

Bill No. 414  
2019

By-law No. Z.-1-19\_\_\_\_\_

A by-law to amend By-law No. Z.-1 to rezone an area of land located at 676-700 Beaverbrook Avenue and 356 Oxford Street West.

WHEREAS Summit Properties Ltd. has applied to rezone an area of land located at 676-700 Beaverbrook Avenue and 356 Oxford Street West, as shown on the map attached to this by-law, as set out below;

AND WHEREAS upon approval of Official Plan Amendment Number # this rezoning will conform to the Official Plan;

NOW THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

1. Schedule "A" to By-law No. Z.-1 is amended by changing the zoning applicable to lands located at 676-700 Beaverbrook Avenue and 356 Oxford Street West, as shown on the attached map comprising part of Key Map No. A.106, from a Residential R5/R7/R9/Restricted Office (R5-5/R7\*D150\*H30/R9-7\*H30/RO2) Zone to a Holding Residential R9 Bonus/Restricted Office Special Provision (R9-7\*B(\_)/RO2(\*)) Zone.

2. Section Number 4.3 of the General Provisions in By-law. No. Z-1 is amended by adding the following Special Provision:

B(\_) 676-700 Beaverbrook Avenue and 356 Oxford Street West

The Bonus Zone shall be implemented through one or more agreements to provide for 3 apartment buildings at a maximum density of 262uph with the northerly apartment having a maximum height of 18-storeys, the easterly building having a maximum height of 16-storeys, and the westerly building having a maximum height of 8-storeys. The development must substantively implement the site concept plan and elevations attached as Schedule "1" to the amending by-law in return for the following facilities, services and matters:

i) Provision of Affordable Housing

The provision of 20 affordable housing units which will include 17 one-bedroom units and 3 two bedroom units with a minimum of 6 affordable units per apartment building. The affordable housing units shall be established by agreement at 90% of average market rent for a period of 20 years. An agreement shall be entered into with the Corporation of the City of London to secure those units for this 20 year term and the term of the contribution agreement will begin upon the initial occupancy of the last subject bonused affordable unit on the subject site.

ii) 2 levels of underground parking

The following special regulations apply within the bonus zone upon the execution and registration of the required development agreement(s):

- a) Regulation[s]:
- i) Height (Maximum): 62 metres (203.4 ft)
  - ii) Density (Maximum): 262uph (106 upa)
  - iii) Interior Side Yard (Floors 1-2) (Minimum): 3.46 metres (11.35 ft)
  - iv) Interior Side Yard (floors 3-8) (Minimum): 6.0 metres (19.68 ft)
  - v) Exterior Side Yard (floors 1-3) (Minimum): 0 metres (0 ft)
  - vi) Exterior Side Yard (floors 4-18) (Minimum): 8.0 metres (26.25 ft)
  - vii) Rear Yard (Floors 1-2) (Minimum): 4.0 metres (13.12 ft)
  - viii) Rear Yard (Floors 1-8) (Minimum): 3.2 metres (10.5 ft)
  - ix) Rear Yard (Floors 9-16) (Minimum): 11.0 metres (36.10 ft)
  - x) Lot Coverage (Maximum): 74%
  - xi) Setbacks for existing developments shall be recognized as existing on the date of passing of this By-law.

3. Section Number 12 of the Residential R8 Zone is amended by adding the following Special Provision:

RO2(\*) 676-700 Beaverbrook Avenue and 356 Oxford Street West

- a) Regulation[s]:
- i) Office Gross Floor Area (Maximum) 4000m<sup>2</sup> (43,056 sq. ft.)

4. The inclusion in this by-law of imperial measure along with metric measure is for the purpose of convenience only and the metric measure governs in case of any discrepancy between the two measures.

5. This by-law shall come into force and be deemed to come into force in accordance with Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, either upon the date of the passage of this by-law or as otherwise provided by the said section.

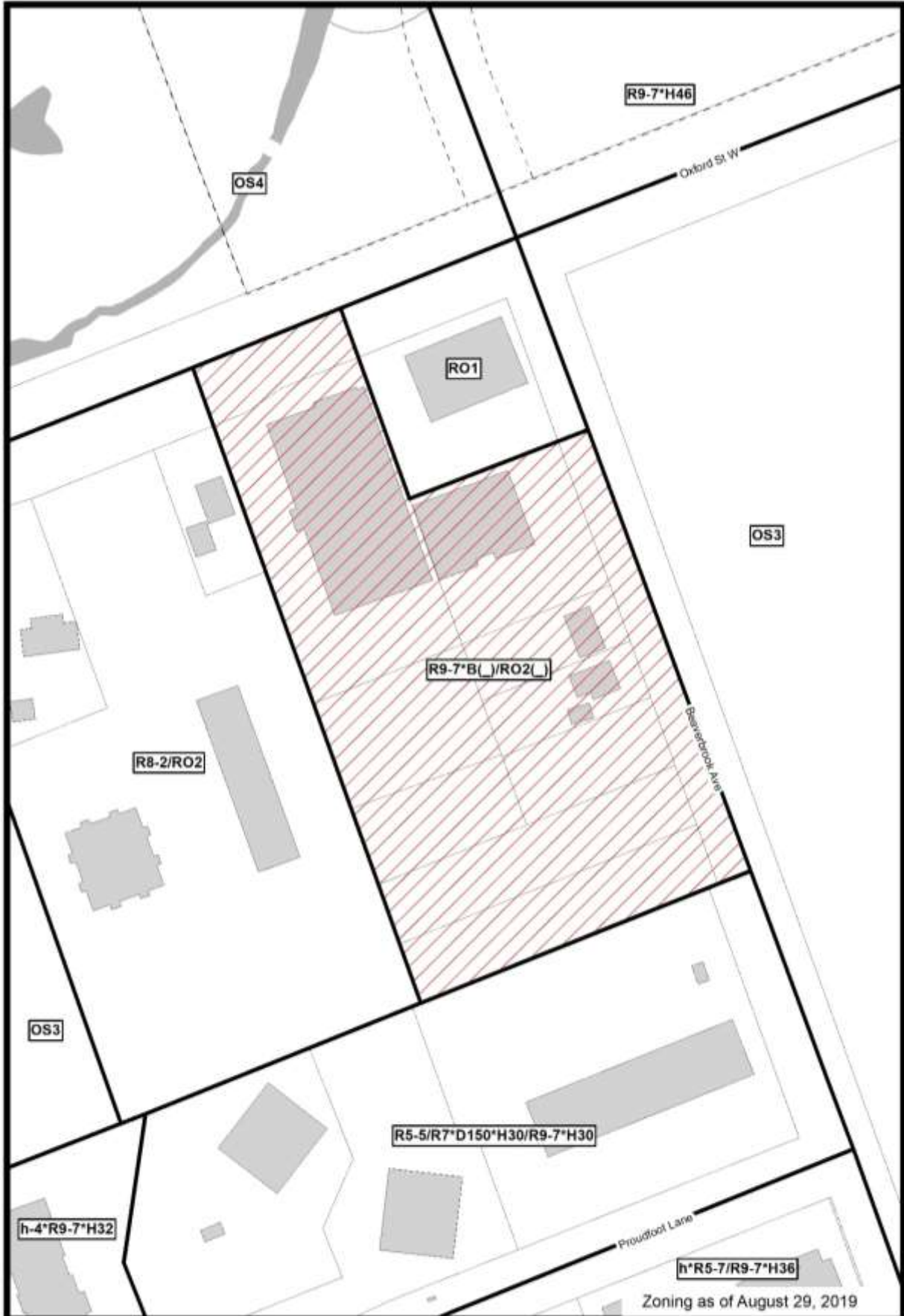
PASSED in Open Council on October 29, 2019.

Ed Holder  
Mayor


Catharine Saunders  
City Clerk

First Reading – October 29, 2019  
Second Reading – October 29, 2019  
Third Reading – October 29, 2019


Schedule "A"



File Number: OZ-9041  
Planner: MC  
Date Prepared: 2019/10/10  
Technician: DM  
By-Law No: Z.-1-

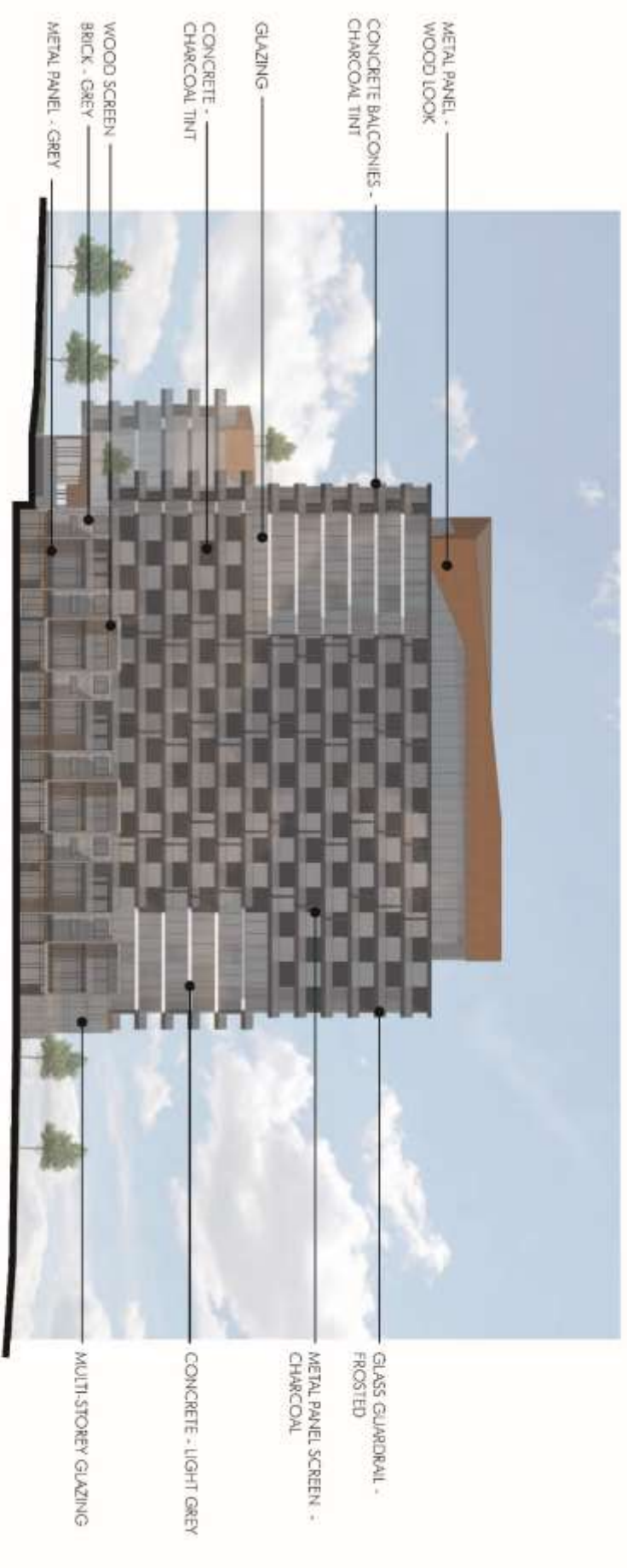
SUBJECT SITE 

1:1,500

0 5 10 20 30 40  
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Schedule "1"



356 OXFORD STREET  
East Elevation

EAST + WEST TOWERS





356 OXFORD STREET  
West Elevation

EAST + WEST TOWERS



356 OXFORD STREET  
North Elevation

EAST + WEST TOWERS

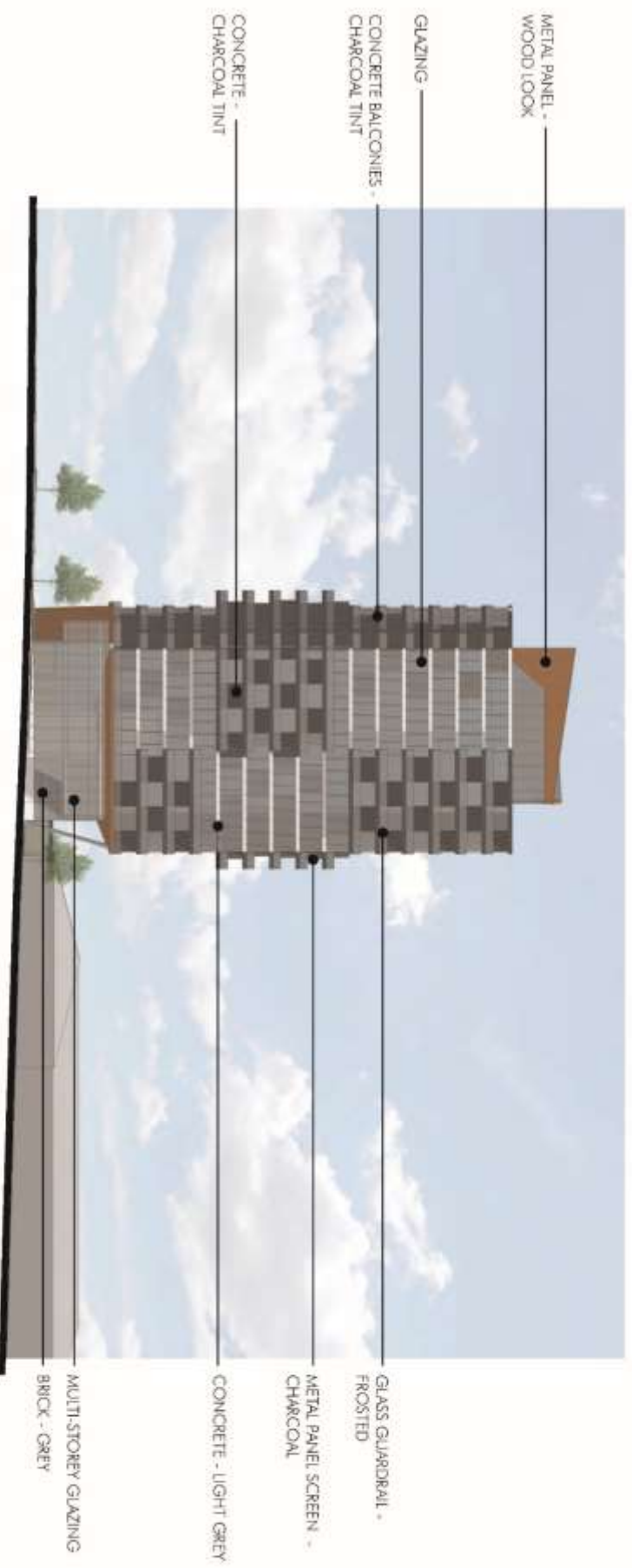




356 OXFORD STREET  
South Elevation

EAST + WEST TOWERS

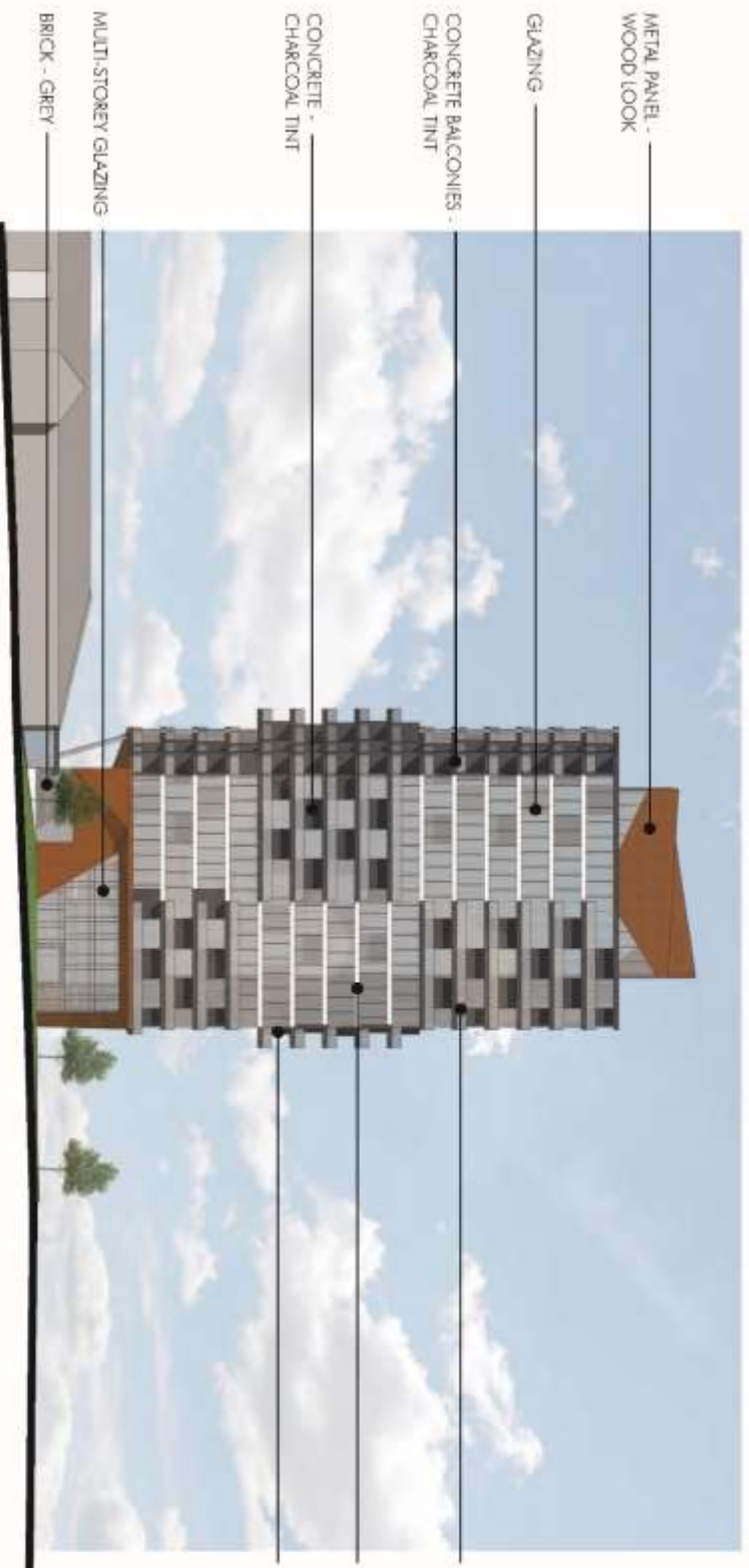




356 OXFORD STREET  
East Elevation

NORTH TOWER





METAL PANEL -  
WOOD LOOK

GLAZING

CONCRETE BALCONIES -  
CHARCOAL TINT

CONCRETE -  
CHARCOAL TINT

MULTI-STOREY GLAZING

BRICK - GREY

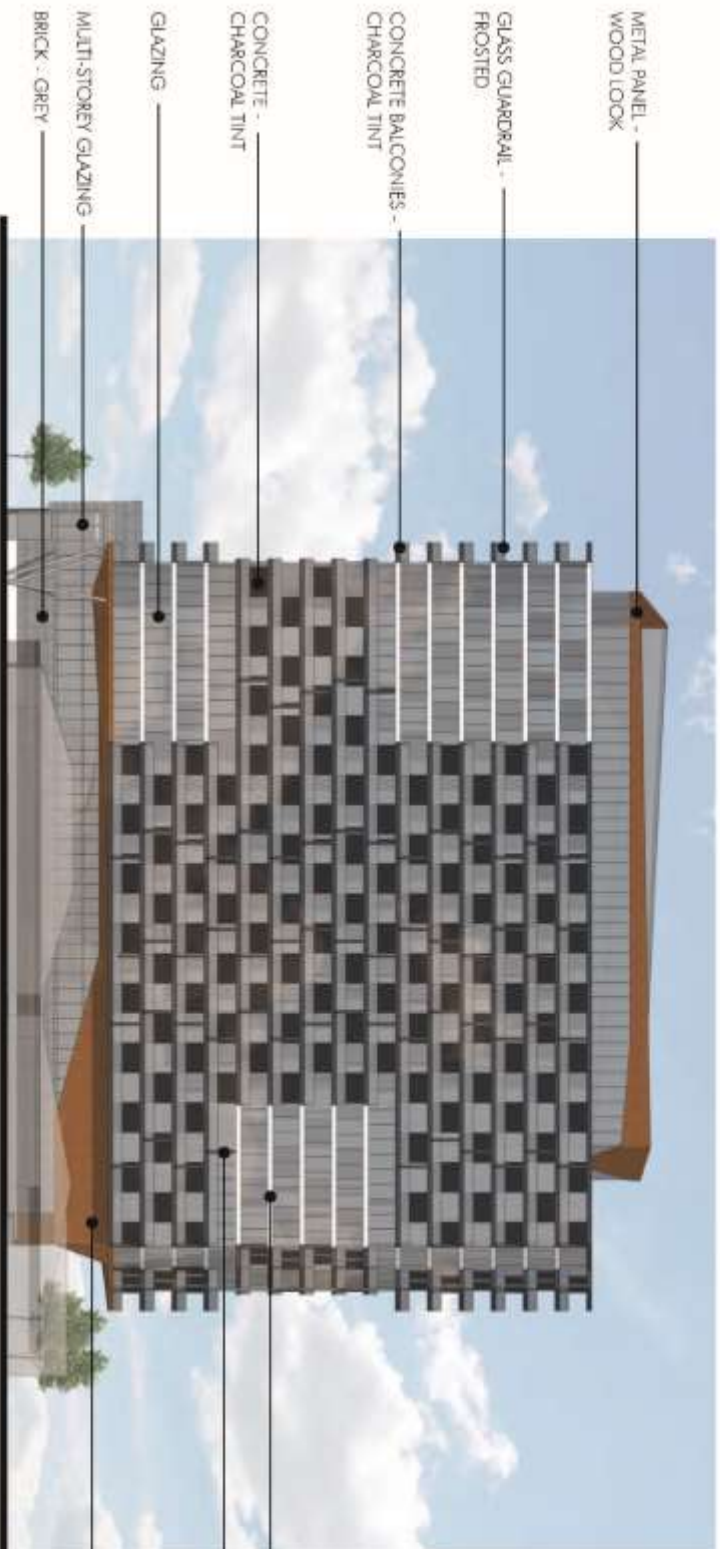
GLASS GUARDRAIL -  
FROSTED

CONCRETE - LIGHT GREY

METAL PANEL SCREEN -  
CHARCOAL

356 OXFORD STREET  
West Elevation

NORTH TOWER



METAL PANEL -  
WOOD LOOK

GLASS GUARDRAIL -  
FROSTED

CONCRETE BALCONIES -  
CHARCOAL TINT

CONCRETE -  
CHARCOAL TINT

GLAZING

MULTI-STOREY GLAZING

BRICK - GREY

CONCRETE - LIGHT GREY

METAL PANEL SCREEN -  
CHARCOAL

METAL PANEL -  
WOOD LOOK

356 OXFORD STREET  
North Elevation

NORTH TOWER



METAL PANEL -  
WOOD LOOK

CONCRETE BALCONIES -  
CHARCOAL TINT  
GLASS GUARDRAIL -  
FROSTED  
METAL PANEL SCREEN -  
CHARCOAL

CONCRETE - LIGHT GREY

BRICK - GREY  
MULTI-STOREY GLAZING

CONCRETE -  
CHARCOAL TINT

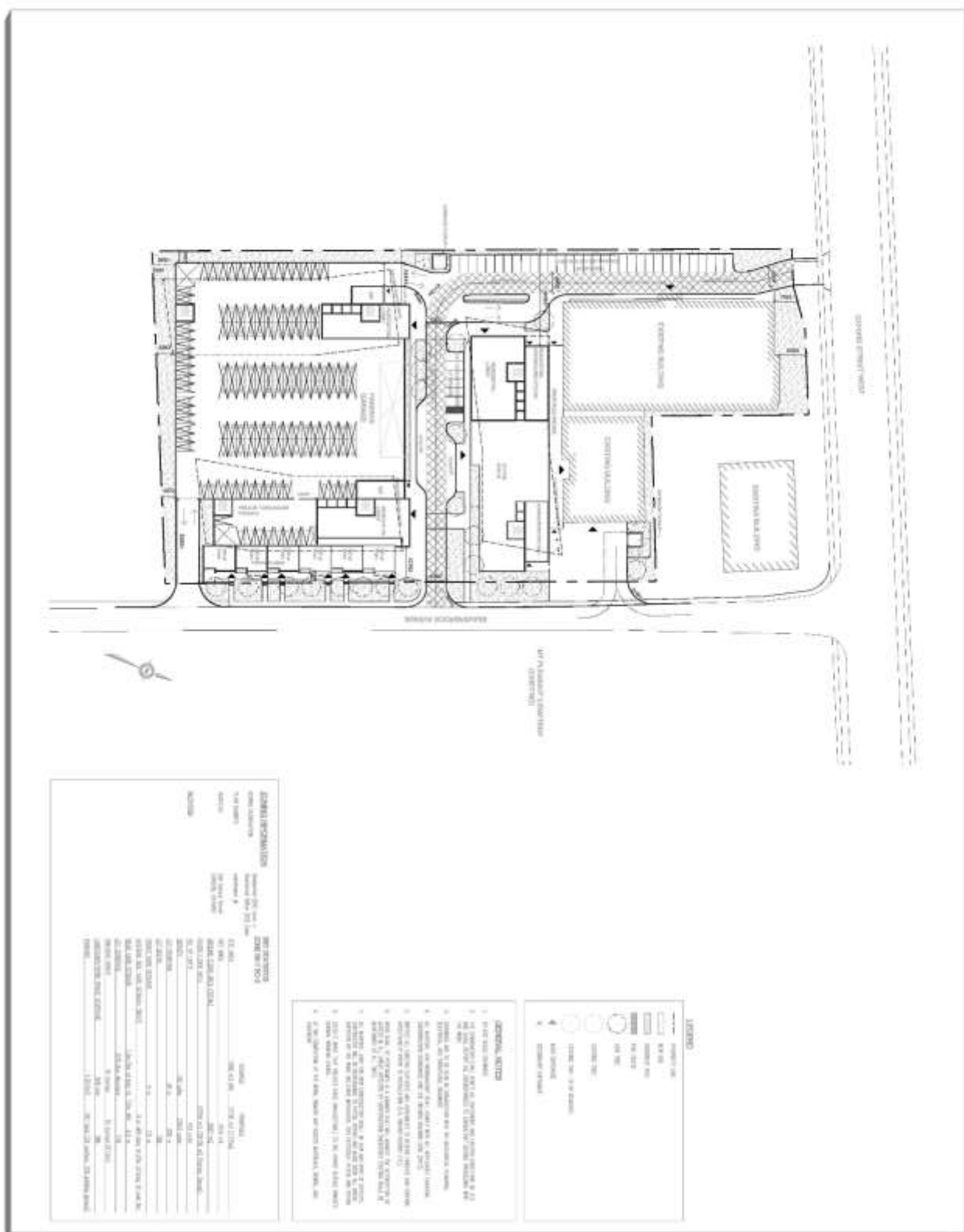
CONCRETE -  
LIGHT GREY  
GLAZING

METAL PANEL -  
WOOD LOOK

356 OXFORD STREET  
South Elevation

NORTH TOWER





**PROJEKTINFORMATION**

PROJEKTNAME: 356 OXFORD WEST  
 ANTRAGSTELLER: [Name]  
 ARCHITECT: [Name]  
 STANDORT: [Address]  
 DATUM: [Date]

**PROJEKTZUSTAND**

PROJEKTSTADIUM: [Status]  
 PLANNUMMER: [Number]  
 PLANNAME: [Name]

**PROJEKTLEITER**

NAME: [Name]  
 FUNKTION: [Title]

**PROJEKTMITGLIEDER**

NAME: [Name] FUNKTION: [Title]  
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- LEGENDE**
- 1. BÜRO
  - 2. KONFERENZ
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- GENERAL NOTES**
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356 OXFORD WEST  
 CLEAR HEIGHT: 2.70m

**SUMMIT**  
 PROPERTIES

tillmann  
 architects/ruth  
 robinson

DATE: 2024-07-22  
 TIME: 10:00  
 SCALE: 1:100  
 DRAWN: [Name]  
 CHECKED: [Name]

**SITE PLAN**

1:100