

Report to London Advisory Committee on Heritage

To: Chair and Members
London Advisory Committee on Heritage
From: John M. Fleming
Managing Director, Planning and City Planner
Subject: Heritage Alteration Permit Application by G. Anastasiadis
550 Dufferin Avenue
East Woodfield Heritage Conservation District
Meeting on: Wednesday October 10, 2018

Recommendation

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, the application under Section 42 of the *Ontario Heritage Act* to construct a new, detached garage on the property located at 550 Dufferin Avenue, within the East Woodfield Heritage Conservation District, **BE PERMITTED** as submitted in the drawings included Appendix C with the following terms and conditions:

- a) Only one driveway be permitted;
- b) The existing driveway and curb cut for the property off of Dufferin Avenue be closed and the driveway be removed and the area be restored with sod/grass;
- c) The Heritage Alteration Permit be displayed in a location visible from the street until the work is completed.

Executive Summary

A Heritage Alteration Permit application was submitted for a proposed detached garage to be constructed in the northwest corner of the property at 550 Dufferin Avenue, located in the East Woodfield Heritage Conservation District. The construction of the proposed detached garage would also include a new driveway off of William Street. The proposed detached garage was analyzed using the policies and guidelines of the *East Woodfield Heritage Conservation District Plan* and found to be compatible. To ensure there are no net adverse impacts to the heritage character of the East Woodfield Heritage Conservation District, the existing driveway off of Dufferin Avenue must be closed and the former driveway restored to sod/grass.

Analysis

1.0 Background

1.1 Property Location

The property at 550 Dufferin Avenue is located on the northeast corner of Dufferin Avenue and William Street (Appendix A).

1.2 Cultural Heritage Status

The property at 550 Dufferin Avenue is located within the East Woodfield Heritage Conservation District, which was designated under Part V of the *Ontario Heritage Act* in April 15, 1993. Unlike other Heritage Conservation Districts, the East Woodfield Heritage Conservation District does not have a property rating system.

1.3 Description

The existing built heritage resource located at 550 Dufferin Avenue was constructed in 1948. The existing building is setback from both Dufferin Avenue and William Street, afforded by the wide road allowance. A driveway is located off of Dufferin Avenue and provides access to a detached two car garage in the rear. The house was built in the

Tudor Revival style, as articulated in the slight or modified Tudor arch above the main entry in stone, asymmetrical composition, use of rusticated stone, elaborate stone, and brick chimney piece with heavy cap (Appendix B). The house is clad in rug brick in red and black tones, laid in a stretcher bond pattern, with a lightly rusticated stone base laid in an irregular pattern with a carved coping. The built heritage resource also features a large slate roof in tones of green with copper eaves troughs, divided light wood windows, and letterbox downspouts. A garage is located at the rear of the existing built heritage resource. While the built heritage resource differs from what is typically found in the East Woodfield Heritage Conservation District, it contributes to an understanding of historic architectural styles that document the growth of the Woodfield area.

With the existing built heritage resource constructed in 1948, it is not the first building located on this property. The property is shown as vacant in the 1912, revised 1915 and 1912, revised 1922 Fire Insurance Plan, however an earlier building is shown on the 1892, revised 1907 Fire Insurance Plan. The earlier 1881, revised 1888 Fire Insurance Plan includes an interesting notation for the property at 500 William Street, “w/ cornice all sides.” Notations such as this are uncommon in Fire Insurance Plans.

The property at 550 Dufferin Avenue is historically associated with the Silverwood family. The existing building was constructed in 1948 as the home of Albert Edward Silverwood (1876-1961) and his second wife, Nora. Prior to moving to 550 Dufferin Avenue, the Silverwoods lived at 517 Dufferin Avenue also in East Woodfield Heritage Conservation District. Silverwood Industries Limited of London, Ontario was a dealer in cold storage products and manufacturers of ice cream and butter with factories and warehouses on Ridout Street North and Bathurst Street. After the death of Albert Silverwood, the company was acquired by United Dairies. The Silverwood legacy is remembered in Silverwoods Park (including pool and arena), as well as Western University’s Faculty of Music (once located at Goodholme, 1071 Waterloo Street) and School of Business Administration. The property was sold by the Silverwood family to the Peterson family in the 1960s.

The property at 550 Dufferin Avenue is also historically associated with the Peterson family. The house was the home of Clarence Marwin (1913-2009) and Laura Marie Peterson (1913-2015) from the 1960s until her death in 2015. Their son, former Premier David Robert Peterson (b. 1943), grew up in the house. David Peterson was London Centre’s Member of Provincial Parliament from 1975 until his defeat, as Premier, in 1990. The property remained in the Peterson family until it was sold to the current owner in 2016.

2.0 Legislative/Policy Framework

2.1 Provincial Policy Statement

Heritage conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (2014)* promotes the wise use and management of cultural heritage resources and directs that “significant built heritage resources and significant cultural heritage landscapes shall be conserved.”

2.2 Ontario Heritage Act

Section 42 of the *Ontario Heritage Act* requires that a property owner not alter, or permit the alteration of, the property without obtaining Heritage Alteration Permit approval. The *Ontario Heritage Act* enables Municipal Council to give the applicant of a Heritage Alteration Permit:

- a) The permit applied for;
- b) Notice that the council is refusing the application for the permit; or,
- c) The permit applied for, with terms and conditions attached (Section 42(4), *Ontario Heritage Act*).

Municipal Council must respond within 90 days after a request for a Heritage Alteration Permit application (Section 42(4), *Ontario Heritage Act*).

2.3 The London Plan

The policies of *The London Plan* found in the Cultural Heritage chapter support the conservation of London's cultural heritage resources. Policy 554_ of *The London Plan* articulates on of the primary initiatives as a municipality to “ensure that new development and public works are undertaken to enhance and be sensitive to our cultural heritage resources.” To help ensure that new development is compatible, Policy 594_ (under appeal) of *The London Plan* provides the following direction:

1. *The character of the district shall be maintained by encouraging the retention of existing structures and landscapes that contribute to the character of the district;*
2. *The design of new development, either as infilling, redevelopment, or as additions to existing buildings, should complement the prevailing character of the area;*
3. *Regard shall be had at all times to the guidelines and intent of the heritage conservation district plan.*

2.4 East Woodfield Heritage Conservation District

The *East Woodfield Heritage Conservation District Plan – Parts I & II, Parts III & IV*, are intended to provide policies and guidelines to ensure that the special environment and heritage character of East Woodfield is protected while still permitting appropriate and compatible change.

Policy 2.6, *East Woodfield Heritage Conservation District Plan – Parts I*, directs that “change in East Woodfield's built heritage is to be expected in the future, yet it must be carefully *managed* in a manner that does not adversely affect this special environment.” It further notes that applications will be considered within the context of the design guidelines and on the individual merits of a proposed change.

Policy 1.3, *East Woodfield Heritage Conservation District Plan – Part II*, provides direction to ensure the compatibility of additions and alterations, stating:

New construction comprising freestanding buildings should respect the prevailing character of: adjacent buildings, the existing streetscape, landscaping and grade levels, and the district as a whole. New construction must be of compatible design in location, size, height, setback, orientation, materials, colour, roof and roofline, fenestration, scale, and proportion.

Policy 2.2.5, *East Woodfield Heritage Conservation District Plan – Part II*, states one of the objectives of the designation of East Woodfield as a Heritage Conservation District: “to permit new development only where it respects or otherwise complements the prevailing character of existing heritage buildings and structures within the East Woodfield Heritage district.”

Garages are specifically addressed by the Policy 4.3.1.1, *East Woodfield Heritage Conservation District Plan – Part II*, stating:

Exterior additions, including garages, balconies and greenhouses are encouraged to be located at the rear or on an inconspicuous side of the building, limited to the size and scale to complement the existing building and neighbouring property. Additions at the rear should be slightly lower than the existing roof line and stepped in at the sides in order to not overpower or dominate the existing heritage building and the view from the street. Additions so constructed will also tend to be more neighbourly to adjoining heritage owners.

In addition to the direction of Policy 1.3, Policy 4.4, *East Woodfield Heritage Conservation District Plan – Part II*, provides guidance on the compatibility of new buildings within the East Woodfield Heritage Conservation District.

3.0 Heritage Alteration Permit Application

The *East Woodfield Heritage Conservation District Plan* identifies alterations where Heritage Alteration Permit (referred to as a “Section 42 Permit”) is required.

A Heritage Alteration Permit application was submitted by the property owner and received on September 19, 2018. The property owner has applied for a Heritage Alteration Permit to:

- Construct a new, detached garage building on the property as shown on the drawings and photographs included in Appendix C:
 - Located near the northern boundary of the property (approximately 2' from the property line), visible from William Street;
 - Single storey, approximately 18' by 21';
 - Flat roof with parapet, painted wood fascia, and metal coping;
 - Exterior cladding:
 - Clad in composite stone at the base (Arriscraft International, random three-unit "Laurier Building Stone" in mahogany colour) (see Image 11, Appendix C);
 - Rug brick (Watson town Brick Company, "Red Rugg (vertical) Type 2 Ontario cored, 4" by 2-3/8" by 8-3/8") above to match the existing house (see Image 12, Appendix C);
 - Install two wood double hung windows with muntin bars, facing William Street, to match other windows (see Image 4, Appendix B);
 - Install an 8' by 18' metal garage door;
 - Create a new concrete driveway off of William Street to access this new garage.

The existing garage located at the rear provided some direction in terms of an appropriate design for a proposed detached garage for the property (see Image 7, Appendix B).

Per Section 42(4) of the *Ontario Heritage Act*, the 90-day timeline for this Heritage Alteration Permit application will expire on December 18, 2018.

4.0 Analysis

The policies and guidelines of the *East Woodfield Heritage Conservation District Plan* do not prohibit alterations, including additions and new buildings, for properties included in its boundaries. However, there is clear policy direction that any new building must complement the heritage character of the East Woodfield Heritage Conservation District and be analyzed and found to be compatible with a number of measures as specifically articulated in the applicable policies.

The following table was created to assess the compatibility of the proposed detached garage at 550 Dufferin Avenue with the existing built heritage resource on the property, adjacent properties, and the East Woodfield Heritage Conservation District. The criteria were found in Policy 1.3 and Policy 4.4 of the *East Woodfield Heritage Conservation District Plan – Part II*.

Table 1: Analysis of Criteria from the East Woodfield Heritage Conservation District Plan – Part II

Criteria of Policy 1.3 and Policy 4.4	Analysis
Location	The location of the proposed detached garage is behind the principal façade of the existing built heritage resource at 550 Dufferin Avenue. It does not obscure any of the significant architectural details of the home.
Size	The size of the proposed detached garage is approximately 18' by 21'. This size is modest in relation to the floor plate of the existing built heritage resource. The size of the proposed detached garage is not anticipated to overwhelm the existing built heritage resource. The size is also comparable to the existing detached garage located on the property.
Height	The height of the proposed detached garage is approximately 9'. This is intended to match the approximate height of the eaves of

Criteria of Policy 1.3 and Policy 4.4	Analysis
	the existing built heritage resource. See below for analysis of the flat roof of the proposed detached garage.
Setback	The setback of the proposed detached garage is close to the property line (approximately 2' setback), but the right of way along William Street is very wide (approximately 132'). The setback of the proposed detached garage matches the setback of the adjacent built heritage resource located at 508-510 William Street, reinforcing a continuous street wall along the east side of William Street.
Orientation	The proposed detached garage is oriented to create a courtyard with the existing built heritage resource. The existing built heritage resource has a west wing that projects from the main mass of the building. The proposed detached garage will enclose the north side of this courtyard. This orientation will minimize the visibility of the large overhead garage door from the street. The street-facing (west) façade of the proposed detached garage will be articulated with a pair of windows.
Materials/Walling [Cladding]	To assist in the compatibility of the proposed detached garage, it will be clad in the same materials as the existing built heritage resource. The base of the proposed detached garage will be clad in composite stone, matching the size, pattern, colour, and texture of the existing stone, including coping. The upper portion of the proposed detached garage will be clad in rug brick to match the brick cladding of the existing built heritage resource.
Colour	Similar to the materials, the colours of the exterior cladding of the proposed detached garage have been selected because of the ability to match the materials of the existing built heritage resource.
Roof and Roofline	The proposed detached garage will have a flat roof. This will avoid any conflict with the significant slate roof of the existing built heritage resource, and visually articulate the proposed detached garage as subordinate to the existing built heritage resource. The roofline will be articulated by a wood cornice/fascia, topped with metal coping/flashing.
Fenestration	A pair of windows will be located on the west (William Street) façade of the proposed detached garage. The windows have been selected to match the windows of the existing built heritage resource, and applied in a style similar to the dormers which also face William Street. The windows will be sash, wood windows with a six-over-one fenestration.
Scale and Proportion	The scale and proportions of the proposed detached garage has been designed to be subordinate to the existing built heritage resource.

The proposed detached garage at 550 Dufferin Avenue is compatible with the policies and guidelines of the *East Woodfield Heritage Conservation District Plan*.

However, the introduction of a new driveway has the potential to create an adverse impact in the special environment of the East Woodfield Heritage Conservation District. The new curb cut will require a Permit of Approved Works (PAW). To ensure that the construction of the proposed detached garage does not result in any unintended adverse impact, the existing driveway off of Dufferin Avenue must be closed. The curb must be restored to a regular curb (no curb cut). The asphalt of the existing driveway must be removed and the former driveway must be restored to sod/grass.

It is not anticipated that the proposed detached garage and new driveway will affect the existing deciduous trees on the boulevard. Some of the existing shrubs and coniferous trees closer to the foundation of the existing built heritage resource may be removed.

5.0 Conclusion

The proposed detached garage for the property at 550 Dufferin Avenue was analyzed and found to be compatible with the policies and guidelines of the *East Woodfield Heritage Conservation District* and should be supported through approval, with terms and conditions, of the Heritage Alteration Permit.

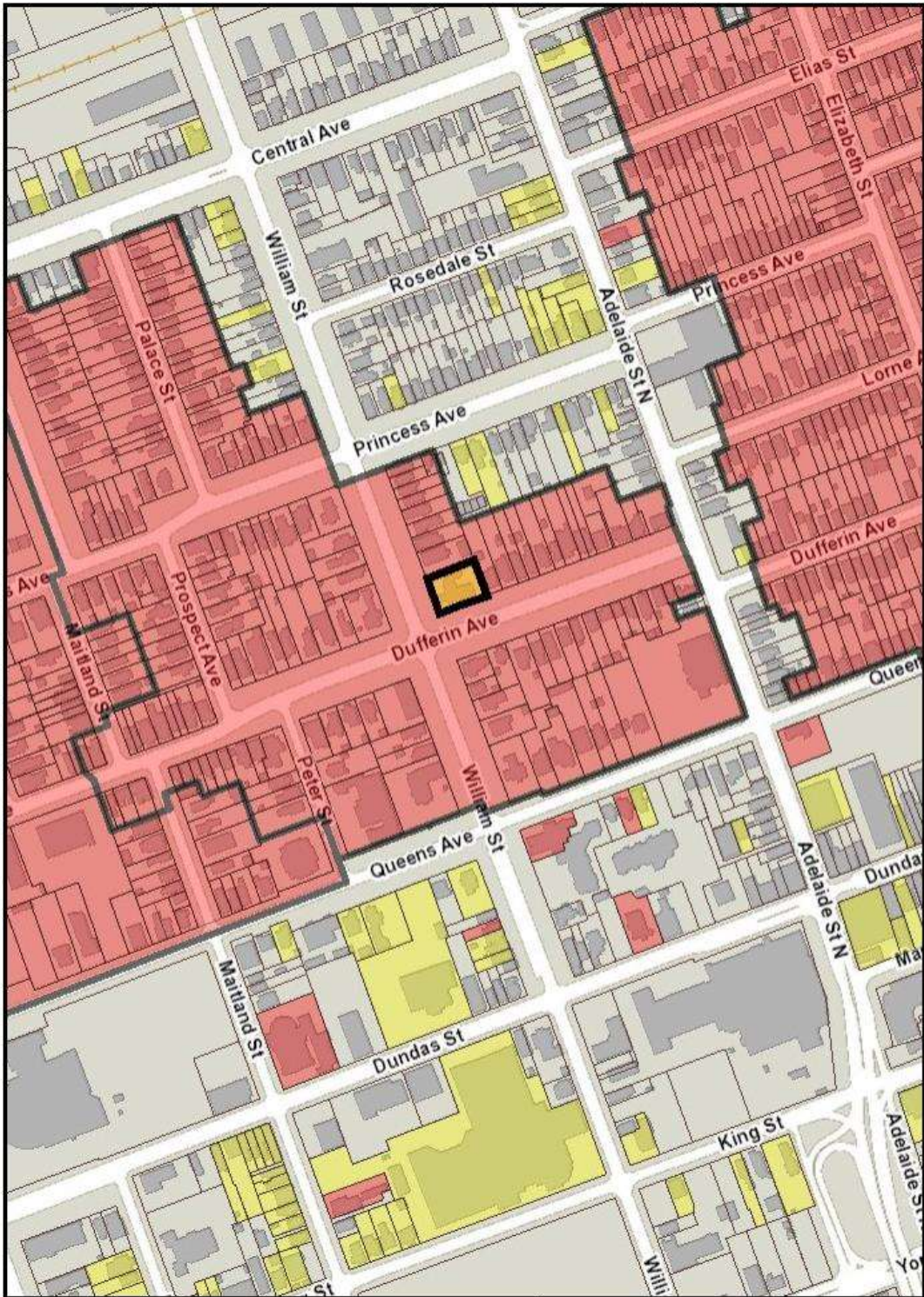
To ensure that no adverse impacts are a result of this application on the heritage character of the East Woodfield Heritage Conservation District, the existing driveway off of Dufferin Avenue must be closed.

Prepared by:	Kyle Gonyou, CAHP Heritage Planner
Submitted by:	Gregg Barrett, AICP Manager, Long Range Planning and Research
Recommended by:	John M. Fleming, MCIP, RPP Managing Director, Planning and City Planner
Note: The opinions contained herein are offered by a person or persons qualified to provide expert opinion. Further detail with respect to qualifications can be obtained from Planning Services	

October 3, 2018
KG/

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




Appendix A – Map



Location Map

Project Title: 0
 Description: Location - 550 Dufferin Avenue, East Woodfield Heritage Conservation District
 Created By: Kyle Gonyou
 Date: 9/19/2018
 Scale: 1:4000

Legend

-  Subject Site
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers

Corporation of the City of London



Appendix B – Images



A. 550 Dufferin Ave

B. c1950

C. Tudor Revival

D. Associated with the Peterson family; David Peterson former Premier of Ontario.

E. This one and a half storey rambling structure is eminently suited to its corner site. It is faced with red brick with extensive areas of cut stone, particularly surrounding the windows, front door, and chimney. These last two areas feature a more rusticated stone treatment. The front entrance is framed by a modified tudor-style arch. The low-pitch gable roof is truncated in its eastern section and accommodates a triple dormer window.

F. Very good condition, but there are some slates missing or damaged on the north side. There is some efflorescence on the chimney. The foundation planting is overgrown and obscuring the windows.

G. This house is completely different from its Victorian neighbours, but sits very comfortably on its corner location. It is a fine example of its type.

Figure 1: Extract from the East Woodfield Heritage Conservation District Study (January 1992), with information on the property at 550 Dufferin Avenue.



Image 1: Property at 550 Dufferin Avenue, seen from the southeast corner of Dufferin Avenue and William Street (2012).



Image 2: Photograph of the main entry to the existing built heritage resource at 550 Dufferin Avenue.



Image 3: View of the William Street frontage of the property at 550 Dufferin Avenue, seen from the west side of William Street. Note: the orange pylon appears to mark the approximate location of the concrete driveway.



Image 4: Detail of the west façade of the existing built heritage resource located at 550 Dufferin Avenue. Note the profiles and fenestration of the windows located in the dormers.



Image 5: View looking north up the east sidewalk of William Street, showing the existing built heritage resource at 550 Dufferin Avenue in the foreground and the setback of adjacent properties to the north.



Image 6: Photograph of the existing driveway to the property at 550 Dufferin Avenue (left), off of Dufferin Avenue.



Image 7: Photograph of the existing garage located at the rear of the property at 550 Dufferin Avenue.

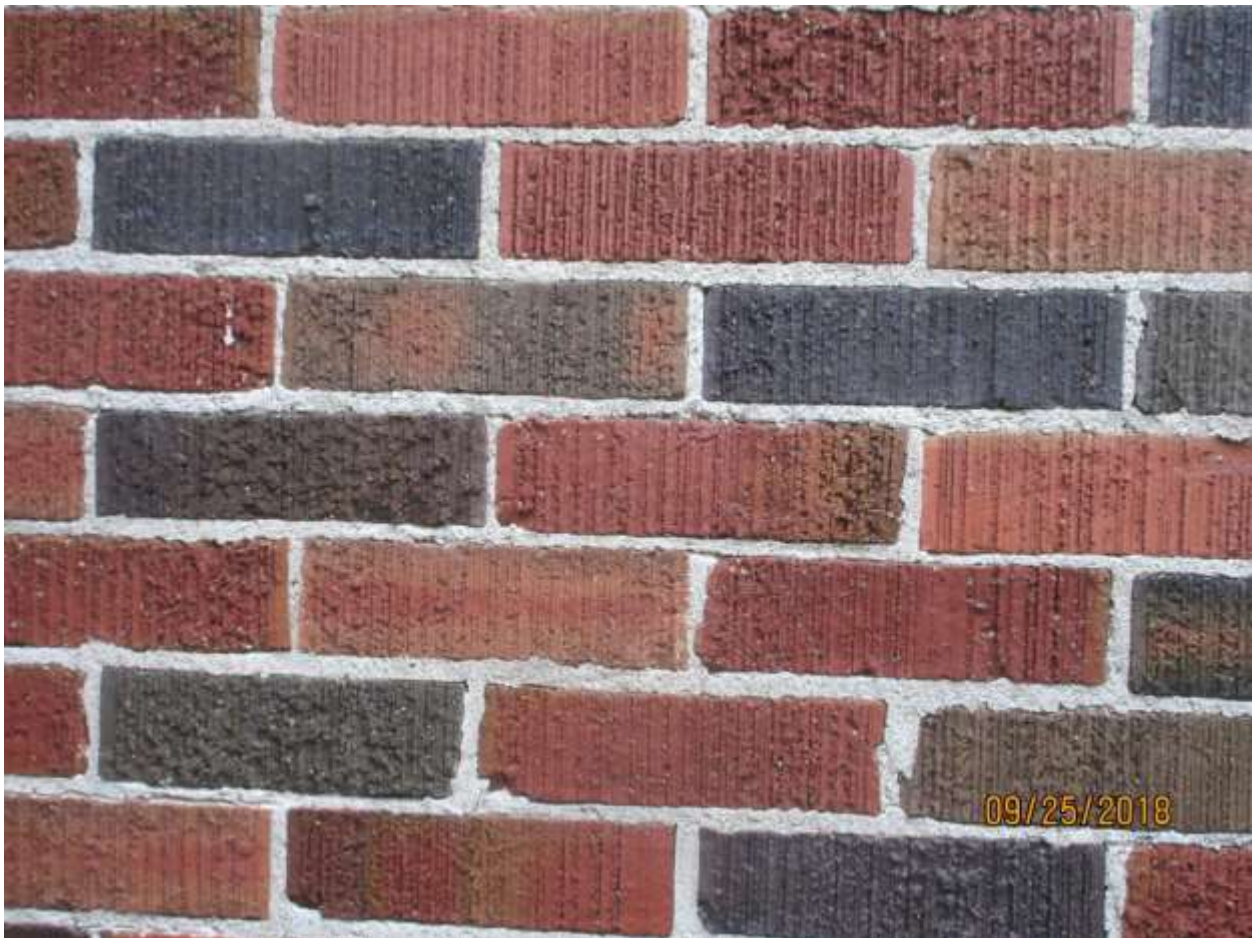


Image 8: Detail of the rug brick masonry of the existing built heritage resource at 550 Dufferin Avenue.



Image 9: Detail of the stone masonry base of the existing built heritage resource at 550 Dufferin Avenue.



Image 10: Detail showing the materials, proportion, and finish of the base of the existing built heritage resource at 550 Dufferin Avenue.

Appendix C – Drawings

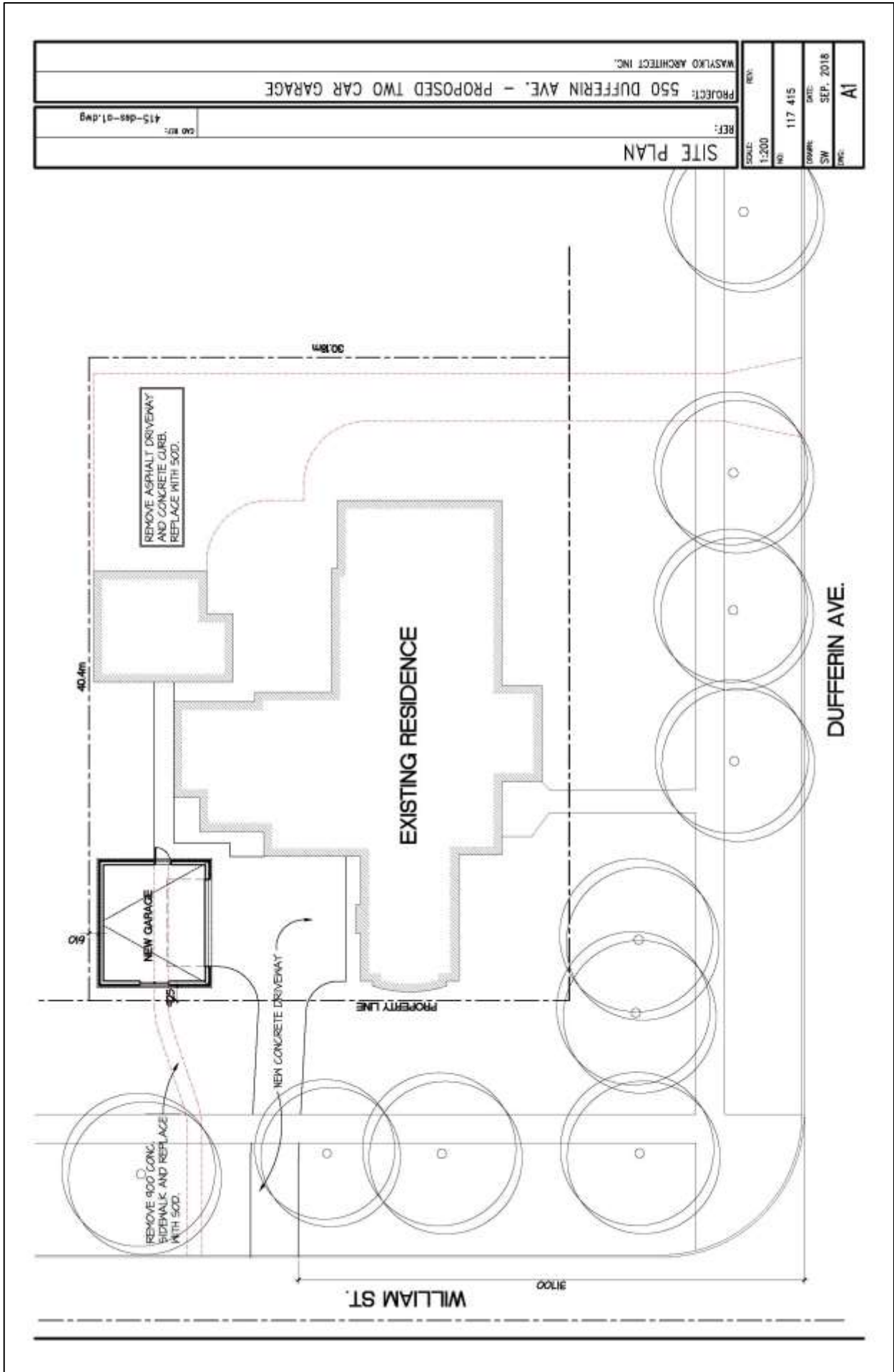


Figure 2: Drawing A1 – Site Plan.

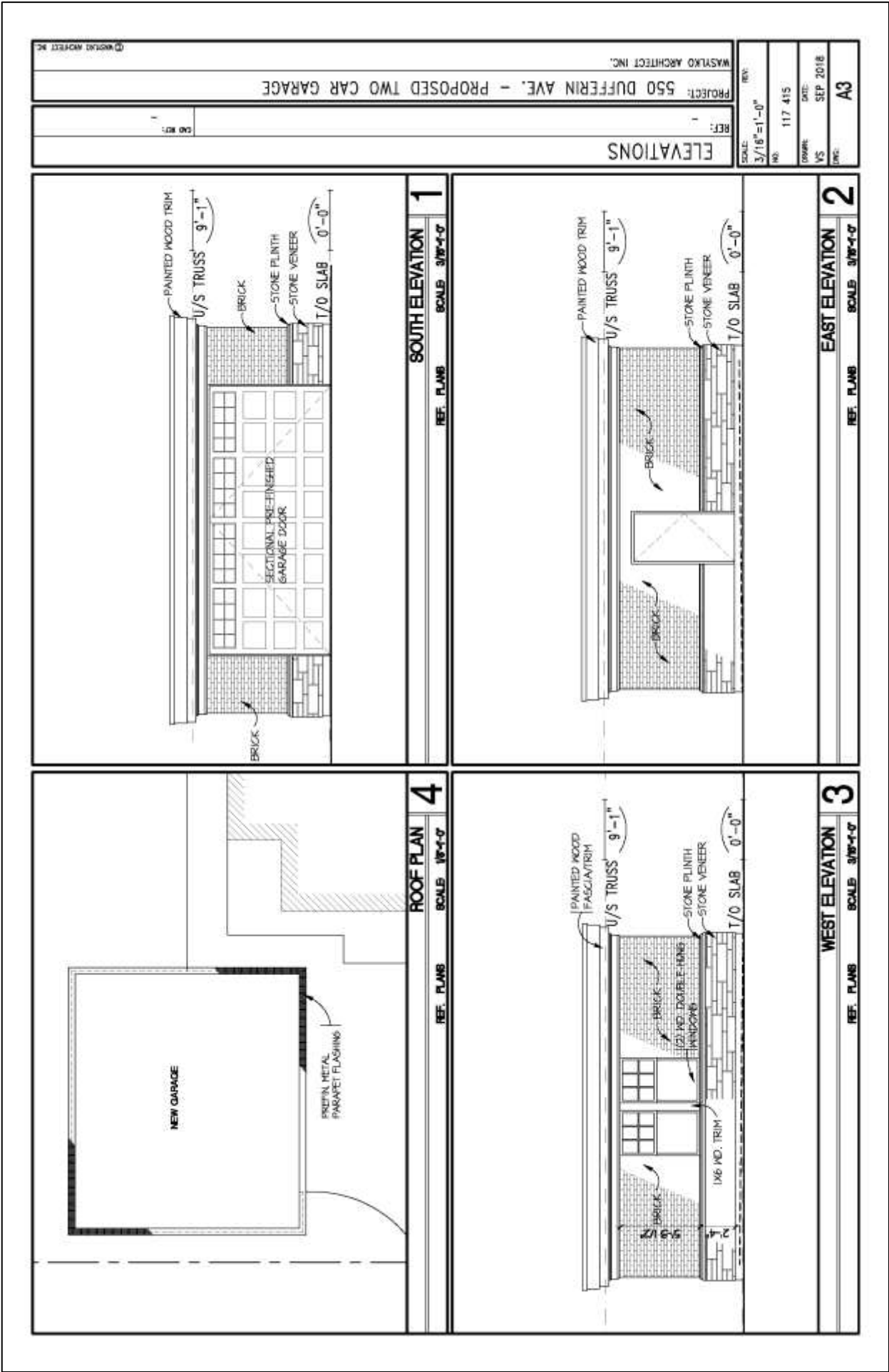


Figure 4: Drawing A3 – Elevations.

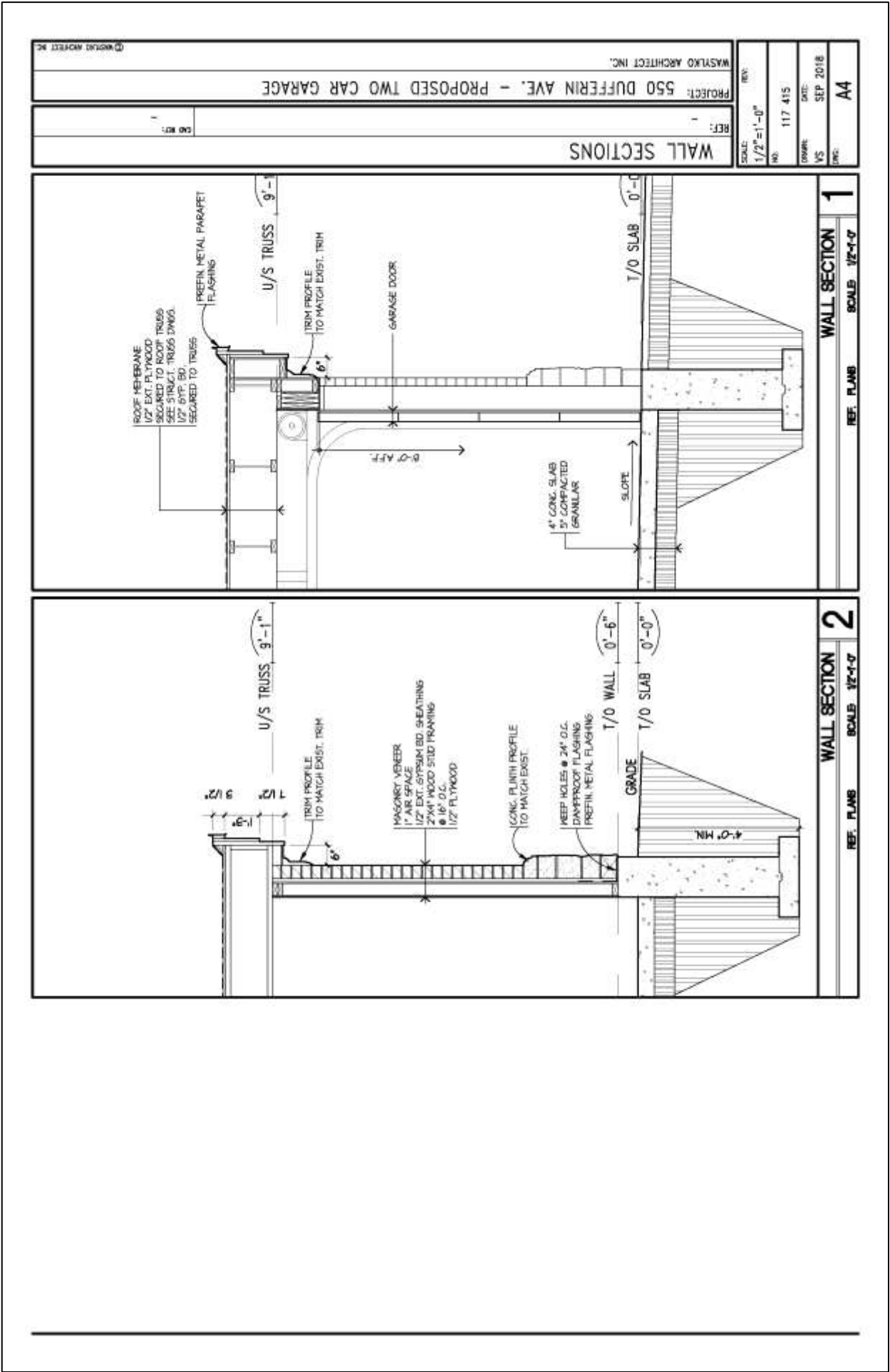


Figure 5: Drawing A4 – wall sections.



Image 11: Photograph of the proposed composite stone for the cladding of the base of the proposed detached garage (Arriscraft International, random three-unit "Laurier Building Stone" in mahogany colour). Courtesy Myk Wasylko, Wasylko Architect Inc.



Image 12: Photograph of the proposed brick for the cladding of the upper portion of the proposed detached garage (Watsontown Brick Company, "Red Rugg (vertical) Type 2 Ontario cored, 4" by 2-3/8" by 8-3/8"). Courtesy Myk Wasylko, Wasylko Architect Inc.