

# London Advisory Committee on Heritage

## Report

10th Meeting of the London Advisory Committee on Heritage  
October 10, 2018  
Committee Rooms #1 and #2

Attendance                   PRESENT: M. Whalley (Acting Chair), S. Adamsson, D. Brock,  
J. Cushing, H. Elmslie, H. Garrett, S. Gibson, J. Manness,  
and K. Waud and J. Bunn (Secretary)

ABSENT: D. Dudek and T. Jenkins

ALSO PRESENT: K. Gonyou and J. Ramsay

The meeting was called to order at 5:30 PM.

### 1. Call to Order

#### 1.1 Disclosures of Pecuniary Interest

That it BE NOTED that H. Garrett disclosed a pecuniary interest in clauses 3.5 and 5.2 of this report, having to do with a Revised Application and Public Meeting Notice with respect to a zoning by-law amendment for the properties located at 147-149 Wellington Street and 253-257 Grey Street and the property located at 536 Windermere Road, respectively, by indicating that her employer is the agent on the files.

### 2. Scheduled Items

#### 2.1 North Talbot Neighbourhood Heritage Homes

That the attached presentation from A.M. Valastro with respect to potential heritage homes in the North Talbot Neighbourhood area, BE REFERRED to the Stewardship Sub-Committee for review; it being noted that Ms. Valastro will provide her research on these properties to the Sub-Committee.

#### 2.2 Bus Rapid Transit Pausing Transit Project Assessment Process to Strengthen Heritage Strategy

That the attached Draft Terms of Reference for the Individual Cultural Heritage Evaluation Reports that will be submitted to the London Advisory Committee on Heritage (LACH) for their review, BE REFERRED to the Stewardship Sub-Committee for review; it being noted that the attached presentation and handouts from J. Ramsay, Project Director, Rapid Transit Implementation, were received; it being further noted that the Cultural Heritage Screening Report - London Bus Rapid Transit System, dated October 8, 2018, from WSP, was received and is on file in the City Clerk's Office.

### 3. Consent

#### 3.1 9th Report of the London Advisory Committee on Heritage

That it BE NOTED that the 9th Report of the London Advisory Committee on Heritage, from its meeting on September 12, 2018, was received.

3.2 Public Meeting Notice - Draft Plan of Subdivision and Zoning By-law Amendment - 3080 Bostwick Road

That it BE NOTED that the Public Meeting Notice, dated September 20, 2018, from S. Wise, Senior Planner, with respect to a Draft Plan of Subdivision and Zoning By-law Amendment for the property located at 3080 Bostwick Road, was received.

3.3 Notice of Planning Application - Draft Plan of Subdivision and Zoning By-law Amendment - 6019 Hamlyn Street

That it BE NOTED that the Notice of Planning Application, dated October 2, 2018, from N. Pasato, Senior Planner, with respect to a Draft Plan of Subdivision and Zoning By-law Amendment for the property located at 6019 Hamlyn Street, was received.

3.4 Notice of Study Completion - Adelaide Street North - Canadian Pacific Railway Grade Separation - Municipal Class Environmental Assessment Study

That it BE NOTED that the Notice of Study Completion from A. Spahiu, Transportation Design Engineer, with respect to the Adelaide Street North - Canadian Pacific Railway Grade Separation Municipal Class Environmental Assessment Study, was received.

3.5 Revised Application and Public Meeting Notice - Zoning By-law Amendment - 147-149 Wellington Street and 253-257 Grey Street

That it BE NOTED that the Revised Application and Public Meeting Notice, dated September 19, 2018, from M. Corby, Senior Planner, with respect to a Zoning By-law Amendment for the properties located at 147-149 Wellington Street and 253-257 Grey Street, was received.

**4. Sub-Committees and Working Groups**

None.

**5. Items for Discussion**

5.1 Heritage Alteration Permit Application by G. Anastasiadis re 550 Dufferin Avenue - East Woodfield Heritage Conservation District

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, the application under Section 42 of the *Ontario Heritage Act* to construct a new, detached garage on the property located at 550 Dufferin Avenue, within the East Woodfield Heritage Conservation District, BE PERMITTED as submitted in the drawings appended to the staff report dated October 10, 2018, with the following terms and conditions:

- only one driveway be permitted;
- the existing driveway and curb cut for the property off of Dufferin Avenue be closed and the driveway be removed and the area be restored with sod/grass; and,
- the Heritage Alteration Permit be displayed in a location visible from the street until the work is completed;

it being noted that the attached presentation from K. Gonyou, Heritage Planner, with respect to this matter, was received.

5.2 Property at 536 Windermere Road

That the communication dated September 16, 2018, from E. Mara, with respect to the property located at 536 Windermere Road, BE REFERRED to the Stewardship Sub-Committee for review; it being noted that the Sub-Committee will also consider the property located at 542 Windermere Road with respect to this matter.

**6. Deferred Matters/Additional Business**

6.1 (ADDED) Heritage Planners' Report

That it BE NOTED that the attached submission from K. Gonyou, Heritage Planner, with respect to various updates and events, was received.

**7. Confidential**

7.1 Personal Matters/Identifiable Individual

That the London Advisory Committee on Heritage convene in closed session with respect to the following matter:

7.1. Personal Matters/Identifiable Individual

A personal matter pertaining to identifiable individuals, including municipal employees, with respect to the 2019 Mayor's New Year's Honour List.

The London Advisory Committee on Heritage convened in camera from 7:27 PM to 7:37 PM with respect to the above-noted matter.

**8. Adjournment**

The meeting adjourned at 7:37 PM.

**Properties of North Talbot**  
**concerns of neglect**

176 Piccadilly (east north corner of St. George)



183 Ann Street ( recently purchased by York Development for redevelopment- next to old Carling Brewery site)



179 Ann Street ( recently purchased by York Development for re-development – next to old Carling Brewery site)



Carling Brewery – original site



140 and 142 Mill Street - designated



Open vents



139 Mill St. Most addresses on Mill St. are listed on heritage inventory list.



116 Mill St. – east north corner of Talbot St.  
Most addresses on Mill St. are listed on the heritage inventory list.



557 Ridout Street – mid century  
site to be re-developed



555 Ridout – mid century  
site to be re-developed



565 Ridout St.  
built for Talbot Macbeth 1910. Listed on heritage inventory list.



130 Kent Street. Owned by York Development ?  
Frat House. Listed on heritage inventory list.



136 Kent St. Owned by York Development?  
Frat House. Listed on heritage inventory list



149 Central Ave.  
The house was built 1874. In the 1875 City Directory, Thomas Haskett, painter is  
living there. This property along with 155, 157 and 145 are being sold as one block  
for re-development for 2.2 million dollars. Listed on heritage inventory list.



155 and 157 Central Ave.



145 Central Ave. Listed on heritage inventory list.



135 Central – noted for heritage features by Don Menard. Listed in heritage inventory list.



179 John St. Listed on heritage inventory list





## **DRAFT Terms of Reference:**

### **Individual Cultural Heritage Evaluation Report**

A stand-alone Cultural Heritage Evaluation Report will be prepared by a qualified heritage consultant as required by the recommendations of the Cultural Heritage Assessment Report.

The Cultural Heritage Evaluation Report will include:

- an executive summary, describing a summary of the outcome of the heritage evaluation;
- an introduction providing context for the report and providing a brief overview of how and why the research was undertaken;
- a general description of the history of the immediate context, considering the unique setting of the property, which may consist of a village, neighborhood, commercial district, and/or street the property is located within;
- a land use history of the property parcel describing key transfers of land and milestones, informed by Land Registry records to the Crown and additional archival research into prominent owners or tenants, including but not limited to the use of tax assessments or City Directories, if identified;
- a description of the heritage character of the immediate landscape context, including significant views and/or vistas;
- a description of the exterior of a built heritage resource visible from the public right-of-way for a building, and if an engineering work, a description of its structural design and materials;
- representative photographs of the exterior of a building or structure, character-defining architectural details taken during a site visit from the public right-of-way, or, of a structure, representative photographs of the elevations and structural details of a bridge or engineering work;
- a comparative analysis, using buildings of a similar age, style, typology, context and/or history, informed by a search of the City of London Heritage Register;
- a qualified statement about integrity, including observations from the public right-of-way, description of limitations, and recommendations for future work by a qualified heritage engineer, building scientist, or architect;
- a cultural heritage resource evaluation under O. Reg. 9/06, guided by the Ontario Heritage Toolkit (2006) and the Ministry of Tourism, Culture and Sport's Standards and Guidelines for the Conservation of Provincial Heritage Properties (2014);
- a statement of cultural heritage value or interest;
- a description of the heritage attributes;
- historical mapping, photographs of the building if available;
- a location plan;
- a description of consultation undertaken;
- recommendations for future work; and
- sources cited.

## **Group Cultural Heritage Evaluation Report**

A group Cultural Heritage Evaluation Report will be prepared by a qualified heritage consultant as required by the recommendations of the Cultural Heritage Assessment Report for contiguous properties which share a geography, style, age, use and typology.

A Grouped Cultural Heritage Evaluation Report will include:

- an executive summary, describing a summary of the outcome of the heritage evaluation(s);
- an introduction providing context for the report and providing a brief overview of how and why the research was undertaken;
- a shared general description of the history of the of the immediate context, considering the unique setting of the property, which may consist of the village, neighborhood, commercial district, and/or street the property is located within;
- a shared description of the heritage character of the immediate landscape context, including significant views and/or vistas;
- a land use history of the property parcel describing key transfers of land and milestones, informed by Land Registry records to the Crown and additional archival research into prominent owners or tenants, including but not limited to the use of tax assessments or City Directories, if identified;
- a description of the exterior of each built heritage resource visible from the public right-of-way for a building, and if an engineering work, a description of its structural design and materials;
- representative photographs of the exterior of each built heritage resource, including architectural details, taken during a site visit from the public right-of-way, or, of a structure, representative photographs of the elevations and structural details of a bridge or engineering work;
- a comparative analysis for each built heritage resource, using buildings or structures of a similar age, style, typology, context and/or history, informed by a search of the City of London Heritage Register;
- a qualified statement about integrity for each built heritage resource, including observations from the public right-of-way, description of limitations, and recommendations for future work by a qualified heritage engineer, building scientist, or architect;
- a cultural heritage resource evaluation under O. Reg. 9/06 for each property, guided by the Ontario Heritage Toolkit (2006) and the Ministry of Tourism, Culture and Sport's Standards and Guidelines for the Conservation of Provincial Heritage Properties (2014);
- a statement of cultural heritage value or interest for each property that meets O. Reg. 9/06;
- a description of the heritage attributes for each property that meets O. Reg. 9/06;
- historical mapping, photographs of the building if available;
- a location plan;
- a description of consultation undertaken; and
- recommendations for future work; and
- sources cited.



## AGENDA

- Cultural heritage work to date
- Expanded Cultural Heritage Screening Report (CHSR)
- Potential direct impacts to buildings
- Cultural Heritage Evaluation Report (CHER) terms of reference
- Next steps
- LACH role



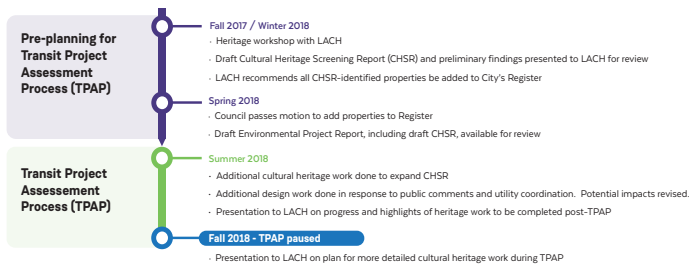
## EXPANDED CULTURAL HERITAGE SCREENING REPORT (CHSR)

### DRAFT CHSR (APRIL 2018)

### EXPANDED CHSR (OCTOBER 2018)

- Screened along BRT corridors for potential cultural heritage value/interest
- Provided a historical and policy context, existing conditions and mapping
- Made recommendations for properties requiring further heritage studies

- Included LACH-identified properties and identified properties that don't require further study
- Identified properties added to the City's Inventory of Heritage Resources this year
- Evaluated potential impacts and identified mitigation strategies
- Assessed changes to impacts due to evolving design in response to consultation
- Updated mapping and photo documentation
- Updated recommendations for properties requiring further heritage studies

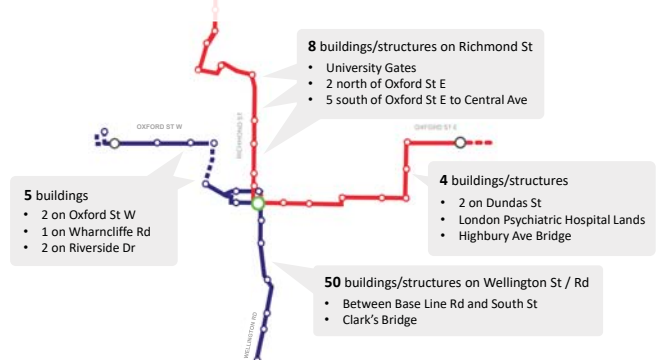


## EXAMPLE

NAME	MUNICIPAL ADDRESS	PAST IV. V. OR LAT/LS	IMAGE	DESCRIPTION	IMPACT DETAILS	LEVEL OF IMPACT	MITIGATION RECOMMENDATIONS
1001	1001	1001		Highly significant historic building with architectural details including a prominent chimney and decorative masonry.	Proposed BRT station and platform would be located directly adjacent to the property, potentially obscuring the building's facade and architectural features.	High	Proposed BRT station and platform would be located directly adjacent to the property, potentially obscuring the building's facade and architectural features. Mitigation strategies include retaining the building's facade and architectural details, and providing a clear view of the building from the BRT station and platform.
1002	1002	1002		Historic building with architectural details including a prominent chimney and decorative masonry.	Proposed BRT station and platform would be located directly adjacent to the property, potentially obscuring the building's facade and architectural features.	High	Proposed BRT station and platform would be located directly adjacent to the property, potentially obscuring the building's facade and architectural features. Mitigation strategies include retaining the building's facade and architectural details, and providing a clear view of the building from the BRT station and platform.
1003	1003	1003		Historic building with architectural details including a prominent chimney and decorative masonry.	Proposed BRT station and platform would be located directly adjacent to the property, potentially obscuring the building's facade and architectural features.	High	Proposed BRT station and platform would be located directly adjacent to the property, potentially obscuring the building's facade and architectural features. Mitigation strategies include retaining the building's facade and architectural details, and providing a clear view of the building from the BRT station and platform.



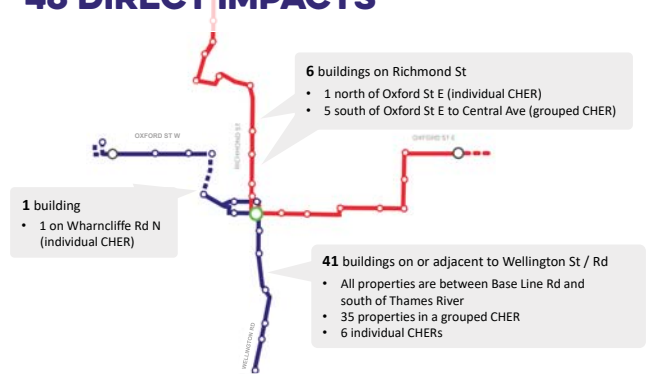
## 67 POTENTIAL DIRECT IMPACTS



## 67 REDUCED TO 48



## 48 DIRECT IMPACTS



## TERMS OF REFERENCE

### INDIVIDUAL CHER

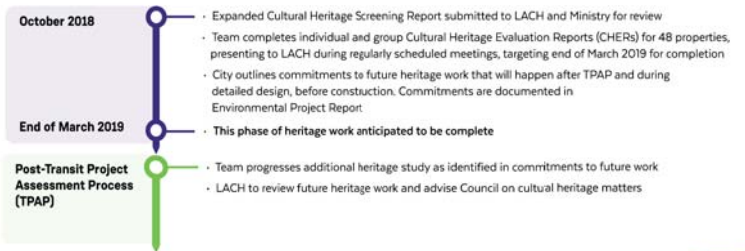
A **stand-alone** Cultural Heritage Evaluation Report (CHER) will be prepared by a qualified heritage consultant as required by the recommendations of the Cultural Heritage Screening Report (CHSR).

### GROUPED CHER

A **grouped** Cultural Heritage Evaluation Report (CHER) will be prepared by a qualified heritage consultant as required by the recommendations of the Cultural Heritage Screening Report (CHSR) for contiguous properties which share a geography, style, age, use and typology.



## NEXT STEPS



## LACH ROLE

### FOR TPAP

- Review of updated Cultural Heritage Screening Report (CHSR)
- We request any insights LACH has to assist in determining heritage value and attributes of the 48 properties
- Provide team with historical mapping, photographs, and other resources if available
- Review cultural heritage reports as they are brought forward to LACH



### AFTER TPAP

- Review the methodology for further CHER and Heritage Impact Assessment (HIA)
- Review the prioritization of the heritage work along the BRT corridors
- Continue to advise Council on cultural heritage resources






## QUESTIONS?



NUMBER	MUNICIPAL ADDRESS	PART IV, V, OR LISTED	IMAGE	HISTORICAL, PHYSICAL AND CONTEXTUAL ATTRIBUTES	IMPACT DETAILS	LEVEL OF IMPACT	MITIGATION RECOMMENDATIONS
<b>Part IV Properties</b>							
CHR-520	850 Highbury Ave N	Part IV		<p>By-Law L.S.P.-3321-208            Historical: Built 1870, London Psychiatric Hospital            Architectural: Victorian three storey yellow brick building with a hip roof; two storey recreational hall with pediment gables, plain frieze and moulding, over broad pilasters, semi-circular headed brick paneled 40 pane windows, double door centre entrance way; Gothic revival chapel; White brick, slate roof horse stable, the last of the three original buildings; tree-lined avenue with a centre walkway.            Contextual: Within a mixed residential/commercial area along a historically surveyed road.</p>	<p>Direct impacts to a non-heritage building on the property are anticipated including Up to 12.6m along site frontage/lawn proposed, including impacting building, to accommodate roadway widening, sidewalk, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening.</p> <p>Direct impacts to the ministry building are anticipated, however, no direct impacts are anticipated to the heritage attributes identified in the designation by-law. [An HIA should be completed early during detailed design which considers the proposed impacts, including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.]</p>
<b>Part V – Blackfriars-Petersville HCD</b>							
CHR-805	75 Riverside Dr.	Part V Blackfriars-Petersville HCD		<p>Historical: Built circa 1892            Architectural: 1 storey frame residential home with vinyl siding. Side Hall plan frame cottage with hipped roof and centre dormer.            Contextual: The property is within a residential area within Blackfriars/Petersville HCD and is considered a contributing resource.</p>	<p>Direct impacts to the building are anticipated including Up to 7.0m along site frontage/lawn proposed, including impacting building, to accommodate sidewalk and utility buffer. Design alternatives have been considered, and direct impacts may be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening for the bus stop.</p> <p>Should it be determined that avoidance is not possible through design, and as this property has already been evaluated as a part of a Part V HCD Study, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>





NUMBER	MUNICIPAL ADDRESS	PART IV, V, OR LISTED	IMAGE	HISTORICAL, PHYSICAL AND CONTEXTUAL ATTRIBUTES	IMPACT DETAILS	LEVEL OF IMPACT	MITIGATION RECOMMENDATIONS
CHR-806	77 Riverside Dr.	Part V Blackfriars-Petersville HCD		<p>Historical: Built circa 1890                      Architectural: Single storey, hipped roof frame residence. Side Hall plan cottage.                      Contextual: The property is within a residential area within Blackfriars/Petersville HCD and is considered a contributing resource.</p>	<p>Direct impacts to the building are anticipated including Up to 7.0m along site frontage/lawn proposed, including impacting building, to accommodate BRT bus stop, sidewalk and utility buffer. Design alternatives have been considered, and direct impacts may be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening for the bus stop.</p> <p>Should it be determined that avoidance is not possible through design, and as this property has already been evaluated as a part of a Part V HCD Study, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
Wellington Road/Street							
CHR-138	72 Wellington Street	Listed		<p>Historical: Built circa 1870-1900                      Architectural: 2 ½ storey buff brick Italianate or Queen Anne influenced residence                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.3m of site frontage/lawn/driveway and directly impacting building proposed to accommodate multi-use path, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



NUMBER	MUNICIPAL ADDRESS	PART IV, V, OR LISTED	IMAGE	HISTORICAL, PHYSICAL AND CONTEXTUAL ATTRIBUTES	IMPACT DETAILS	LEVEL OF IMPACT	MITIGATION RECOMMENDATIONS
CHR-137	1 Kennon Pl (Adjacent to Wellington Road)	Listed		Historical: Built circa 1918 Architectural: 1 ½ storey red brick Dutch Revival residence. Gambrel roof. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Entire property, including building, proposed to accommodate widening of roadway, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-139	98 Wellington Rd	Listed		Historical: Built circa 1949 Architectural: 1 ½ storey post war bungalow. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 8.3m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, multi-use path, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-140	30 Wellington Rd	Listed		Historical: Built circa 1906 Architectural: 1 ½ storey cast concrete cladding structure bungalow. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 12.0m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.



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CHR-141	32 Wellington Rd	Listed		Historical: Built circa 1908 Architectural: 1 ½ storey brick influenced bungalow. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 11.0m of site frontage/lawn/driveway, and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-142	78 Wellington Rd	Listed		Historical: Built circa 1948 Architectural: 1 storey residence. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 8.5m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.




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CHR-143	26 Wellington Rd	Listed		<p>Historical: Built circa 1908                      Architectural: 1 ½ storey cast concrete bungalow.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 11.5m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-144	74 Wellington Rd	Listed		<p>Historical: Built circa 1900                      Architectural: 1 storey Arts and Crafts influenced frame residence                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 8.4m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>




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CHR-145	28 Wellington Rd	Listed		<p>Historical: Built circa 1906                      Architectural: 1 storey cast concrete residence.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 11.8m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-146	90 Wellington Rd	Listed		<p>Historical: Built circa 1945                      Architectural: 2 storey Tudor Revival influenced red brick.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 8.2m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>






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CHR-147	88 Wellington Rd	Listed		Historical: Built circa 1910 Architectural: 1 ½ storey buff brick Queen Anne Revival bungalow. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 8.2m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-148	92 Wellington Rd	Listed		Historical: Built circa 1949 Architectural: 1 storey post-war frame residence. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 8.3m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.	Medium-High	Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-149	34 Wellington Rd	Listed		Historical: Built circa 1906 Architectural: 1 ½ storey residence. Parged, painted brick. Queen Anne revival. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 10.5m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.




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CHR-150	142 Wellington Rd	Listed		Historical: Built circa 1931 Architectural: 1 1/2 storey red brick bungalow residence. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 18.5m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening/realignment, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-151	138 Wellington Rd	Listed		Historical: Built circa 1930 Architectural: 1 1/2 storey Arts and Crafts brick and stucco bungalow residence. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 15.1m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening/realignment, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-152	134 Wellington Rd	Listed		Historical: Built circa 1871 Architectural: 1 storey frame residence. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 12.1m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening/realignment, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.






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CHR-153	120 Wellington Rd	Listed		<p>Historical: Built circa 1945-1950                      Architectural: 2 storey yellow brick main street commercial building.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 8.9m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-154	122 Wellington Rd	Listed		<p>Historical: Built circa 1945-1960                      Architectural: 2 storey main street commercial building                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx.9.1m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-155	126 Wellington Rd	Listed		<p>Historical: Built circa 1945-1960                      Architectural: 2 storey main street commercial building. Cladding applied in 2015.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx.9.1m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



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CHR-156	140 Wellington Rd	Listed		Historical: Built circa 1929 Architectural: 1 ½ storey Arts and Crafts brick and stucco residence Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 16.8m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening/realignment, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-157	136 Wellington Rd	Listed		Historical: Built circa 1931 Architectural: 1 storey Arts and Crafts brick residence. Bungalow. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 13.5m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening/realignment, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-158	118 Wellington Rd	Listed		Historical: Built circa 1900-1940 Architectural: 1 storey Contextual: Located in a mixed residential and commercial area along a historically surveyed road.	Direct impacts to the building are anticipated including Approx. 8.6m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.



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CHR-159	166 Wellington Rd	Listed		Historical: Built circa 1948 Architectural: 1 storey Vernacular stucco-clad brick bungalow with red painted gable. Contextual: Located in a mixed residential and commercial area along a historically surveyed road.	Direct impacts to the building are anticipated including Approx. 12.0m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-182	247 Wellington Rd	Listed		Historical: Built circa 1949 Architectural: 1 1/2 storey side gabled, post-war residential home. Contextual: Located in a mixed residential and commercial area along a historically surveyed road.	Direct impacts to the building are anticipated including Approx. 12.0m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-183	243 Wellington Rd, 55 Foxbar, 49 Foxbar	Listed		Historical: Built in 1941 for the original St. Andrew Memorial Anglican Church, now serves as a hall. Architectural: Single storey church structure, which has been converted to use as a hall. Contextual: Located in a mixed residential and commercial area along a historically surveyed road.	Direct impacts to the building are anticipated including Approx. 10.3m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.



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CHR-184	255 Wellington Rd	Listed		<p>Historical: Built circa 1950 (left) and 1925 (right)                      Architectural: Single storey cottage residence with attached commercial structure. Vernacular commercial (left), Tudor Revival (right).                      Contextual: Located in a mixed residential and commercial area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 12.3m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-185	261 Wellington Rd	Listed		<p>Historical: Built circa 1951                      Architectural: Two storey red brick residence. Vernacular.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 10.2m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-186	263 Wellington Rd	Listed		<p>Historical: Built circa 1946                      Architectural: 1 ½ storey red brick residential home.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 9.8m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>





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CHR-187	251 Wellington Rd	Listed		<p>Historical: Built circa 1938                      Architectural: 1 ½ storey frame residential home. Bungalow.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 10.5m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-188	249 Wellington Rd	Listed		<p>Historical: Built circa 1948                      Architectural: 1 storey frame residential home. Bungalow.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 12.3m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-189	267 Wellington Rd	Listed		<p>Historical: Built circa 1945                      Architectural: 1 ½ storey red brick residential home with Tudor Revival influences.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 11.0m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



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CHR-190	269 Wellington Rd	Listed		<p>Historical: Built circa 1944                      Architectural: 1 ½ storey red brick residential home with Vernacular influences.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 11.5m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-191	275 Wellington Rd	Listed		<p>Historical: Built circa 1939                      Architectural: 1 storey frame residential home.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 13.4m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-192	273 Wellington Rd	Listed		<p>Historical: Built circa 1943                      Architectural: 1 ½ storey red brick residential home with Vernacular influences.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 13.7m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>




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CHR-193	271 Wellington Rd	Listed		<p>Historical: Built circa 1944                      Architectural: 1 ½ storey red brick Vernacular residential home.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 14.8m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-194	265 Wellington Rd	Listed		<p>Historical: Built circa 1945                      Architectural: 1 ½ storey red brick residential home with Tudor Revival influences.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 10.4m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



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CHR-195	289 Wellington Rd	Listed		<p>Historical: Built circa 1937                      Architectural: 1 ½ storey red brick residential home with Tudor Revival influences.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 13.6m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-196	287 Wellington Rd	Listed		<p>Historical: Built circa 1943                      Architectural: 1 ½ storey red brick residential home with Vernacular/bungalow influences.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 13.5m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



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CHR-197	285 Wellington Rd	Listed		<p>Historical: Built circa 1943                      Architectural: 1 ½ storey frame residential home.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 13.8m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-199	301 Wellington Rd	Listed		<p>Historical: Built circa 1934                      Architectural: 2 storey red brick residential home with Tudor Revival influences, which has been converted to commercial use.                      Contextual: Located in a mixed commercial and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 1.8m of site frontage/driveway/pavement and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-200	297 Wellington Rd	Listed		<p>Historical: Built circa 1928                      Architectural: 1 ½ storey red brick residential home. Bungalow.                      Contextual: Located in a mixed commercial residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 9.0m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>





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CHR-207	333 Wellington Rd	Listed		<p>Historical: Built circa 1910 - 1940                      Architectural: 1 ½ storey red brick residential home with Arts and Crafts and/or Edwardian style influences.                      Contextual: Located in a mixed commercial and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 5.7m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-208	331 Wellington Rd	Listed		<p>Historical: Built circa 1930                      Architectural: 1 ½ storey red brick residential home. Bungalow.                      Contextual: Located in a mixed commercial and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 5.7m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-210	327 Wellington Rd	Listed		<p>Historical: Built circa 1935                      Architectural: 1 ½ storey brick residential home. Bungalow.                      Contextual: Located in a mixed commercial and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.7m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



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CHR-383	174 Wellington Rd	Listed		<p>Historical: Built circa 1952                      Architectural: 1 storey ranch style Mid-Century Modern bungalow.                      Contextual: Located in a residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 12.4m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-505	16 Wellington Rd	Listed		<p>Historical: Built circa 1935                      Architectural: 1 storey painted brick institutional or industrial building. Dobbyn painting. Art Moderne.                      Contextual: Located in a mixed use and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Up to 13.2m along site frontage/lawn/retaining wall proposed, including impacting building, to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-544	220 Wellington Road	Potential Heritage Property		<p>Historical: Built circa 1922-1945                      Architectural: 2 storey frame commercial building                      Contextual: Located in a mixed use institutional, commercial and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Up to 8.3m along site frontage/lawn proposed, including impacting building, to accommodate roadway widening/realignment, sidewalk, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>






NUMBER	MUNICIPAL ADDRESS	PART IV, V, OR LISTED	IMAGE	HISTORICAL, PHYSICAL AND CONTEXTUAL ATTRIBUTES	IMPACT DETAILS	LEVEL OF IMPACT	MITIGATION RECOMMENDATIONS
Richmond Street							
CHR-24	1110 Richmond St	Listed		<p>Historical: Built circa 1925</p> <p>Architectural: Rectangular rusticated brick structure with concrete foundations, and “half-timbered” third floor. Tudor Revival.</p> <p>Contextual: The property is located within a generally commercial area.</p> <p>LPL Plaque: Toll gates on the Proof line Road.</p>	<p>Direct impacts to the building are anticipated including Approx. 5.5m of property proposed, including building, lawn frontage/driveway, to accommodate minor road widening, boulevard, sidewalk, and above-grade utility pole relocation. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-31	744 Richmond St	Listed		<p>Historical: Built circa 1900-1940.</p> <p>Architectural: Two-storey brick commercial building.</p> <p>Contextual: The property is located within a generally commercial area.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.0m of property proposed, including building, lawn frontage/driveway, to accommodate minor road widening, sidewalk, and utility buffer allowance. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



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CHR-35	746 Richmond St	Listed		<p>Historical: Built circa 1910-1940.</p> <p>Architectural: Two-storey brick commercial building with angel-stone cladding on the first floor.</p> <p>Contextual: The property is located within a generally commercial area.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.0m of property proposed, including building, lawn frontage/driveway, to accommodate minor road widening, sidewalk, and utility buffer allowance. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-43	742 Richmond St	Listed		<p>Historical: Built circa 1880-1910</p> <p>Architectural: Two-storey, brick commercial building with modified entry.</p> <p>Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.0m of property proposed, including building, lawn frontage/driveway, to accommodate minor road widening, sidewalk, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>

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CHR-44	740 Richmond St	Listed		<p>Historical: Built circa 1950-1980.</p> <p>Architectural: Two-storey, brick commercial building with no setback from public right-of-way.</p> <p>Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.0m of property proposed, including building, lawn frontage/driveway, to accommodate minor road widening, sidewalk, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-45	736 Richmond St	Listed		<p>Historical: Built circa 1880-1920.</p> <p>Architectural: Two-storey, brick commercial building.</p> <p>Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.0m of property proposed, including building, lawn frontage/driveway, to accommodate sidewalk, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



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CHR-62	1111 Richmond St	Listed		<p>Historical: Built circa 1900-1940</p> <p>Architectural: One-and-a-half-storey, brick residential building.</p> <p>Contextual: The property is located within a largely residential area.</p>	Direct impacts to the building are anticipated including Approx. 7.7m of property proposed, including building, lawn frontage/driveway, to accommodate roadway widening, sidewalk, and utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.	Medium-High	Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
<b>Bridges and Other Structures</b>							
CHR-214	Clark's Bridge	Listed		Historic bridge crossing, built greater than 40 years ago.	Structure to be widened to accommodate road widening for additional BRT lanes, and multi-use path. In detail design, refinements and alterations can be made, resulting in the full or partial retention of the subject structure.	Medium-High	Widening and/or a new parallel structure is proposed. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-216	Highbury Avenue North Overpass	Listed		Overpass structure, built greater than 40 years ago.	Direct impacts to the structure are anticipated including Approx. 12m widening to the west to accommodate widened roadway. Approx. 1.5m widening to the east to accommodate sidewalk. In detail design, refinements and alterations can be made, resulting in the full or partial retention of the subject structure.	Medium-High	Widening and/or a new parallel structure is proposed. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.



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CHR-473	390 Oxford Street W	Listed		Oakland Cemetery, also known as the Scotch Cemetery and Proudfoot Cemetery, was originally established in 1855	Culvert to be relocated to the east of existing culvert within same property. Modifications to be made through Mud Creek Subwatershed Class Environmental Assessment.	Medium-Low	This property has been assessed as a part of other heritage studies, the culvert is not a heritage attribute. No further heritage work is recommended.
CHR-832	Gates at Richmond and University	Listed		Historical: Greater than 40 years old. Architectural: Limestone pillar gates with Western emblems. Contextual: Located on Western University campus.	Widening of roadway will impact existing University Gates, requiring relocation of the gates. In detail design, relocation plans will be developed in consultation with Western University.	Medium-High	Direct impacts to the gates are anticipated, and relocation is a proposed alternative. If a CHER confirms CHVI, an HIA should be completed which considers the proposed impacts, as well as all design alternatives, and evaluates mitigation options including, but not limited to retention, relocation, documentation, salvage, and/or commemoration.
<b>Various Listed and PHP Demolitions and Alterations</b>							
CHR-72	127 Oxford St W	Listed		Historical: Built circa 1919 Architectural: 1 ½ storey buff brick Queen Anne Cottage. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 4.3m of property proposed, including building, lawn frontage/driveway, to accommodate sidewalk, above-grade utility pole relocation, and utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.	Medium-High	Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.

NUMBER	MUNICIPAL ADDRESS	PART IV, V, OR LISTED	IMAGE	HISTORICAL, PHYSICAL AND CONTEXTUAL ATTRIBUTES	IMPACT DETAILS	LEVEL OF IMPACT	MITIGATION RECOMMENDATIONS
CHR-106	44 Wharncliffe Rd N	Listed		<p>Historical: Built circa 1951</p> <p>Architectural: 1 ½ storey red brick with large dormers in roofline.</p> <p>Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 8.0m of property proposed, including building, lawn frontage/driveway, to accommodate sidewalk, BRT bus stop, above-grade utility pole relocation, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-124	1033 Dundas St	Listed		<p>Historical: Built circa 1860-1890</p> <p>Architectural: 1 ½ storey painted brick Victorian style home with Queen Anne style influences.</p> <p>Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 6.6m of property proposed, including building, lawn frontage/driveway, to accommodate roadway widening, sidewalk, above-grade utility pole relocation, and utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-478	100 Kellogg Lane	Listed (May soon be designated.)		<p>Historical: Built circa 1912, former Kellogg Factory. The Kellogg plant opened in London in 1913 and closed in December 2014. The Kellogg's plant began as the Bottle Creek Toasted Corn Flake Company (a facility that owned the rights to produce Kellogg's Toasted Corn Flakes that was disputed in Covent the Canadian market). Now known as "The Factory" and indoor fun park and will be the location of the London Children's Museum</p> <p>Architectural: 2 storey red brick commercial building</p> <p>Contextual: Located in a mixed use industrial, commercial and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Up to 1.6m along site frontage/lawn impacting building addition proposed to accommodate roadway widening, sidewalk, and utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting the addition, however, the addition has been identified in previous heritage reports as not being a heritage attribute.</p>	Medium-High	<p>Partial demolition of an addition is proposed. HIA is recommended to be completed following TPAP to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



NUMBER	MUNICIPAL ADDRESS	PART IV, V, OR LISTED	IMAGE	HISTORICAL, PHYSICAL AND CONTEXTUAL ATTRIBUTES	IMPACT DETAILS	LEVEL OF IMPACT	MITIGATION RECOMMENDATIONS
CHR-542	19 Raywood Ave	Potential Heritage Property		<p>Historical: Built circa 1940</p> <p>Architectural: 1 ½ storey red brick building, with bungalow style influences</p> <p>Contextual: Located in a mixed use and residential area.</p>	<p>Direct impacts to the building are anticipated including Up to 9.3m along site frontage/lawn proposed, including impacting building, to accommodate roadway widening/realignment, sidewalk, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-543	21 Raywood Ave	Potential Heritage Property		<p>Historical: Built circa 1938</p> <p>Architectural: 1 ½ storey red brick building, with bungalow style influences.</p> <p>Contextual: Located in a mixed use and residential area.</p>	<p>Direct impacts to the shed are anticipated including Approx. 100m2 of rear site proposed, impacting lawn and shed, to accommodate roadway widening/realignment, sidewalk, and utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting shed.</p>	Medium-High	<p>Direct impacts to the shed can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>

# HERITAGE REVIEW STRATEGY FOR TRANSIT PROJECT ASSESSMENT PROCESS

On October 1, 2018, London’s BRT project paused its formal Transit Project Assessment Process (TPAP) to provide more comprehensive information about potential cultural heritage impacts. The team had identified 67 buildings/structures that may or may not have cultural heritage value or interest that could be directly impacted by the construction of BRT.

Since then, the team has made design refinements to potentially avoid impacting 11 of the identified buildings. The team also confirmed cultural heritage studies are currently ongoing, or have already been completed, for five buildings/structures that may be impacted by the project. Further, impacts are limited to relocation or widening for three structures. As a result, the number of buildings requiring further evaluation is now **48**.

Among those, some buildings will be included in group Cultural Heritage Evaluation Reports (CHER) and others will have individual CHERs completed. Please see below for a list of all 67 buildings/structures identified, those that have been ruled out, and plans for the **48 buildings**.

PROPERTY	STATUS	NEXT STEPS
100 Kellogg Lane	Previous studies have documented heritage value	No further evaluation required in TPAP
850 Highbury Ave N	Previous studies have documented heritage value	No further evaluation required in TPAP
1033 Dundas St	Design refinements can avoid impact to building	No further evaluation required in TPAP
Highbury Ave Bridge	Bridge to be widened, demolition not required	No further evaluation required in TPAP
118 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
120 Wellington Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
122 Wellington Rd	Requires further evaluation in TPAP	Individual CHER required
126 Wellington Rd	Requires further evaluation in TPAP	Individual CHER required
134 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
136 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
138 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
140 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
142 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
16 Wellington Rd	Requires further evaluation in TPAP	Individual CHER required
166 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
174 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
220 Wellington Rd	Requires further evaluation in TPAP	Individual CHER required
247 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
249 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
251 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
255 Wellington Rd	Requires further evaluation in TPAP	Individual CHER required
26 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
261 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
263 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
265 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
267 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
269 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
49 Foxbar Rd, 55 Foxbar Rd, 243 Wellington Rd	Requires further evaluation in TPAP	Individual CHER required
271 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
273 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
275 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
28 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
285 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
287 Wellington Rd	Requires further evaluation in TPAP	Group CHER required

PROPERTY	STATUS	NEXT STEPS
289 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
297 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
30 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
301 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
32 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
327 Wellington Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
331 Wellington Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
333 Wellington Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
34 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
74 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
78 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
88 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
90 Wellington Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
92 Wellington Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
98 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
19 Raywood Rd	Requires further evaluation in TPAP	Group CHER required
21 Raywood Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
1 Kennon Pl	Requires further evaluation in TPAP	Group CHER required
72 Wellington St	Design refinements can avoid impact to building	No further evaluation required in TPAP
Clark's Bridge	Bridge to be widened, no demolition required	No further evaluation required in TPAP
1111 Richmond St	Design refinements can avoid impact to building	No further evaluation required in TPAP
1110 Richmond St	Requires further evaluation in TPAP	Individual CHER required
746 Richmond St	Requires further evaluation in TPAP	Group CHER required
744 Richmond St	Requires further evaluation in TPAP	Group CHER required
742 Richmond St	Requires further evaluation in TPAP	Group CHER required
740 Richmond St	Requires further evaluation in TPAP	Group CHER required
736 Richmond St	Requires further evaluation in TPAP	Group CHER required
University Gates	Relocation proposed, demolition not required	No further evaluation required in TPAP
127 Oxford St W	Design refinements can avoid impact to building	No further evaluation required in TPAP
390 Oxford St W	Previous studies have documented heritage value	No further evaluation required in TPAP
44 Wharnccliffe Rd N	Requires further evaluation in TPAP	Individual CHER required
75 Riverside Dr	Previous studies have documented heritage value	No further evaluation required in TPAP
77 Riverside Dr	Previous studies have documented heritage value	No further evaluation required in TPAP





# Heritage Alteration Permit 550 Dufferin Avenue East Woodfield HCD

London Advisory Committee on Heritage  
October 10, 2018

london.ca



## 550 Dufferin Avenue

- Earlier building at 500 William Street demolished before 1912
- Built 1948
- Tudor Revival style
- Historically associated with Silverwood family, Peterson family



East Woodfield Heritage Conservation District Study (1992)



## Aerial View



## William Street Frontage

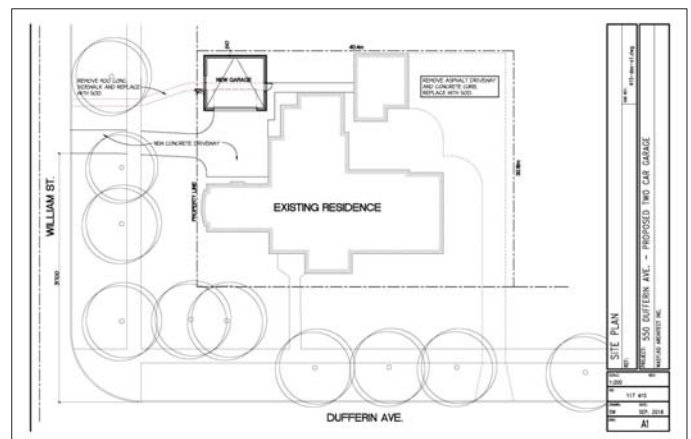


## Heritage Alteration Permit

- New, detached garage
- ~2' from north property line
- Interior dimensions 18' by 21' (23' by 26' exterior)
- Flat roof
- Brick and stone cladding
- Two wood double hung windows
- Metal garage door
- New driveway off of William Street

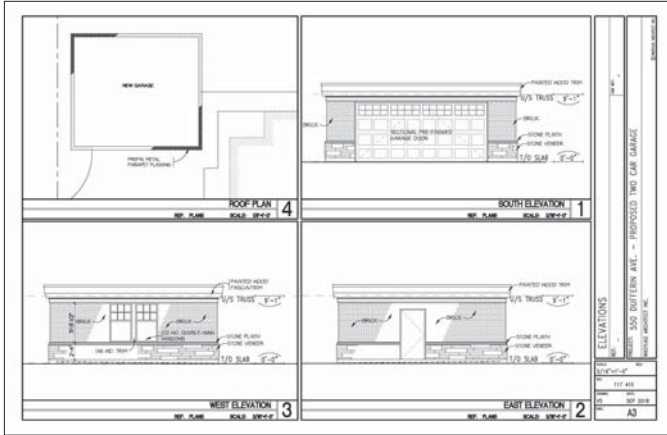


## Site Plan

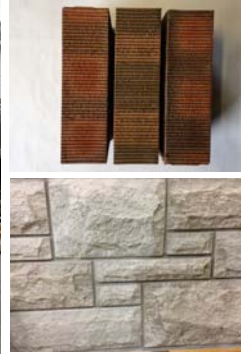




# Elevations



# Materials



# Analysis

## East Woodfield Heritage Conservation District

- Must complement heritage character
- Policy 1.3 & Policy 4.4:
  - Location
  - Size
  - Height
  - Setback
  - Orientation
  - Materials/Walling (Cladding)
  - Colour
  - Roof and Roofline
  - Fenestration
  - Scale and proportion



# Recommendation

That, on the recommendation of the Managing Direct, Planning and City Planner, with the advice of the Heritage Planner, the application under Section 42 of the *Ontario Heritage Act* to construct a new, detached garage on the property located at 550 Dufferin Avenue, within the East Woodfield Heritage Conservation District, **BE PERMITTED** as submitted in the drawings included Appendix C with the following terms and conditions:

- Only one driveway be permitted;
- The existing driveway and curb cut for the property off of Dufferin Avenue be closed and the driveway be removed and the area be restored with sod/grass;
- The Heritage Alteration Permit be displayed in a location visible from the street until the work is completed.

## Heritage Planners' Report to LACH: October 10, 2018

1. Heritage Alteration Permits processed under Delegated Authority By-law:
  - a. 162 Wortley Road (WV-OS HCD): signage
  - b. 165 Oxford Street East (Part IV): replace non-original windows with wood windows
  - c. 111 York Street (Downtown HCD): façade alterations
  - d. 345-359 Ridout Street North (Downtown HCD): roof guard, cornice, vestibule
2. Draft Solar Guidelines – receiving comments / revising document (contact: Krista Gowan, Heritage Planner)
3. Heritage Places 2.0: A Description of Potential Heritage Conservation Districts in the City of London – A possible amendment to Section 1721 of *The London Plan* will be considered at the November 12<sup>th</sup> Planning and Environment Committee (PEC) to establish Heritage Places 2.0 as a guideline document by updating the previously adopted version – Heritage Places. The updated Heritage Places 2.0 includes a prioritized list of candidate areas which were identified based on a city-wide evaluation referencing a common set of selection criteria. File: O-8965 (contact: Laura Dent, Heritage Planner)
4. Priority levels on the Register (Inventory of Heritage Resources)

## Upcoming Heritage Events

- Janet Hunten – Eric Arthur Lifetime Achievement Award recipient – ACO Awards Gala – Thursday October 11, 2018 – Junction Craft Brewing, 150 Symes Road, Toronto:  
<https://events.eply.com/ArchitecturalConservancyOntarioAwardsParty20182563604>
- Canpex 2018 – October 13-14, 2018 – Hellenic Community Centre (133 Southdale Road West): <http://www.canpex.ca/>. 150 Years of the Western Fair
- “Engage, Involve, and Partner: Lessons in Community Engagement from SurveyLA” – Monday October 15, 2018, North York Civic Centre (5100 Yonge Street, Toronto): [www.bit.ly/HPSOctober15](http://www.bit.ly/HPSOctober15)
- *Histories of London: A Mini Doc Series* – Thursday October 25, 7:00pm-10:00pm. Register: <https://www.eventbrite.com/e/histories-of-london-on-mini-documentary-series-screening-tickets-50755902270>
- Do You Date? Grosvenor Lodge Haunted Mansion – October 26-30, 2018: <https://heritagelondonfoundation.ca/event/annual-halloween-haunted-mansion/>
- Terrific Tales of London & Area – Tuesdays, Central Library (Richmond Room) at 7pm
  - October 30: London Majors baseball team
  - November 6: John Davis Barnett's gift of 40,000 books to Western University
  - November 13: 1928 London City Hall Building
  - November 20: Oscar Wilde's London connection
  - November 27: Mohawk physician and Oxford scholar, Dr. Oronhyatekha
- A Night of Mystery at Elsie Perrin Williams Estate – Friday November 16, 2018  
<https://heritagelondonfoundation.ca/event/mystery-night-dinner-silent-auction-at-the-elsie-perrin-williams-estate/>
- Kilworth United Church Christmas Home Tour – Saturday November 24 and Sunday November 25. Ticket \$25. More information: [www.kilworthunited.ca](http://www.kilworthunited.ca) or 519-641-7367



# London heritage advocate earns provincial award

FREE PRESS STAFF Updated: October 10, 2018



Janet Hunten (Supplied photo)

One of London's long-time heritage boosters has clinched a provincial award.

Janet Hunten has earned the 2018 Eric Arthur lifetime achievement award from the Architectural Conservancy Ontario, an honour that recognizes people or community groups that have made an outstanding and lasting contribution to the heritage conservation movement in Ontario.

Hunten, 90, has been a fixture in London's heritage sector for nearly 50 years. She's been an active member of the Architectural Conservancy Ontario's London chapter, the London and Middlesex Historical Society and the London branch of the Ontario Archeological Society.

After graduating from Western University with a degree in chemistry and physics, Hunten joined the Stratford Festival's property and set design department in their inaugural season. Hunten started her museum career in London in the 1970s at the now-demolished Centennial Museum beside the old public library on Queens Avenue. In 1982, she became the first curator of the Fanshawe Pioneer Village.

Hunten was an original member of London's advisory committee on heritage and was part of the field team that scoured city streets to catalogue historically significant buildings and sites. The inventory later became the city's first round-up of its heritage properties.

Hunten was nominated by the London chapter of the Architectural Conservancy of Ontario.

The award is named for the provincial organization's founder Eric Arthur. The University of Toronto architecture professor, author and heritage advocate was instrumental in preserving several historic landmarks in Toronto.

Hunten will be given her award at the 12th annual Architectural Conservancy Ontario awards reception in Toronto Thursday.

[AWARDS \(HTTPS://LFPRESS.COM/TAG/AWARDS\)](https://lfpres.com/tag/awards)

[LONDON HERITAGE \(HTTPS://LFPRESS.COM/TAG/LONDON-HERITAGE\)](https://lfpres.com/tag/london-heritage)

## TRENDING IN CANADA



# Grosvenor Lodge

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## DO YOU DARE? Grosvenor Lodge Haunted Mansion 2018

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## DO YOU DARE? Grosvenor Lodge Haunted Mansion 2018

October 26 - October 30 \$10



For a limited time only the haunted inn of London is opening it's doors to offer you a guided room by room experience you will never forget (seriously!). Inn staff will be on site to answer any questions you may have and to take your reservations! DO YOU DARE?!?! check out the space everyone is talking about with the promise you will never be the same after being inside this historical inn.

This 20-30 minute tour includes an escape room.



All proceeds go towards preserving two historical buildings in the city, Grosvenor Lodge and Elsie Perrin Williams Estate.

**Dates: October 26, 27, 28, 29, 30**

Evening Performances – 6:30-10 pm nightly – Recommended for audiences 13+ years old

Daytime (Lights On) Performances – 1-4 pm Saturday, October 27 and Sunday, October 28 – Recommended for audiences 12 years old and under

**Tickets: \$10.00+HST per person in advance, \$15 per person at the door.**

Get your tickets here: <https://www.eventbrite.ca/e/do-you-dare-grosvenor-lodge-haunted-mansion-2018-tickets-38781168519>

FREE parking is available on Platts Lane in the Western University townhouse parking lot. Refreshments available on site.

\*Evening performances not recommended for young children.

\*Unfortunately, refunds are not available for this event; however, know that your ticket value is going to the upkeep of heritage properties in London, and we thank you very much!

## VOLUNTEERS NEEDED

If you are interested in volunteering for this event, please contact [dan@day2knightevents.com](mailto:dan@day2knightevents.com).

+ GOOGLE CALENDAR

+ ICAL EXPORT

### Details

**Start:**  
October 26

**End:**  
October 30

**Cost:**

### Organizer

Heritage London  
Foundation

**Phone:**  
519-432-6620

# Christmas HOME TOUR

BY KILWORTH UNITED CHURCH

**November 24th & 25th, 2018**



**Kilworth United Church has lined up 6 interesting properties, all professionally decorated, for you to explore! Get to know your community by exploring these properties in the Kilworth/Delaware area.**

The years seem to fly by but some things have remained the same and that can be seen in the historic stone buildings that are located in what was the village of Kilworth. There was a thriving community with many businesses, mills and houses around the stone church built in 1850. With the new Christmas Home Tour organized by the Kilworth United Church the public will see inside properties that they may have driven by many times. The stone cottage shown above was built c. 1850s and was owned by William Comfort who was a woollen merchant. The woollen mill was situated on the Thames River behind this once two-room stone cottage.

The owners have carefully renovated the "Comfort cottage" respecting the history of the building. It is the oldest part of the house, with a fire blazing in the hearth, that the family is drawn to in the winter months. The house and barn both have heritage designation and this is the only heritage property incorporated into the City of London by annexation in 1993.

Properties on the Christmas Home Tour - 1860s farm house, stone church, stone cottage, house in Kilworth Heights, Belvoir Estate and Antler River Archery gallery in Delaware. Visit the website [kilworthunited.ca](http://kilworthunited.ca) for more details. **Tickets are \$25** - call Marilyn **519 641-7367**.

submitted by Beth Moyer, author of *Kilworth - The Woodhull Settlement*