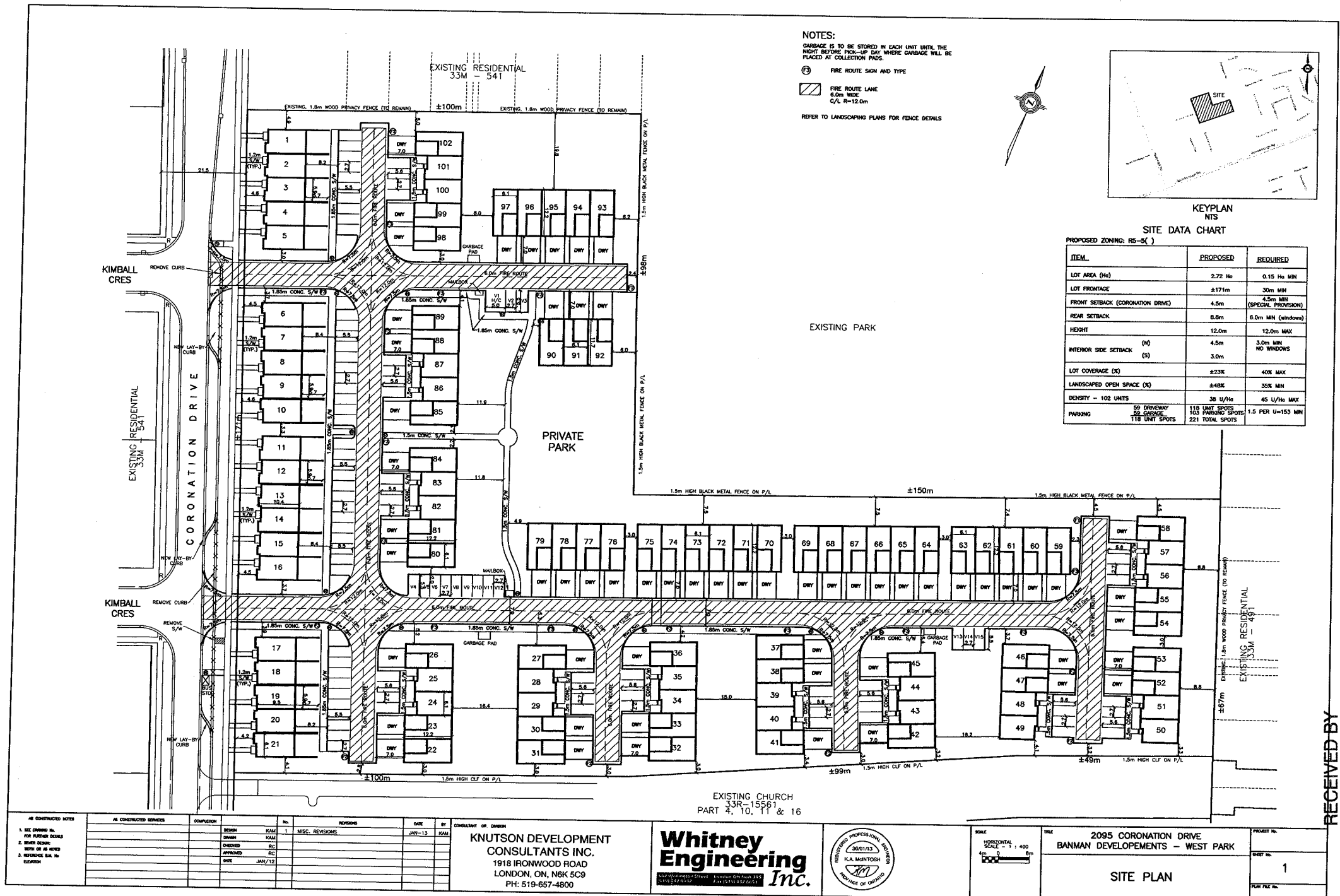
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CONCLUSION

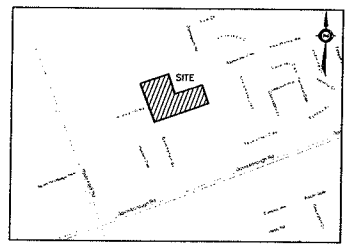
Based on a review of the applicable Official Plan policies, the Zoning By-law, permitted uses and regulations, and the Provincial Policy Statement, approval of the submitted site plan and elevations by the Approval Authority will be appropriate for the development of these lands. The proposal represents good land use planning and subject to the results of the public meeting, the plans and drawings could be recommended for approval to the Approval Authority along with a standard Development Agreement subject to the approval of the servicing plans, updates to the landscape plan and the re-construction of the blocks and ultimately the removal of the holding provisions.

PREPARED BY:	REVIEWED BY:
	
T. KARIDAS SITE PLAN APPROVAL OFFICER DEVELOPMENT SERVICES	BRUCE HENRY MANAGER, DEVELOPMENT PLANNING
RECOMMENDED BY:	SUBMITTED BY:
	
TERRY GRAWEY, MANAGER, DEVELOPMENT SERVICES AND PLANNING LIAISON	GEORGE KOTSIFAS, P.ENG. MANAGING DIRECTOR, DEVELOPMENT AND COMPLIANCE SERVICES AND CHIEF BUILDING OFFICIAL

c : Banman Developments Inc.
 c/o Knutson Development Consultants Inc.
 1918 Ironwood Road
 London, ON N6K 5C9
 Email: ricknutson1@me.com



NOTES:
 GARBAGE IS TO BE STORED IN EACH UNIT UNTIL THE NIGHT BEFORE PICK-UP DAY WHERE GARBAGE WILL BE PLACED AT COLLECTION PADS.
 (E) FIRE ROUTE SIGN AND TYPE
 FIRE ROUTE LANE
 5.0m WIDE
 C/L R=12.0m
 REFER TO LANDSCAPING PLANS FOR FENCE DETAILS



**KEY PLAN
 SITES
 SITE DATA CHART**

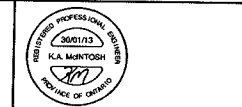
PROPOSED ZONING: RS-5K ()

ITEM	PROPOSED	REQUIRED
LOT AREA (Ha)	2.72 Ha	0.15 Ha MIN
LOT FRONTAGE	±171m	30m MIN
FRONT SETBACK (CORONATION DRIVE)	4.5m	4.5m MIN (SPECIAL PROVISION)
REAR SETBACK	8.8m	6.0m MIN (windows)
HEIGHT	12.0m	12.0m MAX
INTERIOR SIDE SETBACK (H)	4.5m	3.0m MIN NO WINDOWS
INTERIOR SIDE SETBACK (S)	3.0m	
LOT COVERAGE (%)	±23%	40% MAX
LANDSCAPED OPEN SPACE (%)	±48%	35% MIN
DENSITY - 102 UNITS	38 U/Ha	45 U/Ha MAX
PARKING	59 DRIVEWAY 89 GARAGE 118 UNIT SPOTS	118 UNIT SPOTS 103 PARKING SPOTS 221 TOTAL SPOTS
		1.5 PER U=153 MIN

NO.	DESCRIPTION	DATE	BY	CONSULTANT OR DIVISION
1.	SEE DRAWING NO. FOR FURTHER DETAILS			
2.	REVISIONS			
3.	REVISIONS			

KNUTSON DEVELOPMENT CONSULTANTS INC.
 1918 IRONWOOD ROAD
 LONDON, ON, N6K 5C9
 PH: 519-657-4800

Whitney Engineering Inc.
 5175 Sheppard Avenue East
 Scarborough, Ontario M1S 1T5
 PH: 416-291-1100



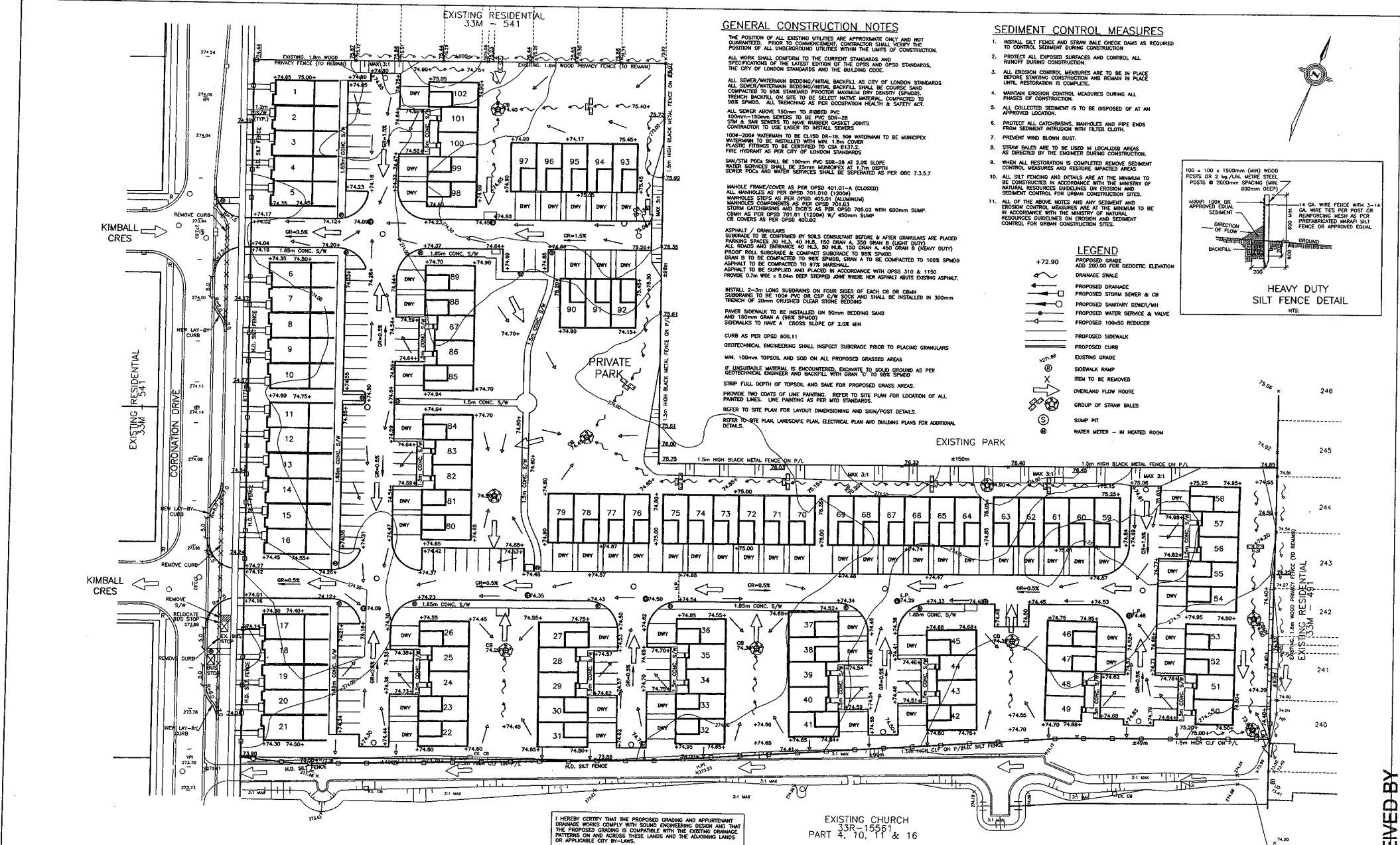
SCALE HORIZONTAL SCALE 1" = 400' VERTICAL SCALE 1" = 200'	TITLE 2095 CORONATION DRIVE BANMAN DEVELOPMENTS - WEST PARK SITE PLAN	SHEET NO. 1
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12-033184

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CITY OF LONDON
 DEVELOPMENT SERVICES



GENERAL CONSTRUCTION NOTES

THE POSITION OF ALL EXISTING UTILITIES ARE APPROXIMATE ONLY AND NOT GUARANTEED. PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR SHALL VERIFY THE POSITION OF ALL UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION.

ALL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LATEST EDITION OF THE OPS AND OPD STANDARDS, THE CITY OF LONDON STANDARDS AND THE BUILDING CODE.

ALL SEWER WATERMAIN BEDDING/INITIAL BACKFILL AS PER CITY OF LONDON STANDARDS. ALL SEWER WATERMAIN BEDDING/INITIAL BACKFILL SHALL BE COURSE SAND COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY (SPHID). TRENCH BACKFILL ON SITE TO BE SELECTED NATIVE MATERIAL, COMPACTED TO 95% SPHID. ALL TRENCHING AS PER OCCUPATION HEALTH & SAFETY ACT.

ALL SEWER ABOVE 150mm TO BE HDPE 150mm-150mm SEWERS TO BE PVC 150mm-28. 375mm SEWERS TO HAVE 375mm SOCKET JOINTS. CONTRACTOR TO USE LASER TO INSTALL SEWER.

100-200mm WATERMAIN TO BE CL150 DR-18. 300mm WATERMAIN TO BE MUNICIPCAL WATERMAIN TO BE INSTALLED WITH MIN. 1.0m COVER. PLASTIC FITTINGS TO BE CERTIFIED TO CSA B137.2. FIRE HYDRANT AS PER CITY OF LONDON STANDARDS.

SAN/STM PDCs SHALL BE 100mm PVC SDR-26 AT 2.0% SLOPE. WATER SERVICES SHALL BE 25mm MUNICIPAL AT 1.7m DEPTH. SEWER PDC AND WATER SERVICES SHALL BE SEPARATED AS PER ODC 7.3.5.7.

MANHOLE FRAME/COVER AS PER OPSD 401.01-4 (CLOSED) ALL MANHOLES AS PER OPSD 701.010 (1200mm) MANHOLES COMPONENTS AS PER OPSD 405.01 (ALUMINUM) MANHOLES COMPONENTS AS PER OPSD 701.03 STORM CATCHBASINS AND DUCTS AS PER OPSD 706.02 WITH 600mm SUMP. 1200mm AS PER OPSD 701.01 (1200mm) W/ 450mm SUMP. CB COVERS AS PER OPSD 400.02.

ASPHALT / GRANULARS SURFACE TO BE COMPACTED BY SOILS CONSULTANT BEFORE & AFTER GRANULARS ARE PLACED. PARKING SPACES 30 H.L. 40 H.L. 150 GRAN A, 350 GRAN B (LIGHT DUTY). ALL ROADS AND ENTRANCES 40 H.L. 50 H.L. 150 GRAN A, 40 GRAN B (HEAVY DUTY). PROOF ROLL SURFACE & COMPACT SUBGRADE TO 95% SPHID. GRAN B TO BE COMPACTED TO 95% SPHID. GRAN A TO BE COMPACTED TO 100% SPHID. ASPHALT TO BE SUPPLIED AND PLACED IN ACCORDANCE WITH OPSD 310 & 310.1. PROVIDE 0.7m WIDE x 0.4m DEEP STEPPED JOINT WHERE NEW ASPHALT ADJUTS EXISTING ASPHALT.

INSTALL 2-3m LONG SUBDRAINS ON FOUR SIDES OF EACH CB OR CBM. SUBDRAINS TO BE 100mm PVC OR CSP C/W SOCK AND SHALL BE INSTALLED IN 300mm TRENCH OF 20mm CRUSHED CLEAR STONE BEDDING.

PAVER SIDEWALK TO BE INSTALLED ON 50mm BEDDING SAND AND 150mm GRAN A (95% SPHID). SIDEWALKS TO HAVE A CROSS SLOPE OF 2.0% MIN.

CURB AS PER OPSD 600.11.

GEOTECHNICAL ENGINEERING SHALL INSPECT SUBGRADE PRIOR TO PLACING GRANULARS.

MIN. 100mm TOPSOIL AND SOD ON ALL PROPOSED GRASSED AREAS.

IF UNSUITABLE MATERIAL IS ENCOUNTERED, FILL WITH SOLID GROUND AS PER GEOTECHNICAL ENGINEER AND BACKFILL WITH GRAN V TO 95% SPHID.

STRIP FULL DEPTH OF TOPSOIL AND SAVE FOR PROPOSED GRASS AREAS.

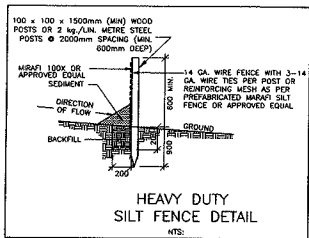
PROVIDE TWO COATS OF LINE PAINTING. REFER TO SITE PLAN FOR LOCATION OF ALL PAINTED LINES. LINE PAINTING AS PER MTD STANDARDS.

REFER TO SITE PLAN FOR LAYOUT DIMENSIONING AND SIGN/POST DETAILS.

REFER TO SITE PLAN, LANDSCAPE PLAN, ELECTRICAL PLAN AND BUILDING PLANS FOR ADDITIONAL DETAILS.

SEDIMENT CONTROL MEASURES

1. INSTALL SILT FENCE AND STRAW BALE CHECK DAMS AS REQUIRED TO CONTROL SEDIMENT DURING CONSTRUCTION.
2. PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUMPLEY DURING CONSTRUCTION.
3. ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETE.
4. MAINTAIN EROSION CONTROL MEASURES DURING ALL PHASES OF CONSTRUCTION.
5. ALL COLLECTED SEDIMENT IS TO BE DISPOSED OF AT AN APPROVED LOCATION.
6. PROTECT ALL CATCHBASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INFILTRATION WITH FILTER CLOTH.
7. PREVENT WIND BLOWN DUST.
8. STRAW BALES ARE TO BE USED IN LOCALIZED AREAS AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION.
9. WHEN ALL RESTORATION IS COMPLETED REMOVE SEDIMENT CONTROL MEASURES AND RESTORE IMPACTED AREAS.
10. ALL SILT FENCING AND DETAILS ARE AT THE MINIMUM TO BE CONSTRUCTED IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
11. ALL OF THE ABOVE NOTES AND ANY SEDIMENT AND EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.



LEGEND

- +72.90 PROPOSED GRADE ADD 200.00 FOR GEODETIC ELEVATION
- DRAINAGE SWALE
- PROPOSED DRAINAGE
- PROPOSED SANITARY SEWER/WH
- PROPOSED WATER SERVICE & VALVE
- PROPOSED 100x50 REDUCER
- PROPOSED SIDEWALK
- PROPOSED CURB
- EXISTING GRADE
- SIDEWALK RAMP
- ITEM TO BE REMOVED
- OVERLAND FLOW ROUTE
- GROUP OF STRAW BALES
- ⊙ SUMP PIT
- ⊙ WATER METER - IN HEATED ROOM

I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS COMPATIBLE WITH THE EXISTING DRAINAGE PATTERNS ON AND ACROSS THESE LANDS AND THE ADJACENT LANDS OR APPLICABLE CITY BY-LAWS.

EXISTING CHURCH
33R-15561
PART 4, 10, 11 & 16

AS CONSTRUCTED NOTES	AS CONSTRUCTED SERVICES	COMPLETION	NO.	REVISIONS	DATE	BY	CONSULTANT OR DESIGN
1. SEE DRAWING NO. FOR FURTHER DETAILS	DESIGN	RC	1	REVISED AS PER CITY COMMENTS	JAN/13	RC	
2. SOME DESIGN WORKS OF AS NOTED	DESIGNED	KAM					
3. REFERENCES ARE IN ELEVATION	APPROVED	KAM					
	DATE	SEPT/12					

KNUTSON DEVELOPMENT CONSULTANTS INC.
1918 IRONWOOD ROAD
LONDON, ON, N6K 5C9
PH: 519-657-4800



Whitney Engineering Inc.
1602 Wellington Street
519-342-0532

SCALE
HORIZONTAL: 1" = 40'
VERTICAL: 1" = 5'

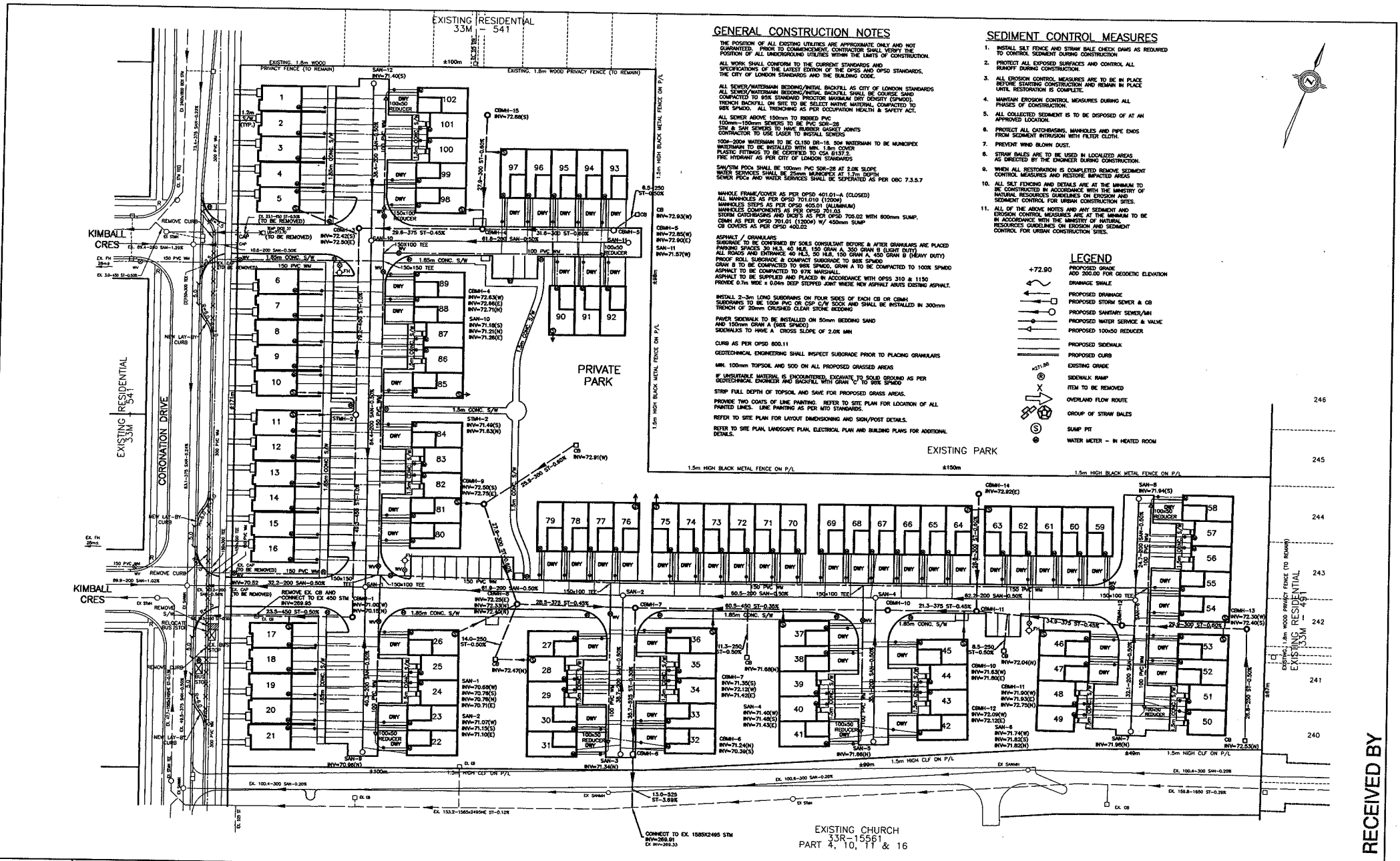
TITLE	2095 CORONATION DRIVE BANMAN DEVELOPEMENTS - WEST PARK	PROJECT NO.	
	GRADING PLAN	SHEET NO.	2
		PLAN FILE NO.	

12-033184

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CITY OF LONDON
DEVELOPMENT SERVICES



GENERAL CONSTRUCTION NOTES

THE POSITION OF ALL EXISTING UTILITIES ARE APPROXIMATE ONLY AND NOT GUARANTEED. FROM THE COMMENCEMENT OF CONSTRUCTION SHALL VERIFY THE POSITION OF ALL UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION.

ALL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LATEST EDITION OF THE CODES AND OPSS STANDARDS, THE CITY OF LONDON STANDARDS AND THE BUILDING CODE.

ALL SEWER/WATERMAIN BEDDING/INITIAL BACKFILL SHALL BE CITY OF LONDON STANDARDS. ALL SEWER/WATERMAIN BEDDING/INITIAL BACKFILL SHALL BE COURSE SAND COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY (SPK04). TRENCH BACKFILL ON SITE TO BE SELECTED NATURAL MATERIAL, COMPACTED TO 95% SPK04. ALL TRENCHING AS PER OCCUPATION HEALTH & SAFETY ACT.

ALL SEWER ABOVE 150mm TO BE 150mm PVC SDR-26 AT 2.0% SLOPE. 150mm-100mm SERVICES TO BE PVC SDR-26. STW & SAN SEWERS TO HAVE RUBBER JOINTS CONTRACTOR TO USE CASING/PROCTOR MAXIMUM DRY DENSITY (SPK04). 100-200mm WATERMAIN TO BE CLD 100-150mm WATERMAIN TO BE MONOPLEX WATERMAIN TO BE INSTALLED WITH MIN. 150mm COVER. PLASTIC FITTINGS TO BE CORRODED TO CSA B137.2. FIRE HYDRANT AS PER CITY OF LONDON STANDARDS.

SAW/STM POOL SHALL BE 100mm PVC SDR-26 AT 2.0% SLOPE. WATER SERVICES SHALL BE 20mm MONOPLEX AT 1.7m DEPTH. SEWER POOL & WATER SERVICES SHALL BE GENERATED AS PER CBC 7.3.5.7.

MANHOLE FRAME/COVER AS PER OPSD 401.01-4 (CLOSED). ALL MANHOLES AS PER OPSD 701.010 (1200mm). MANHOLE STEPS AS PER OPSD 405.010 (ALUMINUM). MANHOLE COMPONENTS AS PER OPSD 701.013. STORM CATCHBASINS AND COVERS AS PER OPSD 705.02 WITH 800mm SLUMP. CBM AS PER OPSD 701.01 (1200mm) W/ 450mm SLUMP. CB COVERS AS PER OPSD 405.010.

ASPHALT / GRANULARS SURFACING TO BE CONFIRMED BY SOILS CONSULTANT BEFORE & AFTER GRANULARS ARE PLACED. PAVING SERVICES 40 H.L.S. 40 H.L.S. 150 GRAM A, 50 GRAM B (LIGHT DUTY). ALL ROADS AND ENTRANCE 40 H.L.S. 50 H.L.S. 150 GRAM A, 450 GRAM B (HEAVY DUTY). PROF. ROAD SURFACE & CONCRETE SUBGRADE TO BE SPREAD GRAN B TO BE COMPACTED TO 98% SPK04. GRAN A TO BE COMPACTED TO 100% SPK04. ASPHALT TO BE COMPACTED TO 97% MASH. SURFACE TO BE SUPPLIED AND PLACED IN ACCORDANCE WITH OPSD 310 & 1150. PROVIDE 0.7m WIDE x 0.08m DEEP STOPPED JOINT WHERE NEW ASPHALT ADJUTS EXISTING ASPHALT.

INSTALL 2-3m LONG SUBDRAINAGE ON FOUR SIDES OF EACH CB OR CBM. SUBDRAINAGE TO BE 100mm PVC OR G.P. 50mm SDR AND SHALL BE INSTALLED IN 300mm TRENCH OF 20mm CRUSHED CLEAR STONE BEDDING.

PAVER SIDEWALK TO BE INSTALLED ON 50mm BEDDING SAND AND 100mm GRAN A (BASE SPREAD). SIDEWALKS TO HAVE A CROSS SLOPE OF 2.0% MIN.

CURB AS PER OPSD 800.11.

GEOTECHNICAL ENGINEERING SHALL INSPECT SUBGRADE PRIOR TO PLACING GRANULARS.

MIN. 100mm TOPSOIL AND 500 ON ALL PROPOSED GRASSED AREAS.

IF UNSUITABLE MATERIAL IS ENCOUNTERED, EXCAVATE TO SOLID GROUND AS PER GEOTECHNICAL ENGINEER AND BACKFILL WITH GRAN C TO 90% SPK04.

STRIP FULL DEPTH OF TOPSOIL AND SAVE FOR PROPOSED GRASS AREAS.

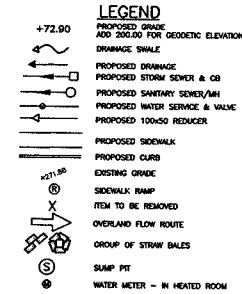
REMOVE TWO COATS OF LINE PAINTING. REFER TO SITE PLAN FOR LOCATION OF ALL PAINTED LINES. LINE PAINTING AS PER MIT STANDARDS.

REFER TO SITE PLAN FOR LAYOUT DIMENSIONING AND SIGN/POST DETAILS.

REFER TO SITE PLAN, LANDSCAPE PLAN, ELECTRICAL PLAN AND BUILDING PLANS FOR ADDITIONAL DETAILS.

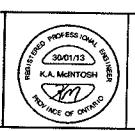
SEDIMENT CONTROL MEASURES

1. INSTALL SILT FENCE AND STRAW BALE CHECK DAMS AS REQUIRED TO CONTROL SEDIMENT DURING CONSTRUCTION.
2. PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
3. ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETE.
4. MAINTAIN EROSION CONTROL MEASURES DURING ALL PHASES OF CONSTRUCTION.
5. ALL COLLECTED SEDIMENT IS TO BE DISPOSED OF AT AN APPROVED LOCATION.
6. PROTECT ALL CATCHBASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INTRUSION WITH FILTER CLOTH.
7. PREVENT WIND BLOWN DUST.
8. STRAW BALES ARE TO BE USED IN LOCALIZED AREAS AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION.
9. WHEN ALL RESTORATION IS COMPLETED REMOVE SEDIMENT CONTROL MEASURES AND RESTORE IMPACTED AREAS.
10. ALL SILT FENCING AND DETAILS ARE AT THE MINIMUM TO BE CONSTRUCTED IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
11. ALL OF THE ABOVE NOTES AND ANY SEDIMENT AND EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.



AS CONSTRUCTED NOTES	AS CONSTRUCTED SERVICES	COMPLETION	REGION	NO.	REVISIONS	DATE	BY	CONVEYANCE OR DESIGN
1. SEE DRAWING NO. FOR PLUMBING DETAILS			RC	1	REVISED AS PER CITY COMMENTS	JAN/13	RC	
2. SHOW GRADING WITH OR AS NOTED			CHANGED	KAM				
3. REFERENCE B.A. NO. GIVEN			APPROVED	KAM		SEPT/12		

KNUTSON DEVELOPMENT CONSULTANTS INC.
 1918 IRONWOOD ROAD
 LONDON, ON, N6K 5C9
 PH: 519-657-4800



Whitney Engineering Inc.
 160 Wellington Street East, Toronto, ON M5E 1B5
 416-593-9072 Fax: 416-593-9155

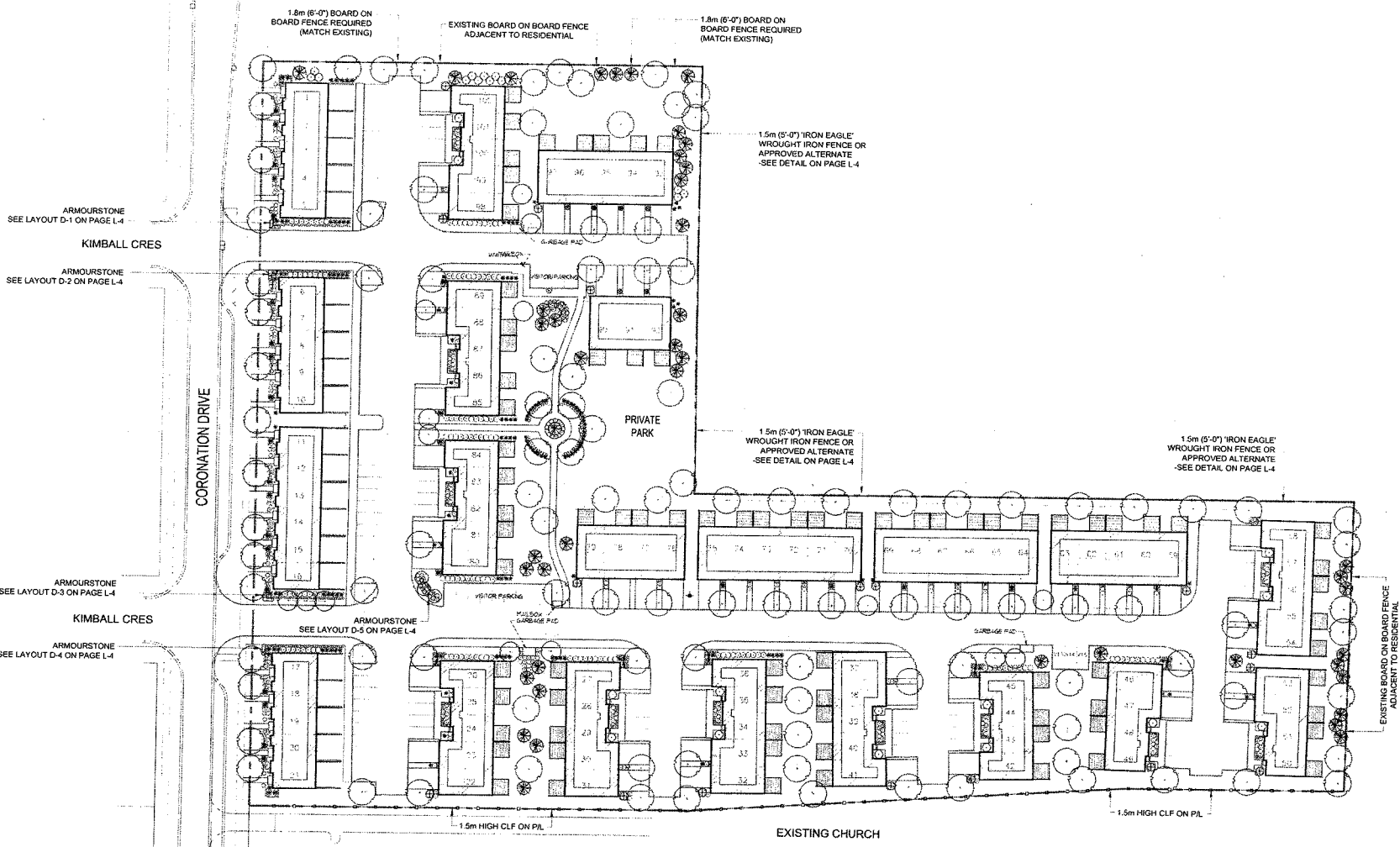
PROJECT NO.	2095 CORONATION DRIVE BANMAN DEVELOPMENTS - WEST PARK
SHEET NO.	3
PLAN FILE NO.	

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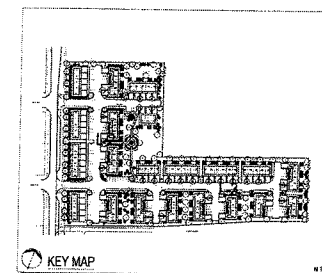
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DEVELOPMENT SERVICES

12-033184



OVERALL LANDSCAPE PLAN



KEY PLAN - N.T.S.

LEGEND

- PROPOSED PLANTING
- PROPOSED ARMOURSTONE
SEE PAGE L-1 FOR DETAILS
- PROPOSED DECORATIVE AIRLOCK GATE
SEE DETAIL ON THIS PAGE
- 1.8m (6'-0") BOARD ON BOARD FENCE
MATCH EXISTING
- 1.5m (5'-0") IRON EAGLE WROUGHT IRON FENCE OR APPROVED ALTERNATE
SEE DETAIL ON THIS PAGE
- 1.5m (5'-0") CHAIN LINK FENCE
- PROPOSED TREE LOCATIONS
- 2x4 WOOD DECK WITH SCREEN

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CITY OF LONDON
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RON KOUDYS
LANDSCAPE
ARCHITECTS



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Author: Ron Kouดย, OALA, C.S.L.A. DATE: _____

NO.	DESCRIPTION	DATE
1	DESIGNED	NO. 10/02/09
2	REVISED	NO. 10/02/09
3	REVISED	NO. 10/02/09
4	REVISED	NO. 10/02/09
5	REVISED	NO. 10/02/09
6	REVISED	NO. 10/02/09
7	REVISED	NO. 10/02/09
8	REVISED	NO. 10/02/09
9	REVISED	NO. 10/02/09
10	REVISED	NO. 10/02/09

PLOTTING INFORMATION:
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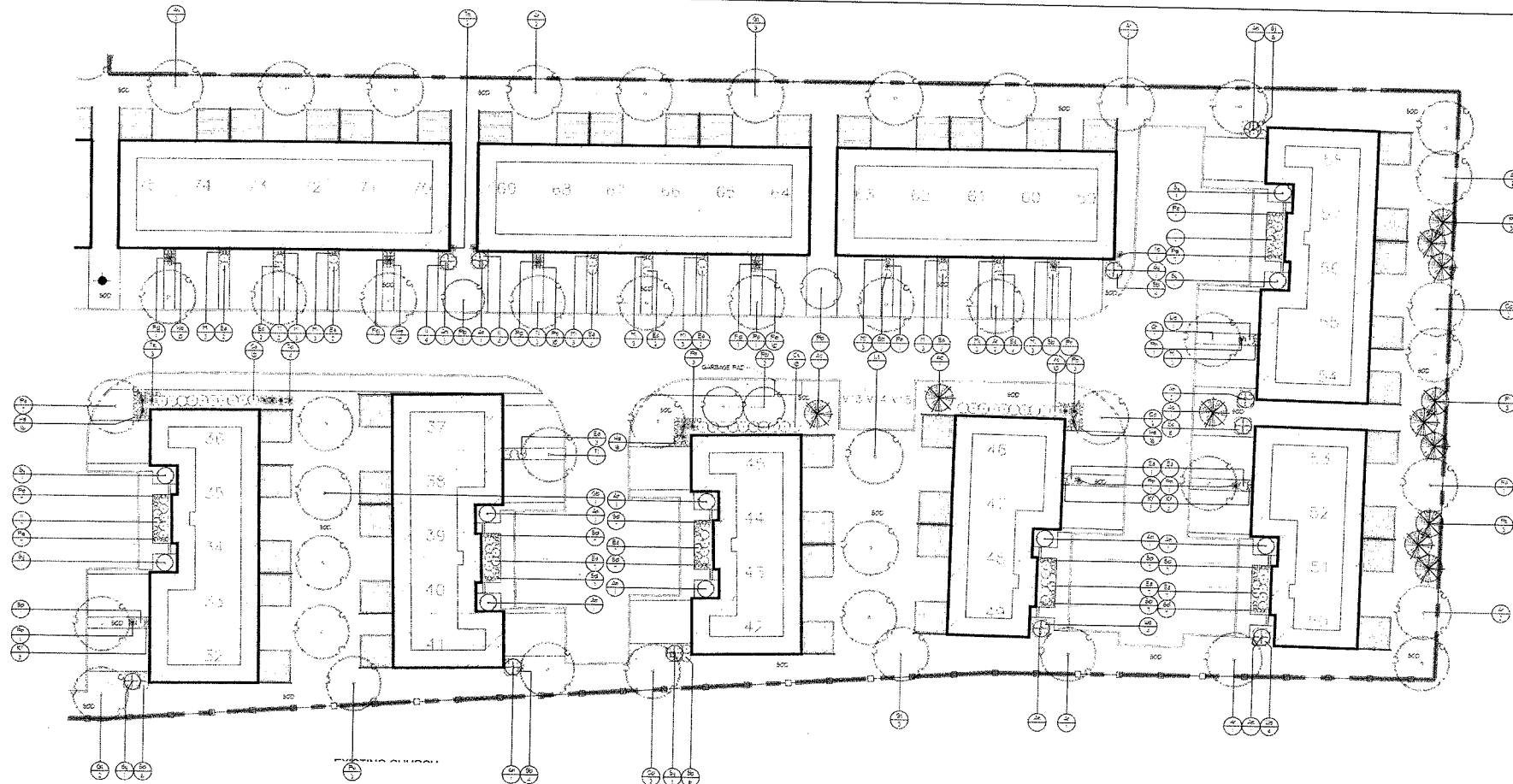


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2095 CORONATION DRIVE
BANMAN DEVELOPMENTS
WEST PARK
LONDON, ONTARIO

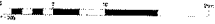
PROJECT TITLE:
OVERALL LANDSCAPE PLAN

DATE	SCALE	PROJECT NO.
JUL 1, 2011	AS NOTED	
DESIGN	DESIGNED BY	
DRAWING	DRAWN BY	
PROJECT NO.		12-033104

12-033104

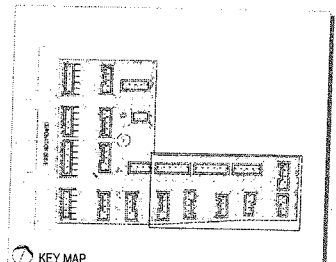


SECTION PLAN 2



PLANT LIST

NO.	COMMON NAME	BOTANICAL NAME	HT'	DB	SP.	HT'	DB	SP.
01	SOVEREIGN	Quercus macrocarpa	100	12"	10'	100	12"	10'
02	RED OAK	Quercus rubra	100	12"	10'	100	12"	10'
03	WHITE PINE	Pinus strobus	100	12"	10'	100	12"	10'
04	RED PINE	Pinus resinosa	100	12"	10'	100	12"	10'
05	SPRING BURNING BUSH	Euonymus alatus	10	2"	10'	10	2"	10'
06	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
07	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
08	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
09	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
10	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
11	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
12	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
13	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
14	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
15	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
16	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
17	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
18	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
19	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'
20	DOGWOOD	Cornus florida	10	2"	10'	10	2"	10'

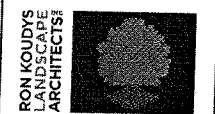


KEY MAP

KEY PLAN - N.T.S.

- LEGEND
- PROPOSED PLANTING
 - PROPOSED ASPHALT DRIVE
 - PROPOSED DECORATIVE FENCE
 - 10" x 10" BOARD ON BOARD FENCE
 - 10" x 10" BOARD ON BOARD FENCE
 - PROPOSED FIRE ALARM LOCATION
 - 7/2" WOOD DECK WITH SCREEN

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RON KOUDEYS, D.L.A., D.L.A. DATE

REVISION NO.	DESCRIPTION	DATE
1	REVISED FOR PERMITS	1/10/13
2	REVISED FOR PERMITS	1/10/13
3	REVISED FOR PERMITS	1/10/13
4	REVISED FOR PERMITS	1/10/13
5	REVISED FOR PERMITS	1/10/13
6	REVISED FOR PERMITS	1/10/13
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9	REVISED FOR PERMITS	1/10/13
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PLOTTING INFORMATION
 PLOTTED DATE: 1/10/13
 PLOTTED SCALE: 1/1000

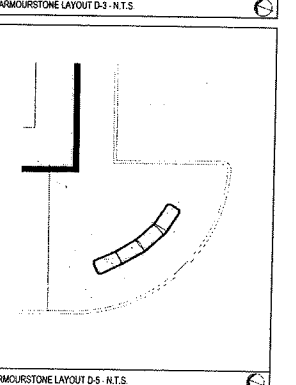
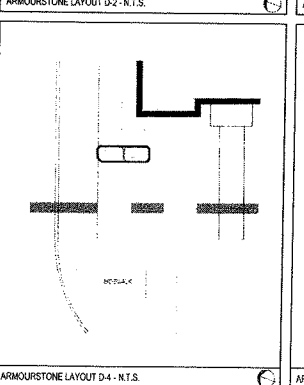
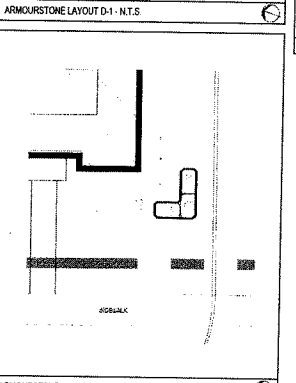
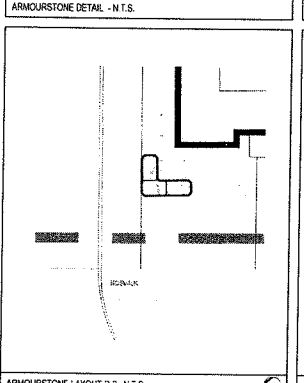
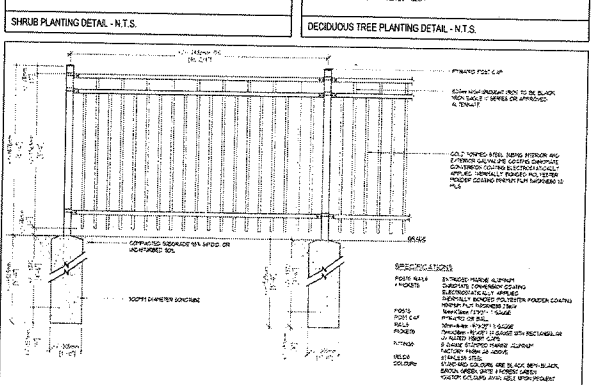
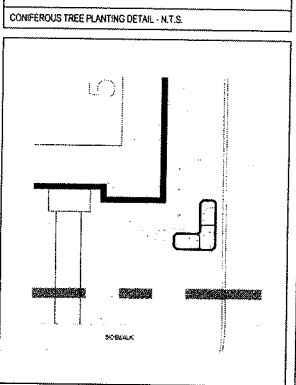
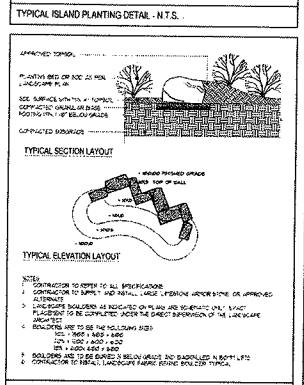
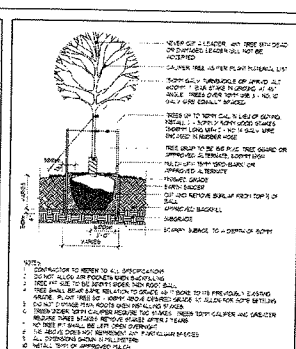
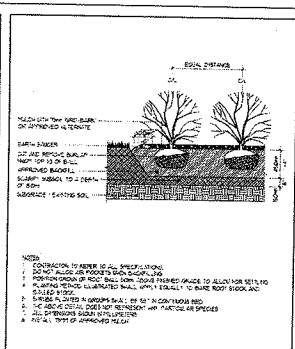
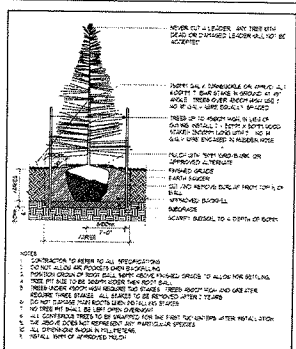
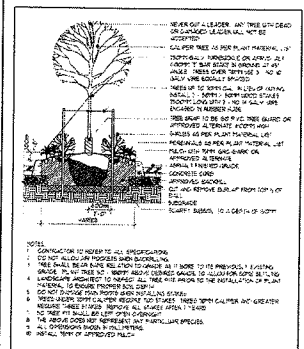


PROJECT NO.
 2095 CORONATION DRIVE
 BANHAM DEVELOPMENTS
 WEST PARK
 LONDON, ONTARIO

LANDSCAPE PLAN 2

DATE	SCALE	DRAWING NO.
1/10/13	1/1000	L-3

12-033184



GENERAL PLANTING SPECIFICATIONS

1. BASE INFORMATION NUMBERED BY:
2. CONTRACTOR TO USE THESE SPECIFICATIONS WITH ALL RELATED SPECIFICATIONS AND DRAWINGS.
3. CONTRACTOR TO BE RESPONSIBLE FOR THE PROVISION OF ALL SPECIFICATIONS AND RELATED DRAWINGS WITH SUBMITTED CONTRACTORS AS PART OF THE TENDERING PROCESS. CONTRACTOR TO BE RESPONSIBLE FOR THE PROVISION OF ALL SPECIFICATIONS AND RELATED DRAWINGS WITH SUBMITTED CONTRACTORS AS PART OF THE TENDERING PROCESS.
4. CONTRACTOR TO BE RESPONSIBLE FOR THE PROVISION OF ALL SPECIFICATIONS AND RELATED DRAWINGS WITH SUBMITTED CONTRACTORS AS PART OF THE TENDERING PROCESS.
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10. CONTRACTOR TO BE RESPONSIBLE FOR THE PROVISION OF ALL SPECIFICATIONS AND RELATED DRAWINGS WITH SUBMITTED CONTRACTORS AS PART OF THE TENDERING PROCESS.

CONTRACTOR TO REFER TO ALL SPECIFICATIONS TO NOT ALLOW AN UNDESIRABLE SUBSTITUTION.

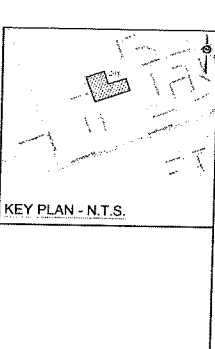
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REVISED	1	REVISED FOR PERMITS	01/11/18
REVISED	2	REVISED FOR PERMITS	01/11/18
REVISED	3	REVISED FOR PERMITS	01/11/18
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REVISED	8	REVISED FOR PERMITS	01/11/18
REVISED	9	REVISED FOR PERMITS	01/11/18
REVISED	10	REVISED FOR PERMITS	01/11/18

PROJECT FILE: 2095 CORONATION DRIVE BANMAN DEVELOPMENTS WEST PARK LONDON, ONTARIO

DATE: JUL 2017 SCALE: 1:100 DRAWING NO.: L-4

12-033184



SIDE ELEVATION (CORNER UNIT)

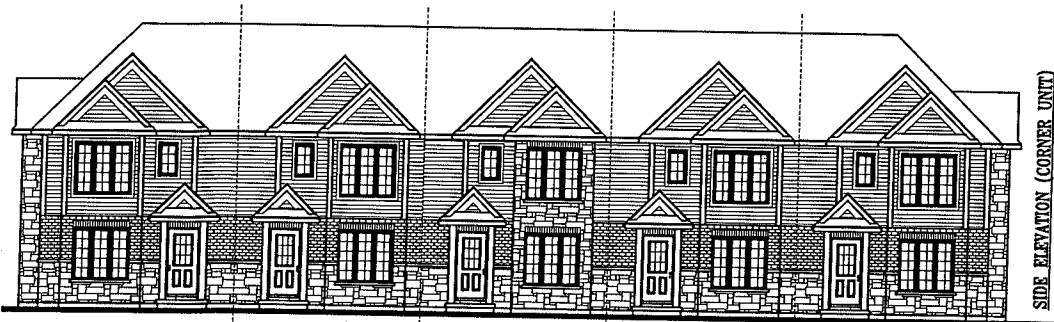
ENTRANCE OFF C

FRONT BLOCK (FROM CORONTATION DRIVE)
CORONATION CONDO UNIT (JAN.14/13)

SIDE ELEVATION (CORNER UNIT)



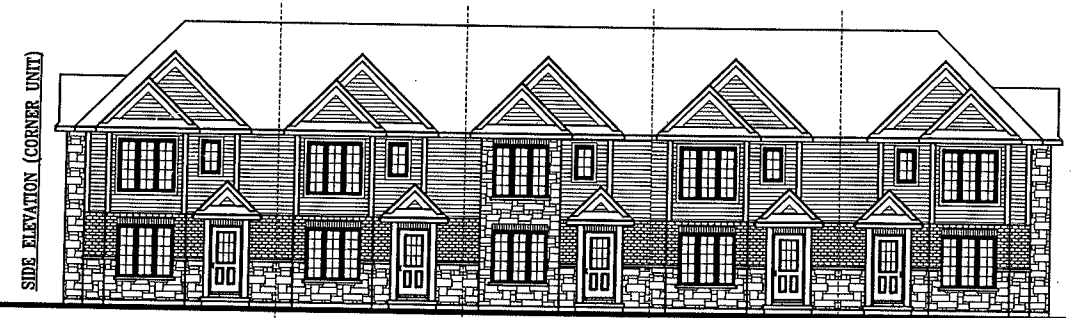
FRONT BLOCK (FROM CORONTATION DRIVE)
CORONATION CONDO UNIT (JAN.14/13)



FRONT BLOCK (FROM CORONATION DRIVE)
CORONATION CONDO UNIT (JAN.14/13)

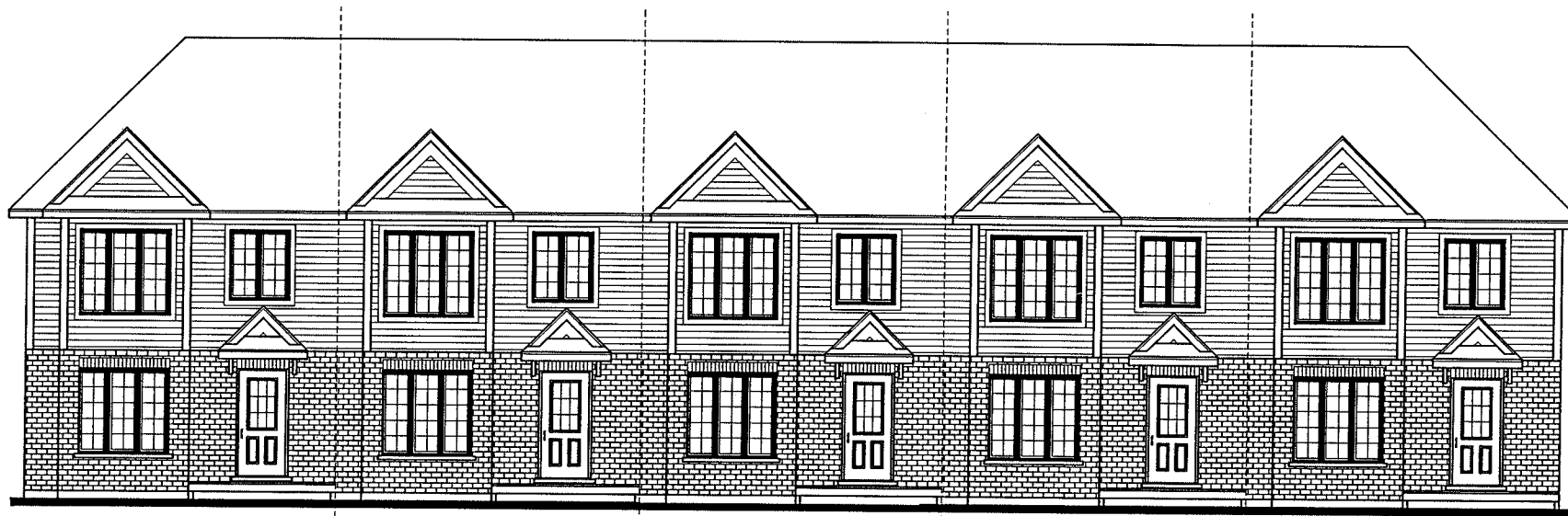
SIDE ELEVATION (CORNER UNIT)

ENTRANCE OFF CORONATION



FRONT BLOCK (FROM CORONATION DRIVE)
CORONATION CONDO UNIT (JAN.14/13)

SIDE ELEVATION (CORNER UNIT)



REAR ELEVATION (TYP. UNIT BLOCK FROM PARK 59-79)
CORONATION CONDO UNIT (JAN.14/13)