

HERITAGE IMPACT STATEMENT (addendum)

.... on behalf of **Invest Group Ltd.**

.... in support a **Rezoning to permit 18 townhouses and 1or 2 dwelling units in the existing heritage residence – standard condominium.**

.... at **2096 Wonderland Road North** in the City of London.

December 2018



Heritage Impact Statement (HIS -addendum)

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1.0 Introduction

The Heritage Impact Statement is prepared as part of the COMPLETE application requirements of the Invest Group proposal for a rezoning application to permit 18 townhouses and 1 or 2 dwelling units in the existing heritage residence, located at 2096 Wonderland Road North, east side, south of Sunningdale Road, City of London. This was set out in the City's RECORD OF PRE-APPLICATION dated July 17, 2018. It should be read in conjunction with the Planning Justification Report and the Urban Design Brief, also being requirements of a COMPLETE application. Architectural design drawings and plans are Appended to this Report. This Report also responds to the urban Design Panel comments of Nov 2018 that are relevant to cultural heritage.

2.0 Background

A Heritage Impact Statement (HIS) was prepared by Stantec. dated April 10, 2018. This report is an ADDENDUM to the HIS that is required by the City as part of the COMPLETE APPLICATION. The EXECUTIVE SUMMARY of the original HIS reads as follows:

Invest Group Ltd. retained Stantec Consulting Ltd (Stantec) to conduct a Heritage Impact Statement (HIS) for the property at 2096 Wonderland Road North, in the City of London, Ontario. The property is included on the City of London's list of heritage properties as a Priority 2 building, though it is not designated under Part IV of the Ontario Heritage Act.

Invest Group Ltd. is considering a draft plan to rezone the property for townhouses.

The study area at 2096 Wonderland Road North contains a two storey Georgian residence that dates to approximately 1850, with a later addition. Landscape features including plantings and mature trees. The property is historically associated with the Warner family, who owned the property from 1819 to about 1891.

Determination of cultural heritage value or interest (CHVI) was undertaken according to criteria outlined in Ontario Regulation 9/06 made under the Ontario Heritage Act. The property at 2096 Wonderland Road North was determined to have CHVI based on the design of the residence, its association with the Warner family, and for its connection to the early settlement and development of the former London Township.

The two storey residence is an example of the Georgian style. The residence is a symmetrical structure, with a low pitched hip roof, bookend chimneys, buff brick exterior, brick voussoirs, and stone foundation. The proposed changes in land-use to townhouse development in the study area will have an effect on the heritage value of this property since the house will be directly impacted and the historical connection to the land will be permanently altered.

Based on the impacts identified to this cultural heritage resource, two mitigation options have been identified. These options are ranked in order of preference. The recommended mitigation options include:

- 1) *Relocation of the house is the preferred mitigation option for this property. Relocation within the property is preferred in order to maintain the contextual and historical associations the house has with the landscape. Relocation to an adjacent site is also a valid mitigation option, if no alternatives for relocation within the property exist. Advertising the house for sale at a discounted price with the condition that the buyer relocate the house is also a valid relocation strategy. A structural engineering report should be prepared by a qualified engineer to confirm if the house can withstand relocation.*
- 2) *If relocation of the house is not feasible, then documentation and salvage (as applicable) of the property is the next preferred mitigation option. Documentation and salvage should be carried out prior to relocation or demolition. Documentation activities should consist of the full heritage recording of the house and landscape through photography, photogrammetry, or LiDAR scan. Salvage activities should consist of the identification and recovery re-useable materials by a reputable salvage company or charity. The documentation and salvage work should be carried out under the direction of a Cultural Heritage Specialist in good professional standing with the Canadian Association of Heritage Professionals (CAHP).*

Section 4.0 of the HIS evaluates the heritage using Ontario Regulation 9/06 of the Ontario Heritage Act, Part IV. The following Table 1 is provided below to show what criteria is met.

Table 1: Evaluation According to Ontario Regulation 9/06

| Criteria of O. Reg 9.06 | Y/N |
|---|-----|
| Is a rare, unique, representative or early example of a style, type, expression, material or construction method | Y |
| Displays a high degree of craftsmanship or artistic merit | N |
| Demonstrates a high degree of technical or scientific achievement | N |
| Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community | Y |
| Yields, or has the potential to yield, information that contributes to an understanding of a community or culture | N |
| Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community | N |
| Is important in defining, maintaining or supporting the character of an area | N |
| Is physically, functionally, visually or historically linked to its surroundings | Y |
| Is a landmark | N |

If a property meets one or more of the above criteria than it merits designation under Part IV of the Ontario Heritage Act. It is noted that the three of nine criteria are met. The first criteria is about the rare, unique and early example of style and method of material of construction. The latter two about historical attributes.

The Heritage Impact Statement was submitted with a rezoning application for 18 townhouses with garages and surface parking, in May 2017. From this, City Staff and the London Advisory

Committee on Heritage (LACH) recommended to Council that the original residential structure be designated under Part IV of the Ontario \heritage Act. Council adopted the bylaw on September 18, 2018. The resolution is contained in the Appendix.

Invest Group therefore has abandoned its original rezoning application, pre-consulted with the City staff in July 2018, and is now bringing forth a second rezoning application which includes the preservation of the residence for 1 dwelling unit and 8 additional new townhouse units with underground parking.

3.0 The Statement of Cultural Value or Interest

The following is the excerpt from the City staff report and recommendation to Planning and Environment Committee on September 10, 2018, and is significant as it focuses in on the important heritage attributes and components that would be at the core of the discussion of how the new proposed housing development might impact on them. It is noted that the heritage significance is built on mostly “history” and not so much “architecture”.

Statement of Cultural Heritage Value or Interest reads

The residence at 2096 Wonderland Road North has local significance for design/physical value, historical/associative value, and contextual value.

The residence at 2096 Wonderland Road North has physical or design value as a rare and representative example of a mid-19th century Georgian farmhouse. The residence is a two storey structure with a low-pitched hip roof and bookend chimneys. It has a buff brick exterior with a common bond, brick voussoirs, and a stone foundation. The Georgian style of architecture is reflected in the symmetrical façade and minimal use of ornamenting and detail.

The residence at 2096 Wonderland Road North has historical and associative value because of its link with the Warner family. William Warner was the original patent holder on the property, receiving it in 1819. His son, Wesley Warner, inherited the farmstead and was a noted member of London Township for his involvement in the temperance society.

The residence at 2096 Wonderland Road North has contextual value because it is physically and historically linked to its surroundings. It remains located in its original spot on the property and historically reflects the prominent role agriculture played in London Township.

Heritage Attributes

The heritage attributes which support or contribute to the cultural heritage value or interest of the property at 2096 Wonderland Road North include:

- *Georgian two storey farmhouse*
- *Square shaped plan*
- *Low pitched hip roof with bookend chimneys*
- *Buff brick construction*
- *Field stone foundation*
- *Brick voussoirs above windows*

The addition at the rear of the brick building is not considered to be a heritage attribute.

4.0 Heritage Impact Evaluation

The impact evaluation is based on two parts, namely:

- the impact on the heritage features of the heritage residence in and of itself, and :
- the impact of the new part of the development, specifically the 18 new townhouses and the underground parking, together with surface parking.

4.1 Impact of heritage Residence by itself

The new proposal proposed to keep the existing residence in its current location and the new rear addition of the garage and bedrooms above is propose to be demolished. The rear addition is not part of the heritage designation.

The HERITAGE ATTRIBUTES that are part of the Statement of Cultural Heritage Value or Interest would be enhanced through preservation, cleaning and repointing the brick as necessary. These would be the Georgian two storey farmhouse, Square shaped plan, Low pitched hip roof with bookend chimneys, Buff brick construction, Field stone foundation, and the Brick voussoirs above windows.

The City's RECORD OF PRE- APPLICATION sets out some specific comments on heritage impact and these are addressed below.

- *At the site plan stage, and for the Heritage Alteration Permit, further information will be required to show how the existing rear addition will be removed without compromising the heritage attributes of the property.*

RESPONSE: Pre-consultation for site plan approval has been carried out as part of the Complete Application and the above comment is duly noted. The intention is to appear before the LACH asap after the application is submitted as part of the Heritage Alteration permit process, and additional information will be provided at that time.

- *At the site plan stage, heritage commemoration is encouraged, particularly in the amenity area for the proposed development.*

RESPONSE: The historical significance is proposed to be described on a plaque mounted on the front face of the heritage building and the visitor parking area landscaped forecourt is to be called "WARNER SQUARE", after William Warner the original crown grantee of the 100 acres .

4.2 Impact of Heritage Residence by the New Townhouse Development

The City's RECORD OF PRE- APPLICATION sets out some specific comments on heritage impact and these are used as a basis to analyze the impact as set out below.

- a) *The massing around the heritage building is of concern - particularly in the transition from the two storey heritage building with a very shallow hipped roof to the three-storey massing of the proposed townhouses (with an unknown roof style). The massing as proposed could overwhelm the heritage building, and two storey massing is encouraged (particularly for the building row to the south of the heritage building) with a transition to a greater height further away. More detailed site concept (including dimensions and scale) would be helpful to understand these relationships.*

RESPONSE: The separation space of the higher storey of the adjacent new townhouse has been further studied and comments are as follows:

Connecting existing building with two storey townhouse;

- Utilize glass connection between existing building and new townhouse;

- On other townhouse units, removed third storey roof terraces and stairway enclosure structures;
- Introduced third storey terraces in lieu of roof terraces, reducing the mass of the third storey;
- Setback the third storey from interior to permit more light into central courtyard;
- Use brick on first two storeys of townhouses to match existing heritage building and lighter coloured panels above;

b) *Related to the form, more opening of the sightlines to the heritage building from the street is desirable. The proposal is to convert the existing single unit heritage building into two units. This conversion will occur only on the interior, and maintain the single exterior front doorway. The landscaping appears to show two entries, but should only show one.*

RESPONSE: About 40% of the frontage (25 m of the 64 m) of the subject site along Wonderland Road has been left open in front of the existing heritage residence to enable viewing from the public realm of Wonderland Road North. The buildings of the vacant land condo on the north adjacent property are built very close to the its southerly lot line affording minimal sightline from the north. The single exterior front door will be maintained as one door entrance, although designed to be consistent with the design approach of the new townhouse buildings. The option of utilizing the existing heritage residence as one dwelling unit or converting it to two dwelling units is built into the rezoning.

- c) Information should be provided in the Urban Design Brief regarding the use of materials that are compatible with and complement the heritage building (e.g. brick)

RESPONSE: The buff brick of the existing heritage residence will be complimented with the building materials colour, texture and composition in order to match with the new townhouse buildings. Also includes would be the upgrading of all windows in existing building to match the new townhouse units;

- d) The construction of the underground parking will be very close to the rubble foundation of the heritage building. At the site plan approval stage, further details will be required to demonstrate the constructability of the underground parking without compromising the structure of the heritage building

RESPONSE: Shoring and underground pinning by appropriate engineers will be studied and designed at the SPA and building permit stages.

Addition comments from the Urban Design Panel that are relevant to “heritage: area as follows with the response below each. Comments are contained in the Appendix.

- e) *The Panel recommends that the heritage building remain separate from the new development, or a design solution that gives it more space/separation such as an internal courtyard or glass connection.*

RESPONSE: The proposal maintains a connection of the heritage residence with the new townhouse in order to enable a functional living space for the new unit, and the separation structure will recognize the connection and with colour and materials protect and maintain the individuality of the heritage structure. See 3.2 a) above.

- f) *The Panel has concerns with the parking area in front of the heritage building. The Panel notes that it is difficult to provide design comment relative to the heritage building without having the benefit of reviewing the heritage impact assessment.*

RESPONSE: The parking area in front of the heritage residence has been reduced from 10 to 7 spaces. Parking is required for visitor parking convenient on the surface as opposed to underground. The parking is to be landscaped and surfaced with materials in a design such that it will present itself as a hard landscaped surface area or “forecourt” and a functional space for common resident activities such as barbecues, garage sales, and other social gatherings. It is also to celebrate the pioneer Warner family residence as part of the commemorative wall plaque.

5.0 Conclusions

The Invest Group team has brought forth to the subject site an 18-unit, mostly 3 storey townhouse development with underground parking. It recognizes and respects the preservation of the existing heritage designated residence and proposes to convert into 1 or dwelling units through:

- a) Updating and refurbishing the heritage building with brick repair, window replacement, singular front door replacement to match the design treatment of the new townhouses;
- b) Built form - with two storey townhouse adjacent to and connecting to the heritage building;
- c) Subduing the connection with glass panels and possibly other panel combinations;
- d) Utilizing complimentary colours, textures and compositions of building materials.

As part of the rezoning application submission it is the proponent’s intention to appear as a delegation before the London Advisory Committee on Heritage (LACH) to gather their comments. More details would be explained at this meeting.

In conclusion, the Invest team believes that it has respected and fulfilled the Statement of Cultural Heritage Value or Interest a unique and desi. The team believes it is proposing a unique small scale housing development that would compliment the heritage features of the site, would be compatible with surrounding land uses and offer a different form of housing than what exists in the Sunning dale Community.

APPENDIX

5. Record of Pre-application by the City of London July 17, 2018
6. Comments from the Urban Design Panel – November 21, 2018
7. Site plan, Landscape Plan, elevations and renderings – Zedd Architecture



London
CANADA

RECORD OF PRE-APPLICATION CONSULTATION

The following form is to be completed and signed off at/following the Pre-application Consultation Meeting (PACM).

Date: July 17, 2018

TO: Laverne Kirkness, Kirkness Consulting Inc.

FROM: Barb Debbert

RE: 2096 Wonderland Road North

ATTENDEES: Laverne Kirkness, Mario Majzoub, Barb Debbert, Kyle Gonyou, Jerzy Smolarek, Robert Patterson

PLANNING APPLICATION TEAM: Barb Debbert, Kyle Gonyou, Jerzy Smolarek, Robert Patterson, Rich Roobroeck

City staff reviewed your Proposal Summary dated June 21, 2018 at an Internal Review Meeting on July 5, 2018. The following form summarizes a preliminary list of issues to be considered during the processing of your application. We have also identified the initial material submissions (Studies, Reports, Background or Information) that must be submitted along with the completed application form, required fees and this Record of Pre-Application Consultation Form before your application will be accepted as complete for opening and processing.

Proposal:

- Rezone existing property to permit 22 townhouses and 2 converted dwelling units in the existing heritage structure
- Access to the development is proposed from Wonderland Road North
- Primarily underground parking

Major issues identified

Urban Design, Heritage and Site Plan Considerations

- The applicant is commended for including the following principles into the design of the proposal:
 - The retention, in situ, of the heritage building.
 - Locating the vast majority of parking underground, which increases the amount of landscaped open space and provides for a better pedestrian experience through the site.
 - Providing for built form along the Wonderland Road N frontage that is oriented to the street with individual unit access to the City sidewalk.
- The massing and form of new buildings proposed for the site must provide an appropriate context for the existing heritage structure. Elements such as the distance of new buildings from the heritage structure, building height, built form and roof design will be considered in evaluating the appropriateness of the proposed development to provide that context. You are strongly encouraged to attend a meeting with Urban Design, Heritage, Site Plan, and Current Planning staff to discuss detailed design approaches/alternatives to meet this goal, followed by a Site Plan Preconsultation meeting prior to submitting the Zoning By-law amendment application. The use of an alternative built form may be able to achieve the same number of units while providing a more suitable heritage and neighbourhood context.

- After a complete Zoning By-law amendment application is submitted, the applicant will be required to attend the Urban Design Peer Review Panel. Information to be submitted to the Panel includes the Urban Design Brief and the Heritage Impact Assessment.
- High level site design matters that should be considered leading up to Site Plan Preconsultation include:
 - Through the rezoning appropriate buffers should be provided between adjacent uses, and buffers should take into account but not be limited to: proposed massing, grading, and drive areas on adjacent lands. The design should provide appropriate transitions between new structures and abutting uses on adjacent parcels.
 - New buildings adjacent to Wonderland Road North should be oriented to the street with primary entrances facing Wonderland Road North and including individual walkways from each entrance to the City sidewalk;
 - Locate private amenity areas internal to the site to remove the need for noise walls on the Wonderland Road North frontage.
 - Care should be taken in the design of any vertical structures such as retaining walls, railings, fencing, etc.), to ensure they do not obscure the heritage structure and reflect/enhance the heritage characteristics of the property. An underground structure such as the proposed parking structure on a site that slopes can result in walls above grade. The appropriateness of the Site Grading solution will be an important consideration in the success of this project: the applicant is encouraged to consider opportunities to work with existing grades and how the proposed grading solution works with adjacent lands and urban design and heritage considerations.
 - The materials used for the new buildings should be compatible with and complement the heritage structure.
 - Site design must take into consideration sufficient soil cover for trees (1.5 m depth) over the underground parking.
 - Detailed landscaping plans for the areas in between the townhouses and along the street frontage, that include upgraded plantings with an appropriate mix of full-size deciduous and coniferous trees, shrubs and perennials that are compatible with any underground structures.
 - The common amenity area should be more centrally located on the site.
 - Public areas of the site should be designed in accordance with CPTED best practices.

Zoning

- As this is a smaller site with potential significant massing impacts on the existing heritage structure and surrounding single detached dwellings, any recommended zoning by-law amendment should clearly address the “as-of-right” bonus provision in Section 4.3 of the Zoning By-law to ensure the site is not overdeveloped. For the same reasons, staff may consider the use of a “bonus” provision to provide certainty to the City and the public about the final design.
- The requested zoning should include a converted dwelling as a permitted use in addition to townhouses.

Vehicular and Pedestrian Access

- Based on the limitations of Schedule “A” of the Condominium Declaration and Description for Condominium Corporation 775 (2105 Wallingford Avenue), access for the proposed development will be permitted from Wonderland Road North. Left and right turn lanes on Wonderland Road North and a road widening to 18.0 metres from centerline are required.

Forestry

- A Tree Assessment and Protection Report will be required. If candidate trees are removed, cash-in-lieu or replanting compensation may apply.

Other Issues

Full Heritage Comments:

- A revised/new Heritage Impact Assessment is required to reflect the revised proposal to retain the heritage structure.
- Archaeological potential is identified for this property; the completed Stage 1 – 2 Archaeological Assessment report is required to be submitted. Depending on the outcome of the Stage 1-2 archaeological assessment, additional stages of archaeological assessments may be required.
- The massing around the heritage building is of concern – particularly in the transition from the two storey heritage building with a very shallow hipped roof to the three-storey massing of the proposed townhouses (with an unknown roof style). The massing as proposed could overwhelm the heritage building, and two storey massing is encouraged (particularly for the building row to the south of the heritage building) with a transition to a greater height further away. More detailed site concept (including dimensions and scale) would be helpful to understand these relationships.
- Related to the form, more opening of the sightlines to the heritage building from the street is desirable. The proposal is to convert the existing single unit heritage building into two units. This conversion will occur only on the interior, and maintain the single exterior front doorway. The landscaping appears to show two entries, but should only show one.
- Information should be provided in the Urban Design Brief regarding the use of materials that are compatible with and complement the heritage building (e.g. brick)
- The construction of the underground parking will be very close to the rubble foundation of the heritage building. At the site plan approval stage, further details will be required to demonstrate the constructability of the underground parking without compromising the structure of the heritage building
- At the site plan stage, and for the Heritage Alteration Permit, further information will be required to show how the existing rear addition will be removed without compromising the heritage attributes of the property.
- At the site plan stage, heritage commemoration is encouraged, particularly in the amenity area for the proposed development.
- Heritage properties are eligible for up to a 25% density bonus, per Section 4.3 of the Zoning By-law as follows:

1) HERITAGE BUILDING DESIGNATION BONUS - FLOOR AREA AND DWELLING UNIT DENSITY BONUS:

For buildings and/or structures designated as historically significant by the City of London, under the Ontario Heritage Act, in consideration for their designation, the following regulations shall apply for:

Non Residential Uses:

- a) *a 25 percent (25%) increase in the gross floor area of the existing building and/or a 25 percent (25%) decrease in the required minimum parking for a permitted use on the lot or;*

Residential Uses:

- b) *for every 15 square metres of existing gross building floor area of a designated building, 1 additional dwelling unit shall be permitted for a permitted use on the lot to a maximum increase of 25% of the dwelling units permitted in the zone. The increase in gross floor area and/or dwelling units shall be permitted in accordance with the regulations of the applicable zone. Where the proposed building is a mixture of residential and non-residential permitted uses, the bonus shall not exceed a combined total percentage of 25 percent (25%) increase in maximum number of dwelling units and nonresidential floor area for the lot.*

- Heritage CIP: this property may be eligible to access the incentives available through the Heritage Community Improvement Plan – tax increment grant and development charges rebate. Please contact Graham Bailey, Planner II, for more information:

gbailey@london.ca. The maximum for these programs is capped by the amount spend on the restoration of the heritage building.

Full Site Plan Comments

- Through the rezoning appropriate buffers should be provided between adjacent uses, and buffers should take into account but not be limited to: proposed massing, grading, and drive areas on adjacent lands. The applicant should ensure that their design provides appropriate transition between abutting uses of adjacent parcels.
- The appropriateness of the Site Grading solution will be an important consideration in the success of this project: the applicant is encouraged to consider opportunities to work with existing grades & how the proposed grading solution works with adjacent lands and urban design and heritage considerations.
- Please provide additional details of the proposed landscape plan for the areas in between the townhouses and along the street frontage. Ensure that these areas have upgraded plantings, including an appropriate mix of full-size deciduous and coniferous trees, shrubs, and perennials & that these plantings are compatible with any underground structures proposed; design the public areas of the site in accordance with CPTED best practices.

Engineering

Transportation:

- Road widening dedication of 18.0m from centre line is required on Wonderland Road North
- Left and right turn lanes will be required to City standards
- Detailed comments regarding access design will be made through the site plan process

Wastewater:

The pre-consultation zoning amendment proposes that the Developer rezone to permit construction of 24 dwelling units comprised of three 3-storey townhomes and a cluster of 4 buildings with a density of 59 units per hectare on the 2086 Wonderland Road North lands. The existing building is listed in the City's Inventory of Heritage Resources as Priority 2 and is proposed to be preserved.

The municipal sewer for the subject lands is the 450mm municipal sanitary sewer on Wallingford Avenue. The subject lands Mun. No. 2096 Wonderland Road N. is a single family lot that has been provided with a 150mm san. p.d.c. within an easement through the adjacent Condo Corporation 775 which is serviced by a 200mm diameter sanitary sewer which is tributary to the Wallingford sanitary sewer.

The proposed development of 2096 Wonderland Road North was accounted for in Whitney Engineering Inc.'s overall sanitary design of the adjacent condominium identified as external land with a design population of 36 people. This Pre-Application Consultation as proposed is a higher density than what the lands were allocated. If the higher density is supported the Applicant's Engineer is to update the sanitary area plan and design sheets to the satisfaction WADE and the City Engineer.

Stormwater:

The Stormwater Engineering staff have no objection to the above-noted pre-application. Please ensure the applicant is informed about the need to address/consider the following general SWM requirements/concerns during the site plan application stage:

- The site is tributary to the existing Sunningdale SWM facility 6B via storm maintenance hole 9s34 (identified as MHR5 in the attached as-constructed sheets 20489 and 20495. Changes in the "C" from the designed C=0.50 to the value required to accommodate the proposed development will trigger the need for hydraulic calculations (storm sewer capacity analysis) to demonstrate adequacy of the existing downstream system and that

on-site SWM controls will be designed to the satisfaction of the City Engineer. It is our expectation that the design of the condominium east of the site (Block 101 in as-con 20489) account for the required storm sewer stub and associated easement to service this site. Please feel free to discuss further with Development Services Site Plan team.

- The design and construction of SWM servicing works for the subject land shall be in accordance with:
 - The SWM criteria and targets for the Medway Creek Subwatershed,
 - The City Design Requirements for on-site SWM controls which may include but not be limited to quantity/quality and erosion controls, and
 - The City's Waste Discharge and Drainage By-Laws; the Ministry of the Environment Planning & Design Manual; as well as all applicable Acts, Policies, Guidelines, Standards and Requirements of all approval agencies.
- The design of the SWM servicing work shall include but not be limited to such aspects as requirements for on-site SWM controls design, possible implementation of SWM Best Management Practices (e.g. Low Impact Development "LID" features), grading and drainage design (minor, and major flows), storm drainage conveyance from external areas (including any associated easements), hydrological conditions, etc.
- The applicant and his consultant shall ensure the storm/drainage conveyance from the existing external drainage through the subject lands are preserved, all to the satisfaction of the City Engineer.
- Additional SWM related comments may be required and provided upon future review of this site.

Please note that as-constructed drawings 20489 and 20495 have not been attached.

Please note that this response has been made without input from the Water Engineering Division. However, significant water servicing issues are not anticipated.

If you have any questions, please feel free to contact Richard Roobroeck at (519) 661-2500 ext. 4952.

Studies, Reports, Background or Information to be completed and submitted with the application form

- Site Plan preconsultation completed prior to Zoning By-law application submission
- Zoning By-law amendment application and fee
- Planning Justification Report
- Urban Design Brief in accordance with the City's Urban Design Brief Terms of Reference (or combined in a Planning & Design Report) and including the following elements:
 - A spatial analysis of the surrounding area
 - Building massing including roof pitches showing surrounding context both off the property and in relation to the existing heritage structure
 - Conceptual site plan and landscape plan including any vertical structures (retaining walls, railings, fencing, etc.) required for the provision of underground parking or other purposes
 - Building elevations including any vertical structures (retaining walls, railings, fencing, etc.) required for the provision of underground parking or other purposes
 - Cross sections (2 north-south and 2 east-west) demonstrating the relationship between the heritage structure, on-site grade changes, the proposed building elevations (including the underground parking structure), existing grading and structures on adjacent properties and the public road allowance.
 - Shadow study
- Zoning Data Sheet
- Revised Heritage Impact Assessment
- Archaeological Assessment Stage 1 – 2 Reports
- Tree Assessment and Protection Report
- Renderings for on-site signs as required by the Zoning By-law amendment application form
- Electronic copies of all supporting background information (USB)


Recommended order of events:

1. Zoning By-law amendment preconsultation (today)
2. Design meeting with City staff to discuss/address high level design concerns
3. With refined plans request Site Plan Preconsultation
4. Site Plan Preconsultation
5. Apply for Zoning By-law Amendment
6. Attend Urban Design Peer Review Panel
7. Attend London Advisory Committee on Heritage
8. Public Meeting for Zoning By-law amendment
9. Site Plan Application
10. Heritage Alteration Permit
11. Building Permit

PRE-APPLICATION CONSULTATION HAS OCCURRED


☒ YES ☐ NO

PLANNER:



PROPONENT: _____

DATE:



Disclaimer

The pre-application consultation process is intended to identify issues early in the process and to identify the reports, studies and information required to be submitted as part of a complete application. A complete application enables Council to make informed decisions within a reasonable period of time and ensures that the public and other stakeholders have access to the relevant information early in the process. While every effort has been made to identify information needs at this stage, additional issues and/or information needs may be identified through the application review process and may be requested at that time. Should a formal submission of an application not materialize within 9 months, a subsequent Pre-Application Consultation Meeting (PACM) will be required.

Council adopted *The London Plan*, the City's new Official Plan for the City, on June 23, 2016. It is not yet in force and effect, but should it come into force and effect before you submit your complete application, City staff may identify additional complete application requirements at the time of application submission in order to comply with *The London Plan* policies.



Memo

To: Proponents

- David Yuhasz, Architect, Zedd Architecture
- Mario Majzoub, Architect, Zedd Architecture
- Laverne Kirkness, Principal/Planner, Kirkness Consulting Inc.

City of London Personnel

- Barb Debbert, Senior Planner
- Jerzy Smolarek, Urban Designer

From: Urban Design Peer Review Panel (UDPRP)

- Steven Cooper, Architect
- Jordan Kemp, Urban Designer
- John Nicholson, Architect
- Janine Oosterveld, Urban Designer
- Heather Price, Urban Designer
- McMichael Ruth, Architect

**RE: Zoning Bylaw Amendment Preconsultation: 2096 Wonderland Road North
Presentation & Review, November 21, 2018**

The Panel provides the following feedback on the submission to be addressed through zoning bylaw amendment application.

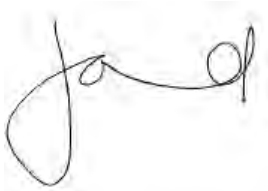
- The Panel appreciates the applicant for involving us at such an early stage in the development approvals process. The Panel is supportive of the contemporary design direction, maintaining the heritage building and underground parking components of the project.
- The Panel has some concerns that the overall building height and massing on site may be too dense: creating a street wall that is too tall for the neighbouring buildings to the east; forcing at grade parking in front of the heritage building; and resulting in an awkward connection between the new buildings and heritage building.
- The Panel recommends that the heritage building remain separate from the new development, or a design solution that gives it more space/separation such as an internal courtyard or glass connection.
- The Panel has some concerns with the rear and east side setback. The setback should provide adequate space for tree planting and limit balconies in proximity to the property line.

- The Panel has concerns with the parking area in front of the heritage building. The Panel notes that it is difficult to provide design comment relative to the heritage building without having the benefit of reviewing the heritage impact assessment.
- The material selection of the proposed buildings should be in alignment with the HIA.
- The Panel is supportive of a wall along Wonderland Road but the height should be lowered such that it continues to allow views of the property.
- The common amenity area(s) on site should include space for communal gathering / active use. In the current concept, they appear to be simply walkways within the courtyard space between the buildings.

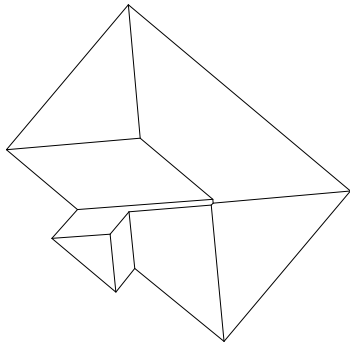
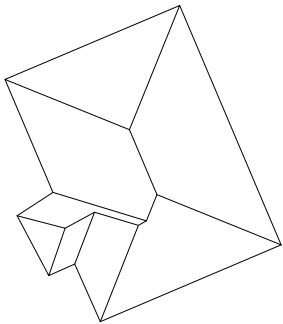
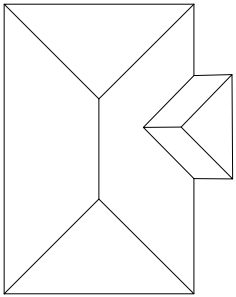
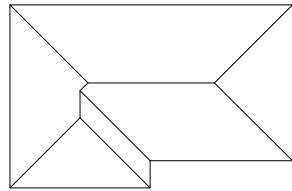
Concluding comments:

The Panel is supportive of additional density on the site through a zoning bylaw amendment subject to the comments above. The Panel has provided some detailed design comments for consideration in working through the site design and requests that the project returns for additional comment at the site plan consultation stage.

Sincerely on behalf of the UDPRP,

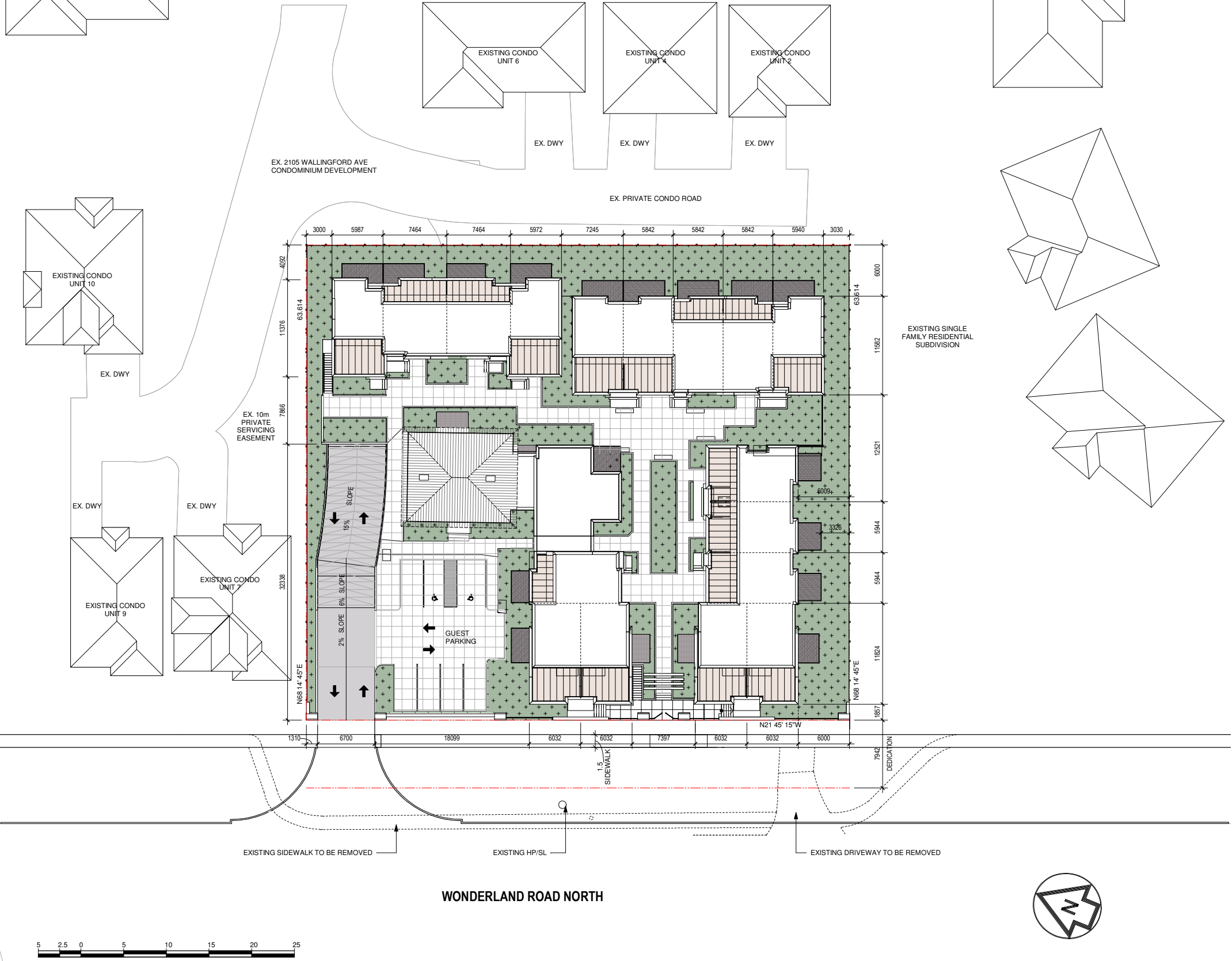
A handwritten signature in black ink, appearing to read 'Janine', with a stylized flourish at the end.

Janine Oosterveld, MCIP RPP (UDPRP Chair)



LOCATION MAP

| Site Statistics | | |
|-------------------------------------|--|--------------------------------------|
| Address: 2096 Wonderland Road North | | |
| Zoning: R5-6 | | |
| LEGAL DESCRIPTION: | LOT 17, REGISTRAR'S COMPILED PLAN NO. 1028 | |
| ZONING | REQUIRED/ALLOWED | PROPOSED |
| SITE (LOT) AREA:(min.) | 850m² | 4046m²- GROSS 3,541m²- NET |
| LOT FRONTAGE (min.) | 10 m | 63.614 m |
| FRONT YARD (min.) | 6 m | 1.85 m |
| INTERIOR YARD (min.) | 3m | 3m & 6m |
| REAR YARD (min.) | 6m | 3.86 m |
| LOT COVERAGE (max.) | 45% | 33.8% |
| LANDSCAPE, OPEN SPACE (min.) | 35% | 49.11% |
| BUILDING HEIGHT (max.) | 12m | 12m |
| UNITS | | 18 + Existing House |
| DENSITY (max.) | 50 UNIT/ Ha | 47.5 UNIT/ Ha 18 + Existing House |
| PARKING: | 1.5 SPACE/ UNIT (min. 29) | 41 + 2 Tandem |



Site Plan
1"=20'-0"

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| Unit Types & Floor Area | | |
|-------------------------|-----------|-------------------|
| Parking Floor | | |
| Symbol | Unit Type | Typical Unit Area |
| | TYPE "A" | 405.00 sq.ft |
| | TYPE "B" | 336.00 sq.ft |
| | TYPE "C" | 319.00 sq.ft |
| | TYPE "D" | 363.00 sq.ft |
| | TYPE "E" | 420.00 sq.ft |

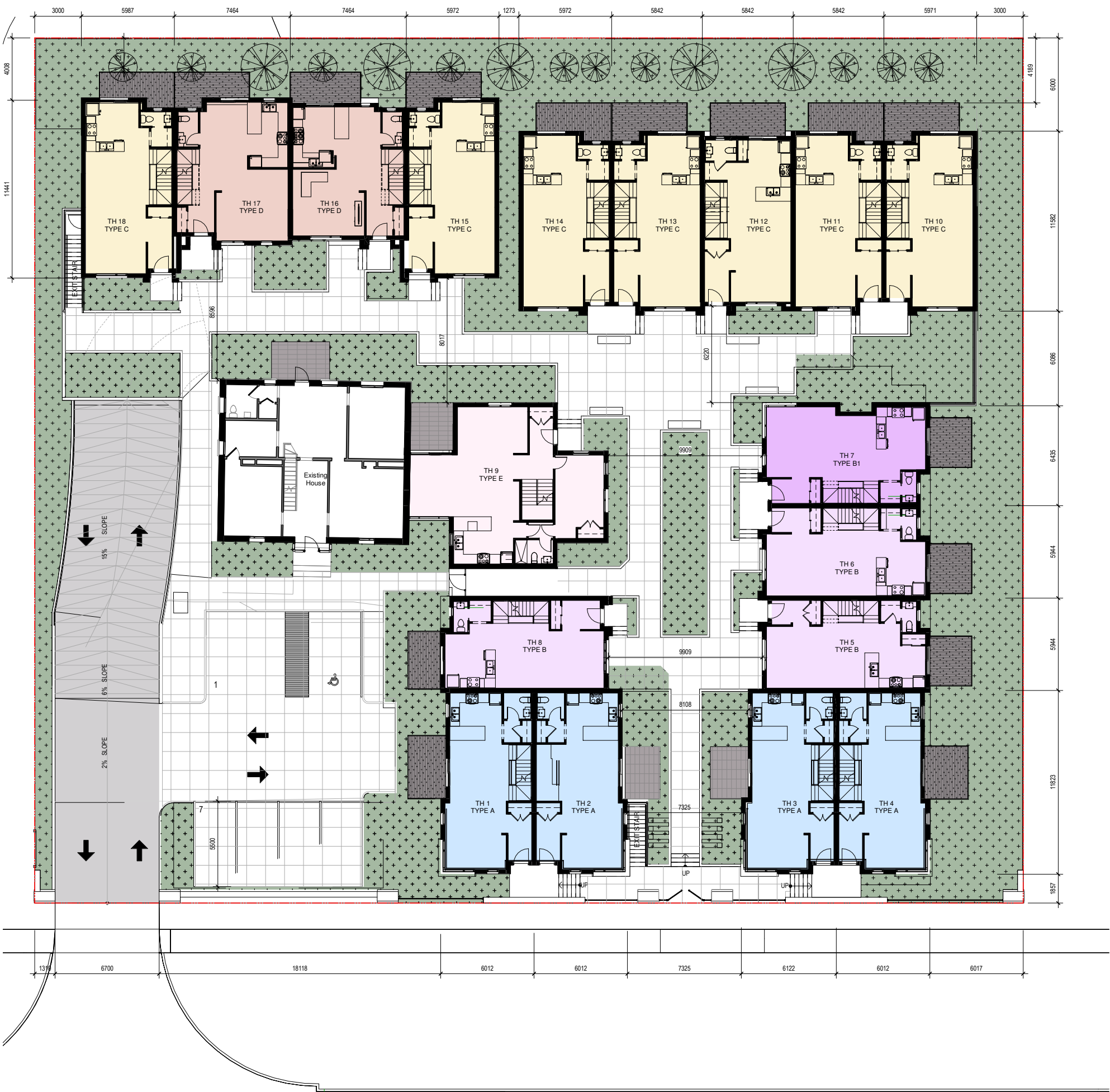
Total Parking Floor Area: 20,640.00 Sq.Ft.



Parking Level
3/32"=1'-0"

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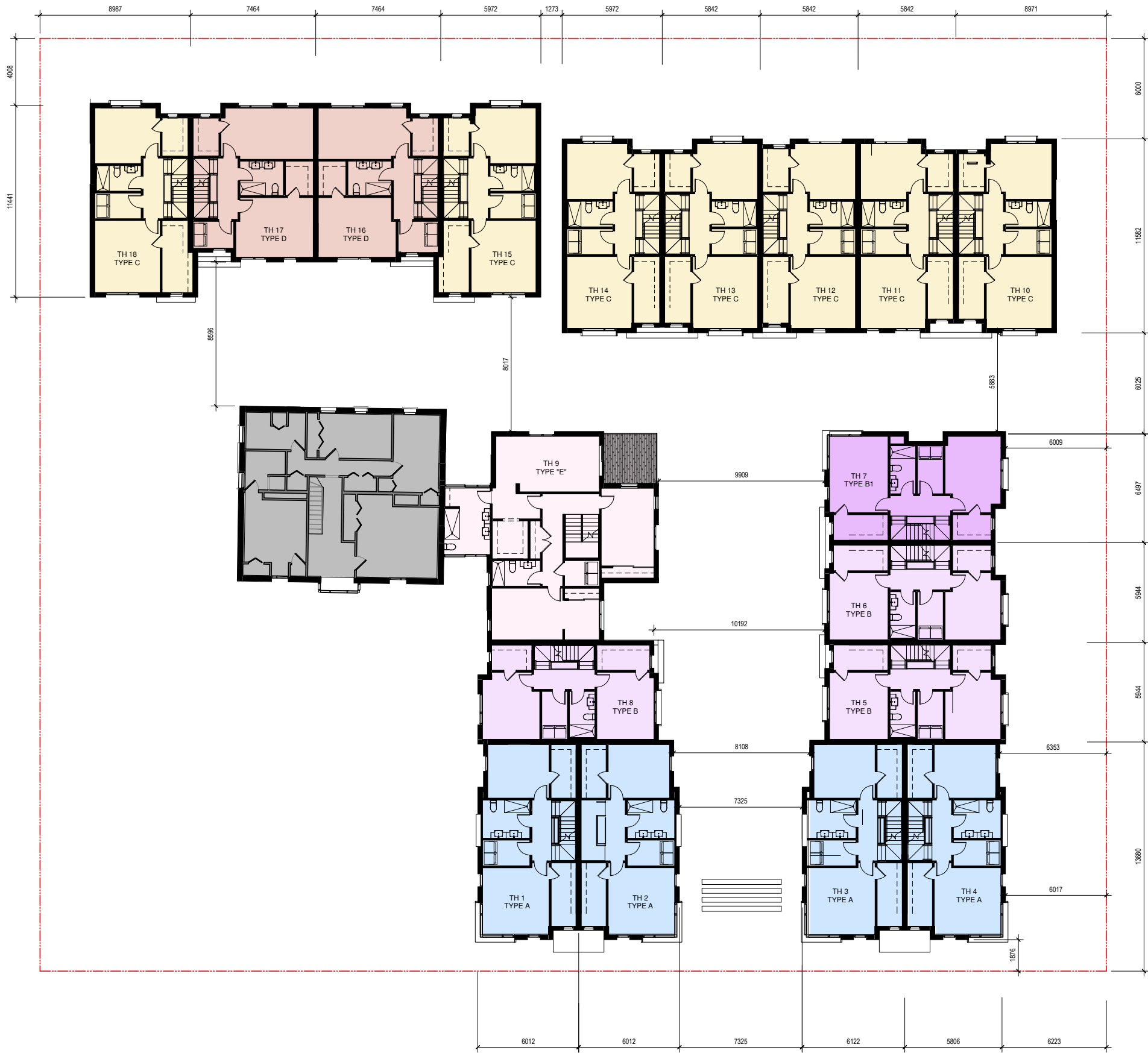


| Unit Types & Floor Area | | |
|-------------------------|-----------|-------------------|
| First Floor | | |
| Symbol | Unit Type | Typical Unit Area |
| | TYPE A | 730.00 sq.ft |
| | TYPE B | 672.00 sq.ft |
| | TYPE C | 706.00 sq.ft |
| | TYPE D | 700.00 sq.ft |
| | TYPE "E" | 1,119.00 sq.ft |
| | HOUSE | 1,385.00 sq.ft |

Total First Floor Area Including Existing House: 14,655.00 Sq.Ft.

First Floor Plan
3/32"=1'-0"

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| Unit Types & Floor Area | | |
|-------------------------|-----------|-------------------|
| Second Floor | | |
| Symbol | Unit Type | Typical Unit Area |
| | TYPE "A" | 745.00 sq.ft |
| | TYPE "B" | 673.00 sq.ft |
| | TYPE "C" | 706.00 sq.ft |
| | TYPE "D" | 735.00 sq.ft |
| | TYPE "E" | 1,258.00 sq.ft |
| | HOUSE | 1,385.00 sq.ft |

Total Second Floor Area Including Existing House: 14,925.00 Sq.Ft.



Second Floor Plan





3/32"=1'-0"

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Third Floor Plan






3/32"=1'-0"

| Unit Types & Floor Area | | |
|---|------------|-------------------|
| Third Floor | | |
| Symbol | Unit Type | Typical Unit Area |
|  | TYPE "A" | 450.00 sq.ft |
|  | TYPE "B" | 450.00 sq.ft |
|  | TYPE "C-1" | 430.00 sq.ft |
| | TYPE "C-2" | 531.00 sq.ft |
|  | TYPE "D" | 506.00 sq.ft |

Total Third Floor Area: 7,824.00 Sq.Ft.



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| Exterior Finish Legend | |
|--|--|
| Symbol | Panel Type |
|  ① | BRICK MANUFACTURER : TBD COLOUR : GRAY |
|  ② | PANEL #1 MANUFACTURER : TBD COLOUR : LIGHT TAN |
|  ③ | PANEL #2 MANUFACTURER : TBD COLOUR : IRON GRAY |
|  ④ | PREFINISHED GLASS RAILING SYSTEMMANUFACTURER : TBD COLOUR : GRAY |
|  ⑤ | PREFINISHED WINDOW/ DOOR MANUFACTURER : TBD COLOUR : BLACK |



West Elevation

1/8"=1'-0"



South Elevation

1/8"=1'-0"



Southwest Isometric View



Northwest Isometric View



East Elevation
1/8"=1'-0"



Southeast Isometric View



Northeast Isometric View



North Elevation



North - South Section Through Court

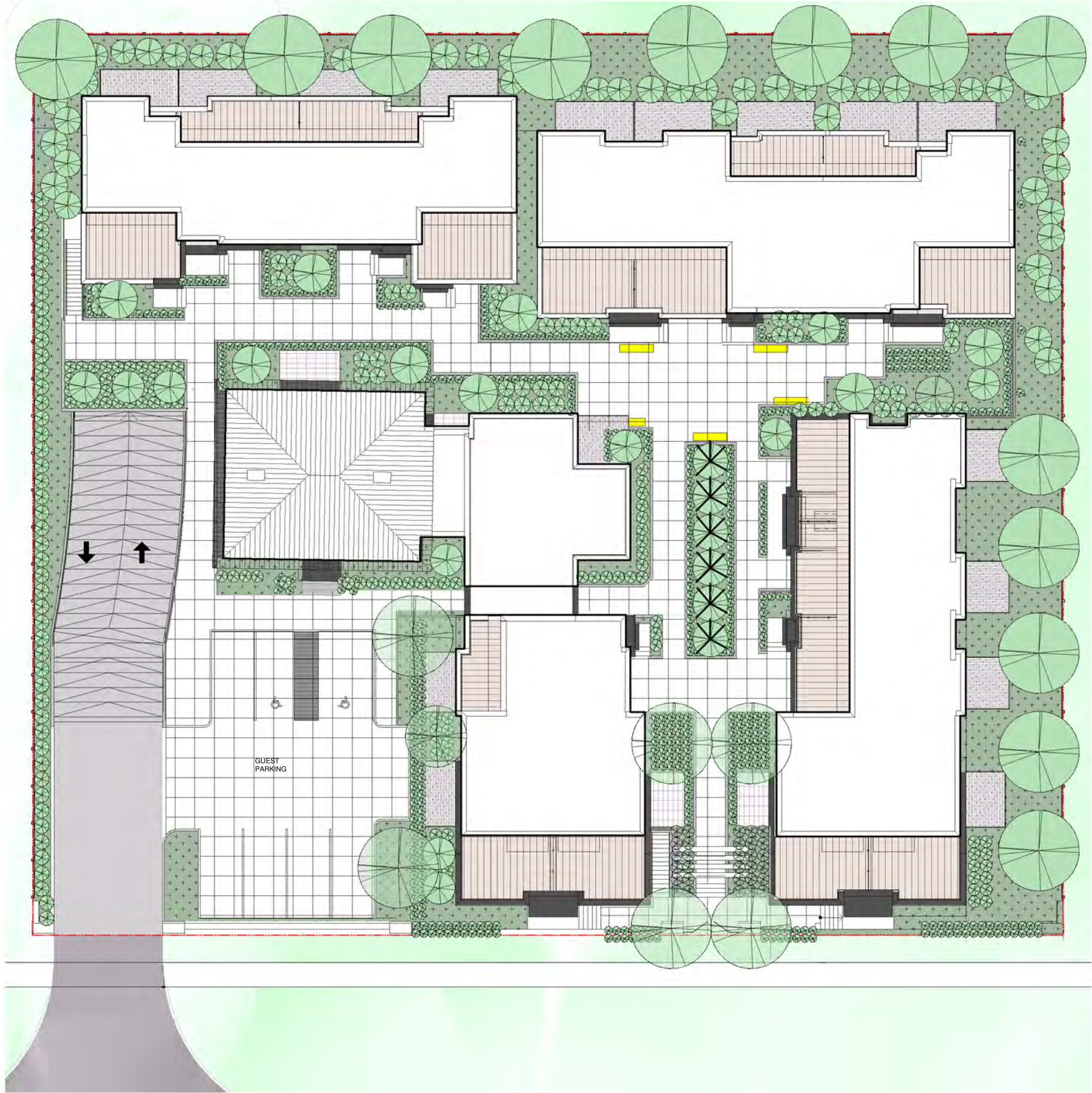
1/8"=1'-0"



East-West Section Through Court

1/8"=1'-0"

| Landscaping Legend | |
|--------------------------------|---------------------------|
| Symbol | |
| | LANDSCAPED AREA |
| | PROPOSED DECIDUOUS TREES |
| | PROPOSED CONIFEROUS TREES |
| | PROPOSED PLANTINGS |
| | HARDSCAPED AREA |
| LANDSCAPE, OPEN SPACE : 49.11% | |



WONDERLAND ROAD NORTH

18-027

Wonderland Town Houses

2096 Wonderland Road N, London Ontario

Hard & Soft Landscaped Areas

12/04/18 SK012

zedd
ARCHITECTURE
363 horton street east london ontario N6B 1L6 519 518 9333
www.zeddarchitecture.com info@zeddarchitecture.com

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2018-12-05 1:12:30 PM

File: Z:\Projects\2018\18-027 - 2096 Wonderland Road\02 Drawings\18-027 - 2096 Wonderland Road-SD-3rd Floor Setback (UD Submission).rvt

Report to Planning and Environment Committee

To: Chair and Members
Planning & Environment Committee
From: John M. Fleming
Managing Director, Planning and City Planner
Subject: Passage of Heritage Designating By-law for 2096 Wonderland Road North
Meeting on: September 10, 2018

Recommendation

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, the attached by-law to designate 2096 Wonderland Road North to be of cultural heritage value or interest **BE INTRODUCED** at the Municipal Council meeting to be held on September 18, 2018; it being noted that this matter has been considered by the London Advisory Committee on Heritage and public notice has been completed with respect to the designation in compliance with the requirements of the *Ontario Heritage Act*.

Executive Summary

A demolition request for the heritage listed property located at 2096 Wonderland Road North was submitted. Municipal Council issued its Notice of Intent to Designate with the effect of preventing the demolition of the cultural heritage resource. No appeals were received regarding Municipal Council's Notice of Intent to Designate. Passage of the heritage designating by-law is the last step in the designation of the property at 2096 Wonderland Road North under the *Ontario Heritage Act*.

Analysis

1.0 Background

1.1 Property Location

The property at 2096 Wonderland Road North is located on the east side of Wonderland Road North between Fanshawe Park Road West and Sunningdale Road West.

1.2 Previous Reports

May 9, 2018. Report to the LACH: Demolition Request for Heritage Listed Property at 2096 Wonderland Road North by Invest Group Ltd.

May 28, 2018. Report to the PEC: Demolition Request for Heritage Listed Property at 2096 Wonderland Road North by Invest Group Ltd.

1.3 Cultural Heritage Resource

The cultural heritage resource located at 2096 Wonderland Road North is a two storey brick building which was determined to meet the criteria of O. Reg. 9/06, meriting designation under the *Ontario Heritage Act*. The property has cultural heritage value or interest because of its physical/design values as a rare and representative example of a mid-19th century Georgian farmhouse. It was found to have historical/associative values because of its direct historical links to the Warner family, a pioneer family in the former London Township. The property was found to have contextual value because it is physically and historically linked to the surroundings.

1.4 Demolition Request and Notice of Intent to Designate

A demolition request and Heritage Impact Statement was submitted on April 18, 2018. The London Advisory Committee on Heritage (LACH) was consulted at its meeting on May 9, 2018, and a public participation meeting was held at the Planning & Environment Committee (PEC) meeting on May 28, 2018. At its meeting on June 12, 2018, Municipal

Council resolved to issue its Notice of Intent to Designate the property at 2096 Wonderland Road North to be of cultural heritage value or interest. Notice of Intent to Designate was served on the property owner and the Ontario Heritage Trust, and published in *The Londoner* on July 5, 2018. Supplementary notice was served on July 17, 2018. No appeal was received within the statutory 30 day appeal period ending on August 5, 2018.

1.5 Heritage Community Improvement Plan

The Heritage Community Improvement Plan (Heritage CIP) offers two grant programs to address some of the financial impacts of heritage conservation by offering incentives that promote building rehabilitation in conjunction with new development. The Tax Increment Grant provides the registered owner a refund on the increase in the municipal portion of the property tax ensuing from a reassessment as a result of a development or rehabilitation project related to an intensification or change of use which incorporates a heritage designated property. The second initiative is a Development Charges Equivalent Grant which is issued when a heritage designated property is conserved and rehabilitated in conjunction with a development project relating to an intensification or change of use.

A property must be designated under the *Ontario Heritage Act* to be able to access the grant programs of the Heritage CIP. Both the Development Charges Equivalent Grant and the Tax Increment Grant could be leveraged to assist with heritage conservation work for two storey brick house at 2096 Wonderland Road North.

2.0 Conclusion

The property at 2096 Wonderland Road North is a significant cultural heritage resource in the City of London and should be protected under the *Ontario Heritage Act*.

Staff are confident that a compatible infill development can be accommodated on the subject property while ensuring the conservation of this significant cultural heritage resource and its heritage attributes.

| | |
|--|--|
| Prepared by: | Kyle Gonyou, CAHP Heritage Planner |
| Submitted by: | Gregg Barrett, AICP Manager, Long Range Planning and Research |
| Recommended by: | John M. Fleming, MCIP, RPP Managing Director, Planning and City Planner |
| Note: The opinions contained herein are offered by a person or persons qualified to provide expert opinion. Further detail with respect to qualifications can be obtained from Planning Services | |

August 27, 2018
KG/

Appendix A

Bill No.
2018

By-law No. L.S.P.-_____

A by-law to designate 2096 Wonderland Road North
to be of cultural heritage value or interest.

WHEREAS pursuant to the *Ontario Heritage Act, R.S.O. 1990, c. 0.18*, the Council of a municipality may by by-law designate a property including buildings and structures thereon to be of cultural heritage value or interest;

AND WHEREAS notice of intention to so designate the property known as 2096 Wonderland Road North has been duly published and served and no notice of objection to such designation has been received;

NOW THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

1. The real property at 2096 Wonderland Road North is designated as being of cultural heritage value or interest for the reasons set out and more particularly described in Schedule "A" attached hereto.
2. The City Clerk is authorized to cause a copy of this by-law to be registered upon the title to the property described in Schedule "A" hereto in the proper Land Registry Office.
3. The City Clerk is authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Trust and to cause notice of this by-law to be published once in a newspaper of general circulation in The City of London, to the satisfaction of the City Clerk, and to enter the description of the aforesaid property, the name and address of its registered owner, and designation statement explaining the cultural heritage value or interest of the property and a description of the heritage attributes of the property in the Register of all properties designated under the *Ontario Heritage Act*.
4. This by-law comes into force and effect on the day it is passed.

PASSED in Open Council on September 18, 2018.

Matt Brown
Mayor

Catharine Saunders
City Clerk

First Reading – September 18, 2018
Second Reading – September 18, 2018
Third Reading – September 18, 2018

SCHEDULE “A”
To By-law No. L.S.P.-_____

Legal Description

Lot 17, RCP 1028, London

Description of Property

The property at 2096 Wonderland Road North is located on the east side of Wonderland Road North between Fanshawe Park Road East and Sunningdale Road East. A two-storey brick building is located near the northeast corner of the property.

Statement of Cultural Heritage Value or Interest

The residence at 2096 Wonderland Road North has local significance for design/physical value, historical/associative value, and contextual value.

The residence at 2096 Wonderland Road North has physical or design value as a rare and representative example of a mid-19th century Georgian farmhouse. The residence is a two storey structure with a low-pitched hip roof and bookend chimneys. It has a buff brick exterior with a common bond, brick voussoirs, and a stone foundation. The Georgian style of architecture is reflected in the symmetrical façade and minimal use of ornamenting and detail.

The residence at 2096 Wonderland Road North has historical and associative value because of its link with the Warner family. William Warner was the original patent holder on the property, receiving it in 1819. His son, Wesley Warner, inherited the farmstead and was a noted member of London Township for his involvement in the temperance society.

The residence at 2096 Wonderland Road North has contextual value because it is physically and historically linked to its surroundings. It remains located in its original spot on the property and historically reflects the prominent role agriculture played in London Township.

Heritage Attributes

The heritage attributes which support or contribute to the cultural heritage value or interest of the property at 2096 Wonderland Road North include:

- Georgian two storey farmhouse
- Square shaped plan
- Low pitched hip roof with bookend chimneys
- Buff brick construction
- Field stone foundation
- Brick voussoirs above windows

The addition at the rear of the brick building is not considered to be a heritage attribute.