

# URBAN DESIGN BRIEF

556 Wellington Street  
GWL Realty Advisors



TURNER FLEISCHER



ZELINKA PRIAMO LTD  
*A Professional Planning Practice*

April 29, 2019

## INTRODUCTION

On behalf of GWL Realty Advisors, Zelinka Priamo Ltd. has prepared this *Urban Design Brief* in support of a Site Plan Approval application to provide design details of a multiple storey mixed-use building on the lands known municipally as 556 Wellington Street.

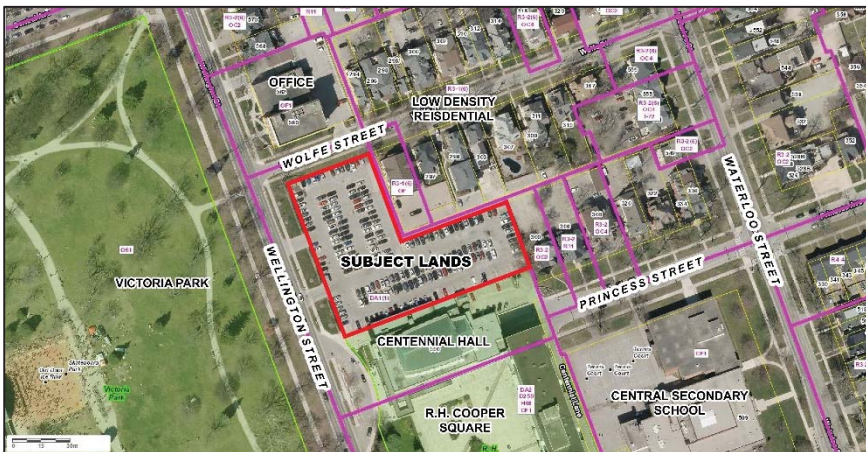
The report is made up of two sections, the contents of which are as follows:

### Section 1:

- Design Goals and Objectives
- Design Response to City Documents
- Spatial Analysis

### Section 2:

- Proposed Development
- Conceptual Design
- Public Realm
- Sustainability Techniques



Site Location (Base Map: City of London)

## SECTION 1

### DESIGN GOALS AND OBJECTIVES

The overall goal of the development proposal is to construct a mixed-use building that contributes to an attractive street presence along Wellington and Wolfe Streets. The design is intended to be compatible with, and sensitive to, the neighbourhood surrounding the subject lands. In order to effectively achieve this goal for the subject lands, the following design objectives have been identified:

- Create a street-oriented development that reinforces the spatial enclosure of the street and addresses all abutting streetscapes.
- To complement the character of the West Woodfield Heritage District with building base massing, height and setbacks that respects the largely lower-rise profile of the surrounding neighbourhood.
- Respect the aesthetic quality of the built form uses surrounding the subject lands by utilizing unique architectural elements that are attractive and complement the existing buildings.
- To provide a strong urban edge to Wellington and Wolfe Streets through building situation, building articulation and landscape features that complements Victoria Park and existing evolving streetscape.
- Provide a quality pedestrian environment by providing direct pedestrian connections to the building that are enhanced with landscaping and animated building features.

## DESIGN RESPONSE TO CITY DOCUMENTS

Due to the current transition between Official Plans (the 1989 City of London Official Plan and *The London Plan*), this Urban Design Brief addresses both documents, as well as the West Woodfield Heritage Conservation District Plan.

### **1989 City of London Official Plan – Section 11.1**

The 1989 City of London Official Plan includes design principles that are to be applied to new developments. Section 11.1 lists the general design principles that are promoted in the preparation of development approvals. The individual principles listed are **bolded**. The design principles relevant to this proposed development and how they are addressed are outlined as follows:

- **Natural Features** – The proposed building is positioned on the site and designed to contribute to the pedestrian activity of Wellington Street, the City Hall prescient and Victoria Park. Shadow impacts on Victoria Park are minimized by the step-back design of the building.
- **Trees** – Existing trees within the setback spaces along Wellington and Wolf Streets will be conserved. Additional and replacement plantings will be introduced through the detailed design to reinforce both street edges.

- **Open Views** – There are no significant views through the site into Victoria Park, and the views along Wellington and Wolfe Streets to Victoria Park will be maintained.
- **High Design Standards** – The proposed development is intended to set a high quality precedent and it is envisioned to give prominence along the east side of Victoria Park.
- **Architectural Continuity** – The proposed development’s massing and conceptual design reflects the site’s high-profile location adjacent to Victoria Park. While the proposed development is taller than the adjacent uses, the height, massing and detailing of the podium will reflect the architectural aspects of the West Woodfield Heritage District, with a more contemporary design from the tower to provide interest and unique design.
- **Redevelopment** – Historically the subject lands consisted of military ground, homes and for several decades a parking lot. The proposed development does not propose to remove existing buildings and it takes advantage of an underutilized lot in the City core.
- **Streetscape** – The Wellington and Wolfe streetscapes are designed to be animated spaces with a ground floor commercial façade that is highly transparent and articulated as well as landscaping with sitting areas along sidewalks. All parking and loading is internalized within the building and vehicular accesses are situated away from the emphasis point of the Wellington Street and Wolfe Street intersection.

- **Pedestrian Traffic Areas** – Pedestrian traffic to and from the proposed development will be connected to a public sidewalk along Wellington and Wolfe Streets at multiple points. To enhance the pedestrian area in the front of the building, patio space is provided in front of the retail units.
- **Access to Sunlight** – The proposed building is massed with a split podium base of two storeys and three storeys with a strong emphasis on continuity to the existing streetscape. A contemporary tower that is further set back from the podium edges to reduce shade impacts on surrounding properties, street, and public spaces.
- **Landscaping** – Plantings and other amenities within the site’s Wellington and Wolfe setback will define and help soften the pedestrian zone of the development and help transition from Victoria Park.
- **Building Positioning** – The proposed building has been positioned and oriented towards the Wellington/Wolfe Street streetscapes, thereby creating a vibrant street wall and a visually appealing street edge.
- **Accessibility Standards** – Detailed building design will incorporate contemporary accessibility standards, particularly at the ground level.
- **Parking and Loading** – A single, full-turn driveway off of Wolfe Street provides access to the surface parking area, loading area and parking structure access.
- **Privacy** – The tower has been massed towards the Wellington Street and Wolfe Street intersection, as much as possible, to limit privacy impacts on residential properties to the east and north. Many properties in this area have been converted to office uses and/or multiple residential uses with rear area paved parking becoming the dominant use of rear yards. Any potential privacy impacts on remaining adjacent residential rear yard amenity spaces are limited.
- **Outdoor Space** – Outdoor patio spaces is proposed on the Wellington and Wolfe Street elevations, as well as individual balconies for residential units will provide residents with outdoor spaces.
- **Recreational Facilities** - Detailed building design will include internal recreational facilities that are available to residents.
- **Waste Management** – Detailed building design will consider waste and recycling storage on the site and within the building. All facilities are to be provided internal to the building.
- **Resource Conservation** – Energy conservation measures will be in accordance with Ontario Building Code requirements. It is anticipated the building will be LEED certified.
- **Gateways** – The subject lands are not a gateway within the City, but the proposed development design would meet this intent.



## THE LONDON PLAN

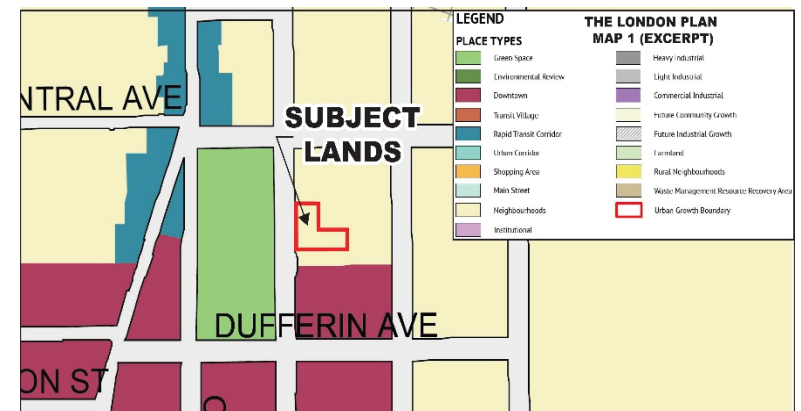
The London Plan has been adopted by Council, but is not yet in effect, pending the resolution of several appeals to the Local Planning Appeal Tribunal (LPAT). The London Plan sets out urban design policies that are applicable to both the city as a whole, and to specific place types. The subject lands are within the “Neighbourhood” place type, and fall under these policies as well as the City Design Policies.

The proposed development is consistent with these policies as follows:

- The proposed residential apartment building maintains the character and range of building types in the area by providing a well-designed, mixed-use built form that enhances the visual aesthetics of this location and fills in a gap in the streetscape (Section 197);
- A Public Realm analysis demonstrating the compatibility of the proposed built form with the existing built context can be found on page 12 (Section 199);
- The existing streetscape along Wellington and Wolfe Streets will be furthered enhanced by the addition of a new well-designed streetscape including commercial space along the active street frontage (Sections 221, 235, 879);
- The proposed site layout responds to the context of the subject lands and the abutting lands through a compatible, and aesthetically pleasing development. The building’s

mass is broken with stepbacks that transition from the podium to middle section and from the middle to the top section. This reduces shadowing and crowding of the neighborhood’s public realm and provides strong architectural interest (Sections 252, 253, 255, 256, 259, 261, 266, 268, 269, 272);

- The building design, including scale, massing, and materials, that is respectful of the site’s context along Wellington and Wolfe Streets. The building maintains a podium form and exhibits architectural features which are complimentary to the neighbouring existing buildings. Rooftop mechanical equipment is screened from view (Sections 284, 285, 286, 287, 291, 295, 296); and
- A diverse range of building materials are proposed including brick, precast accents and glass (Sections 301, 302).



The London Plan – Schedule A Map 5 (excerpt)

## WEST WOODFIELD HERITAGE CONSERVATION DISTRICT PLAN

The subject lands are located within the West Woodfield Heritage Conservation District and are consistent with the general policies of Section 4 of the West Woodfield Conservation District Plan.

The proposed intensification of the subject lands is an infill development where a new building can be constructed without the demolition of an existing structure.

While the proposed development is taller than the surrounding residential building fabric; it is compliant with in-force zoning, it maintains a human scale street-edge along the Wellington and Wolfe Street through ground floor uses, consistent podium height and upper storey setbacks.

The design of the building provides adequate transition to neighbouring building types and heights through a well-composed podium with the upper residential mass that is broken up with setbacks.

In keeping with Section 8 of the Conservation District, the proposed building:

- Is in keeping with the general setback pattern of the surrounding properties;
- Is oriented to both the Wellington and Wolfe Streetscapes;

- Permitted higher height will not create undue shading, loss of view or unacceptable traffic conditions within the neighbourhood;
- Has both commercial and residential entrances on the ground floor elevation that are directly oriented to the public sidewalk;
- Podium is symmetrical to and respects the pattern and character of the neighbourhood through attention to height, built form, setback, massing and architectural treatment;
- Will use traditional palette of materials and colours on the podium that respect the surrounding neighbourhood; and
- Will use a traditional palette of materials and colours for the residential portion to distinguish it from the traditional character of the podium.



Heritage District Boundary (Source: West Woodfield Conservation District Plan)

## SPATIAL ANALYSIS

The spatial analysis for a 400m and 800m radius is provided on page 8. Google Maps air photo is used as the base map.

Key features include:

The subject lands (black), as well as other land uses with a 400m and 800m radii. The two radii represent straight line walking distances of approximately 5 and 10 minutes, respectively. Due to sidewalk networks and other barriers, the circles may not represent true walking times. Arterial roads are shown as red lines, bike routes are shown in light blue solid and dashed lines.

Notable features within the 400m buffer include residential uses, including the existing low density residential neighbourhood, within the West Woodfield Heritage Conservation District, to the northeast and east, and high-density residential uses (Granite House apartment building) to the northeast at the corner of Central Ave and Waterloo Street. Open Space land use designation is located to the west of the subject lands across Wellington Street (Victoria Park).

Notable features within the 800m buffer include Open Space land use (i.e. Campbell Memorial Park, Piccadilly Park. The CN Railway also runs through the 800m buffer of the subject lands. Additional low density residential is located to the east and the north. Several commercial land uses, both retail and restaurant, are located along Richmond Street to the west of the subject lands (Toboggan Brewing Company, Symposium Café, Jack Astor's). Institutional uses are located to the south and southwest of the lands (St. Peter's Cathedral and Basilica, Metropolitan United Church). The London Music Hall and The Grand Theatre are notable entertainment hubs

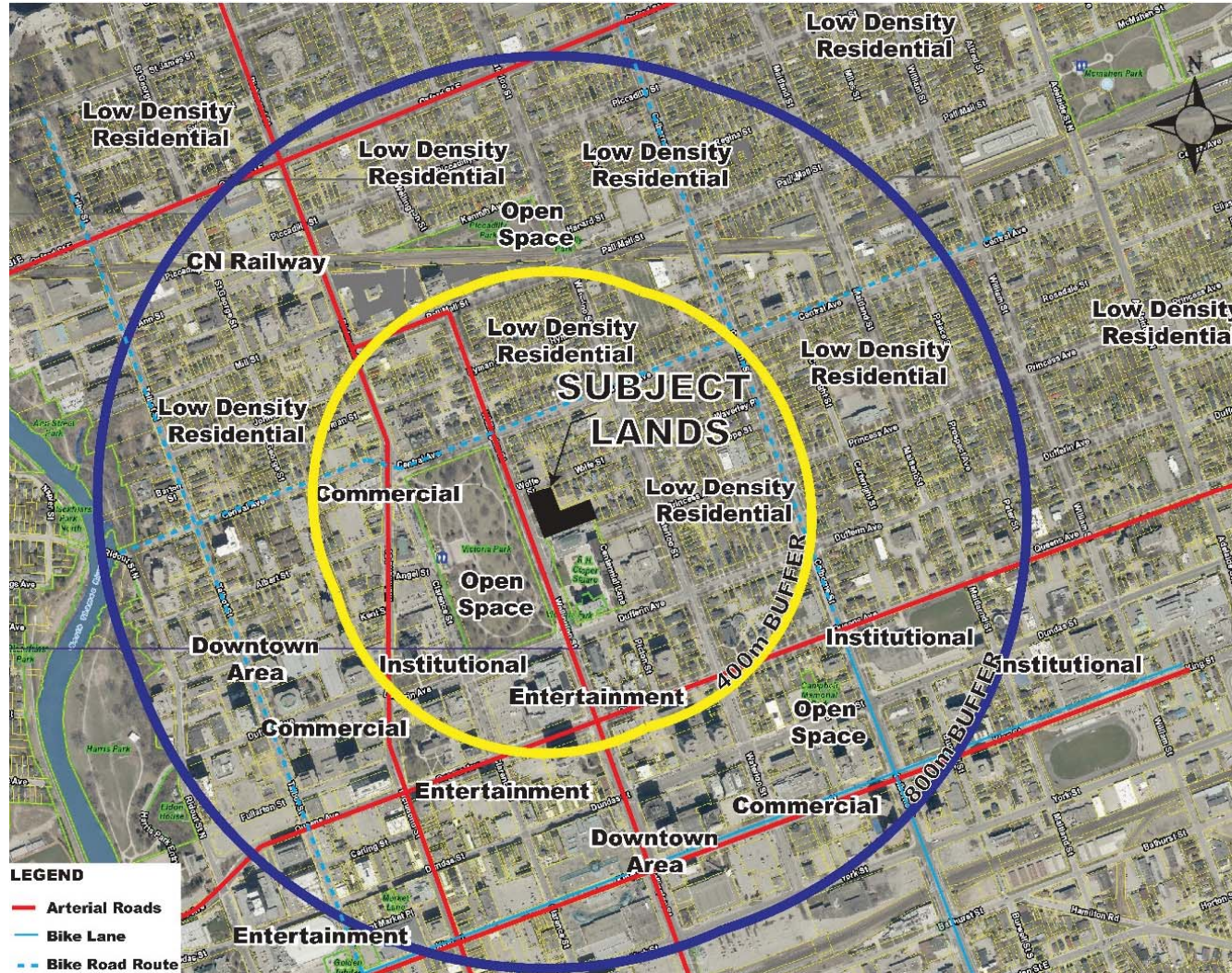
within a 5 minute and 10-minute walking distance of the subject lands.

In summary, the subject property is a level site fully zoned and suited for development as a mix-use building. It is located in an area designated and zoned for permit a range of commercial and residential developments of this scale. The proposed site layout and building design is sensitive to, and compatible with, the adjacent residential neighbourhood.

Appendix A provides a full photo analysis of the neighbourhood.



Spatial Analysis, 400m to 800m Radius





## SECTION 2

### PROPOSED DEVELOPMENT PLAN

The proposed development is an 18-storey mixed-use building with ground floor commercial space and residential apartments above and was designed on the following five principals:

#### Neighborhood Integration

The Building's massing is purposely broken into three layers (podium, midsection, upper) to minimize the visual impact of the overall building mass. Further to the layering strategy the building façade is also broken vertically enhancing the rhythm of the streetscape allowing the overall building to feel more in tune with the scale of buildings in the neighborhood.

#### Street Edge Alignment and Park Edge

The building(s) have been carefully located on the lot in order to maintain the alignment of the other adjacent buildings thus creating a very strong urban edge tangent to the significant park space in front of the development. The architectural expression of the building is also attentively orchestrated to find a perfect balance between existing heritage buildings (and their character) while maintaining a contemporary feel to them.

#### Scale and Setbacks

The scale of the building is the outcome of careful adherence to zoning bylaw requirements. The progressive stepped upper floors allow for proper penetration of daylight(sunlight) into the

streetscapes minimizing additional shadows into the adjacent neighborhood. The consequent architectural expression of the building form is reminiscent of the buildings seen in New York as a result of Bassett's zoning resolution put in place in 1916.

#### Materials

The materials choice for the development will be based on the principle that the building will need to strike a perfect balance between the heritage brick and stone building neighboring the site and the a more contemporary architectural expression. The façade at the podium will be mostly designed with brick and precast accents, strongly demarcating the first four floors of the development and anchoring the building mass to the streetscape. The midsection will be lighter in color and mostly and elevate for an additional eight floors. The upper portion of the building will be clad in glass. The reflective nature of the glass will allow the upper floor to seem lighter and feel as if they are disappearing and merging with the sky.



Wellington Street Elevation

## CONCEPTUAL DESIGN

The *Urban Design Brief Terms of Reference (2009)* lists site design, built form, massing and articulation, character and image, architectural treatment, lighting, signage, and servicing for consideration of conceptual design. Appendix B is comprised of the comprehensive design package that supplement the following textual descriptions.

### Building Orientation

The proposed building has a 100% site coverage site with close to zero lot line setbacks to the Wellington and Wolf Street right-of-way. The building is generally set back 7 metres from the public sidewalk on Wellington Street and 5 metres on Wolfe Street. The ground floor commercial units wrap around the corner of Wellington and Wolfe, providing active uses facing both streets.

### Character and Image

The proposed building has been designed to reflect the podium-tower form of development, which is defined by the pedestrian-scaled podium. This form of development minimizes impacts of building height by providing for active uses and engagement at the pedestrian level, and a stepped-back tower component to minimize shadow, wind and privacy impacts.

The podium has been designed to address the sidewalk and the public realm on Wellington and Wolfe Streets, through active frontage, vertical and horizontal architectural features and glazing.

### Architectural Treatment

The selected architectural treatments are highly curated to be respectful of the site's broader context within the surrounding West Woodfield neighbourhood, the City Hall precinct and Victoria Park while achieving a distinctive contemporary look. The proposed building has been designed to embrace both traditional and modern characteristics through the selection of materials and colours. Traditional treatments on the building podium transition to modern features as the building rises. The use of precast materials unifies the base and the tower under a common material, but is paired and articulated differently to create complementary podium and tower elements.

### Articulation

The building's podium is articulated to relate to the pedestrian scale of the street and to the varying profile of the surrounding neighbourhood. Large proportions of brick materials, divided by vertical changes with other complementary materials, provides a rich palette of materials that respects the surrounding neighbourhood character.

Building entrances are emphasized through material changes, patio umbrellas and signage. A regular rhythm of well-proportioned transparent windows helps to reinforce the rhythm and human scale of the street and surrounding neighbourhood.

Decorative elements (cornices, lintels and reveals) as well as wall projections and recessions provide depth to the façade along the street. The choice of earth tone colours (reds, browns, and beiges)

creates a warm streetscape at the ground level, fitting with the colour palette of the surrounding area.

### Massing

The Building's massing is purposely broken into three layers (podium, midsection, upper) to minimize the visual impact of the overall building mass. In addition, setbacks vary with the articulation of the building, as per side images.

### Lighting

On the podium, lighting will be oriented and scaled to the pedestrian with architectural lighting to accentuate pedestrian areas, amenity spaces and building entrances.

### Signage

Commercial signage will be located on the ground floor façade, which may include fascia signage or hanging signage that is respectful of the building and surrounding neighbourhood.

### Pedestrian Access

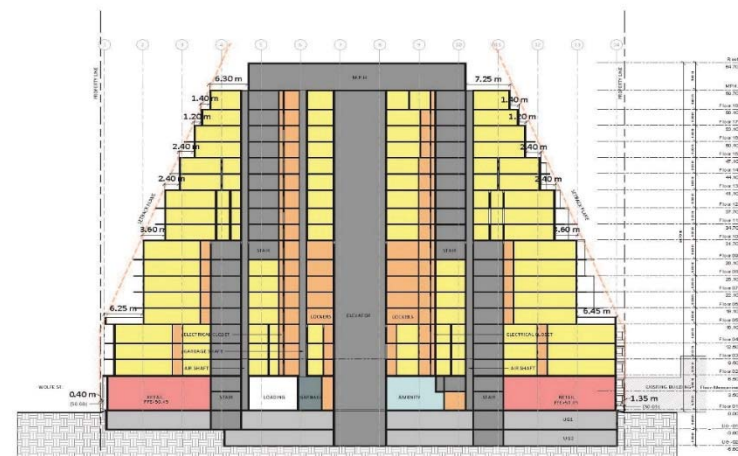
Pedestrians will access the building from the Wellington Streetscape, either through the residential lobby or through the commercial units.

Vehicles will enter the site from the Wolfe street frontage connecting to the above or underground portions of the garage.

Secure bicycle storage lockers are provided on the ground floor of the parking garage.



**Wellington Street Elevation – Podium, Midsection, Upper**



**Schematic Section – North-South**

## PUBLIC REALM

The proposed development is well integrated with the Wellington and Wolfe streetscapes through building design. This includes:

- A podium massed to be respectful of the surrounding neighbourhood;
- Stepbacks on the tower from Wellington and Wolfe to provide relief to streetscape;
- Podium articulation, details and materials to reinforce the streetscape level and surrounding heritage character;
- A regular rhythm of well-proportioned transparent windows along the podium to reinforce human scale proportions of the street;
- Principal building entrances on the Wellington frontage with architectural emphasis on the façade;
- Continuation of the public sidewalks along the Wellington and Wolfe Street frontages of the site; and
- A combination of hardscaped areas for commercial units and softscaping planting areas between the proposed building and the existing sidewalks.

## SUSTAINABILITY TECHNIQUES

The proposed building will incorporate current energy saving technologies that are in accordance with the Building Code and are cost-effective. The building will be a LEED Certified Building.

## CONCLUSION

In summary, the multiple storey mixed-use development is proposed as an appropriate use and building design for the site. The development is consistent with the planning regulations and policies. The proposed building design will be a highly desirable project for the area that is distinctive, yet comparable with the overall form of the surrounding neighbourhood.



## **APPENDICES**

**Appendix A** – Photo Inventory of Neighbourhood

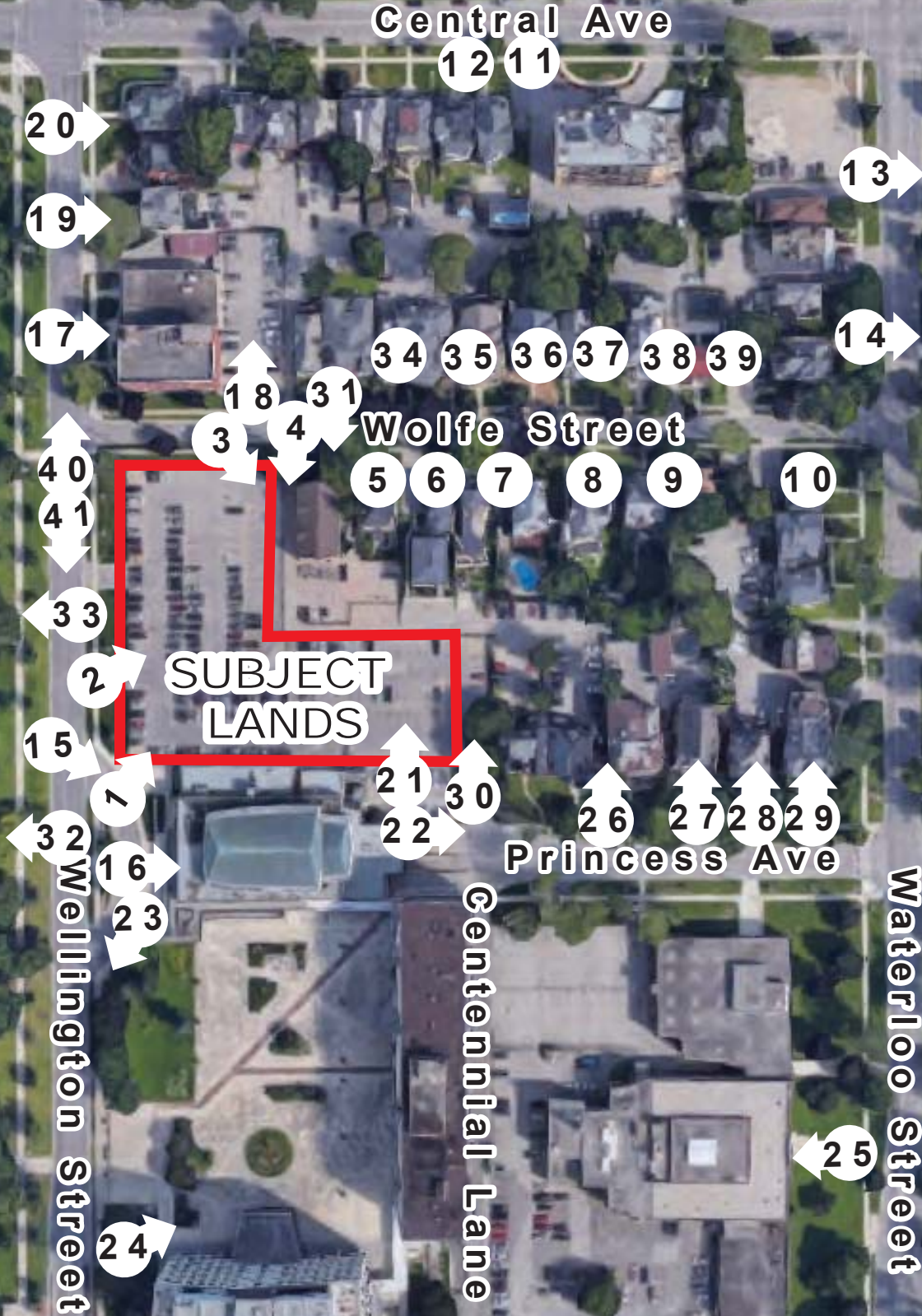
**Appendix B** – Project Plans

# PHOTO INDEX MAP

Urban Design Brief - 556 Wellington Street































11



12





13





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19



20





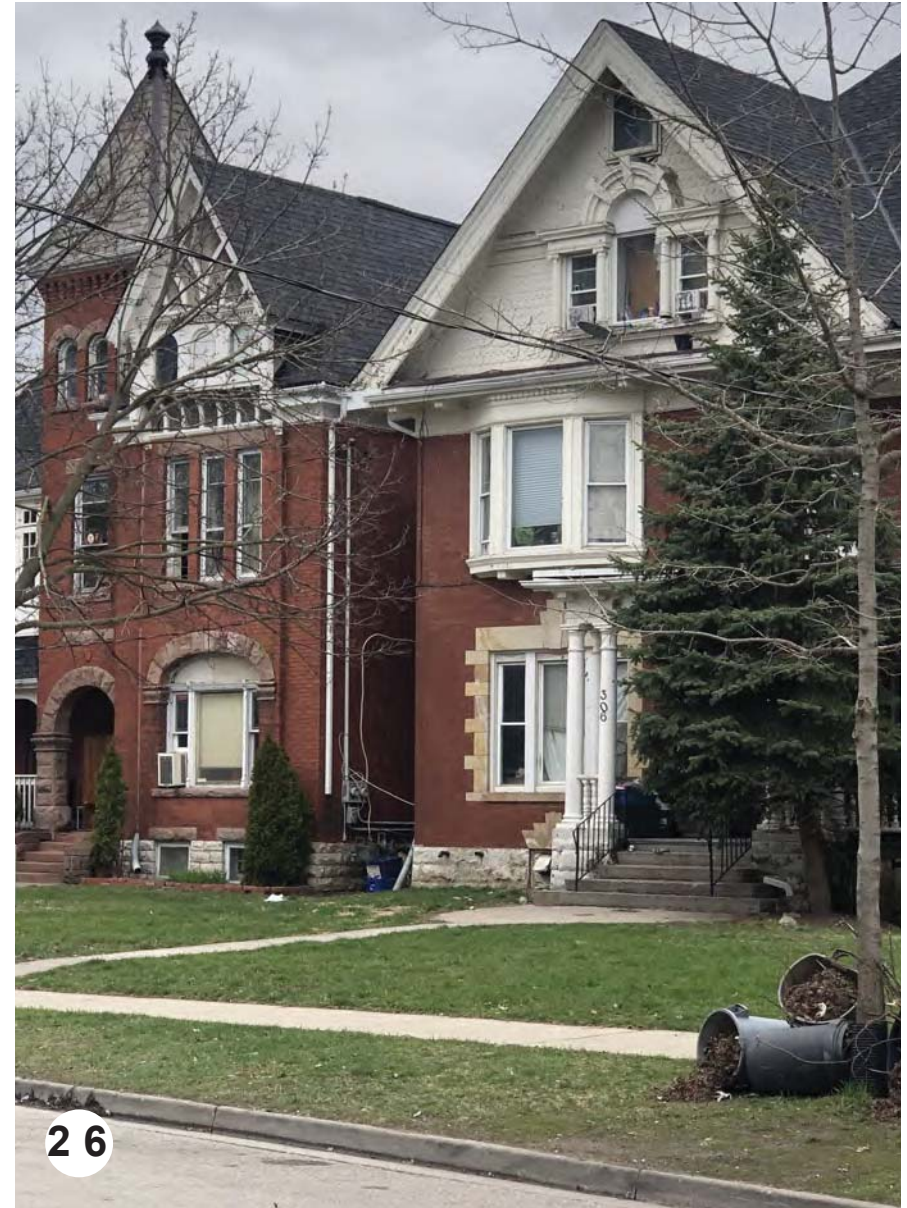








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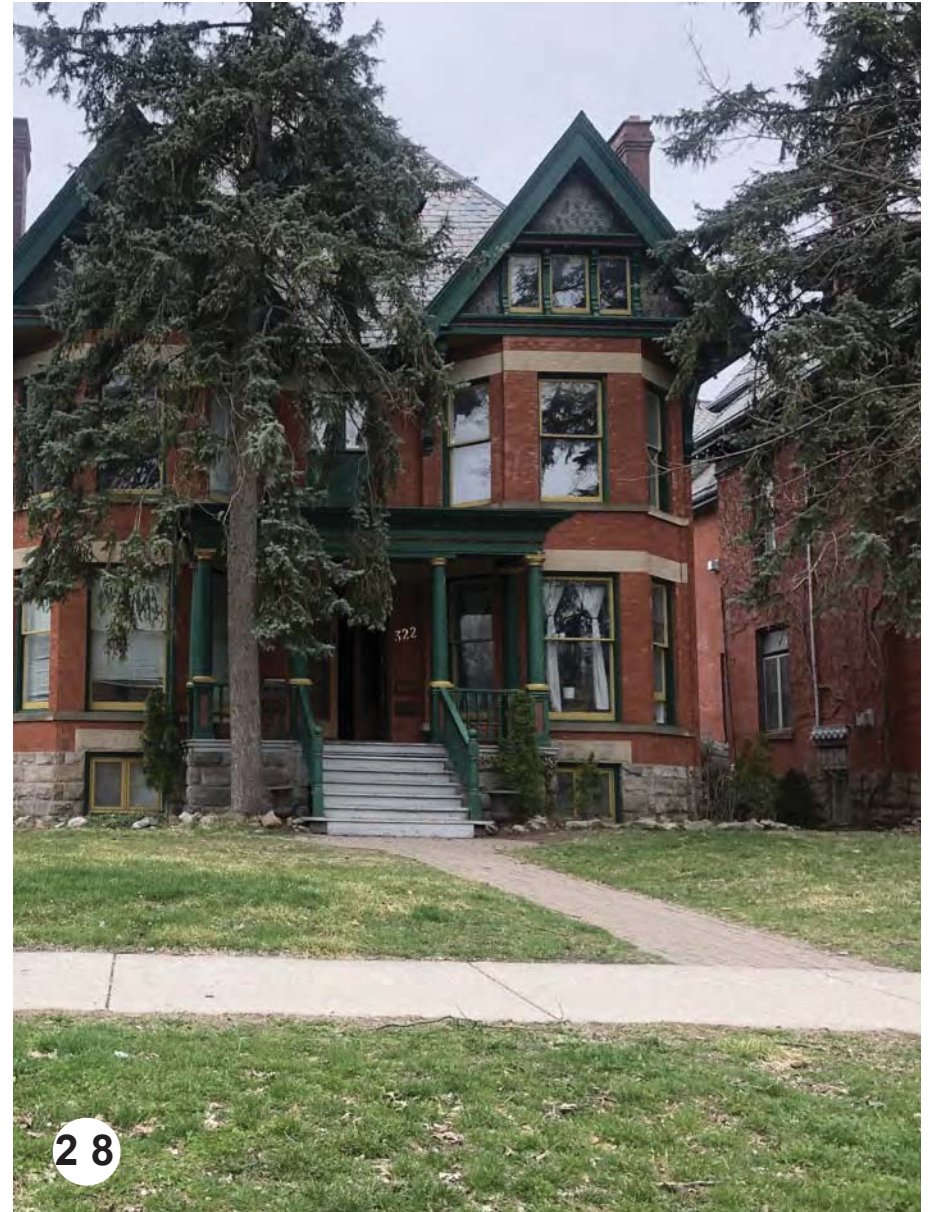


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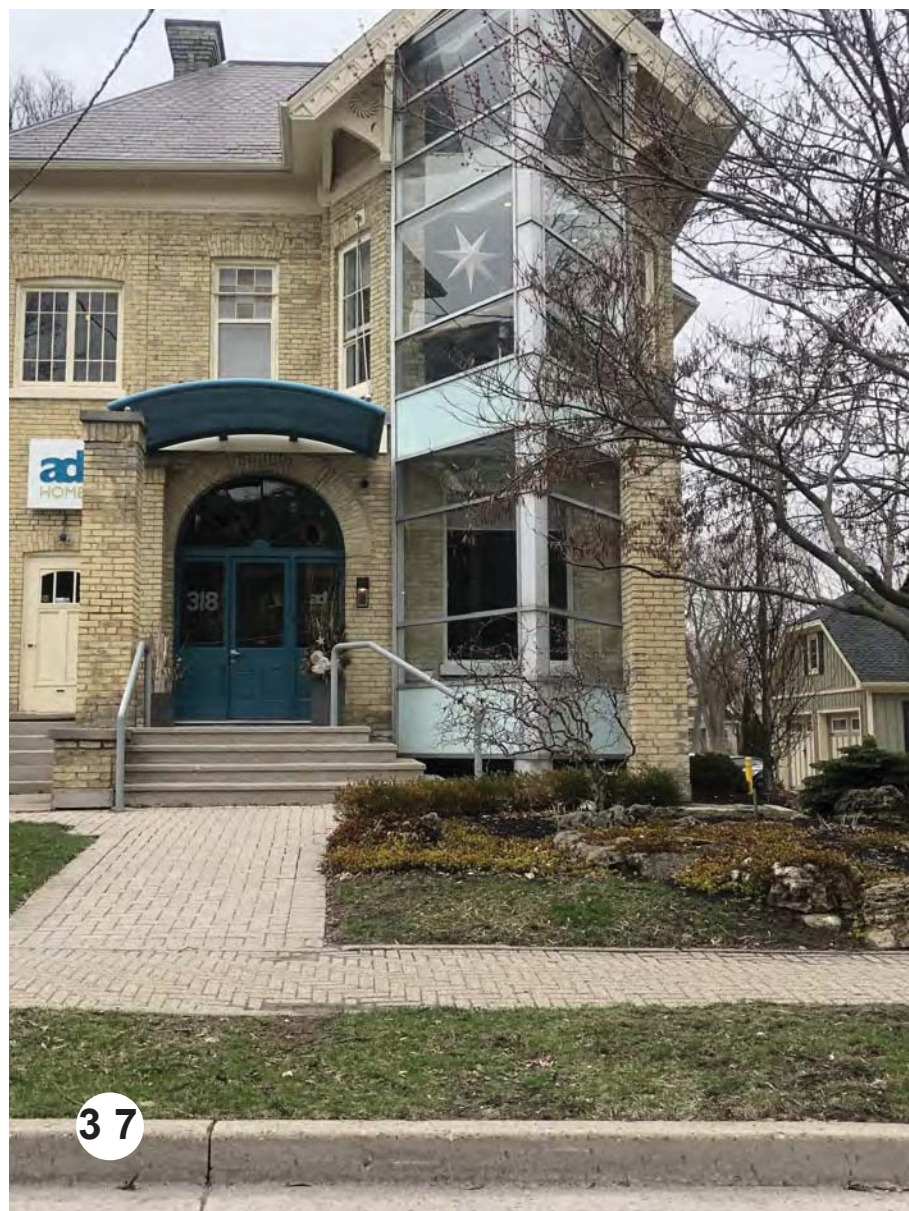




















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## 556 Wellington Street South, London, Ontario (17.191CS)

REVISED 2019-04-17

	m2	ft2	PROPOSED
SITE AREA	6,134.1	66,027	F.S.I. 5.94
TOTAL GFA / TFA	36,465.8	392,518	TOTAL # OF UNITS 405
TOTAL GROUND FLOOR AREA (GFA / TFA)	2,420.5	26,054	TOTAL # OF PARKING SPACES 544
TOTAL CONSTRUCTIBLE AREA (TCA)	64,163.1	690,651.57	

### City of London Ontario Zoning By-law No. Z-1

#### Gross Floor Area Definition:

Gross floor area means the sum total of the gross horizontal areas of the several floors of the building or buildings on a lot, measured from the exterior faces of the exterior walls or from the centreline of the common wall separating two buildings, and the "floor area, gross" of a building shall include:

- basement floor area where the basement ceiling height is 1.8 metres (5.9ft.) or more, unless otherwise specified;
- elevator shafts and stairwells at each floor, floor area used for mechanical equipment, penthouse, attic space having headroom of 2.0 metres (6.6 ft) or more for at least half the attic floor area, interior balconies and mezzanines, enclosed porches and floor area devoted to accessory uses; and,
- area used for private garage, parking or loading, whether in the main building or in an accessory building, is not included in the "floor area". Service areas are included in the calculation of gross floor area for any Automobile Repair Garage uses.

### GROSS FLOOR AREA (GFA) / TOTAL FLOOR AREA (TFA)/TOTAL CONSTRUCTIBLE AREA (TCA) BREAKDOWN

FLOOR	GROSS FLOOR AREA/TOTAL FLOOR AREA										TOTAL GFA / TFA	UNITS	EFFICIENCY	
	RESIDENTIAL (SALEABLE)		RESIDENTIAL (NON-SALEABLE)		COMMERCIAL/ RETAIL		RETAIL (SERVICE)		AMENITY					
	m2	ft2	m2	ft2	m2	ft2	m2	ft2	m2	ft2				
UG2														
UG1														
1			0	707.0	7,610	1,386	14,914			327.9	3,530	2,420.5	26,054	
MEZZ												88.1	948	
2	1,865.7	20,082		395.4	4,257							2,261.1	24,338	26
3	1,865.7	20,082		395.4	4,257							2,261.1	24,338	26
4	1,865.9	20,085		395.5	4,257							2,261.4	24,342	26
5	1,574.1	16,943		261.7	2,817							1,835.7	19,760	24
6	2,809.6	30,243		421.5	4,537							3,231.1	34,780	39
7	2,825.8	30,417		370.9	3,993							3,196.8	34,410	38
8	2,823.0	28,234		370.9	3,993							2,993.9	32,227	37
9	2,564.4	27,603		429.5	4,623							2,993.9	32,227	37
10	2,099.7	22,602		277.7	2,989							2,377.4	25,591	30
11	2,099.7	22,602		277.7	2,989							2,377.4	25,591	30
12	1,943.1	20,915		277.7	2,989							2,220.8	23,904	29
13	999.4	10,757		481.1	5,179							1,480.5	15,936	17
14	999.4	10,757		481.1	5,179							1,480.5	15,936	17
15	687.0	7,395		131.7	1,418							818.7	8,812	9
16	687.0	7,395		131.7	1,418							818.7	8,812	9
17	528.3	5,687		131.7	1,418							660.0	7,104	4
18	446.7	4,808		39.4	424							486.1	5,232	7
MPH				202.0	2,175							202.0	2,175	
SUB-TOTAL	28,484.5	306,608		6,267.7	67,466	1,386	14,914			328	3,530	36,465.8	392,518	405
TOTAL	28,484.5	306,608		6,267.7	67,466	1,386	14,914			328	3,530	36,465.8	392,518	405

TOTAL CONSTRUCTIBLE AREA (TCA)				
BUILDING	PARKING	BALCONIES	TERRACE/ ROOF	TOTAL
m2	m2	m2	m2	m2
4,153.4				4,153.4
5,787.9				5,787.9
2,420.5	3,171.2			5,591.7
88.1	2,025.8			2,113.9
2,261.1	2,025.9		384.5	4,671.5
2,261.1	2,025.9	333.4		4,620.4
2,261.4	2,025.9	333.4		4,620.8
1,835.7	596.5		746.8	3,179.0
3,231.1		139.0		3,370.1
3,196.8		139.0		3,335.8
2,993.9		109.0	222.2	3,325.1
2,993.9		169.4		3,163.3
2,377.4		30.0	605.8	3,013.2
2,377.4		121.5		2,498.9
2,220.8		85.5	156.7	2,463.0
1,480.5			740.3	2,220.8
1,480.5		54.5	331.0	1,865.9
818.7			330.8	1,149.5
818.7		30.5		849.1
660.0			161.6	821.6
486.1			173.9	660.0
202.0			284.1	486.1
			202.0	202.0
36,465.8	21,813	1,545	4,340	64,163

### UNIT BREAKDOWN

FLOOR	UNIT TYPE						SUB-TOTAL
	BACH	1B	1B+D	2B	2B+D	3B	
1							0
2		8	6	7	5	0	26
3		8	6	7	5	0	26
4		8	6	7	5	0	26
5		16	2	4	2	0	24
6		16	2	11	7	3	39
7		14	0	13	9	2	38
8		14	9	9	4	1	37
9		14	9	9	2	3	37
10		13	3	9	3	2	30
11		13	3	9	3	2	30
12		19	2	3	2	3	29
13		11	0	6	0	0	17
14		11	0	6	0	0	17
15		0	3	4	0	2	9
16		0	3	4	0	2	9
17		0	0	3	0	1	4
18		0	1	1	0	5	7
TOTAL	0	165	65	112	47	26	405
UNIT MIX	0%	41%	14%	28%	12%	6%	100%
		54%		48%			

### VEHICULAR PARKING - REQUIRED

RATIO	EXIST PARKING REPLACEMENT	COMMERCIAL / RETAIL /500M2	RESIDENTIAL	
			BACH/ 1B / 1B+D / 0.65 /UNIT	2B/ 2B+D / 3B / 1.00 /UNIT
PARKING SPACES	194	15	143	185
	194	15		328
TOTAL (EXCL. REPLACEMENT)			343	
TOTAL (INCL. REPLACEMENT)	194		537	

### VEHICULAR PARKING - PROVIDED

FLOOR	UG2	UG1	FL1	MEZZ	FL2	FL3	FL4	FL5
SPACES	125	132	52	58	58	58	58	3
	257				287			
TOTAL	544							

#### \*Accessible Parking Spaces (By-law Z-1):

(v) Two parking spaces for the use of persons with disabilities and an additional two per cent of parking spaces for the use of persons with disabilities, where there are between 201 and 1,000 parking spaces must be parking spaces for the use of persons with disabilities in accordance with the ratio in subparagraphs (i) 1 and 2 rounding up to the nearest whole number;

### AMENITY AREAS - PROVIDED

	RATIO	PROVIDED	
		m2	ft2
INDOOR AMENITY SPACE	0.8 m2 / UNITS	327.9	3,530
OUTDOOR AMENITY SPACE / OPEN LANDSCAPE AREA	0.0 m2 / UNITS	0.0	0
TOTAL AMENITY (INDOOR AND OUTDOOR)	1.0 m2 / UNITS	327.9	3,530

#	DATE	DESCRIPTION	BY
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PROJECT  
556 Wellington Street South, London, ON  
556 Wellington Street South, London, ON

DRAWING

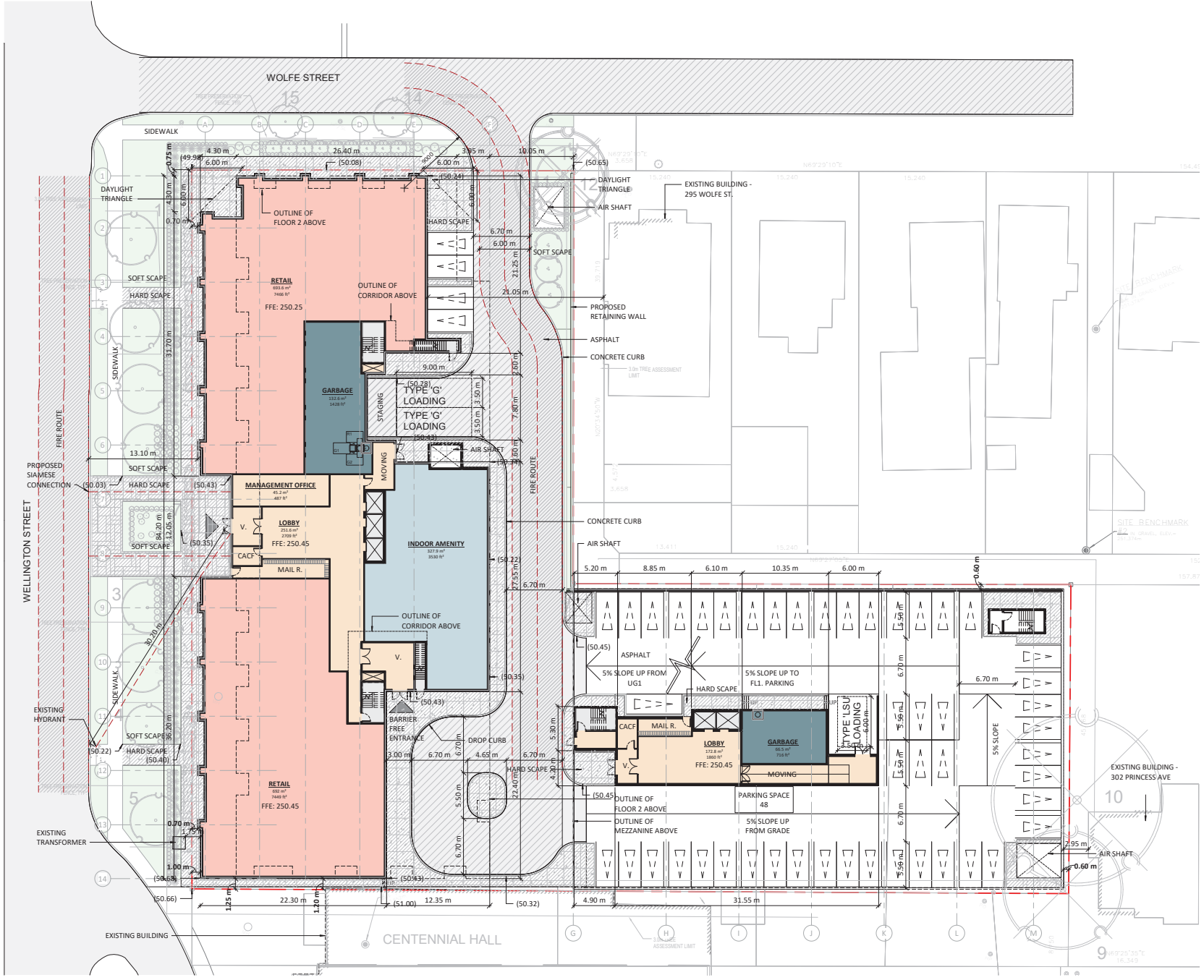
#### STATISTICS

PROJECT NO.  
17.191CS  
PROJECT DATE  
2019-04-10  
DRAWN BY  
LLE  
CHECKED BY  
AYU  
SCALE



DRAWING NO.  
SPA001





DATE	DESCRIPTION	BY

PROJECT  
**556 Wellington Street South, London, ON**  
 556 Wellington Street South, London, ON

**FLOOR 01 / SITE PLAN**

PROJECT NO. 17-191CS  
 PROJECT DATE 2018-04-10  
 DRAWN BY IBN  
 CHECKED BY AVU  
 SCALE 1:1200  
 BOOK



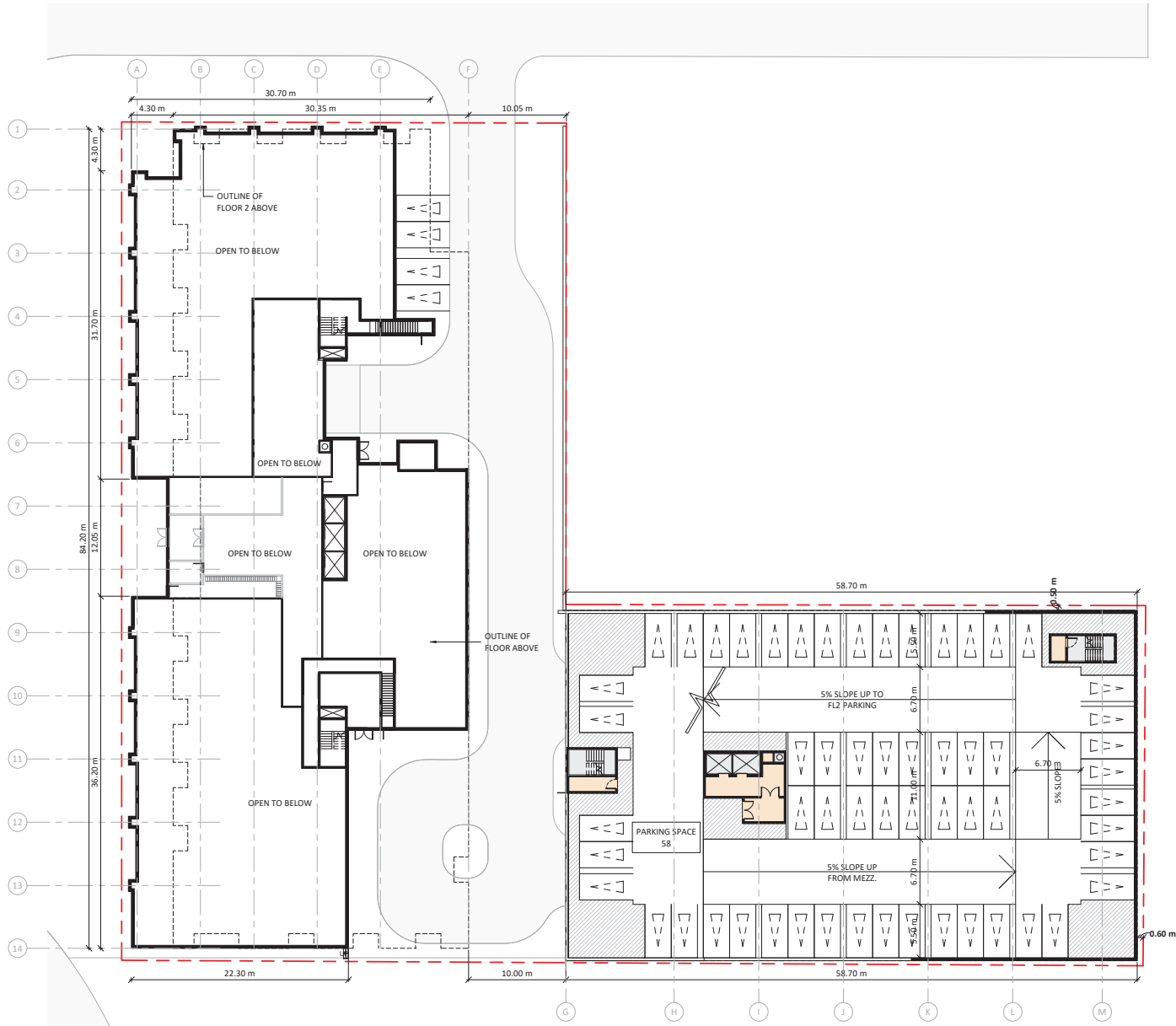
DRAWING NO. **SPA151**



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DATE	DESCRIPTION	BY

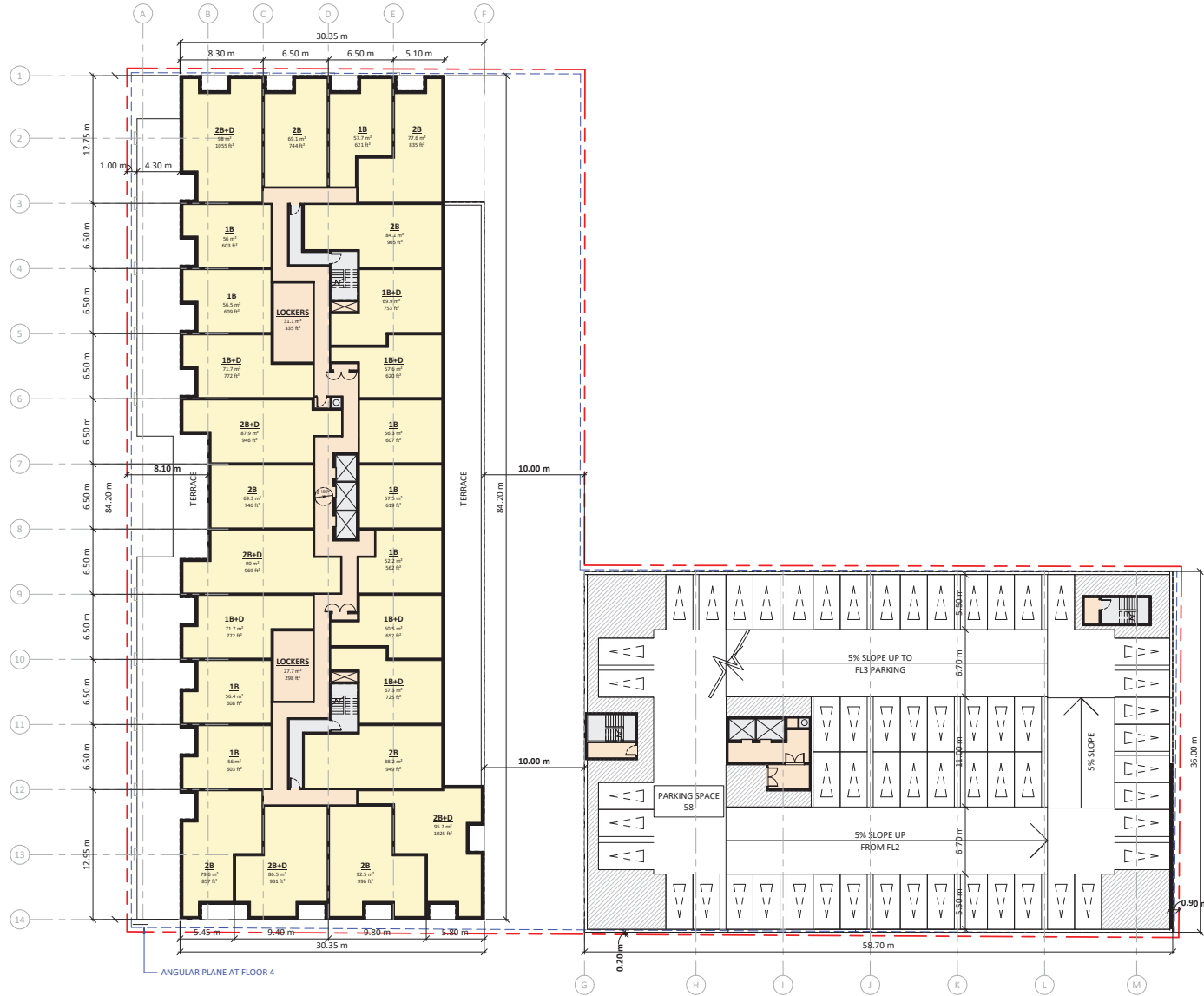
PROJECT  
**556 Wellington Street South, London, ON**  
 556 Wellington Street South, London, ON

DRAWING  
**MEZZANINE**

PROJECT NO.  
17-191CS  
 PROJECT DATE  
2018-04-10  
 DRAWN BY  
LLE  
 CHECKED BY  
AYU  
 SCALE  
1:100



DRAWING NO.  
**SPA152**



DATE	DESCRIPTION	BY

PROJECT  
 556 Wellington Street South, London, ON  
 556 Wellington Street South, London, ON

DRAWING  
**FLOOR 02-03**

PROJECT NO.  
17-191CS

PROJECT DATE  
2019-04-10

DRAWN BY  
LLE

CHECKED BY  
AYU

SCALE  
1:100

DRAWING NO.  
**SPA153**

ONTARIO ASSOCIATION OF ARCHITECTS  
 TURNER FLEISCHER ARCHITECTS  
 9006



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DATE	DESCRIPTION	BY

PROJECT  
**556 Wellington Street South, London, ON**  
 556 Wellington Street South, London, ON

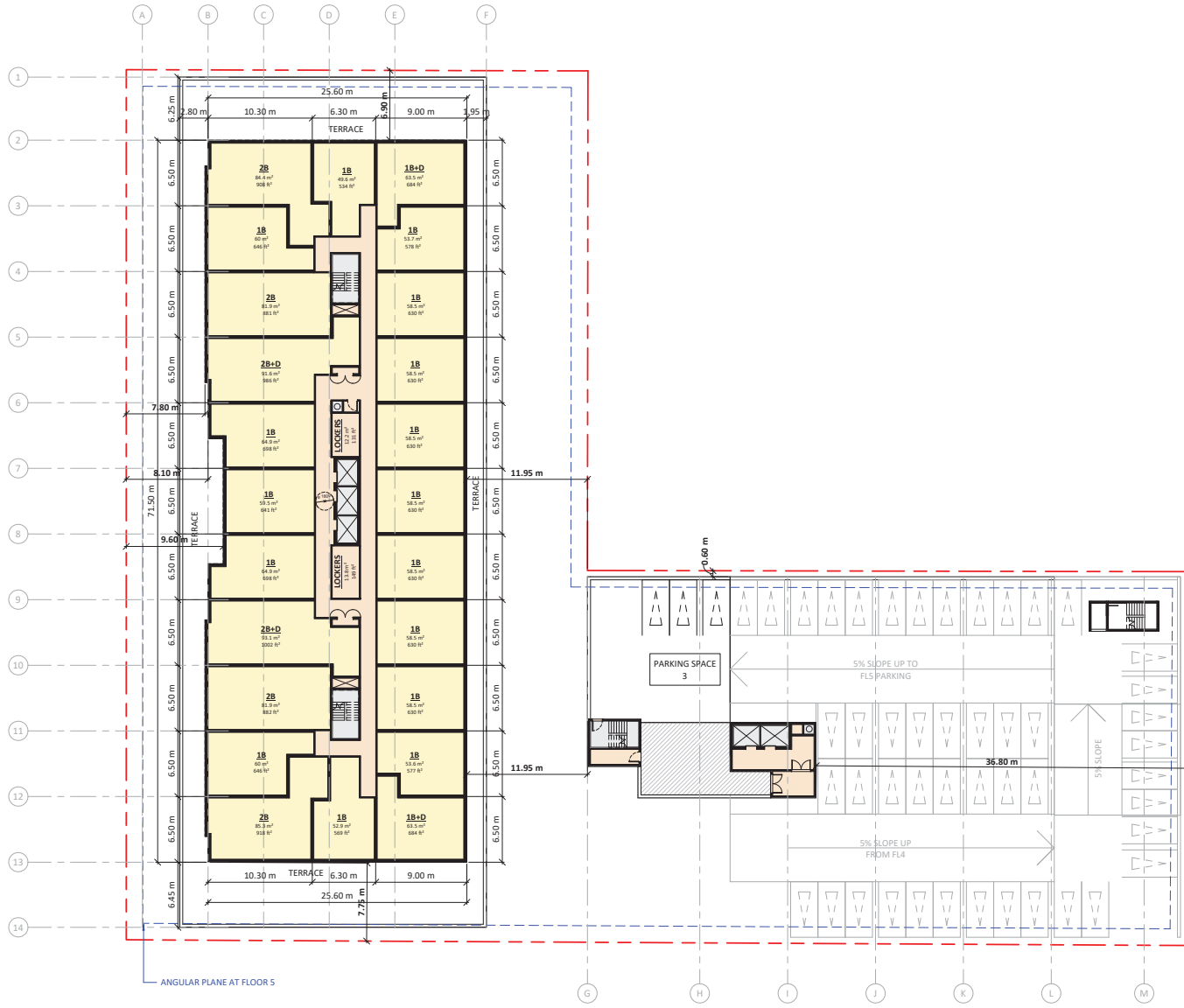
DRAWING  
**FLOOR 04**

PROJECT NO.  
17-191CS  
 PROJECT DATE  
2019-04-10  
 DRAWN BY  
LLE  
 CHECKED BY  
AYU  
 SCALE  
1:1200



DRAWING NO.  
**SPA154**

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DATE	DESCRIPTION	BY
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PROJECT  
556 Wellington Street South, London,  
ON  
556 Wellington Street South, London, ON

DRAWING  
**FLOOR 05**

PROJECT NO.  
17-191CS  
PROJECT DATE  
2019-04-10  
DRAWN BY  
LLE  
CHECKED BY  
AYU  
SCALE  
1:1200



DRAWING NO.  
**SPA155**



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DATE	DESCRIPTION	BY

PROJECT  
 556 Wellington Street South, London,  
 ON  
 556 Wellington Street South, London, ON

DRAWING  
 FLOOR 06

PROJECT NO.  
 17-19/CB  
 PROJECT DATE  
 2019-04-10  
 DRAWN BY  
 LLE  
 CHECKED BY  
 AYU  
 SCALE  
 1:1200



DRAWING NO.  
 SPA156







#	DATE	DESCRIPTION	BY
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PROJECT  
556 Wellington Street South, London,  
ON  
556 Wellington Street South, London, ON

DRAWING  
**FLOOR 08**

PROJECT NO.  
17-19YCS  
PROJECT DATE  
2019-04-10  
DRAWN BY  
LLE  
CHECKED BY  
AYU  
SCALE  
1:1200



DRAWING NO.  
**SPA158**



#	DATE	DESCRIPTION	BY

PROJECT  
**556 Wellington Street South, London, ON**  
 556 Wellington Street South, London, ON

DRAWING  
**FLOOR 09**

PROJECT NO.  
17-19YCS  
 PROJECT DATE  
2019-04-10  
 DRAWN BY  
LLE  
 CHECKED BY  
AYU  
 SCALE  
1:1200



DRAWING NO.  
**SPA159**



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DATE	DESCRIPTION	BY

PROJECT  
 556 Wellington Street South, London,  
 ON  
 556 Wellington Street South, London, ON

DRAWING

FLOOR 10-11

PROJECT NO.  
17-191CS  
 PROJECT DATE  
2019-04-10  
 DRAWN BY  
LLE  
 CHECKED BY  
AYU  
 SCALE  
1:100

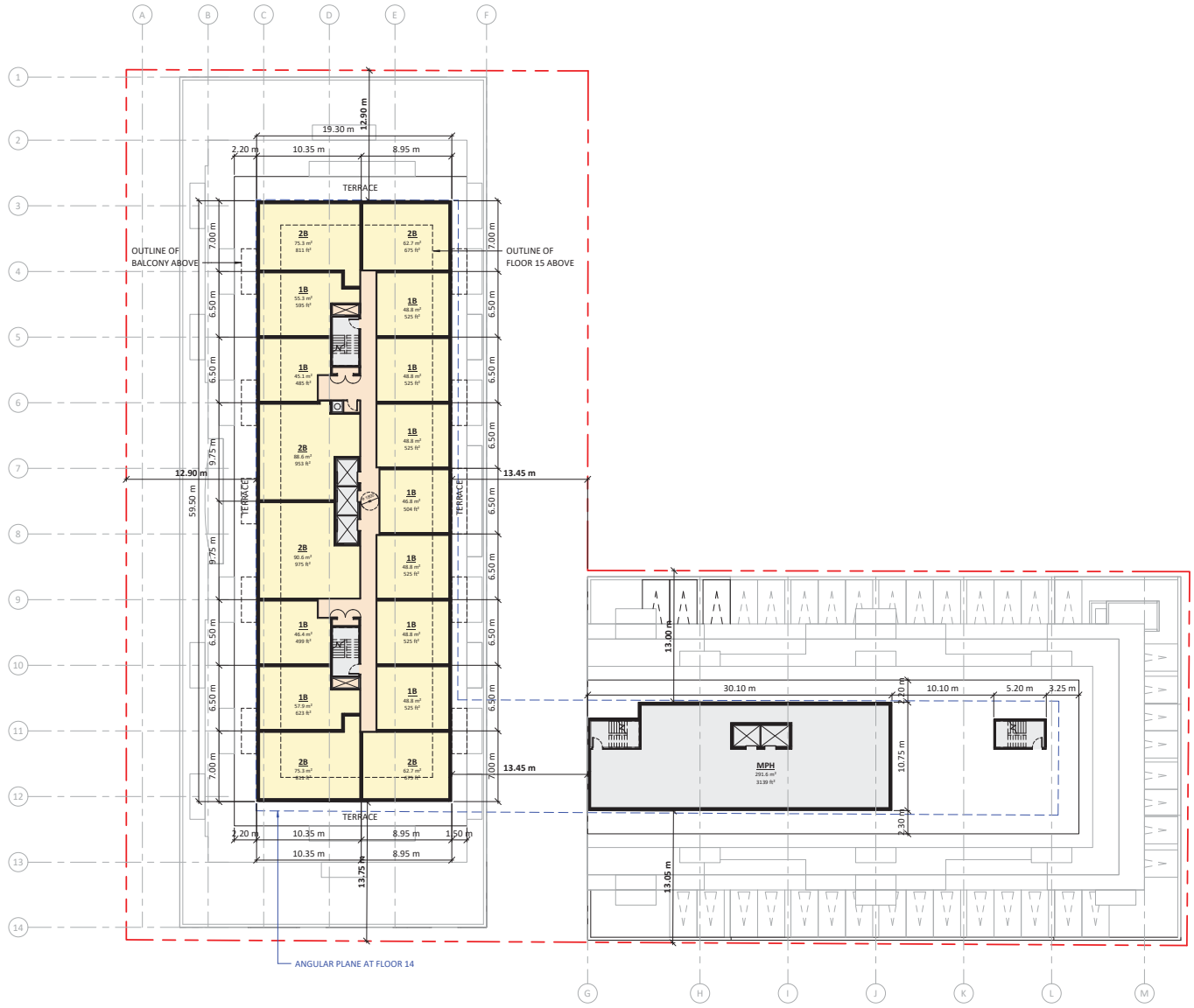


DRAWING NO.  
SPA160





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DATE	DESCRIPTION	BY
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PROJECT  
**556 Wellington Street South, London, ON**  
 556 Wellington Street South, London, ON

DRAWING  
**FLOOR 13-14**

PROJECT NO.  
17-191CS  
 PROJECT DATE  
2019-04-10  
 DRAWN BY  
LLE  
 CHECKED BY  
AYU  
 SCALE  
1:200



DRAWING NO.  
**SPA162**



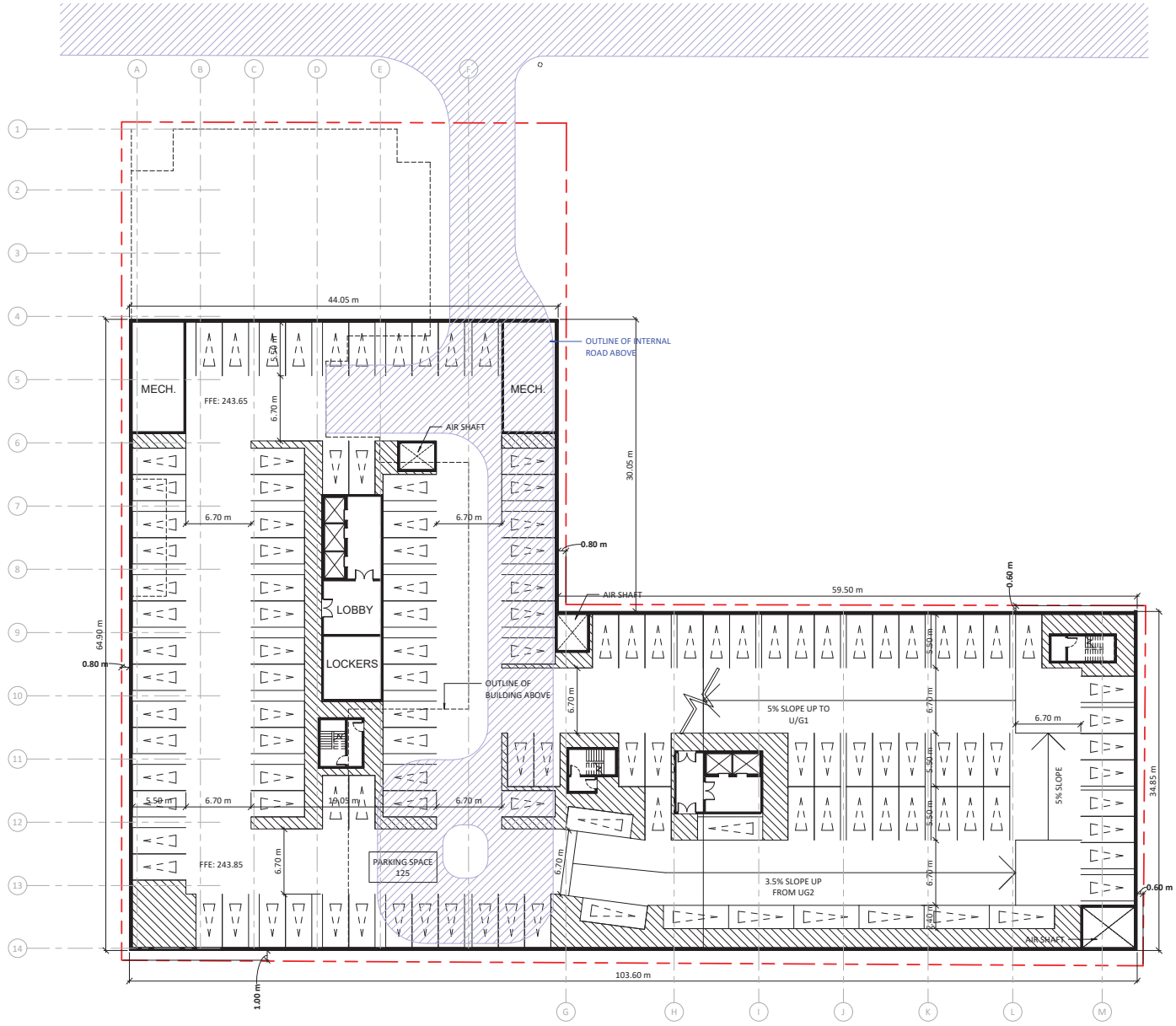












DATE	DESCRIPTION	BY

PROJECT  
556 Wellington Street South, London,  
ON  
556 Wellington Street South, London, ON

DRAWING  
**UNDERGROUND LEVEL 02**

PROJECT NO.  
17.191CS  
PROJECT DATE  
2019-04-10  
DRAWN BY  
LLE  
CHECKED BY  
AYU  
SCALE  
1:100



DRAWING NO.  
**SPA202**



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EXTERIOR FINISHES LEGEND	
1	BRICK - RED
2A	PRECAST CONCRETE - WHITE STONE
2B	PRECAST CONCRETE - WHITE
2C	PRECAST CONCRETE - DARK GRAY
2D	PRECAST CONCRETE - RED BRICK
5	CLEAR GLAZING
6A	SPANDREL GLASS - WHITE
6B	SPANDREL GLASS - GREY
7	RAILING GLASS - CLEAR
8	ALUMINUM MULLION - SILVER
9	METAL PANEL - DARK GREY
10	EIFS PANELS - WHITE
11	EIFS PANELS - LIGHT GRAY
13	EIFS PANELS - DARK GRAY
14	SLAB EDGE ROLLED FINISH - WHITE



DATE	DESCRIPTION	BY

PROJECT  
 556 Wellington Street South, London,  
 ON  
 556 Wellington Street South, London, ON

DRAWING

### WEST ELEVATION

PROJECT NO.  
17.19YCS

PROJECT DATE  
2019-04-10

DRAWN BY  
Author

CHECKED BY  
Checker

SCALE  
1:100



DRAWING NO.  
SPA301

# TURNER FLEISCHER

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EXTERIOR FINISHES LEGEND	
1	BRICK - RED
2A	PRECAST CONCRETE - WHITE STONE
2B	PRECAST CONCRETE - WHITE
2C	PRECAST CONCRETE - DARK GRAY
2D	PRECAST CONCRETE - RED BRICK
5	CLEAR GLAZING
6A	SPANDREL GLASS - WHITE
6B	SPANDREL GLASS - GREY
7	RAILING GLASS - CLEAR
8	ALUMINUM MULLION - SILVER
9	METAL PANEL - DARK GREY
10	EFS PANELS - WHITE
11	EFS PANELS - LIGHT GRAY
13	EFS PANELS - DARK GRAY
14	SLAB EDGE ROLLED FINISH - WHITE

DATE	DESCRIPTION	BY

PROJECT  
**556 Wellington Street South, London, ON**  
 556 Wellington Street South, London, ON

## EAST ELEVATION

PROJECT NO.  
17-191CS  
 PROJECT DATE  
2018-04-10  
 DRAWN BY  
Author  
 CHECKED BY  
Checker  
 SCALE  
1:100



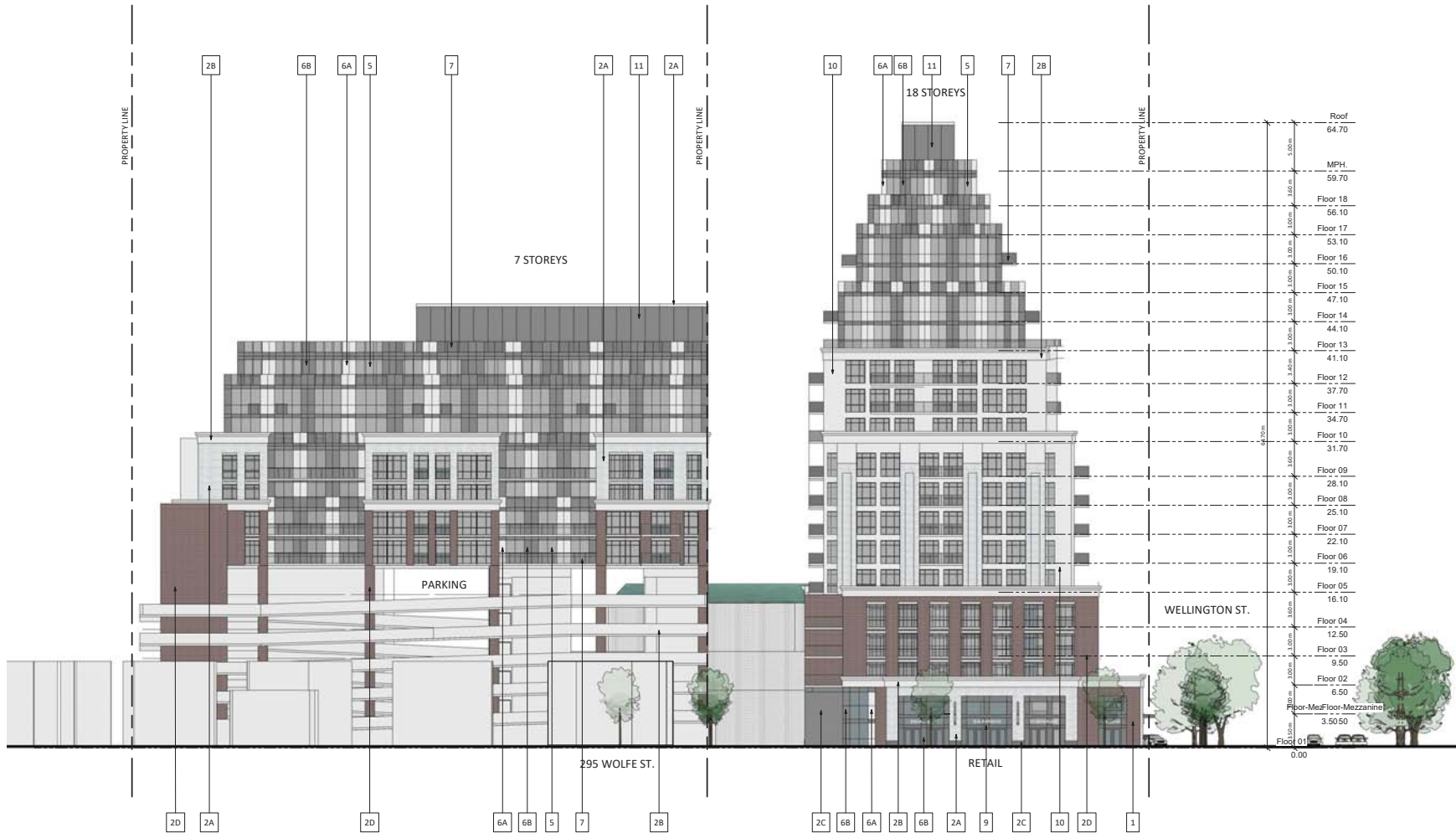
DRAWING NO.  
**SPA302**



# TURNER FLEISCHER

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EXTERIOR FINISHES LEGEND	
1	BRICK - RED
2A	PRECAST CONCRETE - WHITE STONE
2B	PRECAST CONCRETE - WHITE
2C	PRECAST CONCRETE - DARK GRAY
2D	PRECAST CONCRETE - RED BRICK
5	CLEAR GLAZING
6A	SPANDREL GLASS - WHITE
6B	SPANDREL GLASS - GREY
7	RAILING GLASS - CLEAR
8	ALUMINUM MULLION - SILVER
9	METAL PANEL - DARK GREY
10	EFS PANELS - WHITE
11	EFS PANELS - LIGHT GRAY
13	EFS PANELS - DARK GRAY
14	SLAB EDGE ROLLED FINISH - WHITE

DATE	DESCRIPTION	BY

PROJECT  
556 Wellington Street South, London, ON  
556 Wellington Street South, London, ON

DRAWING NO.  
17.19YCS

PROJECT DATE  
2019-04-10

DRAWN BY  
Author

CHECKED BY  
Checker

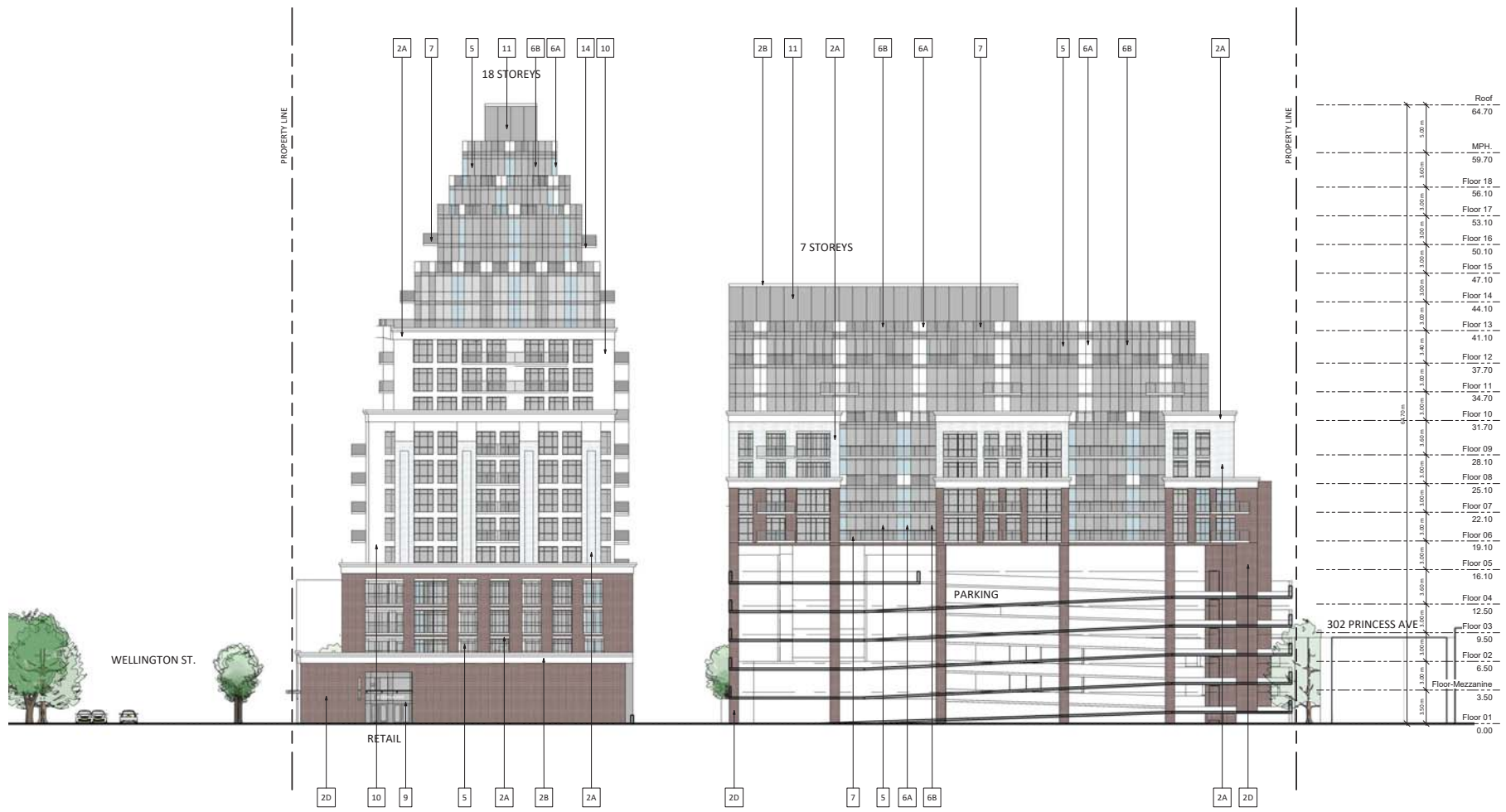
SCALE  
1:1200

DRAWING NO.  
SPA303

ONTARIO ASSOCIATION OF ARCHITECTS

TURNER FLEISCHER ARCHITECTS

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EXTERIOR FINISHES LEGEND	
1	BRICK - RED
2A	PRECAST CONCRETE - WHITE STONE
2B	PRECAST CONCRETE - WHITE
2C	PRECAST CONCRETE - DARK GRAY
2D	PRECAST CONCRETE - RED BRICK
5	CLEAR GLAZING
6A	SPANDREL GLASS - WHITE
6B	SPANDREL GLASS - GREY
7	RAILING GLASS - CLEAR
8	ALUMINUM MULLION - SILVER
9	METAL PANEL - DARK GREY
10	EIFS PANELS - WHITE
11	EIFS PANELS - LIGHT GRAY
13	EIFS PANELS - DARK GRAY
14	SLAB EDGE ROLLED FINISH - WHITE

DATE	DESCRIPTION	BY

PROJECT  
 556 Wellington Street South, London, ON  
 556 Wellington Street South, London, ON

DRAWING NO.  
**SOUTH ELEVATION**

PROJECT NO.  
17.19YCS

PROJECT DATE  
2018-04-10

DRAWN BY  
Author

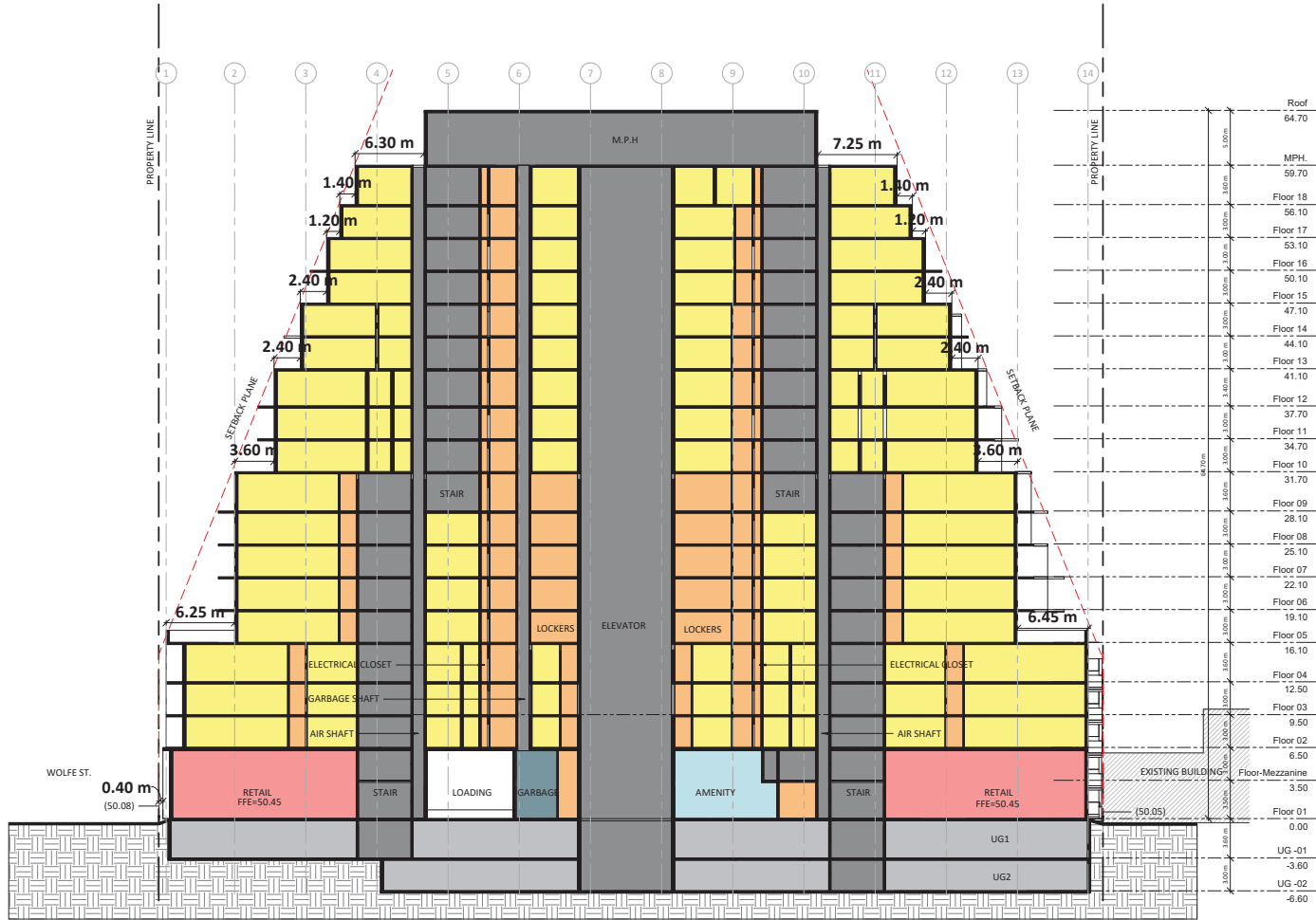
CHECKED BY  
Checker

SCALE  
1:100

DRAWING NO.  
**SPA304**



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DATE	DESCRIPTION	BY

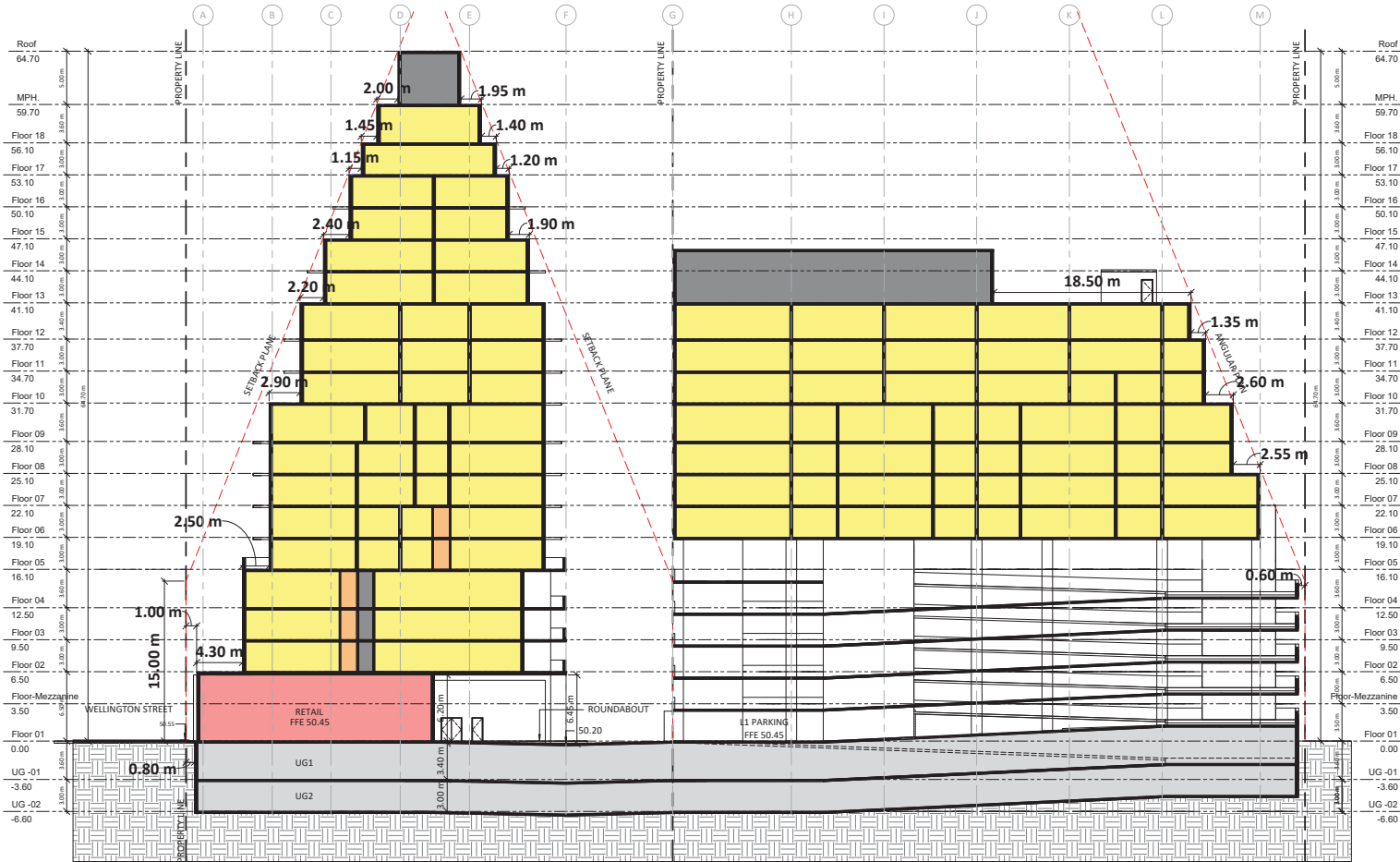
PROJECT  
 556 Wellington Street South, London,  
 ON  
 556 Wellington Street South, London, ON

SCHEMATIC SECTION - NORTH-SOUTH

PROJECT NO.  
17-19YCS  
 PROJECT DATE  
2018-04-10  
 DRAWN BY  
JBN  
 CHECKED BY  
AYU  
 SCALE  
1:1200



DRAWING NO.  
SPA401



#	DATE	DESCRIPTION	BY
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PROJECT  
556 Wellington Street South, London,  
ON  
556 Wellington Street South, London, ON

DRAWING  
SCHEMATIC SECTION - EAST-WEST

PROJECT NO.  
17-191CS  
PROJECT DATE  
2019-04-10  
DRAWN BY  
JBN  
CHECKED BY  
AYU  
SCALE  
1:1200



DRAWING NO.  
SPA402



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WELLINGTON STREET - LOOKING NORTH

#	DATE	DESCRIPTION	BY
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PROJECT  
**556 Wellington Street South, London, ON**  
 556 Wellington Street South, London, ON

DRAWING

3D PERSPECTIVE

PROJECT NO.	17-191CS
PROJECT DATE	2019-04-10
DRAWN BY	JBN
CHECKED BY	AYU
SCALE	



DRAWING NO.  
**SPA801**



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WELLINGTON STREET - LOOKING SOUTH

DATE	DESCRIPTION	BY

PROJECT  
**556 Wellington Street South, London, ON**  
 556 Wellington Street South, London, ON

DRAWING  
**3D PERSPECTIVE**

PROJECT NO.  
17-191CS  
 PROJECT DATE  
2018-04-10  
 DRAWN BY  
JBN  
 CHECKED BY  
AYU  
 SCALE



DRAWING NO.  
**SPA802**



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WELLINGTON STREET - LOOKING NORTH

#	DATE	DESCRIPTION	BY

PROJECT  
**556 Wellington Street South, London, ON**  
 556 Wellington Street South, London, ON

DRAWING

**3D PERSPECTIVE**

PROJECT NO.  
17-19YCS  
 PROJECT DATE  
2018-04-10  
 DRAWN BY  
JBN  
 CHECKED BY  
AYU  
 SCALE



DRAWING NO.  
**SPA803**

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WELLINGTON STREET - LOOKING SOUTH

#	DATE	DESCRIPTION	BY
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PROJECT  
**556 Wellington Street South, London, ON**  
 556 Wellington Street South, London, ON

DRAWING  
**3D PERSPECTIVE**

PROJECT NO.  
17-19YCS  
 PROJECT DATE  
2019-04-10  
 DRAWN BY  
JBN  
 CHECKED BY  
AYU  
 SCALE



DRAWING NO.  
**SPA804**



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AERIAL VIEW - WELLINGTON STREET LOOKING SOUTH

#	DATE	DESCRIPTION	BY

PROJECT  
**556 Wellington Street South, London, ON**  
 556 Wellington Street South, London, ON

DRAWING  
**3D PERSPECTIVE**

PROJECT NO.  
17-19YCS  
 PROJECT DATE  
2019-04-10  
 DRAWN BY  
JBN  
 CHECKED BY  
AYU  
 SCALE



DRAWING NO.  
**SPA805**

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AERIAL VIEW - WELLINGTON STREET LOOKING SOUTH

#	DATE	DESCRIPTION	BY

PROJECT  
**556 Wellington Street South, London, ON**  
 556 Wellington Street South, London, ON

DRAWING

3D PERSPECTIVE

PROJECT NO. 17-191CS	
PROJECT DATE 2019-04-10	
DRAWN BY JBN	
CHECKED BY AYU	
SCALE	

DRAWING NO.  
SPA806



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MARCH 21 10:00 AM



MARCH 21 12:00 PM



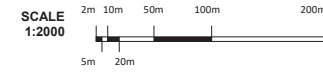
MARCH 21 02:00 PM



MARCH 21 04:00 PM



MARCH 21 06:00 PM



#	DATE	DESCRIPTION	BY
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PROJECT  
 556 Wellington Street South, London,  
 ON  
 556 Wellington Street South, London, ON

DRAWING  
**SHADOW STUDIES MARCH**

PROJECT NO.  
17.191CS  
 PROJECT DATE  
2019-04-10  
 DRAWN BY  
JBN  
 CHECKED BY  
AYU  
 SCALE  
1:2000



DRAWING NO.  
**SPA811**

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JUNE 21 10:00 AM



JUNE 21 12:00 PM



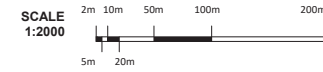
JUNE 21 02:00 PM



JUNE 21 04:00 PM



JUNE 21 06:00 PM



#	DATE	DESCRIPTION	BY

PROJECT  
**556 Wellington Street South, London, ON**  
 556 Wellington Street South, London, ON

DRAWING  
**SHADOW STUDIES JUNE**

PROJECT NO.  
17-191CS  
 PROJECT DATE  
2019-04-10  
 DRAWN BY  
JBN  
 CHECKED BY  
AYU  
 SCALE  
1:2000



DRAWING NO.  
**SPA812**



# TURNER FLEISCHER

Turner Fleischer Architects Inc.  
 67 Laurel Road  
 Toronto, ON, M6S 2T8  
 T 416 425 2222  
 turnerfleischer.com

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SEPTEMBER 21 10:00 AM



SEPTEMBER 21 12:00 PM



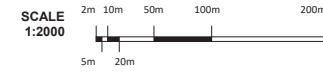
SEPTEMBER 21 02:00 PM



SEPTEMBER 21 04:00 PM



SEPTEMBER 21 06:00 PM



#	DATE	DESCRIPTION	BY
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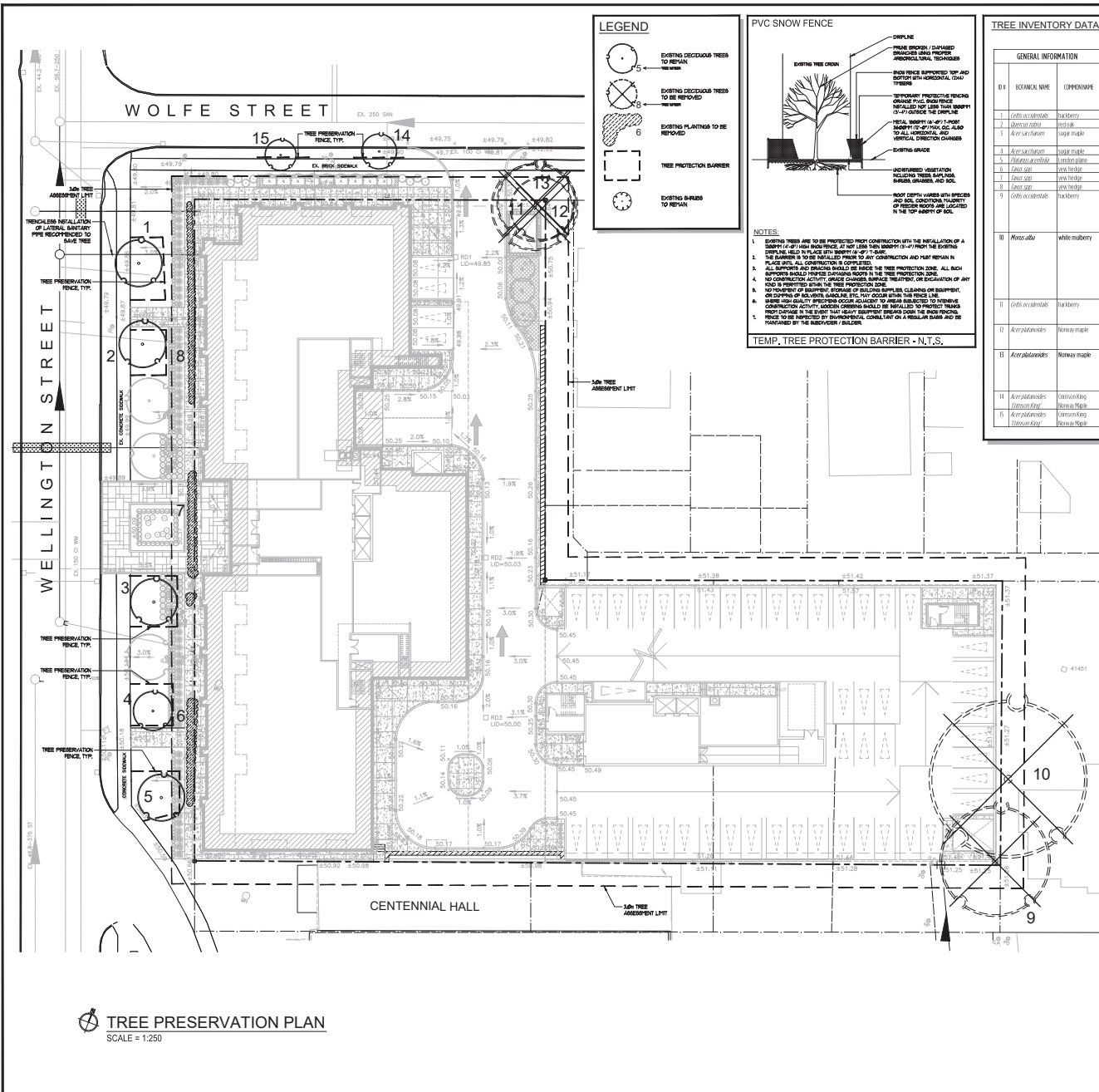
PROJECT  
 556 Wellington Street South, London,  
 ON  
 556 Wellington Street South, London, ON

DRAWING  
 SHADOW STUDIES SEPTEMBER

PROJECT NO.  
17-191CS  
 PROJECT DATE  
2019-04-10  
 DRAWN BY  
JBN  
 CHECKED BY  
AYU  
 SCALE  
1:2000

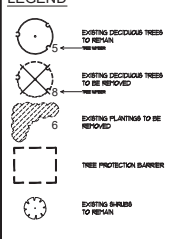


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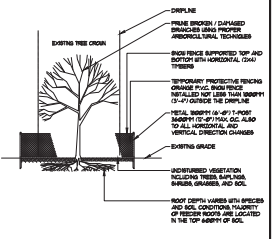


**TREE PRESERVATION PLAN**  
SCALE = 1:250

**LEGEND**



**PVC SNOW FENCE**



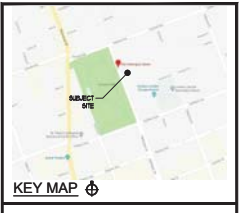
- NOTES:**
1. EXISTING TREES ARE TO BE PROTECTED FROM CONSTRUCTION WITH THE INSTALLATION OF A BARRIER 1.5 M (5 FT) MINIMUM TO 1.8 M (6 FT) FROM THE EXISTING CORNER. HELD IN PLACE BY BENTWOOD PIPES AT 1.5 M (5 FT) FROM THE CORNER TO BE INSTALLED FROM TO THE CONSTRUCTION AND REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED.
  2. ALL EXISTING AND REMOVED TREES SHALL BE RECORDED ON THE TREE PROTECTION PLAN. ALL REMOVED TREES SHALL BE RECORDED ON THE TREE PROTECTION PLAN.
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  4. NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT, OR EROSION OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
  5. NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT, OR EROSION OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
  6. NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT, OR EROSION OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
  7. NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT, OR EROSION OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
  8. NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT, OR EROSION OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
  9. NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT, OR EROSION OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.

**TREE INVENTORY DATA**

ID #	TAXONOMICAL NAME	COMMON NAME	DBH (CM) - APPROX	CANOPY HEIGHT (M)	COGNON CONDITION 1 - DEAD 5 - HEALTHY	STRUCTURAL CONDITION	COMMENTS	PROPOSED ACTION	REASONING	CONSENT TO REMOVE TREE FROM ADJACENT PROPERTY OWNER REQUIRED
1	<i>Celtis occidentalis</i>	hackberry	75	1	5	good	12 ft from	retain		
2	<i>Quercus alba</i>	bur oak	75	1	5	good	12 ft from	retain		
3	<i>Acer saccharum</i>	sugar maple	75	1	5	good	12 ft from, opposite, multiple trunks	retain		
4	<i>Acer saccharum</i>	sugar maple	17	2.5	5	good	12 ft from, dormant leaders	retain		
5	<i>Celtis occidentalis</i>	hackberry	17	3.5	5	good	12 ft from, dormant	retain		
6	<i>Acer sp.</i>	maple	100	10	5	good	at boundary with 17A	retain	Construction	Yes - City
7	<i>Acer sp.</i>	maple	100	10	5	good	at boundary with 17A	retain	Construction	Yes - City
8	<i>Acer sp.</i>	maple	100	10	5	good	at boundary with 17A	retain	Construction	Yes - City
9	<i>Celtis occidentalis</i>	hackberry	62	8	4	fair	adjacent to fence, 2 stems bent at base, opposite, thin above grade, exposed roots, cracked, white, brown, resin, bark, spot about 1 m high in hole from, spot about 1 m high in hole from	remove	Construction	No
10	<i>Morus alba</i>	white mulberry	77, 76	10	4	fair poor	at 300 Princes Ave, large dead branch overhanging adjacent property, 19A ditch, large low limbs with spines subject to injury from, staining required, low tension on larger stems, exposed roots, small only on larger stems, scars on trunk, etc.	remove	Construction	Yes - property owner at 300 Princes St.
11	<i>Celtis occidentalis</i>	hackberry	38	5.5	5	fair	large stem out of soil (fair), exposed, weathered, cracking, spots, spots, spots	remove	Construction	No
12	<i>Acer platanoides</i>	Norway maple	25	4	4	fair	fair at base, grilling rods, adjacent to driveway, staining required, low tension on larger stems, exposed roots, small only on larger stems, scars on trunk, etc.	remove	Construction	No
13	<i>Acer platanoides</i>	Norway maple	27, 28	5	5	fair	exposed, grilling rods, low tension on larger stems, exposed roots, small only on larger stems, scars on trunk, etc.	remove	Construction	Yes - City
14	<i>Acer platanoides</i>	Norway maple	28	4.5	4	good	12 ft from - under hot air, cracked, weathered, cracked	retain		
15	<i>Acer platanoides</i>	Norway maple	35	4	4	good	12 ft from - under hot air, cracked, weathered, cracked	retain		

**TREE PRESERVATION NOTES**

- Pre-Construction Recommendations**
1. Prior to tree removal operations, the trees designated for removal will be clearly marked.
  2. All removals must take place between September 1st and April 1st to avoid disturbing nesting migratory birds. These may be removed outside this window (between April 1st and August 31st) only if a qualified bird specialist has determined there are no nesting birds in the trees. All cutting will be done by chain saw. These trees to be identified by the project landscape architect working in conjunction with a qualified arborist and ecologist. This requirement is in accordance with the Migratory Birds Convention Act, 1994.
  3. Trees on site to be removed for cultural, safety, or aesthetic reasons should be marked for removal (e.g. stumps) and all cutting will be done by chainsaw. These trees to be identified by the project landscape architect working in conjunction with a qualified arborist.
  4. Undertake a tree education program for all construction and site-in-place enforceable penalties for any damage resulting from neglect.
  5. Care should be taken during the falling operation to avoid damaging the branches, stems, trunks, and roots of the trees to be preserved. Where possible, all trees are site filled towards the construction zone to minimize impacts on adjacent vegetation.
  6. Storm damage to trees from shuddering operations during the removal process should be avoided. Trunks of trees to be preserved near the construction zone should be wrapped with three layers of slow fencing to provide protection.
  7. Heavy equipment should not be allowed under the drip line (limit of branches) of the trees to be preserved.
  8. Broken branches on trees to be preserved should be clearly cut by a qualified arborist/horticulturist as soon as possible after the damage has occurred. Do not apply wound dressings to the cut areas.
  9. Final site grading should ensure that surface water is discharged from the site and that the existing soil moisture conditions are maintained.
  10. Roots that must be cut are to be cut by hand. Roots in these areas must not be left exposed for more than twelve hours. If backfilling within this timeframe is not achievable, the roots must be kept moist via watering, and/or covering the roots with wet burlap.
  11. It is recommended that the existing ground level vegetation remain intact so as not to disturb the soil around the base of the existing trees.
- Recommendations Related to the construction process**
1. Heavy duty protection fencing (see appendix B) is to be maintained until all heavy construction work is complete. No movement of equipment or dumping of solvents, gasoline, etc. is permitted beyond the fence line.
  2. Where high-quality specimens exist adjacent to areas subject to intensive construction activity, wooden cribbing (e.g. parks, plywood construction) should be erected to protect trees from trunk damage.
  3. During the excavation process, roots that are severed and exposed should be hand pruned to leave a clean-cut surface. This will reduce the opportunity for pests or disease to enter through the wounds. Wound dressing may be used in this process.
  4. If grade changes are required in areas adjacent to trees to be preserved, work should be done to minimize the impact on the trees. Tree wells, retaining walls, or other site features should be used.
  5. Form concrete sidewalk, if proposed, with fibre expansion material in place of wood forms where roots conflict with existing concrete sidewalks.
  6. Avoid turning above ground wires and underground services near trees to be preserved. Avoid span trenching within the tree root zone. Utilize horizontal boring techniques to install utilities below root areas.
  7. Regular monitoring of the site by the landscape architect will help to ensure proper procedures are followed and protection barriers are maintained.
- Post-Construction Recommendations**
1. Avoid discharging rain water leaders adjacent to retained trees. This may result in an overly moist environment which will cause the tree roots to rot.
  2. After all work is completed, remove fence and other barriers should be removed.
  3. Final review must be undertaken by the Landscape Architect to ensure that all mitigation measures as described above have been met.



**KEY MAP**



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Barry R. Murphy, O.A.L.A., C.S.L.A. DATE

DATE	DESCRIPTION	No.
APRIL 28	ISSUED FOR BPA	4.
APRIL 28	ISSUED FOR COORDINATION	3.
APRIL 28	ISSUED FOR REVIEW	2.
FEBRUARY	ISSUED FOR CLIENT REVIEW	1.

**PLOTTING INFORMATION**  
PLOTTED DATE : APRIL 28  
PLOTTED SCALE : 1/1

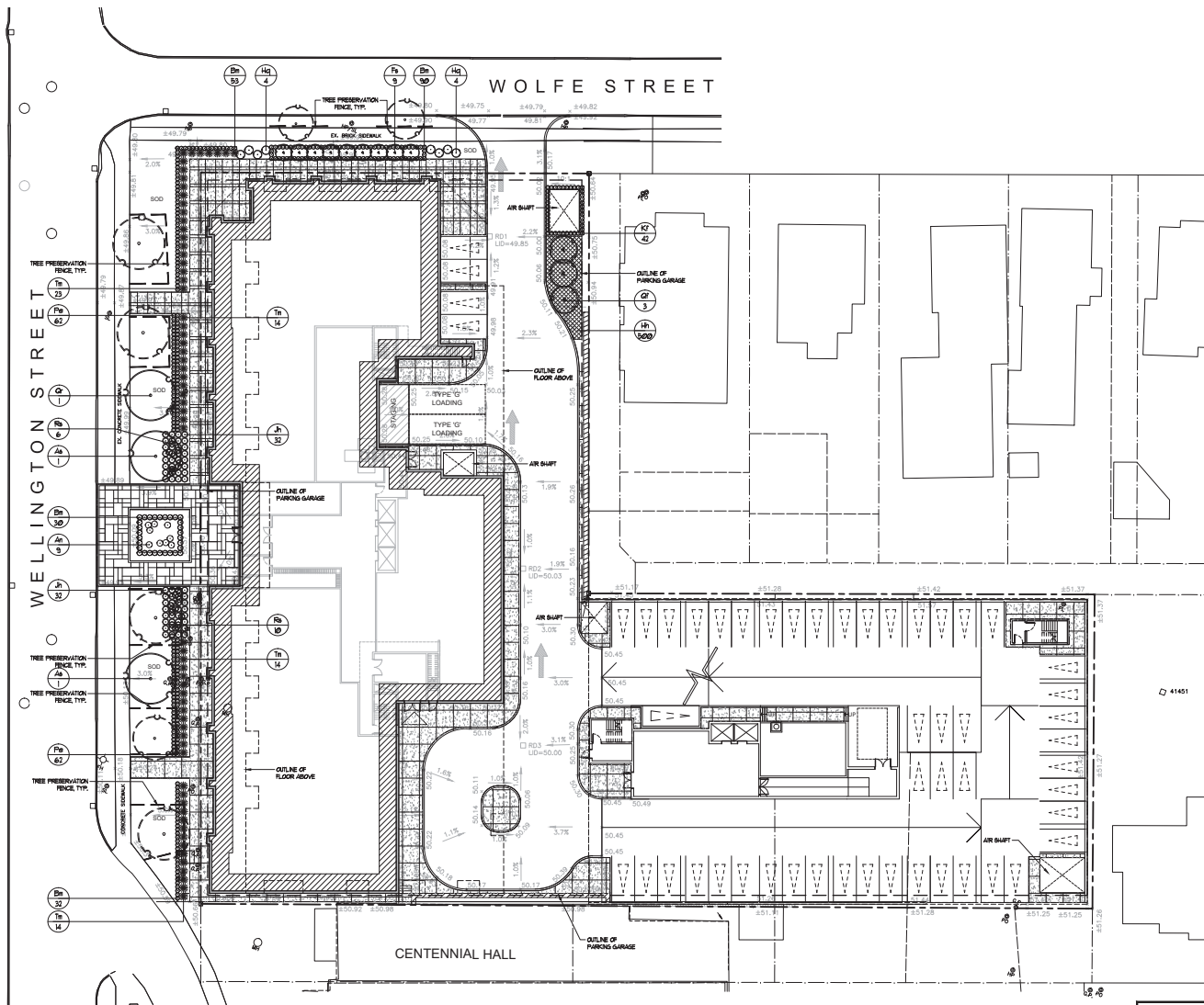


**PROJECT TITLE**  
556 WELLINGTON ST.  
London ON

**TREE PRESERVATION PLAN**

DATE	SCALE	DRAWING No.
FEBRUARY 2018	AS NOTED	
DRAWN: RCL/A Inc.	CHECKED BY: B.R.P.	T-1
PROJECT No.		18-244 LJ SPA





### LEGEND

- PROPOSED DECIDUOUS TREES
- PROPOSED CONIFEROUS TREES
- PROPOSED PLANTINGS
- PLANT KEYS - SEE PLANT MATERIAL LIST
- PROPOSED CONCRETE PAVING



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Barry R. Murphy, O.A.L.A., C.S.L.A. DATE

DATE	DESCRIPTION	No.
APR/2018	ISSUED FOR RPA	4.
APR/2018	ISSUED FOR COORDINATION	3.
APR/2018	ISSUED FOR REVIEW	2.
FEB/2018	ISSUED FOR CLIENT REVIEW	1.

PLANTING INFORMATION

PLOTTED DATE = APR/2018

PLOTTED SCALE = 1/8"

PROJECT TITLE

**556 WELLINGTON ST.**  
London ON

DRAWING TITLE

**LANDSCAPE PLAN**

DATE	SCALE	DRAWING No.
FEBRUARY 2018	AS NOTED	
DRAWN	CHECKED BY:	
RCLA Inc.	BURP.	L-1

### PLANT MATERIAL

KEY	COMMON NAME	BOTANICAL NAME	QTY	SIZE	COND.
AH	FANTASY POGONIAS BRONZEBUR	<i>Anemone x Tenax Pogonias</i>	9	3 1/2 gal	POF
AM	BURNING MAPLE	<i>Acer dasycarpum</i>	2	Revised	IB
BM	GREEN VIOLET BOKHOOD	<i>Buxus sempervirens Green Velvet</i>	300	3 gal	POF
FN	BEECH REDDIE	<i>Fagus sylvatica</i>	9	30 cm	POF
HN	BALTIC HOP	<i>Salix helix 'Baltica'</i>	1000	4" cal	POF
HQ	GALEOP HYDRANGEA	<i>Hydrangea quercifolia</i>	8	3 1/2 gal	POF
LI	PRINCE OF SALESIA JAMES	<i>Ligustrum japonense 'Prince of Sales'</i>	64	60 cm	POF
KZ	KARLE REINERTER REED GRASS	<i>Calamagrostis canadensis Karl Foerster</i>	42	3 1/2 gal	POF
FN	HARDY POSITION GRASS	<i>Pennisetum alopecuroides 'Nanum'</i>	24	3 1/2 gal	POF
OF	HYFRATICAL ENGLISH OAK	<i>Quercus robur 'Fastigiata'</i>	3	40 cm cal	IB
OD	RED OAK	<i>Quercus rubra</i>	1	40 cm cal	IB
RS	RUSSIAN BAGE	<i>Parrotia persicifolia</i>	16	3 1/2 gal	POF
TS	DIWEE YEW	<i>Taxus media 'Dawsoniana'</i>	60	60 cm	POF

**LANDSCAPE PLAN**  
SCALE = 1:250

