

Report to London Advisory Committee on Heritage

To: Chair and Members
London Advisory Committee on Heritage

From: John M. Fleming
Managing Director, City Planning and City Planner

Subject: Heritage Alteration Permit Application by S. Granger at 504-506 Maitland Street, West Woodfield Heritage Conservation District

Meeting on: Wednesday November 13, 2019

Recommendation

That, on the recommendation of the Managing Director, City Planning & City Planner, with the advice of the Heritage Planner, the application under Section 42 of the *Ontario Heritage Act* seeking retroactive approval and approval for alterations to property at 504-506 Maitland Street, within the West Woodfield Heritage Conservation District, **BE PERMITTED** with the terms and conditions:

- a) Sash (hung) windows be used for the gable windows;
- b) The cedar shakes proposed for the gable cladding be rectangular and regular in shape and installation;
- c) All exposed wood, including porch posts and railings/guards, cedar shakes, board and batten, and tongue and groove siding, be painted;
- d) The Heritage Planner be circulated on the Building Permit application drawings to verify compliance with this Heritage Alteration Permit prior to issuance of the Building Permit; and,
- e) The Heritage Alteration Permit be displayed in a location visible from the street until the work is completed.

Executive Summary

Alterations were undertaken to the heritage designated property at 504-506 Maitland Street, in the West Woodfield Heritage Conservation District, without obtaining Heritage Alteration Permit approval. An authorized agent for the property has subsequently submitted a Heritage Alteration Permit application to resolve the non-compliance issues for the property. The proposed alterations seek to improve the compatibility of the previous alterations with the guidelines for the *West Woodfield Heritage Conservation District Plan* while completing the projects with the appropriate Heritage Alteration Permit in place.

Analysis

1.0 Background

1.1 Location

The property at 504-506 Maitland Street is located on the east side of Maitland Street between Dufferin Avenue and Princess Street (Appendix A).

1.2 Cultural Heritage Status

The property at 504-506 Maitland Street is located within the West Woodfield Heritage Conservation District, which was designated pursuant to Part V of the *Ontario Heritage Act* in 2008. The property at 504-506 Maitland Street is C-rated by the *West Woodfield Heritage Conservation District*, meaning it contributes to the heritage character of the West Woodfield Heritage Conservation District.

1.3 Description

The existing semi-detached dwellings at 504-506 Maitland Street are a modest, vernacular cottage form constructed in circa 1884 (Appendix B). The semi-detached dwellings are mirror images; a doorway, with a historic wooden front door, flanked by a

triplet window to the side. Both of the semi-detached units are accessed by a porch which spans the building's façade and features a shed style roof extending from the hipped or cottage roof of the main building.

Forensic evidence, as exposed by previous unapproved alterations to the semi-detached dwellings, have exposed the horizontal tongue and groove wood siding that is believed to be original. Previous alterations, including the application of stucco cladding, has compromised this material. In addition to the stucco cladding of the porch and front façade, horizontal siding (believed to be aluminum) formerly clad the sides and rear of the building. Wood windows were formerly in the window openings, but were replaced by vinyl windows.

2.0 Legislative/Policy Framework

2.1 Provincial Policy Statement

Heritage conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement* (2014) promotes the wise use and management of cultural heritage resources and directs that "significant built heritage resources and significant cultural heritage landscapes shall be conserved."

2.2 Ontario Heritage Act

Section 42 of the *Ontario Heritage Act* requires that a property owner not alter, or permit the alteration of, the property without obtaining Heritage Alteration Permit approval. The *Ontario Heritage Act* enables Municipal Council to give the applicant of a Heritage Alteration Permit:

- a) The permit applied for
- b) Notice that the council is refusing the application for the permit, or
- c) The permit applied for, with terms and conditions attached (Section 42(4), *Ontario Heritage Act*)

Municipal Council must make a decision on the Heritage Alteration Permit application within 90 days or the request is deemed permitted (Section 42(4), *Ontario Heritage Act*).

2.2.1 Contravention of the Ontario Heritage Act

Pursuant to Section 69(1) of the *Ontario Heritage Act*, failure to comply with any order, direction, or other requirement made under the *Ontario Heritage Act* or contravention of the *Ontario Heritage Act* or its regulations, can result in the laying of charges and fines up to \$50,000.

When the amendments to the *Ontario Heritage Act* in Bill 108 are proclaimed in force and effect, the maximum fine for the demolition or removing a building, structure, or heritage attribute in contravention of Section 42 of the *Ontario Heritage Act* will be increased to \$1,000,000 for a corporation.

2.3 The London Plan

The policies of *The London Plan* found in the Cultural Heritage chapter support the conservation of London's cultural heritage resources. Policy 554_ of *The London Plan* articulates one of the primary initiatives as a municipality to "ensure that new development and public works are undertaken to enhance and be sensitive to our cultural heritage resources." To help ensure that new development is compatible, Policy 594_ (under appeal) of *The London Plan* provides the following direction:

1. *The character of the district shall be maintained by encouraging the retention of existing structures and landscapes that contribute to the character of the district.*
2. *The design of new development, either as infilling, redevelopment, or as additions to existing buildings, should complement the prevailing character of the area.*
3. *Regard shall be had at all times to the guidelines and intent of the heritage conservation district plan.*

Policy 13.3.6 of the *Official Plan* (1989, as amended) includes similar language and policy intent.

2.3 West Woodfield Heritage Conservation District

One of the goals of the designation of West Woodfield as a Heritage Conservation District pursuant to Part V of the *Ontario Heritage Act* is to “avoid the destruction and/or inappropriate alteration of the existing building stock, materials and details...” (Section 3.1, *West Woodfield Heritage Conservation District Plan*). To achieve this goal, policies and guidelines are in place to support the conservation and existing heritage buildings and ensuring that alterations are sensitive to the heritage attributes and details of the West Woodfield Heritage Conservation District.

Regarding alterations, the following guidelines are provided in Section 8.2.1 of the *West Woodfield Heritage Conservation District Plan*:

- Research the original style and appearance of the building to determine the “authentic limits” of restoration or alteration so that the appropriate style is maintained.
- In the absence of historical data, use forensic evidence available from the building itself to suggest appropriate restoration or alteration.
- Seek similar properties (same age, same design, and same builder) for evidence of details that may still exist as samples for reconstruction.
- Avoid “new” materials and methods of construction if the original is still available;
- “Restore” wherever possible rather than “replace,” particularly for features such as windows, doors, porches and decorative trim.
- Where replacement features (e.g. doors, window, rim) is unavoidable, the replacement components should be of the same general style, size, and proportion.
- Incorporate similar building forms, materials, scale and design elements into the alteration that exist on the original building.
- Avoid concealing original parts of buildings, entrances and decorative details when undertaking alterations.
- If in doubt, use discretion and avoid irreversible changes to the basic structure.
- Keep accurate photos and other records, and samples of original elements that have been replaced.

Section 10.3.4 of the *West Woodfield Heritage Conservation District* highlights the appropriateness of dormers, however no specific guidelines are provided for the consideration of the design of a new dormer.

Wood siding is noted as an exterior cladding material used on very few original properties in the West Woodfield Heritage Conservation District, with many more examples of wood trim and details such as porches or gables. Section 10.4.5 of the *West Woodfield Heritage Conservation District Plan* notes,

There were a few examples of vertical wood siding using wide boards and narrow battens to cover the joints, but this was less weather tight and considered more appropriate to sheds and service buildings by the time most of the properties in the West Woodfield Heritage Conservation District were being constructed.

Regarding porch alteration, the following guidelines are provided in Section 10.5:

- Removal or substantial alteration to the size, shape, and design of existing porches is strongly discouraged.
- Do not remove or cover original porches or porch details, except for the purpose of quality restoration. Prior to executing any repairs or restoration, photograph the existing conditions and research to determine whether the existing is original or an appropriate model for restoration. Use annotated photographs or drawings or sketches to represent intended repairs.
- When restoring a porch that is either intact or completely destroyed, some research should be undertaken to determine the original design which may have been much different from its current condition and decide whether to restore the original.

- For structural elements of the porch, use the best current technology including secure footings extending below the frost and pressure treated wood for wood framing.
- For decorative elements such as gingerbread fretwork and other trim, wood is still the best choice to recreate the original appearance, but using improved technology such as waterproof glues and biscuit joiners and liquid preservatives and best quality paints to protect the finished product.
- Fiberglass and plastic versions of decorative trims should be avoided. Poor interpretations of the scale or design of applied decoration detract from the visual appearance and architectural coherence of porches and verandahs.
- Install and maintain a porch apron on all exterior sides below the porch floor level that permits good ventilation and prevents animals and debris from entering. Research some of the attractive and functional trellis designs that are used in the neighbourhood to fulfill this purpose. Include a hinged or removable section for occasional access for maintenance and inspection. Smooth and grade the ground under the porch to slope away from the basement and cover the exposed ground with a thick polyethylene sheet and a layer of gravel or precast paving stones. This will reduce the dampness and growth of mould and provide more comfortable access for maintenance.

Section 10.6 of the *West Woodfield Heritage Conservation District Plan* provides guidelines for windows and doors. The preservation of original doors and windows are prioritized by the policies and guidelines of the *West Woodfield Heritage Conservation District Plan*. The following guidelines are applicable for replacement windows:

- The replacement of original wood framed windows by vinyl or aluminum clad windows is discouraged. If this is the only reasonable option, the replacement windows should mimic the original windows with respect to style, size, and proportion, with a frame that is similar in colour, or can be painted, to match other windows.

The guidelines of Section 10.9.1 of the *West Woodfield Heritage Conservation District Plan* support the painting of all wood associated with residential construction to “present a finished appearance to the neighbourhood, and to protect the investment in the house.” Choice of paint colour is not regulated in the West Woodfield Heritage Conservation District.

3.0 Heritage Alteration Permit Application

A complaint from the community brought unapproved alterations underway to the property at 504-506 Maitland Street to the attention of the City on November 27, 2018. Compliance action ensued.

The Heritage Alteration Permit application was submitted by an authorized agent for the property owners and received on October 1, 2019. The applicant has applied for a Heritage Alteration Permit seeking:

- Retroactive approval for removal of the former exterior cladding and the application of wood board and batten;
- Retroactive approval for the replacement of the former wood windows with vinyl windows in the existing openings;
- Cladding of the front elevation with wood board and batten;
- Removal and reconstruction of the porch across the front of the existing dwellings, with the following details (see drawings in Appendix C):
 - Constructed of wood;
 - Four posts across the front façade (opposed to the existing three post design);
 - New steps;
 - 36” high railing/guard with a top and bottom rail and square spindles set between;
 - A wood board skirt;
 - Tongue and groove porch decking;

- Aluminum soffit, fascia, and eaves;
- Alteration of the roof line to extend the hipped roof over the reconstructed porch to accommodate a new dormer;
- Construction of a new dormer, with the following details (see drawings in Appendix C):
 - Approximately 12' in width and approximately 4'6" to the eaves, centred on the front (west) elevation of the existing semi-detached building;
 - A gable roof, matching the pitch and slope of the existing hipped roof;
 - A triplet (three windows) window;
 - Tongue and groove siding;
 - Asphalt shingles to match the existing roof.

The removal of the former cladding of the semi-detached dwelling, particularly the former stucco cladding on the porch structure, has identified deficient structural elements. This identification eliminates the feasibility of maintaining the existing porch; reconstruction of the existing porch is required.

The existing, historic front doors will be maintained with no alterations proposed.

As the alterations have commenced prior to obtaining Heritage Alteration Permit approval, this Heritage Alteration Permit application has met the conditions for referral requiring consultation with the London Advisory Committee on Heritage (LACH).

Per Section 42(4) of the *Ontario Heritage Act*, Municipal Council must make a decision on this Heritage Alteration Permit application by December 30, 2019 or the request is deemed permitted.

4.0 Analysis

4.1 Window Replacement

The former wood windows were removed and replaced by the existing vinyl windows without Heritage Alteration Permit approval. The guidelines of Section 10.6 discourage the replacement of wood windows with vinyl or aluminum windows.

The replacement windows maintained the style (hung/sash), size, and location of the former windows. The replacement windows did not maintain the proportion of the former wood windows, as the vertical divided upper sash was not replicated in the vinyl window. Faux grilles or "snap-in" muntins poorly replicate the details of historic wood windows.

4.2 Exterior Cladding

Wood is not the most prevalent exterior cladding material found within the West Woodfield Heritage Conservation District. Restoration of the horizontal wood tongue and groove siding, as identified underneath layers of applied siding on the front (west) elevation, would be the most preferred exterior cladding solution for the existing semi-detached dwelling. However, this material is in poor condition as demonstrated by what portions have been exposed. It is unclear what materials are underneath the existing exterior cladding of the side and rear elevations.

The board and batten wood siding was installed on the side and rear elevations of the existing semi-detached dwelling at 504-506 Maitland Street without Heritage Alteration Permit approval. Reference to the board and batten style in Section 10.4.5 of the *West Woodfield Heritage Conservation District Plan* demonstrates the historic appropriateness of this material. The modest scale of the existing semi-detached dwelling at 504-506 Maitland Street lends itself to the suitability of the board and batten wood cladding, which would not be appropriate on a grander or elaborate structure.

To improve the compatibility of the board and batten wood siding, and regarding the proposed cladding of the front (west) elevation in board and batten wood siding, the exposed wood material should be painted or stained in compliance with the guidelines of Section 10.9.1 of the *West Woodfield Heritage Conservation District Plan*.

4.3 Porch Alteration

The unapproved alterations, which removed the exterior finishes from the porch of the existing semi-detached dwelling at 504-506 Maitland Street, exposed structural deficiencies which render the existing porch unsuitable for rehabilitation. The Heritage Alteration Permit application proposed the removal and reconstruction of the porch, maintaining the same size, shape, and general design.

It is evident that the existing porch has been subject to previous alterations. No historic documentation could be located to accurately depict the former appearance of the porch prior to the application of the stucco, for example. As such, the reconstruction of the porch is guided by general forms and details which are compatible to the heritage character of the West Woodfield Heritage Conservation District. This includes the use of a traditional style wood railing/guard with a top and bottom rail and square wood spindles set between, wood tongue and groove decking, wood posts, wood porch skirt, and wood steps – all with a painted finish, in compliance with the guidelines Section 10.5 of the *West Woodfield Heritage Conservation District Plan*.

4.4 Dormer

The guidelines for the construction of a new dormer on an existing heritage building are not as specific as other potential alterations contemplated by the *West Woodfield Heritage Conservation District Plan*.

Dormers are a common and historically-appropriate design intervention within the context of the West Woodfield Heritage Conservation District. Numerous examples of varying detail can be found through the West Woodfield Heritage Conservation District, as well as in London's other Heritage Conservation Districts. To inform the design of the proposed dormer, other examples of dormers should be considered. See Appendix D.

As the existing hipped roof is quite shallow in its pitch, it is very possible to overwhelm it with a new dormer. However, the dormer will maintain the pitch of the existing roof and is appropriately sized (approximately 12' by 4'6" to the eaves). This is implemented through roofline alterations, as seen in the drawings in Appendix C, which eliminate the shed style roof over the porches in favour of extending the hipped roof of the main dwellings. The roof slopes of the dormer will be integrated with that of the existing roof; while this could read as a roofline addition rather than a dormer, however the small scale of this proposed dormer is anticipated to remedy this potential confusion in its architectural form. The dormer will be accented by a triplet window, which echoes the window details of the main storey in a compatible manner. This triple window should be composed of sash (hung) style windows. The dormer will be clad in wood tongue and groove board with cedar shakes in the front gable. The cedar shakes should be more regular in shape, to emphasize a more Victorian aesthetic of comparable gables in the West Woodfield Heritage Conservation District and suitable to the date of construction (circa 1884) for these semi-detached dwellings, rather than the more irregular shakes shown on the drawing which suggest a more Craftsman style.

5.0 Conclusion

The proposed alterations to the existing semi-detached dwelling at 504-506 Maitland Street seek to "make good" of some of the previously commenced, unapproved alterations. The existing porch will be removed and reconstructed in a compatible manner, and the board and batten wood cladding will be continued across the front (west) elevation. While wood is the preferred material for replacement windows, the replacement vinyl windows maintains the same style and size of the former windows. The proposed dormer is anticipated to contribute to the heritage character of this property, provided that the proposed proportions are maintained and the dormer is finished with suitable materials.

Prepared by:	Kyle Gonyou, CAHP Heritage Planner
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Recommended by:	John M. Fleming, MCIP, RPP Managing Director, City Planning and City Planner
<p>Note: The opinions contained herein are offered by a person or persons qualified to provide expert opinion. Further detail with respect to qualifications can be obtained from City Planning.</p>	

November 5, 2019

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- Appendix A Property Location
- Appendix B Images
- Appendix C Drawings
- Appendix C Examples of Dormers

Appendix A – Location

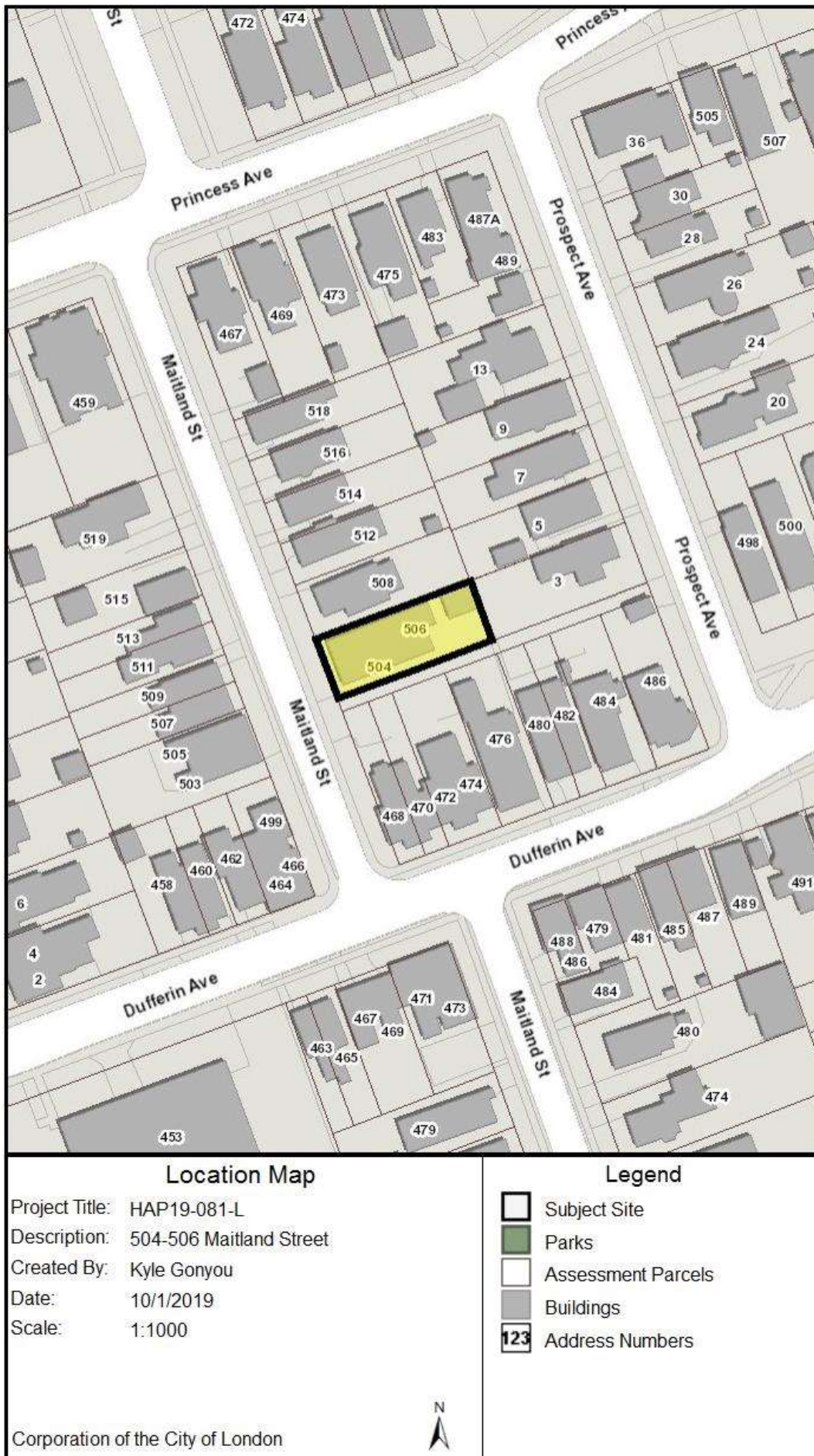


Figure 1: Location of the subject property at 504-506 Maitland Street in the West Woodfield Heritage Conservation District.

Appendix B – Images



Image 1: Image of the property at 504-506 Maitland Street in 2016, prior to alterations (courtesy Google).



Image 2: Photograph of the property at 504-506 Maitland Street on November 27, 2018 showing unapproved alterations.



Image 3: Photograph of the property at 504-506 Maitland Street on November 27, 2018 showing unapproved alterations.



Image 4: Photograph showing the historic front doors of the semi-detached dwelling at 504-506 Maitland Street. Note: the doors will be retained and not altered.

Appendix C – Drawings

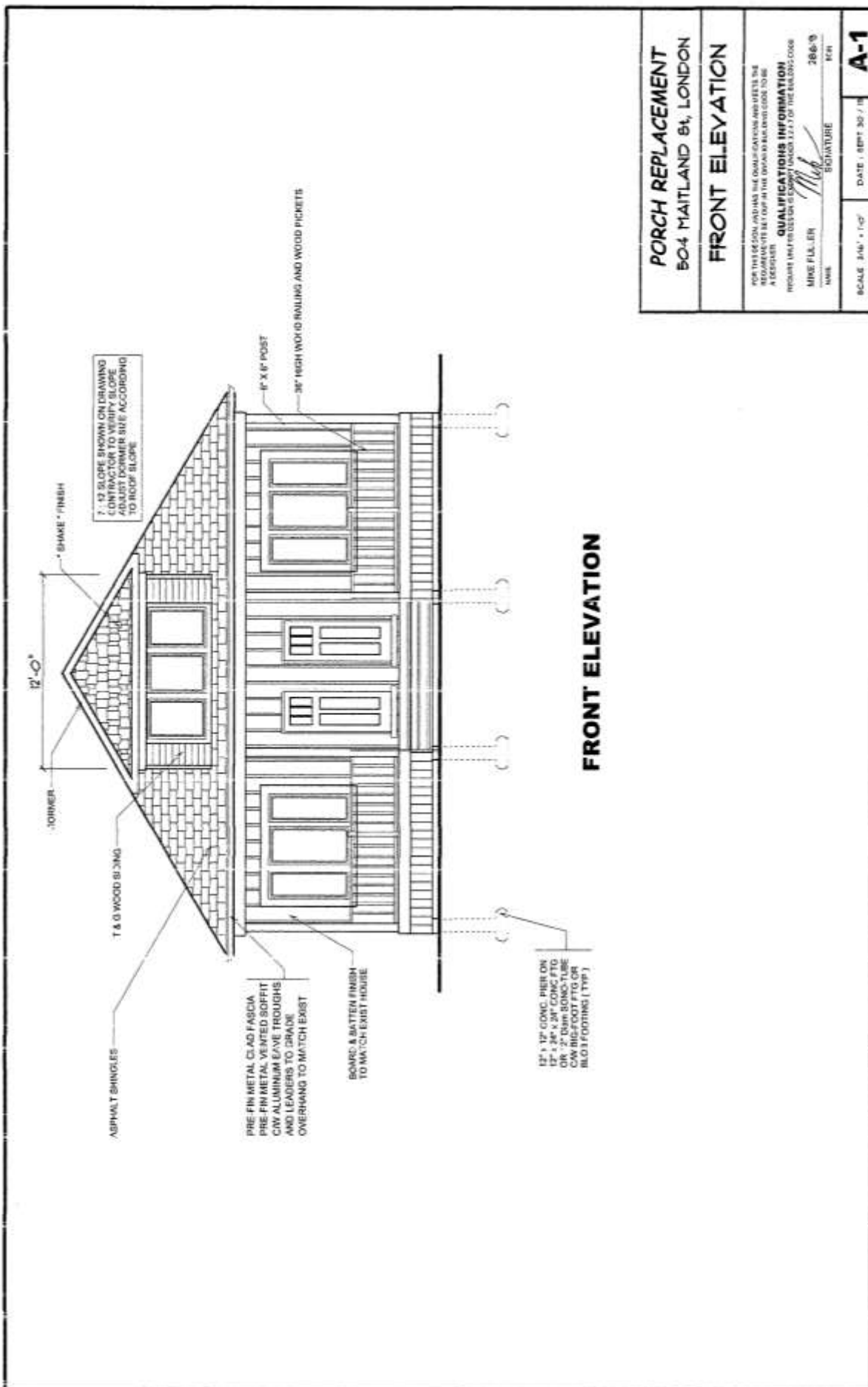


Figure 2: Front elevation, showing the proposed porch alteration and proposed dormer for the existing semi-detached dwellings at 504-506 Maitland Street. Note the application of the wood board and batten to wrap around the front elevation of the semi-detached dwellings.

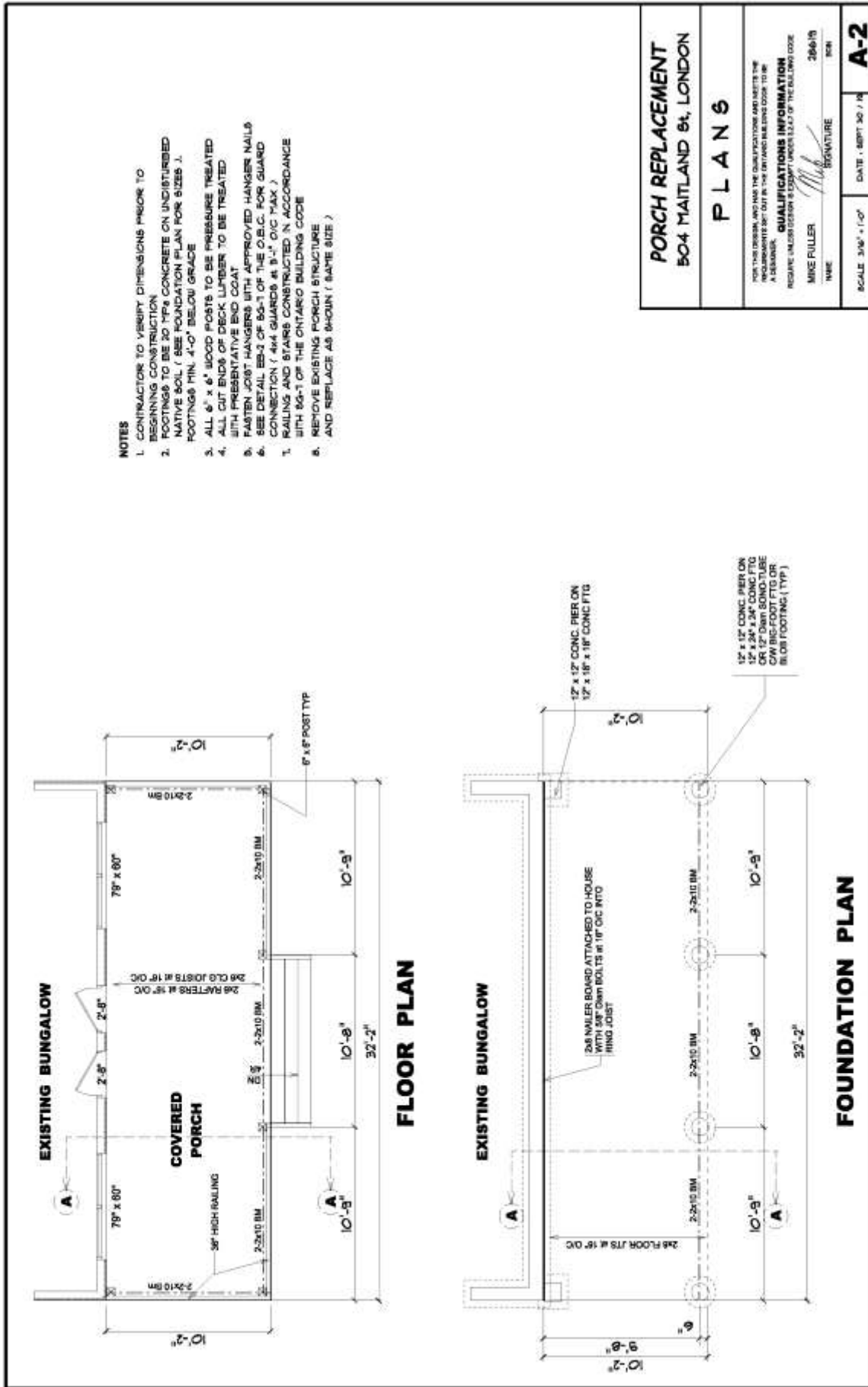


Figure 3: Plans showing the proposed porch alteration and proposed dormer for the existing semi-detached dwellings at 504-506 Maitland Street.

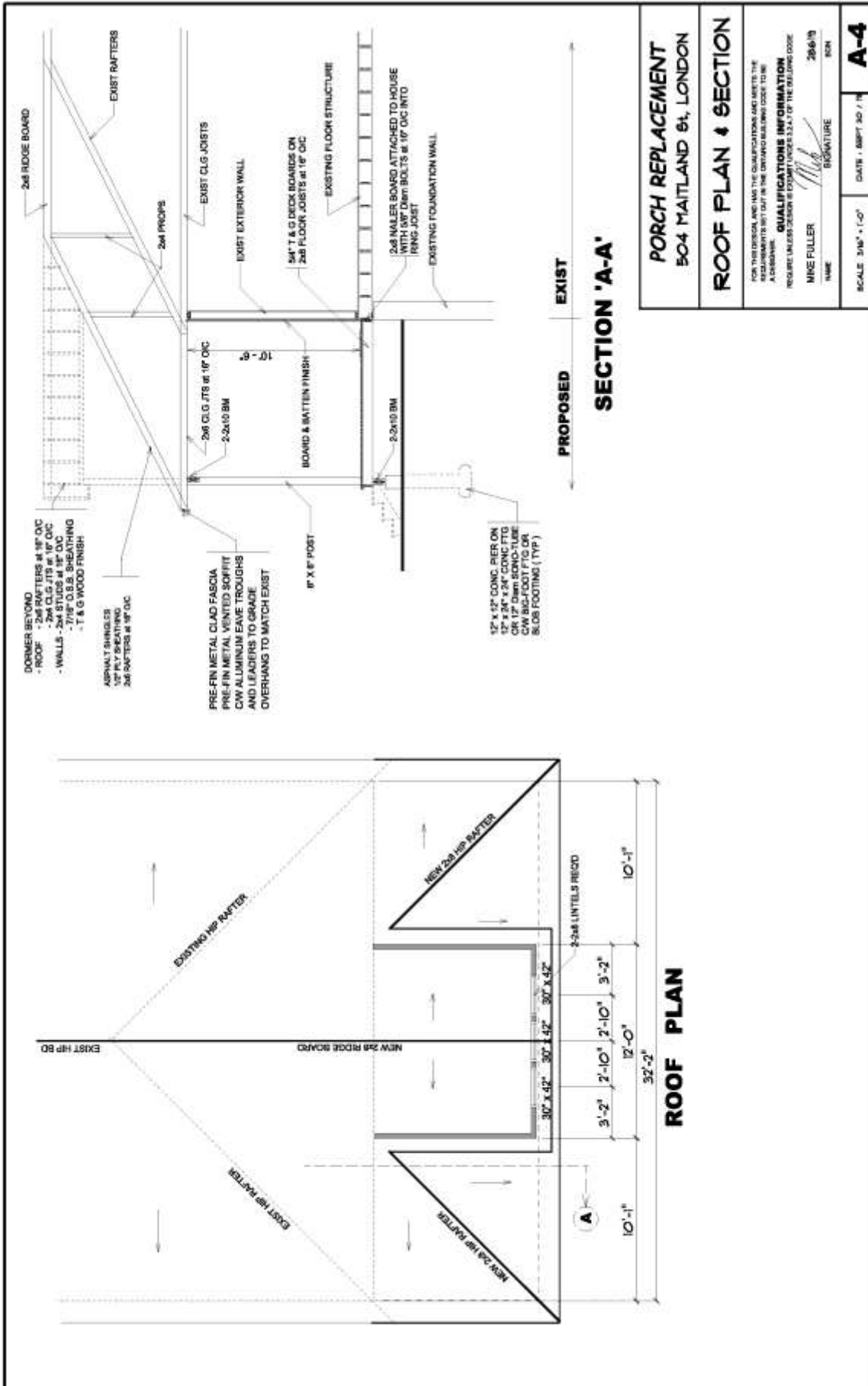


Figure 4: Roof plan and section showing the proposed porch alteration and proposed dormer for the existing semi-detached dwellings at 504-506 Maitland Street.

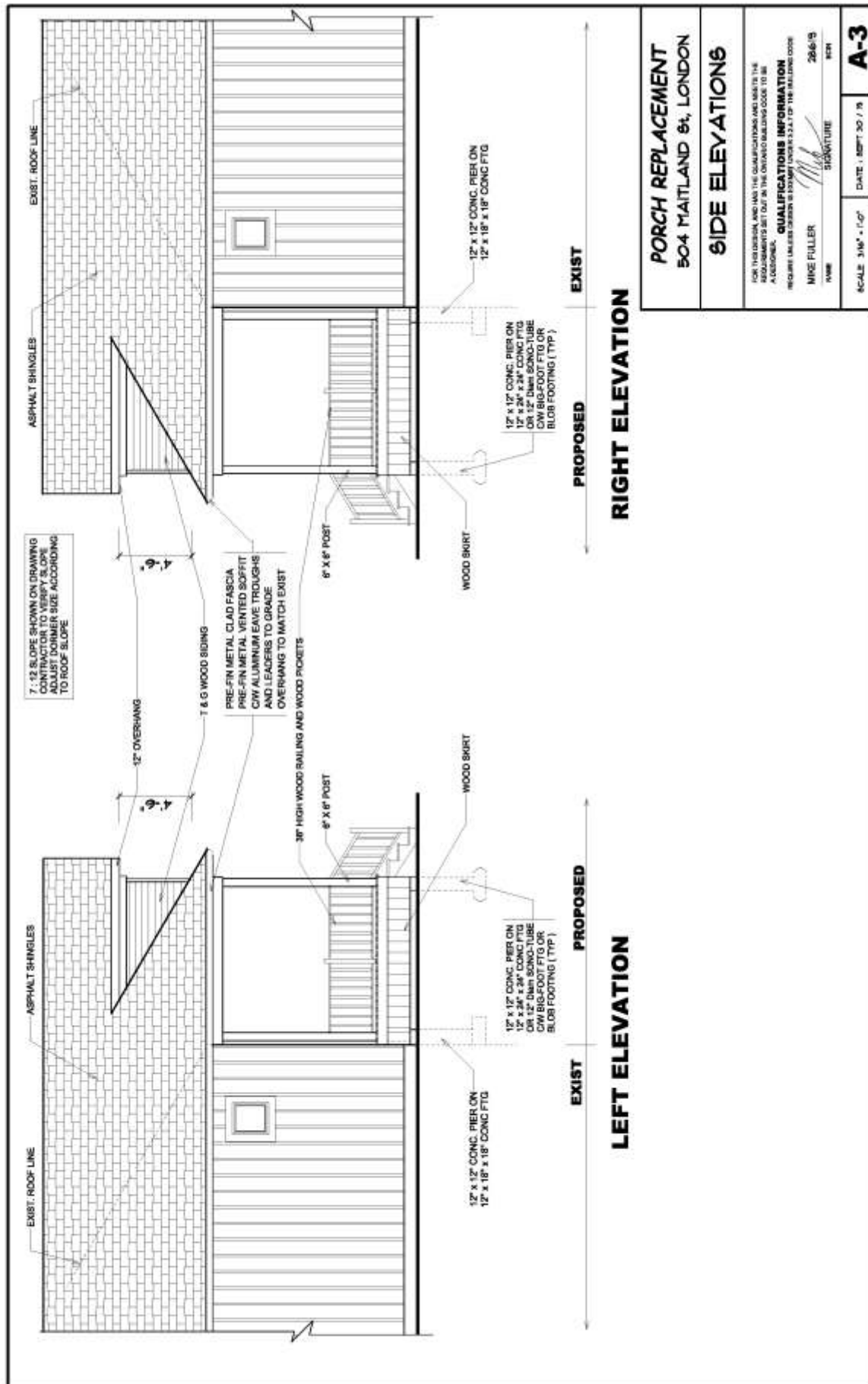


Figure 5: Side elevations of the proposed porch alteration and proposed dormer for the existing semi-detached dwellings at 504-506 Maitland Street.

Appendix D – Examples of Dormers



Image 5: This side hall plan cottage (1881) at 16 Cartwright Street, West Woodfield Heritage Conservation District, includes a unique four-light dormer.



Image 6: The slope of the shed roof of the dormer on the cottage (c.1860) at 66 Palace Street, in the East Woodfield Heritage Conservation District, matches the ridge line of the hipped roof of the cottage.



Image 7: A hipped roof dormer is featured on the cottage (c.1883) at 9 Prospect Avenue, designated under Part IV of the Ontario Heritage Act. Note: the dormer shown here on the cottage at 9 Prospect Avenue is smaller in size than the proposed dormer at 504-506 Maitland Street.



Image 8: The dormer on this cottage (1925) at 98 Cartwright Street, West Woodfield Heritage Conservation District, projects over the front porch as does the proposed dormer at 504-506 Maitland Street. Note: the dormer shown here on the cottage at 98 Cartwright Street is smaller in size than the proposed dormer at 504-506 Maitland Street.