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File No. SP 12- 029201
Bruce Henry

TO:	CHAIR AND MEMBERS PLANNING & ENVIRONMENT COMMITTEE
FROM:	G. KOTSIFAS, P.ENG MANAGING DIRECTOR, DEVELOPMENT & COMPLIANCE SERVICES AND CHIEF BUILDING OFFICIAL
SUBJECT:	APPLICATION BY: FOUR FEATHERS HOUSING CO-OP 205 COMMISSIONERS ROAD WEST PUBLIC PARTICIPATION MEETING ON: OCTOBER 15, 2012 (NOT TO BE HEARD BEFORE 4:15 P.M.)

RECOMMENDATION

That on the recommendation of the Manager, Development Services and Planning Liaison, the following actions be taken with respect to the site plan approval application of Four Feathers Housing Co-op for an addition with 8 units to the 25 unit apartment building under construction at 205 Commissioners Road West:

- a) On behalf of the Approval Authority, the Planning and Environment Committee **BE REQUESTED** to conduct a public meeting on the subject site plan application and **REPORT TO** the Approval Authority the issues, if any, raised at the public meeting with respect to the application for Site Plan approval; and
- b) Council **ADVISE** the Approval Authority of any issues they may have with respect to the Site Plan application and **ADVISE** the Approval Authority whether they support the Site Plan application for an addition with 8 units to the 4 storey apartment building with 25 units under construction.

PREVIOUS REPORTS PERTINENT TO THIS MATTER
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July 18, 2011 – site plan public meeting

BACKGROUND

On May 24, 2011 an application for Site Plan Approval for an apartment building with 25 units was received. A public meeting was held at the Built & Natural Environment Committee meeting on July 18, 2011. No issues were raised by members of the public.

On July 25, 2011 City Council resolved that on the recommendation of the Director of Development Planning, the following actions be taken with respect to the site plan approval application of Four Feathers Housing co-op for a 25 unit apartment building at 205 Commissioners Road West:

- a) The Approval Authority **BE ADVISED** that there were no issues raised at the public meeting of the Planning & Environment Committee held with respect to the site plan approval application of Four Feathers Housing co-op for a 25 unit apartment building at 205 Commissioners Road West;
- b) The Approval Authority **BE ADVISED** that the Municipal Council support the granting of approval of the attached site plan and elevations for a 4 storey apartment building with 25 units; and
- c) The Approval Authority **BE ADVISED** the Municipal Council supports the Development Agreement clauses in the attached Appendix 1:



NOTIFICATION MAP

120m Radius Buffer
 Subject Site: 205 Commissioners Road West
 Applicant: Four Feathers Housing Co-Operative Inc
 File Number: SP12-029201
 Planner: New/Addition
 Created By: Jeffrey Shaughnessy
 Date: 2012-09-26
 Scale: 1:2500

LEGEND

-  Subject Site
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers





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On September 7, 2012, an application was submitted to amend the site plan to add 8 units to the 25 unit building currently under construction.

The Proposed development is considered residential intensification in Section 3.2.3.1 of the Official Plan and requires a public meeting.

Date Application Accepted: September 7, 2012	Agent: Nicholson Sheffield Architects Inc.
REQUESTED ACTION: Approval of a site plan for an eight unit addition to the 25 unit apartment building with 4 floors of residential under construction.	

SITE CHARACTERISTICS:
<ul style="list-style-type: none"> • Current Land Use: – Duplex and Detached Garage • Frontage: – 38.8 m • Depth: – 97.48 m (Irregular) • Area: – 0.376 hectares

SURROUNDING LAND USES:
<ul style="list-style-type: none"> • North – Residential • South – Residential • East – Residential • West – Residential

OFFICIAL PLAN DESIGNATION:
<ul style="list-style-type: none"> • High Density Residential
EXISTING ZONING:
<ul style="list-style-type: none"> • R9-7.H32 / RO2

PUBLIC LIAISON:	On September 29, 2012 notices of Public Meeting were sent out to area property owners, and on October 06, 2012 notice for the public meeting was placed in the London Free Press.
Nature of Liaison:	Proposed addition of 8 units to the 4 storey apartment building with 25 units.
Responses:	To date there have been no responses.

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ANALYSIS

Does the Site Plan Meet the Zoning?

The proposed four storey addition is located at the northwest corner of the building under construction. The addition meets the height, setback and coverage requirements of the by-law.

The proposed 42 parking spaces and 25 bicycle parking spaces meet the requirements of the By-law.

Are the plans Compatible with abutting properties?

Balconies

The building addition as proposed has small "Juliette" balconies on the west side of the building. The west building wall is 4.8 meters from the west property line.

Adjacent Properties

The west wall and balconies of the proposed apartment building will be approximately 11.5 m from the rear of the existing townhouse buildings at 215 Commissioners Road West, located west of the subject property.

The east wall of the proposed apartment building will be approximately 22.6 m from the existing 8 storey apartment building at 199 Commissioners Road West located east of the subject property.

The north wall of the proposed apartment building will be approximately 70m from the existing apartment building to the north at 135 Baseline Road East.

The proposed landscaping, fencing and access are the same as presented in 2011.

SUMMARY


- Proposed Site Plan meets the Zoning By-law
- Proposed Site Plan is generally in conformity with the Site Plan By-law
- Proposed number of units meets the Zoning By-law
- Proposed building height of 12.6m meets the Zoning By-law

The Site Plan, Elevations and Landscape Plans have been accepted by staff. The elevations have been reviewed by Urban Design. A proposed 1.8m high wood privacy fence, tree preservation and additional tree plantings will be identified around the perimeter of the site to address the concerns voiced at the original neighbourhood meeting.

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Staff are in a position to recommend the plans to the Approval Authority, subject to any advice received from PEC and Council as a result of the public meeting.

PREPARED BY:	RECOMMENDED BY:
	
B. HENRY MANAGER - DEVELOPMENT PLANNING	TERRY GRAWEY MANAGER, DEVELOPMENT SERVICES AND PLANNING LIAISON
SUBMITTED BY:	
	
G. KOTSIFAS, P.ENG MANAGING DIRECTOR, DEVELOPMENT & COMPLIANCE SERVICES & CHIEF BUILDING OFFICIAL	

Y:\Shared\Site Plan.Section\SitePlan.Section\2012 Compiled Site Plan Files\Commissioners Road West 205 (BH)\205 Commissioners Road - PEC Report.doc

cc: Nicholson Sheffield Architects Inc.

RECEIVED BY
 SEP 20 2012
 CITY OF LONDON
 DEVELOPMENT SERVICES

Firm Name: Nicholson Sheffield Architects Inc.
 358 Talbot Street
 London, Ontario N6A 2R6

Certificate of Practice Number: 4823

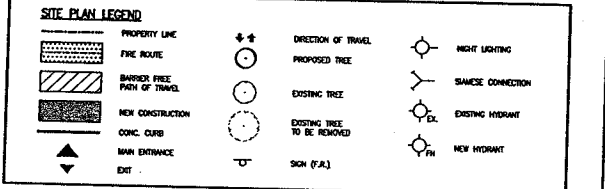
Name of Project: Four Feathers Housing Coop
 Apartment Building Phase 2

Location: 205 Commissioners Road West
 London, Ontario

Item	Ontario's 2006 Building Code Date Matrix Part 3 or 9	OCB Reference
1. Project Description:	<input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration	Part 11 11.1 to 11.4 1.1.2. [A] 1.1.2. [A] 9.10.1.3
2. Major Occupancy(s)	Group C - Residential	3.1.2.1.(1) 9.10.2
3. Building Area (m ²)	Existing 566.8m ² New 120.1m ² Total 686.9m ²	1.4.1.2. [A] 1.4.1.2. [A]
4. Gross Area	Existing 2267.2m ² New 480.4m ² Total 2747.6m ²	1.4.1.2. [A] 1.4.1.2. [A]
5. Number of Storeys	Above Grade 4 Below Grade 0	1.4.1.2.(1) & 9.10.4 1.4.1.2.(1) & 9.10.4
6. Number of Streets/Fire Fighter Access	1	3.2.2.10 & 3.2.2.9 9.10.20
7. Building Classification	2.2.2.4.3, Group C, Up to 6 Storeys	3.2.2.20-23 9.10.2
8. Sprinkler System Proposed	<input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20-23 3.2.1.5 3.2.2.17 INDEX 9.10.6.2 INDEX
9. Staircases required (Existing from Phase 1)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9 N/A
10. Fire Alarm required (Existing from Phase 1)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4 9.10.18
11. Water Service / Supply in Adequate (Phase 1)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.5.7 N/A
12. High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6 N/A
13. Conast. Restrictions	<input type="checkbox"/> Combustible Permitted <input checked="" type="checkbox"/> Non-Combustible Required <input type="checkbox"/> Both <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.20-23 9.10.6 3.2.1.1.(3)-(6) 9.10.4.1
14. Mezzanine(s) Area m ²		3.2.1.1.(3)-(6) 9.10.4.1
15. Occupant load based on:	<input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> Design of Building	3.1.1.7 9.9.1.3
Main Floor	Occupancy C Lead 1292-14 Persons	
Second Floor	Occupancy C Lead 1812-20 Persons	
Third Floor	Occupancy C Lead 1812-20 Persons	
Fourth Floor	Occupancy C Lead 1812-20 Persons	
(PHASE 1 + PHASE 2) Total 74 Persons		
16. Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)	3.8 3.5.2
17. Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19 9.10.1.3.(4)
18. Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) 1 Hours Roof 1 Hours Mezzanine N/A Hours FRR of Supporting Members 1 Hours Floors 1 Hours Roof 1 Hours Mezzanine N/A Hours	Listed Design No. or Description (SC-2) FIC Sprinklered N/A Listed Design No. or Description (SC-2) Bth Sprinklered N/A
19. Spatial Separation - Construction of Exterior Walls	Wait Area of 575 (m ²) L.D. 1/4 N Permitted Proposed X of Openings FRR (Hours) Listed Design No. or Description Comb. Const. Comb. Const. Cladding Non-Comb. Const.	3.2.3 9.10.14
20. Other - Describe	SEPARATION OF RESIDENTIAL UNITS MAIN FLOOR: 1 BEDROOM UNITS = 2 SECOND FLOOR TO FOURTH FLOOR: 1 BEDROOM UNITS = 2 (2 x 3 = 4) & TOTAL TOTAL UNITS FOR PHASE 2 = 8 RESIDENTIAL UNITS TOTAL UNITS IN PHASE 1 = 25 RESIDENTIAL UNITS TOTAL RESIDENTIAL UNITS FOR PHASE 1 & 2 = 33	

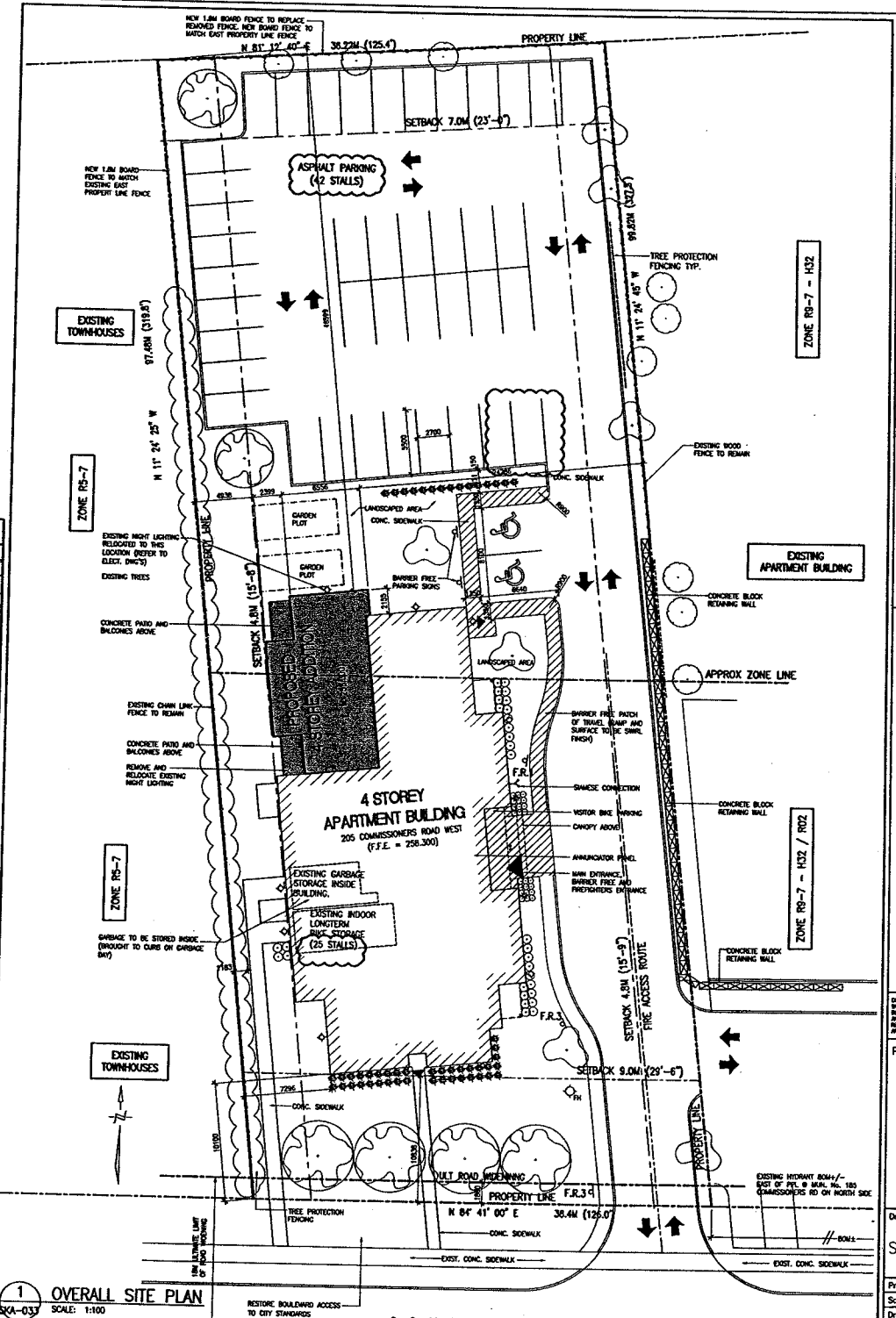
SITE DATA

PROPOSED USE	PROPOSED - PHASE 1	PROPOSED - PHASE 2
EXIST. PH-2, RES. SIDE WIND	APARTMENT BUILDING	APARTMENT BUILDING
LOT AREA	3746 SQ. M (8,374 HA)	3746 SQ. M (8,374 HA)
LOT FRONTAGE	30.0M (127'-7")	30.0M (127'-7")
FRONT AND EXT. SIDE WIND DEPTH	30.0M (127'-7")	30.0M (127'-7")
REAR WIND DEPTH	1.0M (3'-0") PER 30 (81.3') OF MAIN BLDG. AT. OF FRONT THEREOF (30.0M (98'-4")), BUT IN NO CASE LESS THAN 7.6M (25'-0").	REAR WIND - 81.3M (267'-0")
INT. SIDE WIND DEPTH	1.2 (3'-0") PER 30 (81.3') OF MAIN BLDG. AT. OF FRONT THEREOF (30.0M (98'-4")), BUT IN NO CASE LESS THAN 4.3M (14'-1").	WEST INT. SIDE WIND - 4.3M (14'-1") EAST INT. SIDE WIND - 13.8M (45'-3")
LANDSCAPED OPEN SPACE (OS) MIN.	30% MIN.	37.2M (123'-8") 33.6M (110'-5")
LOT COVERAGE (DC) MAX.	30% MAX.	10% 18.6M (61'-1")
BUILDING HEIGHT	30M MAX. (104'-0")	12.8M (42'-0") 12.8M (42'-0")
PARKING - PHASE 1	1.25 PER UNIT = (1,250) IN STALLS	42 STALLS INCLUDING 2 B.F. STALLS
PARKING - PHASE 2	(1.25 PER UNIT = (1,250) IN STALLS)	42 STALLS INCLUDING 2 B.F. STALLS
VEHICLE STORAGE - PHASE 1	1.75 PER UNIT = (1,750) IN STALLS	18 STALLS
VEHICLE STORAGE - PHASE 2	(1.75 PER UNIT = (1,750) IN STALLS)	(PHASE 1 + PHASE 2 = 27 STALLS)



GENERAL NOTES (REVIEW)

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY SERVICES PRIOR TO COMMENCEMENT OF EXCAVATION. REFER ALSO TO MECHANICAL, ELECTRICAL AND SITE SERVICES DRAWINGS.
- CLEAR AND GRUB LOCATIONS OF SITE TO BE DETERMINED BY NEW CONSTRUCTION. REMOVE AND DISPOSE OF ALL UNSUITABLE SOIL, DEBRIS AND UNDESIRABLE MATERIAL OFF SITE.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATION OF NEW BURIED SERVICES.
- REFER TO SITE SERVICES DRAWINGS FOR ALL EXISTING AND NEW GRADING, DRAINAGE, HARD SURFACES AND RELATED SITE SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SHORING REQUIRED. PROVIDE IN ACCORDANCE WITH STRUCTURAL DRAWINGS AND ENGINEER'S APPROVAL AS REQUIRED TO ENSURE THE STABILITY OF ALL EXISTING STRUCTURES AND COMPONENTS OF THE WORK POTENTIALLY AFFECTED BY THE NEW CONSTRUCTION.
- PROVIDE NEW CHAIN LINK FENCE AS REQUIRED TO ACT AS CONSTRUCTION HOARDING.
- CONSTRUCTION SIGN SHALL BE PROVIDED IN LOCATION AS DIRECTED BY THE CONSULTANT.



PROJECT TRUE NORTH

2	REVISED FOR THE PLAN	01/24/12
1	ISSUED FOR CON P	07/26/12
No.	Revision	Date

NICHOLSON SHEFFIELD ARCHITECTS INC.
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 Fax: (519) 475-1490
 E-mail: info@nicholsonsheffield.ca
 www.nicholsonsheffield.ca

ONTARIO ASSOCIATION OF ARCHITECTS
 JOHN R. NICHOLSON
 LICENCE 3541

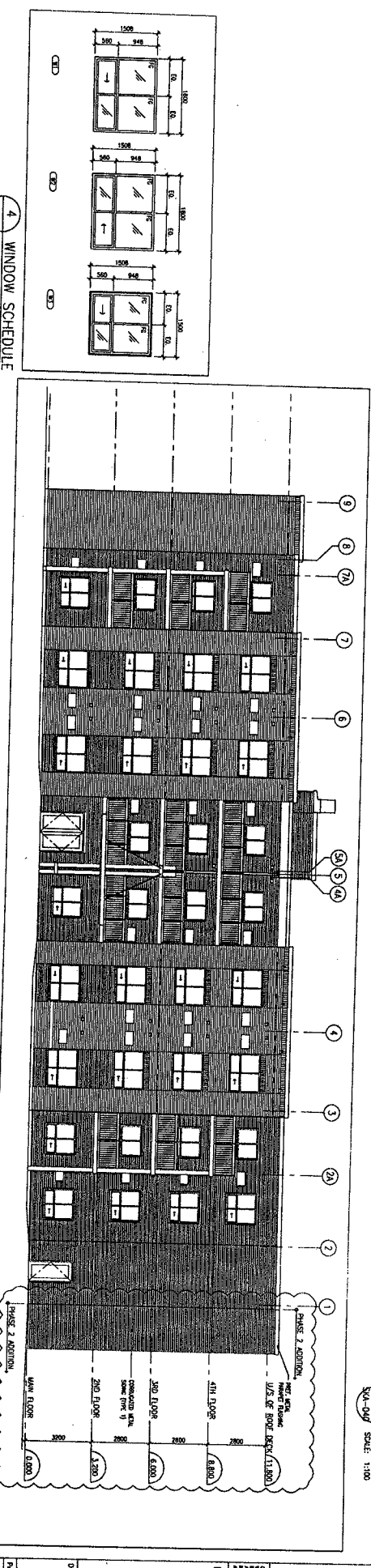
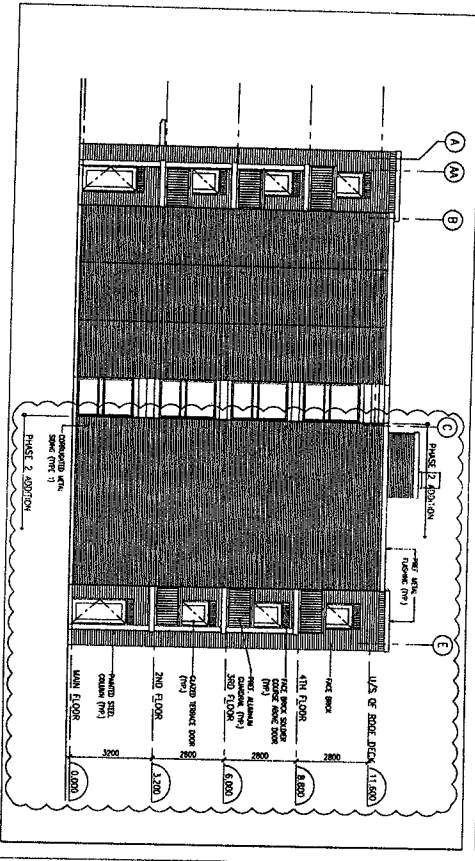
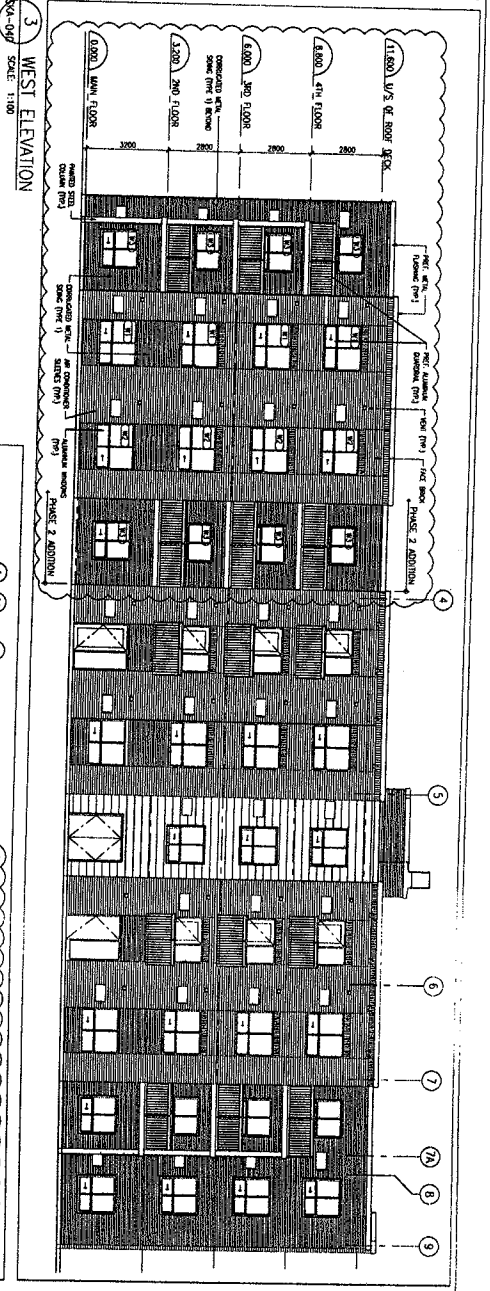
Project
 Four Feathers Housing Coop Phase 2

205 Commissioners Road West
 London, Ontario

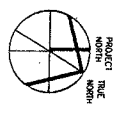
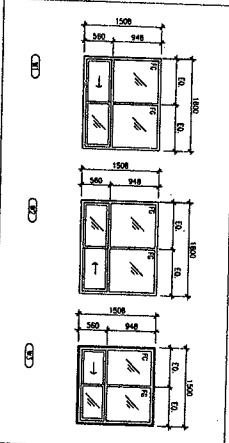
Drawing
 Overall Site Plan,
 Site Data & O.B.C. No.

Proj. No. 10-40 Drawing No.
 Scale AS NOTED
 Drawn By P.S.
 Chk'd by SKA

EXTERIOR ELEVATION LEGEND
 (C) Window / Sash Window
 OBSERVATIONS
 1. ALL WINDOW UNITS TO BE INSTALLED WITH 100% INSULATION
 2. ALL WINDOW UNITS TO BE INSTALLED WITH 100% INSULATION
 3. ALL WINDOW UNITS TO BE INSTALLED WITH 100% INSULATION



4 WINDOW SCHEDULE
 SCA: 1/50



No.	Revisions	Date
1	ISSUED FOR PERIT	07/20/12

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 SUITE 1000
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 EMAIL: info@nicholson-sheffield.com
 WWW.NICHOLSON-SHEFFIELD.COM

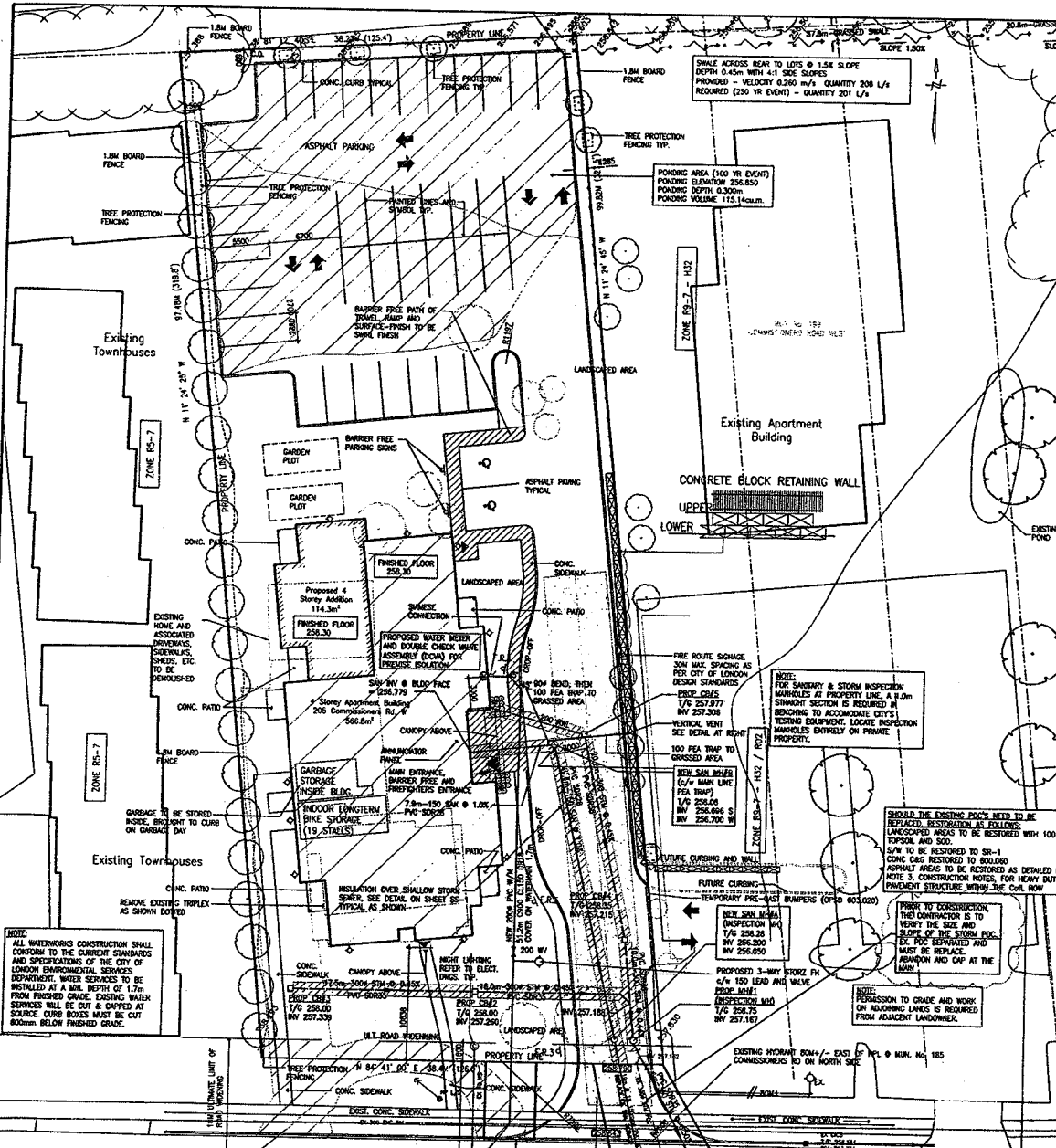
ONTARIO ASSOCIATION OF ARCHITECTS
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Project
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 Housing Coop
 Phase 2

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 Fax: 519-833-1101
 Email: info@skadep.com
 www.skadep.com

Drawn By: ASK/MSB
 Check By: ASK/MSB
 Date: Jul. 30, 12

SKA-04D



LIST OF COMMON STANDARDS USED

OPSD 400.02	CATCHBASIN, CAST IRON, FRAME AND FLAT SQUARE GRATE
OPSD 401.01	MANHOLE, CAST IRON COVER & SQUARE PLATE
OPSD 404.02	SAFETY GRATING, ALUMINUM FOR CIRCULAR MANHOLES
OPSD 405.01	MANHOLE STEPS
OPSD 800.060	CONCRETE SEMI-RIGID CURBS WITH STANDARD GUTTER
OPSD 808.01	METHOD OF TERMINATION FOR CURBS AND GUTTER
OPSD 701.03	PRECAST CONCRETE MANHOLE COMPONENTS—1200mm DIA.
OPSD 701.04	PRECAST CONCRETE MANHOLE COMPONENTS, BRICKWAY CONE AND SLAB — 1500mm DIA.
OPSD 701.041	PRECAST CONCRETE MANHOLE COMPONENTS, RISER AND BASE SLAB — 1500mm DIA.
OPSD 701.02	PRECAST CONCRETE MANHOLE COMPONENTS—900mm DIA.
OPSD 705.02	PRECAST CONCRETE CATCHBASIN 600 x 600
OPSD 708.03	CATCHBASIN CONNECTION FLEXIBLE PIPE SEWER
OPSD 806.01	DEAD END BARRIERS
OPSD 100.011	MANHOLE CONNECTIONS
OPSD 100.012	SEWER SERVICE CONNECTIONS FOR FLEXIBLE PIPE
LDD-290	COMBINATION CURB AND SIDEWALK AT DRIVEWAY ENTRANCES
LDD-330	LANDSCAPE GRADING AND FINISH SIDEWALK CONSTRUCTION
LD-3-305A	SIDEWALK RAMP (NORMAL) AT CORNER LOCATIONS
SD-1010	STANDARD SANITARY PDC CONNECTIONS TO THE MAIN SEWER
SM-1	SEWERING STANDARD FOR GRAVITY & PRESSURE PIPE
SM-2.5	SAFETY LANDINGS FOR MANHOLES
SR-1	CONCRETE SIDEWALK

EXISTING WATER SERVICES

EXISTING WATER SERVICE MUST BE CUT AND CAPPED AT THE SOURCE. CURB BOXES MUST BE CUT 600mm BELOW FINISHED GRADE. THIS IS ALL AT NO COST TO THE CITY.

LEGEND

■	EXISTING CATCHBASIN
□	PROPOSED CATCHBASIN
○	EXISTING MANHOLE
○	PROPOSED MANHOLE
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING WATERMAIN
---	PROPOSED WATERMAIN
---	ROOF WATER LEADER

LEGAL INFORMATION

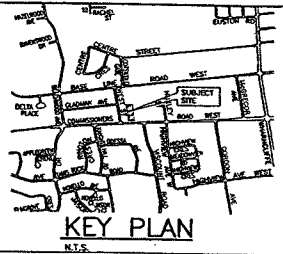
PART OF
**LOT 2
PLAN 93**
IN THE
**CITY OF LONDON
COUNTY OF MIDDLESEX**

EXISTING PLAN REFERENCE

EXISTING TOPOGRAPHICAL INFORMATION OBTAINED FROM SURVEY PERFORMED BY ROBERT A. REICHES IN 2002. ORIGINAL MAP PROJECT NO. 3865. EXISTING AS BUILT INFORMATION WITHIN THE CITY ROAD ALLOWANCE OBTAINED FROM PLANS PROVIDED BY THE CITY OF LONDON'S DEPARTMENT OF MUNICIPAL ENGINEERING AND TRANSPORTATION DIVISION. SITE PLAN AND LAYOUT OBTAINED FROM PLANS PROVIDED BY MALHOTRA MODSOLON SHEPHERD ARCHITECTS INC.

REFERENCE BENCHMARK:

W1-22
1.50m WEST END OF ISLAND ON COMMISSIONERS ROAD WEST.
12.0m WEST OF VICIOUS ROAD.
ELEVATION: 226.72m



GENERAL NOTES

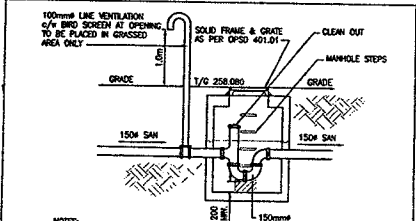
1. AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION ON ANY EXISTING ROAD ALLOWANCE MAINTAINED BY THE CITY OF LONDON, THE DEVELOPER IS TO OBTAIN A WORK APPROVAL PERMIT FROM THE PUBLIC SERVICE DIVISION OF THE ENVIRONMENTAL SERVICES DEPARTMENT AFTER DISCUSSIONS WITH THE STAFF OF THE WATER, SEWER & DRAINAGE DIVISION AND TRANSPORTATION DIVISION.
2. THE DEVELOPER SHALL CONSTRUCT TEMPORARY MEASURES TO CONTROL SILT ENTERING THE STORM DRAINAGE SYSTEM TO THE SPECIFICATIONS OUTLINED IN THE GUIDELINES ON EROSION AND SEDIMENTATION PREPARED BY THE MINISTRY OF NATURAL RESOURCES. THESE MEASURES ARE TO BE INSTALLED PRIOR TO COMMENCING ANY CONSTRUCTION CONSTRUCTION AND ARE TO REMAIN IN PLACE UNTIL CONSTRUCTION HAS BEEN COMPLETED TO THE SATISFACTION OF THE CITY ENGINEER.
3. NO FOUNDATION DRAIN CONNECTIONS WILL BE PERMITTED INTO THE SANITARY SEWERS AND NO DIRECT DRAINAGE CONNECTIONS FROM THE CONSTRUCTION SITE WILL BE PERMITTED TO THE STORM SYSTEM UNLESS THE STORM SYSTEM HAS THE CAPACITY TO PROVIDE FOR SUCH CONNECTIONS TO THE SATISFACTION OF THE CITY ENGINEER.
4. THE STRUCTURAL DESIGN OF SEWERS IS BASED ON THE TRANSITION WIDTH UNLESS OTHERWISE NOTED.
5. ALL WORK SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE CITY OF LONDON ENVIRONMENTAL SERVICES DEPARTMENT, THE STANDARD CONTRACT DOCUMENTS FOR MUNICIPAL CONSTRUCTION PROJECTS, AS ADOPTED BY COUNCIL ON MAY 20, 1994 AND AS AMENDED FROM TIME TO TIME ARE TO BE APPLIED TO THIS PROJECT, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
6. THE DEVELOPER IS TO INFORM THE LONDON TRANSIT COMMISSION AT LEAST FOUR DAYS PRIOR TO COMMENCING CONSTRUCTION ON ANY STREET THAT IS A L.T.C. BUS ROUTE WHICH WILL BE DISRUPTED BY CONSTRUCTION.
7. THE DEVELOPER IS TO NOTIFY THE TECHNICAL SERVICES DIVISION IN WRITING AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
8. THE DEVELOPER SHALL HAVE ITS PROFESSIONAL ENGINEER PROVIDE FULL-TIME INSPECTION DURING CONSTRUCTION AND A CERTIFICATE OF COMPLETION OF WORKS UPON COMPLETION OF ALL WORKS TO BE CONSTRUCTED ON AN EXISTING CITY STREET OR ALLEYWAY.
9. THE DEVELOPER SHALL HAVE ITS PROFESSIONAL ENGINEER PROVIDE ADEQUATE INSPECTION DURING CONSTRUCTION AND A CERTIFICATE OF COMPLETION OF WORKS UPON COMPLETION OF ALL WORKS WHICH ARE TO BE ASSUMED BY THE CITY.
10. THE SOILS CONSULTING ENGINEER MUST BE INFORMED AT LEAST TWO WEEKS PRIOR TO COMMENCING CONSTRUCTION ON ANY EXISTING CITY ROAD ALLOWANCE.
11. THE DEVELOPER IS TO MEET ALL THE REQUIREMENTS OF THE OWNERS OF THE UTILITIES ON THE PLAN AND MUST MAKE SATISFACTORY ARRANGEMENTS WITH THE UTILITIES COMPANIES FOR CROSSING THEIR INSTALLATIONS AND FOR PROVIDING ADEQUATE PROTECTION DURING CONSTRUCTION.
12. ALL UNSOUND MATERIALS REMOVED FROM THE ROADWAY OR UNDERGROUND FOUNDATIONS SHALL BE REMOVED AND THESE AREAS BACK FILLED WITH AN APPROVED FILL MATERIAL. AT THE DISCRETION OF A GEOTECHNICAL ENGINEER.
13. ALL SUBSTITUTIONS MUST BE APPROVED BY THE CITY ENGINEER.

CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL TAKE ALL PRELIMINARY MEASURES UNDER THE OCCUPATIONAL HEALTH AND SAFETY ACT AS REQUIRED BY THE MINISTRY OF LABOUR.
2. ALL SERVICE TRENCHES SHALL BE BACK FILLED WITH SURFABLE (ON THE OPINION OF THE GEOTECHNICAL ENGINEER) WITHIN WATERM, AND COMPACTED TO AT LEAST 92% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
3. RECOMMENDED LIGHT DUTY PAVEMENT STRUCTURE:
40mm HL-3 TOP COURSE ASPHALT COMPACTED TO 97% STANDARD MARSHALL
40mm HL-8 BASE COURSE ASPHALT COMPACTED TO 97% STANDARD MARSHALL
150mm GRANULAR 'A' SUB BASE COMPACTED TO 100% STANDARD PROCTOR
300mm GRANULAR 'B' SUB BASE COMPACTED TO 100% STANDARD PROCTOR
RECOMMENDED HEAVY DUTY PAVEMENT STRUCTURE:
40mm HL-3 TOP COURSE ASPHALT COMPACTED TO 97% STANDARD MARSHALL
60mm HL-8 BASE COURSE ASPHALT COMPACTED TO 97% STANDARD MARSHALL
150mm GRANULAR 'A' SUB BASE COMPACTED TO 100% STANDARD PROCTOR
300mm GRANULAR 'B' SUB BASE COMPACTED TO 100% STANDARD PROCTOR
RECOMMENDED PAVED DUTY PAVEMENT STRUCTURE WITHIN THE CURB ROW:
150mm ASPHALT COMPACTED TO 97% STANDARD MARSHALL
150mm GRANULAR 'A' BASE COMPACTED TO 100% STANDARD PROCTOR
400mm GRANULAR 'B' SUB BASE COMPACTED TO 100% STANDARD PROCTOR
4. THE OWNER SHALL BE RESPONSIBLE FOR ALL SURFACE AND SUBSURFACE WATER.
5. THE OWNER SHALL BE RESPONSIBLE FOR THE COMPLETE RESTORATION OF DISTURBED AREAS ON CITY PROPERTY AND THE ADJACENT AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS.

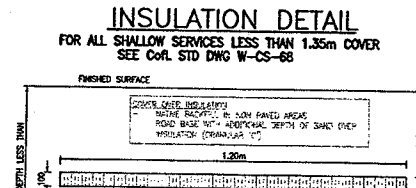
CITY OF LONDON
PLANS REVIEWED BY
[Signature]
DRAFTER: DRAGOS MACAR
DATE: SEP 25/12
6
CHIEF BUILDING OFFICIAL

ALL PLUMBING SHALL COMPLY WITH THE OBC, PART 3



- NOTES:**
1. MH TO BE 1200mm PRECAST UNIT
 2. MINIMUM DEPTH OF MH SHALL BE 1.0m
 3. TRAP TO BE PLACED IN SANDHOLE ONLY.
 4. MH DISTANCE FROM BOTTOM OF MH TO BE 300mm MIN.
 5. BRACE TRAP WITH CONCRETE BRACKETS AS REQUIRED.
- MATERIALS REQUIRED FOR VENT - TO PLACE VENT AT EAST PROPERTY LINE IN GRASSED AREA:**
1. FROM MAIN LINE SEWER (150mm) SUPPLY 150x150x100 TEE. TEE TO BE ROVED UP AT 45°
 2. SUPPLY AND INSTALL NEW 100mm 90° BEND.
 3. SUFFICIENT AND NEW 100mm PIPING FROM NEW BEND TO VERTICAL VENT AT GRASSED AREA (APPROXIMATELY 8.0m)
 4. INSTALL VERTICAL VENT AS PER DETAIL ABOVE.

MAIN LINE PEA TRAP DETAIL VENT IN GRASSED AREA
NOT TO SCALE



NOT TO SCALE

SEDIMENT CONTROL MEASURES

1. PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
2. ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETED.
3. MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
4. ALL COLLECTED SEDIMENT TO BE DISPOSED OF AT AN APPROVED LOCATION.
5. MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
6. ALL SEDIMENT TO BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
7. PROTECT ALL CATCH BASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INTRUSION WITH SCREENS/TERMINAL DUST.
8. KEEP ALL SLOPES CLEAN DURING CONSTRUCTION.
9. STRAW BALES TO BE USED TO CONTROL DUST.
10. STRAW BALES TO BE TERMINATED IN LOCALIZED AREAS AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION FOR WORKS WHICH ARE IN OR ADJACENT TO FLOOD LINES, FILL LINES AND HAZARDOUS AREAS.
11. STRAW BALES TO BE TERMINATED BY ROUNDING BALES TO CONTAIN AND FILTER RUNOFF.
12. MAINTAIN APPROPRIATE CONSTRUCTION FOR WORKS WHICH ARE IN, OR ADJACENT TO FLOOD LINES, FILL LINES AND HAZARDOUS AREAS.
13. SLOPE PROTECTION AT DETAILS: AT THE MINIMUM TO BE CONSTRUCTED IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
14. ALL OF THE ABOVE NOTES AND ANY ADDITIONAL EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.

EXISTING SANITARY PDC

PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY THE SIZE AND SLOPE OF THE EXISTING SANITARY PDC. THE MINIMUM SIZE PIPE REQUIRED FOR THE ONE FUTURE UNIT IS A 150 PDC @ 0.75%, BUT ONLY IF THE CONSULTING ENGINEER OF THE SIZE AND SLOPE OF THE EXISTING SANITARY PDC IS VERIFIED AS BEING ADEQUATE. IF NOT, THE EXISTING SANITARY PDC IS TO BE DISCOVERED AT A PIPE SIZE SMALLER THAN 150. THIS DISCOVERY SHALL BE REPORTED TO THE CONSULTING ENGINEER AND A NEW 150mm PDC BE INSTALLED AT A MINIMUM GRADE OF 1.0%.

REFERENCE OBC TABLE 7.4.10.8 - DESIGN HYDRAULIC LOAD = 277.5 FUTURE UNITS
MINIMUM (37 UNITS @ 7.5 F.U./U.N.)
150mm SAN @ 1.0% WILL ALLOW A HYDRAULIC LOAD OF 700 FUTURE UNITS
THIS DISCOVERY SHALL BE REPORTED TO THE CONSULTING ENGINEER AND A NEW 150mm PDC BE INSTALLED AT A MINIMUM GRADE OF 1.0% WHICH IS GREATER THAN THE CURB MANHOLE VELOCITY REQUIREMENT OF 0.8 m/sec

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For Permit
For Tender
For Construction

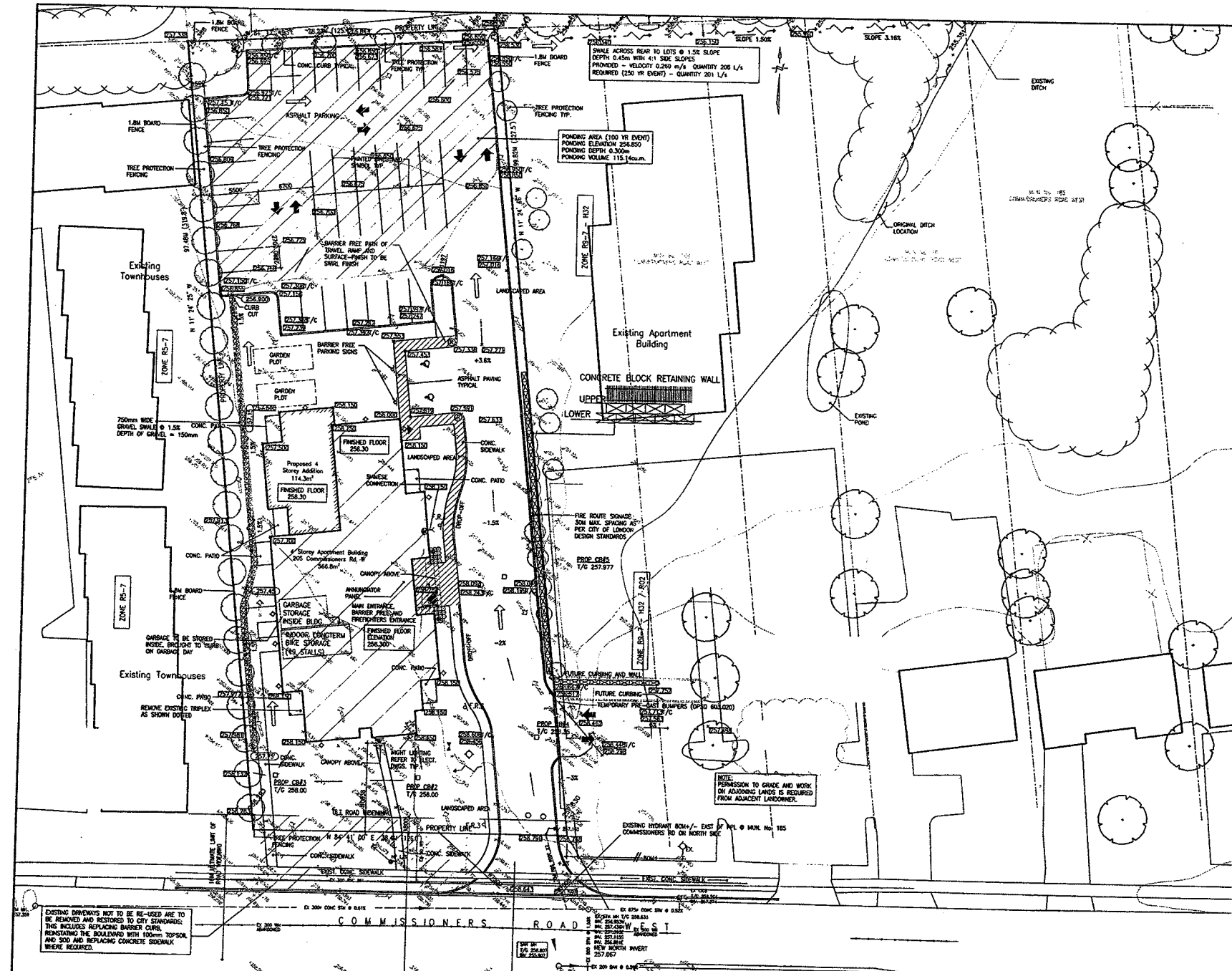
DESIGN	NO.	REVISIONS	DATE	BY	NO.	REVISIONS	DATE	BY
DESIGN	0	PROPOSED DRAINAGE DITCH	OCT 31/11	EMR	17	REVISE SAN AND STORM CONNECTION	JUN 11/12	JAV
DESIGN	10	PROP DRAINAGE DITCH UPDATED COIL	NOV 08/11	JAV	18	ADDITION FOR SITE PLAN AMENDMENT	AUG 24/12	EMR
CHECKED	11	EX SAN PDC NOTES	NOV 09/11	JAV				
APPROVED	12	UPDATES FOR DRAINAGE DITCH	NOV 09/11	EMR				
BASE	13	COIL COMMENTS	DEC 07/11	EMR				
DESIGN	14	UPDATE SAN PDC FOR FUTURE UNITS & COIL COMMENTS (DEC 20/11)	DEC 20/11	EMR				
CDC	7225				15	COIL TRAFFIC COMMENTS	JAN 11/12	JAV
					16	REVISIONS FOR ADDITIONAL H/C PDC	MAY 30/12	EMR

J.H.VINCENT SERVICES
A DIVISION OF SORPERS (ONTARIO) LIMITED
CIVIL ENGINEERING
2918 HALLARD ROAD, UNIT # 11
LONDON, ONTARIO N6H 5L6
PH 519-472-9068 FX 519-472-4014
E JHVINCEN@SORPERS.COM WWW.SORPERS.COM

ENGINEER'S SEAL
J. H. VINCENT
REG 24712
PROFESSIONAL ENGINEER
CIVIL

SCALE - 1 : 250
2.5 0 5.0m

SITE SERVICING PLAN
SP NO. 11015791
PROPOSED APARTMENT BUILDING
205 COMMISSIONERS ROAD WEST
LONDON, ONTARIO
PROJECT NO: 7225
SHEET NO: SS-1
PLAN FILE NO: 7225



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LEGAL INFORMATION

PART OF
**LOT 2
 PLAN 193**
 IN THE
**CITY OF LONDON
 COUNTY OF MIDDLESEX**

EXISTING PLAN REFERENCE

EXISTING TOPOGRAPHICAL INFORMATION OBTAINED FROM SURVEY PERFORMED BY ROBERT A. JAMES IN 2005. ORIGINAL SURVEY PROJECT No. 3960.
 EXISTING AS BUILT INFORMATION WITHIN THE CITY ROAD ALLOWANCE OBTAINED FROM PLANS PROVIDED BY THE CITY OF LONDON'S GEOMATIC DEPARTMENT.
 SITE PLAN AND LAYOUT OBTAINED FROM PLANS PROVIDED BY MALHOTRA NICHOLSON SHEPHERD ARCHITECTS INC.

ACCEPTED
 SEP 20 2012
 City of London
 ENVIRONMENTAL & ENGINEERING SERVICES DEPT.

REFERENCE BENCHMARK:

BM 22 IN EAST END OF ISLAND ON COMMISSIONERS ROAD WEST.
 47.9m WEST OF WISCONSIN ROAD.
 ELEVATION: 268.82m

SEDIMENT CONTROL MEASURES

1. PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
2. ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETED.
3. MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
4. ALL COLLECTED SEDIMENT TO BE DISPOSED OF AT AN APPROVED LOCATION.
5. MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
6. ALL Dewatering TO BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
7. PROTECT ALL CATCH BASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INTRUSION WITH GEOTEXTILE (TYPICAL 270 R).
8. KEEP ALL SUMPS CLEAN DURING CONSTRUCTION.
9. PREVENT WIND-BLOWN DUST.
10. STRAW BALES TO BE USED IN LOCALIZED AREAS AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION FOR WORKS WHICH ARE IN OR ADJACENT TO FLOOD LINES, FILL LINES AND HAZARDOUS SLOPES.
11. STRAW BALES TO BE TERMINATED BY ROUNDING BALES TO CONTAIN AND FILTER RUNOFF. OBTAIN APPROVAL FROM UTICA PRIOR TO CONSTRUCTION FOR WORKS WHICH ARE IN, OR ADJACENT TO FLOOD LINES, FILL LINES AND HAZARDOUS SLOPES.
12. ALL SILT FENCING AND DETAILS ARE AT THE MINIMUM TO BE CONSTRUCTED IN ACCORDANCE WITH URBAN CONSTRUCTION SITES.
13. ALL OF THE ABOVE MEASURES AND ANY SEDIMENT & EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.

LEGEND

- EXISTING SPOT ELEVATION
- EXISTING SPOT ELEVATION TO REMAIN
- PROPOSED SPOT ELEVATION
- PROPOSED C/L SWALE ELEVATION
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED OVERLAND FLOW
- EXISTING OVERLAND FLOW
- PROPOSED MINOR OVERLAND FLOW
- PROPOSED SURFACE SWALE

STORM WATER MANAGEMENT

FRONT LOT DRAINAGE/STORAGE PRE-DEVELOPMENT
 TOTAL AREA OF SITE = 899.13 SQ.M.
 TOTAL AREA OF BUILDINGS = 196.12 SQ.M.
 TOTAL AREA OF PARKING/GRAVEL = 28.21 SQ.M.
 TOTAL AREA OF LANDSCAPING = 4.03 SQ.M.

POST-DEVELOPMENT
 TOTAL AREA OF SITE = 899.13 SQ.M.
 TOTAL AREA OF BUILDINGS = 881.1 SQ.M. (ORIGINAL PROPOSED BLDG & NEW ADDITION)
 TOTAL AREA OF PARKING/GRAVEL = 0 SQ.M.
 TOTAL AREA OF LANDSCAPING = 858.67 SQ.M.

TOTAL SWM STORAGE REQUIRED FOR 5 YEAR STORM = 4.2 CUBIC METRES
 TOTAL SWM STORAGE PROVIDED = 4.5 CUBIC METRES (ROOF TOP STORAGE)
 RESTRICTOR REQUIRED TO PROVIDE FOR 7.85 L/S RELEASE RATE

REAR LOT DRAINAGE/STORAGE PRE-DEVELOPMENT
 TOTAL AREA OF SITE = 2866.87 SQ.M.
 TOTAL AREA OF BUILDINGS = 0 SQ.M.
 TOTAL AREA OF ASPHALT = 0 SQ.M.
 TOTAL AREA OF LANDSCAPE = 2866.87 SQ.M.

POST-DEVELOPMENT
 TOTAL AREA OF SITE = 2866.87 SQ.M.
 TOTAL AREA OF BUILDINGS = 0 SQ.M.
 TOTAL AREA OF ASPHALT = 2197.4 SQ.M.
 TOTAL AREA OF LANDSCAPE = 858.67 SQ.M.

TOTAL STORAGE REQUIRED ON SITE FOR A 100 YEAR STORM = 115 CUBIC METRES
 TOTAL STORAGE PROVIDED ON SITE IN PONING AREAS = 115.14 CUBIC METRES
 RESTRICTOR REQUIRED TO BE 2-125mm DIAMETER PIPES
 SEE DETAIL ON SHEET No. 3 FOR RESTRICTOR LEAKING SITE TO DRAINAGE DITCH/SWALE

DESIGN	DATE	BY	REVISIONS	DATE	BY
DESIGN	EMD	9	PROPOSED DRAINAGE DITCH	OCT 31/11	EMD
DESIGN	EMD	10	PROP DRAINAGE DITCH UPDATED CoIL	NOV 08/11	JHV
DESIGN	JHV	11	EX SAN PDC NOTES	NOV 09/11	EMD
DESIGN	JHV	12	UPDATES FOR DRAINAGE DITCH	NOV 24/11	JHV
BASE	MAR 2011	13	CoIL COMMENTS	DEC 07/11	EMD
COIL	7225	14	UPDATE SAN PDC FOR FUTURE UNITS & CoIL COMMENTS DEC 29/11	DEC 20/11	EMD
COIL	7225	15	CoIL TRAFFIC COMMENTS	JAN 11/12	EMD
COIL	7225	16	REVISIONS FOR ADDITIONAL HVC PKG	MAY 30/12	EMD

J.H.VINCENT SERVICES
 A DIVISION OF 899288 ONTARIO LIMITED
CIVIL ENGINEERING
 2018 MALLARD ROAD, UNIT # 11
 LONDON, ONTARIO N6H 5L6

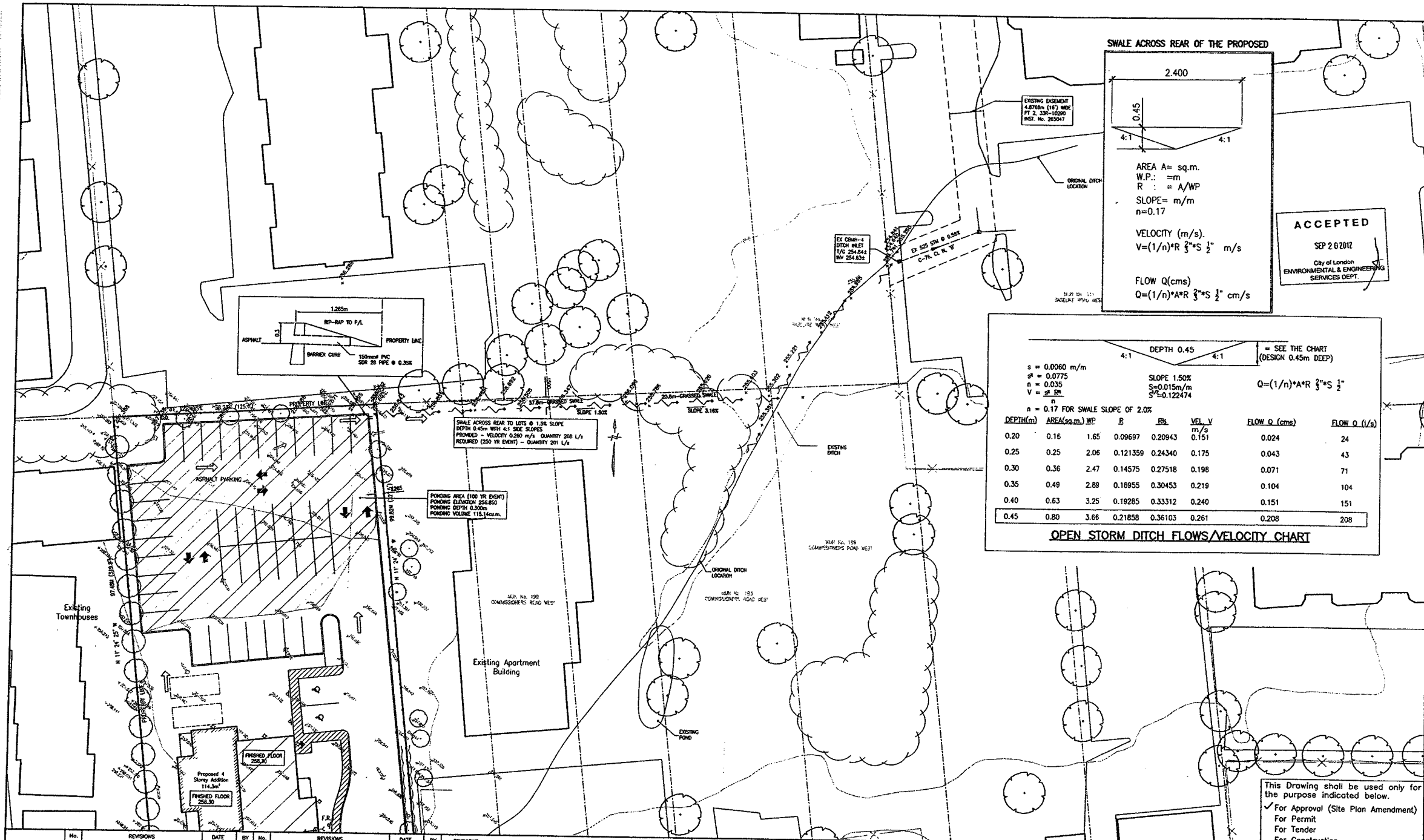
LOT GRADING CERTIFICATE
 I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPROPRIATE DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS IN GENERAL CONFORMITY FOR DRAINAGE AND RELATIVE ELEVATIONS WITH THE ADJACENT PROPERTIES.

SCALE: 1" = 250'
 2.5 0 5.0m

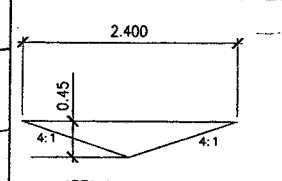
LOT GRADING PLAN
 SP No. 11015791

PROPOSED APARTMENT BUILDING
 205 COMMISSIONERS ROAD WEST
 LONDON, ONTARIO

PROJECT No. **7225**
 SHEET No. **SS-2**
 PLAN FILE No. **7225**



SWALE ACROSS REAR OF THE PROPOSED



AREA A= sq.m.
 W.P.: =m
 $R = A/WP$
 SLOPE= m/m
 $n=0.17$

VELOCITY (m/s).
 $V=(1/n)*R^{2/3}*S^{1/2}$ m/s

FLOW Q(cms)
 $Q=(1/n)*A*R^{2/3}*S^{1/2}$ cm/s

ACCEPTED
 SEP 20 2012
 City of London
 ENVIRONMENTAL & ENGINEERING
 SERVICES DEPT.

DEPTH 0.45 4:1 4:1 = SEE THE CHART (DESIGN 0.45m DEEP)

$s = 0.0060$ m/m
 $g = 0.0775$
 $n = 0.035$
 $v = g^0.58$
 $n = 0.17$ FOR SWALE SLOPE OF 2.0%

SLOPE 1.50%
 $S=0.015$ m/m
 $S^2=0.122474$

$Q=(1/n)*A*R^{2/3}*S^{1/2}$

DEPTH(m)	AREA(sq.m)	WP	R	VEL V (m/s)	FLOW Q (cms)	FLOW Q (l/s)
0.20	0.16	1.65	0.09697	0.20943	0.024	24
0.25	0.25	2.06	0.121359	0.24340	0.043	43
0.30	0.36	2.47	0.14575	0.27518	0.071	71
0.35	0.49	2.89	0.16955	0.30453	0.104	104
0.40	0.63	3.25	0.19285	0.33312	0.151	151
0.45	0.80	3.66	0.21858	0.36103	0.208	208

OPEN STORM DITCH FLOWS/VELOCITY CHART

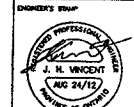
SWALE ACROSS REAR TO LOTS @ 1.5% SLOPE
 DEPTH 0.45m WITH 4:1 SIDE SLOPES
 PROVIDED - VELOCITY 0.250 m/s QUANTITY 208 L/s
 REQUIRED (250 YR EVENT) - QUANTITY 201 L/s

PONDING AREA (100 YR EVENT)
 PONDING ELEVATION 256.650
 PONDING DEPTH 0.300m
 PONDING VOLUME 115.4cu.m

No.	REVISIONS	DATE	BY	No.	REVISIONS	DATE	BY
DESIGN	9	OCT 31/11	EMB	17	REVISE SAN AND STORM CONNECTION	JUN 11/12	JHY
DESIGN	10	NOV 08/11	JHY	18	ADDITION FOR SITE PLAN AMENDMENT	AUG 24/12	EMB
CHECKED	11	NOV 29/11	EMB				
APPROVED	12	NOV 29/11	JHY				
DATE	13	NOV 29/11	EMB				
DATE	14	DEC 07/11	EMB				
DATE	15	DEC 20/11	EMB				
DATE	16	MAY 30/12	EMB				



J.H. VINCENT SERVICES
 A DIVISION OF 549228 ONTARIO LIMITED
CIVIL ENGINEERING
 2018 HALLARD ROAD, UNIT # 11
 LONDON, ONTARIO N6H 5L9

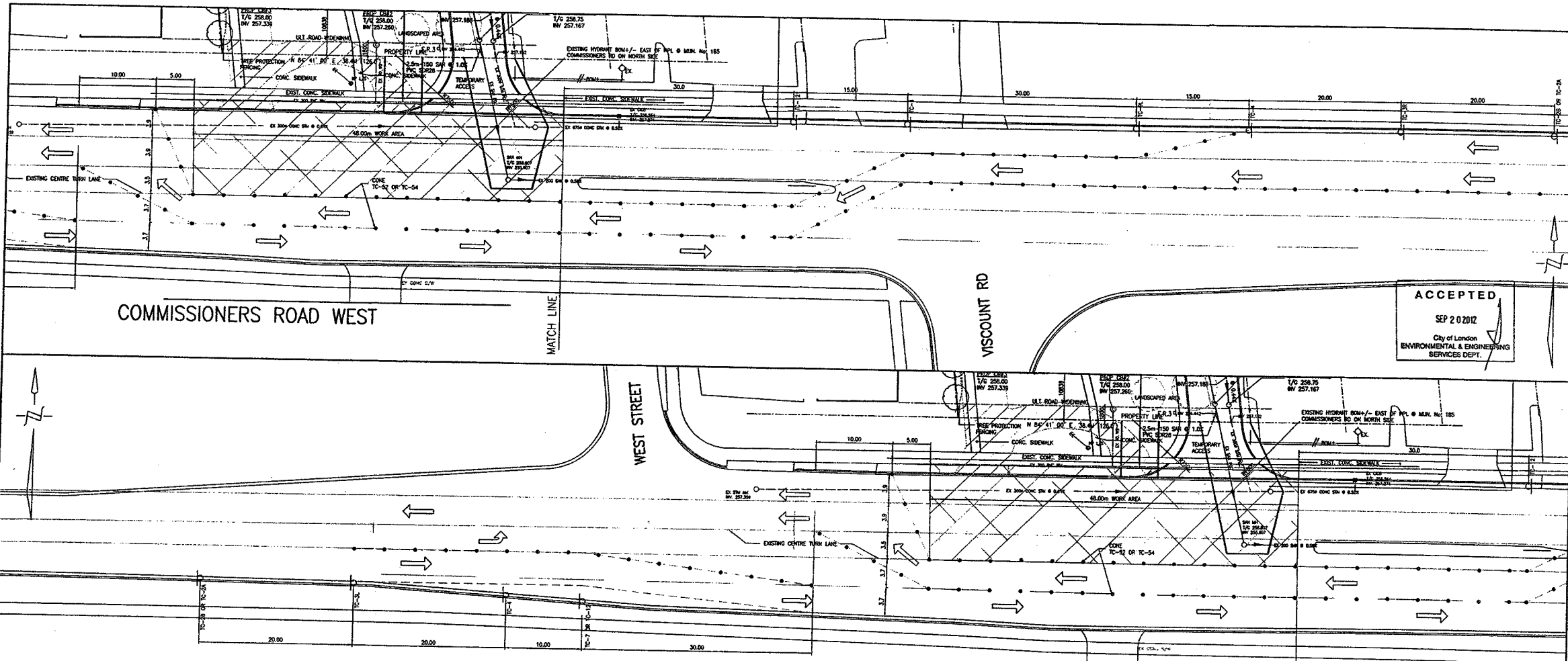


SCALE - 1 : 250
 2.5 0 5.0m

PROPOSED DRAINAGE DITCH
 SP No. 11015791
PROPOSED APARTMENT BUILDING
 205 COMMISSIONERS ROAD WEST
 LONDON, ONTARIO

PROJECT No. **7225**
 SHEET No. **SS-3**
 PLAN FILE No. **7225**

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 For Approval (Site Plan Amendment)
 For Permit
 For Tender
 For Construction



ACCEPTED
 SEP 20 2012
 City of London
 ENVIRONMENTAL & ENGINEERING
 SERVICES DEPT.

**TRAFFIC MANAGEMENT PLAN TO REMOVE EXISTING ENTRANCE AND WATERSERVICE AND CONSTRUCT NEW ENTRANCE & INSTALL NEW PDC'S
 WEST BOUND TRAFFIC LANES AND CENTRE TURNING TRAFFIC LANE CLOSED - THROUGHWAY TRAFFIC REROUTED TO SOUTH OF C/L OF COMMISSIONERS ROAD WEST**

SHORT TERM DURATION (MAXIMUM TWO DAYS) AT SPEED OF 50 KM/H (TABLE A), REFERENCE FIGURE TL-33 (MODIFIED)

THE PROPONENT OF THE TRAFFIC MANAGEMENT PLAN (TMP) IS TO AFFIRM THE CONTRACTOR'S COMPLIANCE WITH THE MINISTRY OF LABOUR (MOL) DIRECTIVES AND THE OTM BOOK IS A MINIMUM FOR THE MOL'S SITE SPECIFIC TRAFFIC CONTROL.

ALL WORK ON THE TMP SHALL BE CONDUCTED WITHIN THE MINISTRY OF LABOUR, OPSS AND THE MINISTRY OF TRANSPORTATION STANDARDS.

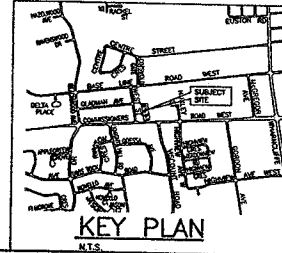
MAINTAIN ONE WESTBOUND LANE AND ONE EASTBOUND LANE FOR TRAFFIC AT ALL TIMES WHILE WORK IS UNDERGOING ON THE CITY OF LONDON ROAD ALLOWANCE.

THE CONTRACTOR IS TO MAINTAIN ALL TRAFFIC SIGNAGE THROUGHOUT THE DURATION OF THE PROJECT.

A POLICE OFFICE IS MANDATORY AT THE INTERSECTION OF COMMISSIONERS ROAD WEST AND VISCOUNT STREET TO ALERT TRAFFIC TO THE LANE CHANGES AND FOR TRAFFIC DIRECTION

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No.	REVISIONS	DATE	BY	No.	REVISIONS	DATE	BY
8	PROPOSED DRAINAGE DITCH	OCT 31/11	EMB	17	REVISE SAN AND STORM CONNECTION	JUN 11/12	JRV
9	PROP DRAINAGE DITCH UPDATED COVL	NOV 08/11	JRV	18	ADDITION FOR SITE PLAN AMENDMENT	AUG 24/12	EMB
10	EX SAN PDC NOTES	NOV 09/11	EMB				
11	UPDATES FOR DRAINAGE DITCH	NOV 24/11	JRV				
12	CON COMMENTS	DEC 07/11	EMB				
13	UPDATE SAN PDC FOR FUTURE UNITS & CON COMMENTS	DEC 20/11	EMB				
14	CON COMMENTS	JAN 11/12	EMB				
15	CON COMMENTS	MAY 30/12	EMB				
16	REVISIONS FOR ADDITIONAL H/C PKG						

J.H. VINCENT SERVICES
 A DIVISION OF 599288 ONTARIO LIMITED
CIVIL ENGINEERING
 2818 MALLARD ROAD, UNIT # 11
 LONDON, ONTARIO N6H 5L6

ENGINEER'S SEAL

SCALE - 1 : 250
 2.5 0 5.0m

TRAFFIC MANAGEMENT PLAN
 SP No. 11015791

PROPOSED APARTMENT BUILDING
 205 COMMISSIONERS ROAD WEST
 LONDON, ONTARIO

PROJECT No. **7225**

SHEET No. **TMP-1 of 1**

PLAN FILE No. **7225**

PH: 519-472-9068 FX: 519-472-4014
 D:\2012\Meas\9111\J.H. VINCENT SERVICES\2011-102 - JRV - 205 Commissioners Road West\Site Plan Amendment - August 2012\225_Site Plan Amendment_1.dwg