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B. HENRY
File No: SP12-025033

TO:	CHAIR AND MEMBERS – PLANNING AND ENVIRONMENT COMMITTEE MEETING
FROM:	GEORGE KOTSIFAS, P.ENG. MANAGING DIRECTOR, DEVELOPMENT AND COMPLIANCE SERVICES AND CHIEF BUILDING OFFICIAL
SUBJECT:	APPLICATION BY: L'ARCHE LONDON 4448 COLONEL TALBOT ROAD PUBLIC SITE PLAN MEETING SEPTEMBER 24, 2012

RECOMMENDATION

That on the recommendation of the Manager, Development Services and Planning Liaison, the following actions be taken with respect to the site plan approval application for a four storey apartment building by L'Arche London relating at the rear property located at 4448 Colonel Talbot Road:

- a) on behalf of the Approval Authority, the Planning and Environment Committee **BE REQUESTED** to conduct a public meeting on the subject site plan application and **REPORT TO** the Approval Authority the issues, if any, raised at the public meeting with respect to the application for Site Plan approval;
- b) Council **ADVISE** the Approval Authority of any issues they may have with respect to the Site Plan application and **ADVISE** the Approval Authority whether they support the Site Plan application for an apartment building; and,
- c) the applicant **BE ADVISED** that the Director, Development Finance has summarized the claims and revenues information as shown on attached Schedule B.

PURPOSE AND EFFECT OF RECOMMENDED ACTION

The purpose of the report is to request the Planning and Environment Committee conduct a public participation meeting to receive feedback from the public and for the Planning and Environment Committee and Council to provide advice to the Approval Authority when they are considering the plans, elevations and requirements for the Site Plan.

The need for public engagement is to satisfy the requirement of a holding provision (h-5) which requires a public meeting.

PREVIOUS REPORTS PERTINENT TO THIS MATTER
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July 18, 2005 – Report to Planning Committee to amend the Official Plan and Zoning By-law Amendment.

September 12, 2005 – Report to Planning Committee to amend the Official Plan and Zoning By-law Amendment.

May 29, 2006 – Report to Planning Committee to amend the Official Plan and Zoning By-law Amendment.

October 17, 2006 – Report to Planning Committee to amend the Official Plan and Zoning By-law Amendment.

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BACKGROUND

In 2005, an application to rezone the lands at 4448 Colonel Talbot Road was received to zone the front property to commercial and the rear to residential. During the course of the application, there was great concern regarding the method of servicing being proposed and there were several meetings at Planning Committee. On May 24, 2006, the General Manager of Planning and Development recommended **REFUSAL** to the Official Plan Amendment and Zoning By-law Amendment.

On June 12, 2006, City Council referred the matter back to staff for a report back at joint meeting of Planning Committee and Environment and Transportation Committee for further consideration, including associated geotechnical studies. On October 17, 2006, a report to Planning Committee, was submitted by staff and on October 24, 2006, City Council approved the Arterial Commercial Holding Zone in the front of the property and Holding Residential Zone on the rear of the property.

The zoning by-law has come into full force and effect.

On August 2, 2012, L'Arche London's consultant submitted an application for site plan approval for a multi-use building.

APPLICATION DETAILS

Date Application Accepted:	Agent:
August 2, 2012	SJMA Architecture Inc.
REQUESTED ACTION: Application for Site Plan Approval for a Multi-Use Building at 4448 Colonel Talbot Road	

SITE CHARACTERISTICS:
<ul style="list-style-type: none"> • Current Land Use – Vacant • Frontage – 76.09 • Depth – 149 m • Area – 7,567 m² (0.76 ha) • Shape – irregular

SURROUNDING LAND USES:
<ul style="list-style-type: none"> • North – Residential and Commercial • South – Residential • East – School • West – Residential

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OFFICIAL PLAN DESIGNATION:
EXISTING ZONING:
<ul style="list-style-type: none"> • h-5.h-17.h-18.h-42.AC2(6)

SIGNIFICANT DEPARTMENT/AGENCY COMMENTS

There were no significant comments arising from the circulation.

PUBLIC LIAISON:	Notice was sent out to area property owners on September 4, 2012 and, notice was placed in the London Free Press on September 8, 2012
Nature of Liaison:	Application for Site Plan Approval for a multi-use building with 23 parking spaces
Responses:	To date there have been no responses

Site Plan Description:

The proposed site plan has the one storey multi-use building located near the corner of Colonel Talbot Road and Sunray Avenue. The placement of the building provides for the required road dedication before the Approval Authority grants approval. The plan retains trees located in the north portion of the site and has located the drive near the east limit of the site on Sunray Avenue.

The parking is east of the building and provides for a drop off area on site for para transit vehicles. This area will provide for an outdoor gathering place and activities. The plan provides walking connections to the street and an onsite pathway through the area of trees being preserved.

Surface runoff will be directed to the onsite storm system. A conventional septic system has been designed to accommodate the proposed building.

Prior to filing for site plan approval, the applicant made a submission to the Urban Design Peer Review Panel. The applicant has generally accommodated the majority of the Panel's suggestions.

Does the proposal comply with the zoning?

The property is zoned h-5.h-17.h-18.h-42.AC2(6). The proposed building complies with the zone regulations subject to the removal of the holding provision.

f) h-5 Purpose: To ensure that development takes a form compatible with adjacent land uses, agreements shall be entered into following public site plan review specifying the issues allowed for under Section 41 of the *Planning Act, R.S.O. 1990, c.P. 13*, prior to the removal of the "h-5" symbol.

Permitted Interim Uses: Existing uses (Z.-1-94236)

A public meeting is being held to hear from the public and receive advice from P.E.C. and Council regarding the plans and drawings for the proposal.

The h-5 holding provision will be removed by Council subsequent to the execution of the development agreement.

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- h-17 Purpose: To ensure the orderly development of lands and the adequate provision of municipal services, the “h-17” symbol shall not be deleted until full municipal sanitary sewer and water services are available to service the site.

Permitted Interim Uses: Dry uses on individual sanitary facilities permitted by the applied Zone (Z.-1-97484)

The h-17 permits only “dry uses”. Dry Uses are uses which can be accommodated on a septic system. The h-17 will remain until full municipal services have been provided. A certified septic designer will design the septic system to accommodate the proposed use and the design will need to be approved by the mechanical examination as part of site plan approval.

- h-18 Purpose: To ensure that lands are assessed for the presence of archaeological resources prior to development. The proponent shall carry out an archaeological resource assessment of the entire subject property or identified part thereof and mitigate, through avoidance or documentation, adverse impacts to any significant archaeological resources found, to the satisfaction of the Ministry of Citizenship, Culture and Recreation, and the City of London. No grading or other soil disturbance shall take place on the subject property prior to the issuance of a letter of clearance by the City of London Planning Division (Z.-1-0511390)

The property will be assessed by a consultant archaeologist, licensed by the Ministry of Citizenship, Culture and Recreation under the provisions of the Ontario Heritage Act (R.S.O. 1990); and any significant sites found will be properly mitigated (avoided, excavated or the resource protected), prior to the initiation of construction, servicing, landscaping or other land disturbances. The condition will also be applied where a previous assessment indicates the presence of significant archaeological resources but mitigation has not been carried out (Z.-1-97502)

The owner is required to retain a qualified consultant to conduct an archaeological study to the satisfaction of the Ministry of Citizenship, Culture and Recreation before the holding provision can be removed.

- h-42 Purpose: To ensure that the on-site septic treatment system is adequate to accommodate a proposed use and that there will not be any adverse impact on groundwater resources or recharge functions, an agreement shall be entered into specifying any necessary preventative measures, based on study(ies) to the satisfaction of the City of London conducted by qualified professional(s) demonstrating that the use or development in the form proposed will not adversely affect the areas.

Permitted Interim Uses: Existing Uses (Z.-1-031085)

A certified septic designer will design the septic system to accommodate the proposed use and the design will need to be approved by the Mechanical Examiner as part of the approval.

The h-42 holding provision cannot be removed until the septic design has been approved.

Is the plan compatible with abutting lands?




The owner is proposing to retain the existing trees at the north east portion of the site. The layout provides opportunity for the east portion of the site to be developed and integrated into this design.

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CONCLUSION

Based on a review of the applicable Official Plan policies, the Zoning By-law, permitted uses and regulations, and the Provincial Policy Statement, approval of the submitted site plan and elevations by the Approval Authority will be appropriate for the development of these lands. The proposal represents good land use planning and subject to the results of the public meeting, the plans and drawings could be recommended for approval to the Approval Authority along with a standard Development Agreement, subject to the acceptance of the servicing plans.

PREPARED BY:	REVIEWED BY:
	
BRUCE HENRY MANAGER, DEVELOPMENT PLANNING	BRUCE HENRY MANAGER, DEVELOPMENT PLANNING
RECOMMENDED BY:	SUBMITTED BY:
	
TERRY GRAWEY MANAGER, DEVELOPMENT SERVICES & PLANNING LIASION	GEORGE KOTSIFAS MANAGING DIRECTOR, DEVELOPMENT & COMPLIANCE SERVICES AND CHIEF BUILDING OFFICIAL

c: SJMA Architecture Inc.
 126 Wellington Road
 LONDON ON N6C 4M8

L'Arche Community Gathering Place

4448 Colonel Talbot Road
London, Ontario

Project Team :

Architect

SJMA Architecture Inc.
126 Wellington Road
London, Ontario, N6C 4M8
P: (519) 649-0220, F: (519) 649-1453
Contact: Stephen Mawdsley, Architect

Civil

Development Engineering (London) Ltd.
41 Adelaide Street N.
London, Ontario, N6B 3P4
P: (519) 672-8310 ext. 21
Contact: Laurence Murray, P.Eng.

Landscape

York Urbanist
25 Main Street
Kleinberg, Ontario, L0J 1C0
P: (416) 770-8862
Contact: Mark Inglis, Landscape Architect

Client

L'Arche London
521 Nottingham Road, Unit 2
London, Ontario, N6K 4L4
P: (519) 641-2262
Contact: Garry Dodman, President

Mechanical / Electrical

Callidus Engineering
9-1385 North Rutledge Park
London, Ontario, N6H 5N5
P: (519) 472-7640
Mechanical Contact: Matthew VanGilst,
Electrical Contact: Brad Tilson, P.Eng.

Septic

BOS Engineering & Environmental Services Inc.
46 Donnybrook Road
London, Ontario, N5X 3C8
P: (519) 850-9987
Contact: Art Bos, P.Eng.

List of Drawings :

Architectural

- Cover Page
- A1-1 Site Plan
- A1-2 Floor Plan
- A3-1 Building Elevations

Landscape

- L1 Tree Inventory Plan
- L2 Landscape Feature Plan
- L3 Landscape Planting Plan
- L4 Landscape Details

Civil

- SE1 Existing Conditions & Erosion Sediment Control Plan
- SE2 Site Engineering Plan
- SE3 Notes and Details
- SE4 Bioswale Sections & Details
- SE5 Cistern / OSG / Permeable Paver Details

Septic

- S-1 Septic Design

Electrical

- E1 Proposed Site Lighting Layout, Legend, Schedules and Details

Firm Name: SJMA ARCHITECTURE INC. Certificate of Practice Number: 4882 126 Wellington Road, London, Ontario N6C 4M8 tel: (519) 649-0220; fax: (519) 649-1453; steph@sjma-arch.com		The architect noted above has exercised responsible control with respect to design and/or construction.			
Name of Project and Number: L'Arche Community Gathering Place SJMA Project 1111		Ontario's 2006 Building Code Data Matrix Parts 3 & 9			
Location: 4448 Colonel Talbot Road, London, Ontario		OBC Reference: References are to Division 9 unless noted (N) for Division A or (S) for Division C.			
1	Project Description: <input type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Part 2 <input type="checkbox"/> Part 3 <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use	11.1 to 11.4	1.1.2. (N) 1.1.2. (N) & 9.10.1.3.		
2	Major Occupancy: <input type="checkbox"/> Assembly + D - Office With Assembly B	2.1.2.1.(F)	0.10.2.		
3	Building Area (m ²): Existing: 0, New: 2704, Total: 2704	1.4.1.2. (N)	1.4.1.2. (N)		
4	Street Level: Existing: 0, New: 2704, Total: 2704	1.4.1.2. (N)	1.4.1.2. (N)		
5	Number of Storeys: Above grade: 1, Below grade: 0	1.4.1.2. (N) & 3.2.1.1.	1.4.1.2. (N) & 9.10.1.4.		
6	Number of Structural/Floor Joists: <input type="checkbox"/> Metal Joists <input type="checkbox"/> Solid Joists	3.2.2. (N) & 3.2.2. (S)	0.13.20.		
7	Building Classification: 3.2.2.2. + 3.2.2.2.	3.2.2.20.-25.	0.10.2.		
8	Fire Protection System Proposed: <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basements <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20.-25. 3.2.1.4. 3.2.2.17. INDEX	0.10.2.2. INDEX		
9	Standpipes required: <input type="checkbox"/> Yes <input type="checkbox"/> No	3.2.9.	N/A		
10	Fire Alarm required (410 persons sleeping): <input type="checkbox"/> Yes <input type="checkbox"/> No But Provided	3.2.4.	0.15.1b.		
11	Water Service/Supply is Adequate: <input type="checkbox"/> Yes <input type="checkbox"/> No	3.2.6.7.	N/A		
12	High Building: <input type="checkbox"/> Yes <input type="checkbox"/> No	3.2.6.	N/A		
13	Core, Restrooms: <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required <input type="checkbox"/> Both <input type="checkbox"/> Actual Construction: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible	3.2.2.20.-25.	0.10.2.		
14	Accessibility: <input type="checkbox"/> None <input type="checkbox"/> 100%	3.2.1.1.(N) & 3.2.1.1.(S)	0.15.1.1. 0.15.1.2.		
15	Occupant load based on: <input type="checkbox"/> 1st person <input type="checkbox"/> 2nd design of building 1 st Floor: Occupancy: 22, Load: 68 persons 2 nd Floor: Occupancy: 0, Load: 36 persons 3 rd Floor: Occupancy: 0, Load: 36 persons TOTAL: 128 persons	3.1.1.2.	0.15.1.1. 0.15.1.2.		
16	Hazardous Substances: <input type="checkbox"/> Yes <input type="checkbox"/> No (Specify)	3.8.	0.2.2.		
17	Hazardous Substances: <input type="checkbox"/> Yes <input type="checkbox"/> No	3.8.1.2. & 3.8.1.1.(R)	0.15.1.3.(4)		
18	Fire Resistance Rating (FRR): <input type="checkbox"/> Horizontal Assembly (FRR) (hours) <input type="checkbox"/> Limited Design No. or Description (SB-S) Floor: 1, Hours: N/A Roof: 0.75, Hours if comb. or non-comb. or heavy timber: SB-S Table 2.3.4.A + 2.3.4.C Membrane: N/A, Hours: N/A FRR of Supporting Members: Listed Design No. Or Description (SB-S) Floor: 0, Hours: N/A Roof: 0.75, Hours if comb. or non-comb. or heavy timber: SB-S Table 2.3.4.A + 2.3.4.C Membrane: N/A, Hours: N/A	3.2.2.20.-25. & 3.2.1.4.	0.10.2. 0.10.2.		
19	Spatial Separation - Construction of Exterior Walls: Wall Area of EBF (m ²): L.T. (m): L.T. (m): Permitted Max. % of Quantity: Proposed % of Quantity: FFR (hours): Listed Design or Description: Comb. Cons. Non-comb. Cladding: Non-combustible Construction	3.2.2.	0.15.1.4.		
20	Sanitary Fixtures: Floor Area Use: Aggregate Area: No. of persons of Each Sex: Min. No. CFWD: Min. No. CF Sanitary Fixtures W/C				
	A2	402m ²	52 males / 50 females	1 male / 2 females	1 (A4 but 1 B/F)
	D	140m ²	8 males / 5 females	1 male / 1 female	1 (A4 but 1 B/F)
	C	N/A	2 baths	N/A	N/A
	(included in A2)				

OBC MATRIX SCALE: NTS



KEY PLAN SCALE: NTS

12-025033

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CITY OF LONDON
DEVELOPMENT SERVICES
AUG 02 2012

25 July 2012
Issued for Site Plan Approval

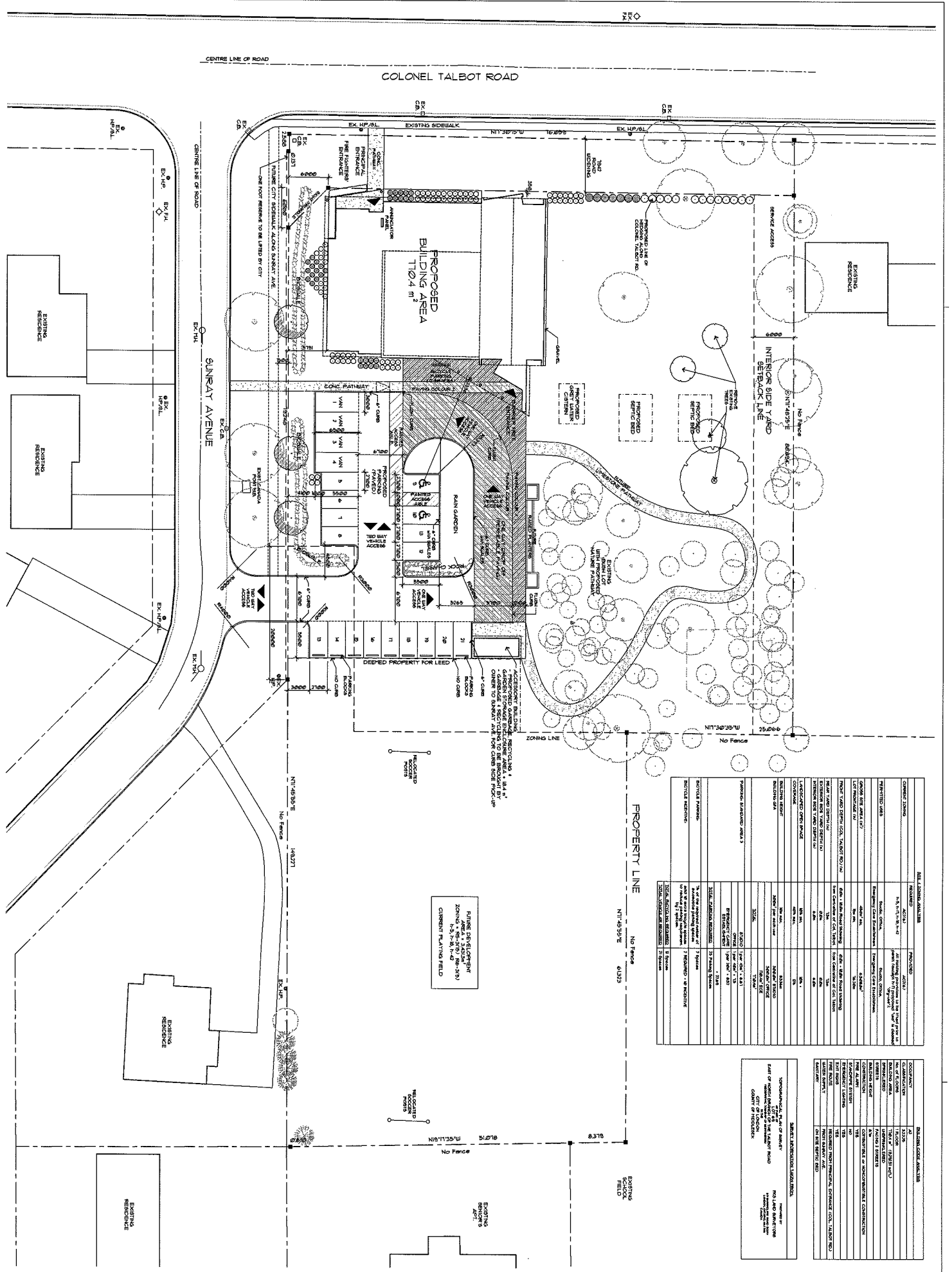
L'Arche Community Gathering Place
99 Baseline Road West
London, Ontario
11111

AUG 02 2012

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12-025033

1 SITE PLAN
SCALE 1:300



DATE: 12/08/2011	
OWNER/LEASOR	PROPOSED
PROJECT NAME	ALL BUILDING PERMITS IN THE CITY OF LONDON, ONTARIO, CANADA
PROJECT ADDRESS	2500 COLONEL TALBOT ROAD, SUNRAY AVENUE, LONDON, ONTARIO, CANADA
PROJECT NO.	12-025033
PROJECT DESCRIPTION	RESIDENTIAL DEVELOPMENT
PROJECT TYPE (C)	RESIDENTIAL
PROJECT SIZE (M ²)	3,000
PROJECT SIZE (SQUARE FEET)	32,670
PROJECT SIZE (ACRES)	0.74
PROJECT TYPE (D)	RESIDENTIAL
PROJECT TYPE (E)	RESIDENTIAL
PROJECT TYPE (F)	RESIDENTIAL
PROJECT TYPE (G)	RESIDENTIAL
PROJECT TYPE (H)	RESIDENTIAL
PROJECT TYPE (I)	RESIDENTIAL
PROJECT TYPE (J)	RESIDENTIAL
PROJECT TYPE (K)	RESIDENTIAL
PROJECT TYPE (L)	RESIDENTIAL
PROJECT TYPE (M)	RESIDENTIAL
PROJECT TYPE (N)	RESIDENTIAL
PROJECT TYPE (O)	RESIDENTIAL
PROJECT TYPE (P)	RESIDENTIAL
PROJECT TYPE (Q)	RESIDENTIAL
PROJECT TYPE (R)	RESIDENTIAL
PROJECT TYPE (S)	RESIDENTIAL
PROJECT TYPE (T)	RESIDENTIAL
PROJECT TYPE (U)	RESIDENTIAL
PROJECT TYPE (V)	RESIDENTIAL
PROJECT TYPE (W)	RESIDENTIAL
PROJECT TYPE (X)	RESIDENTIAL
PROJECT TYPE (Y)	RESIDENTIAL
PROJECT TYPE (Z)	RESIDENTIAL

DATE: 12/08/2011	
PROJECT NAME	RESIDENTIAL DEVELOPMENT
PROJECT ADDRESS	2500 COLONEL TALBOT ROAD, SUNRAY AVENUE, LONDON, ONTARIO, CANADA
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PROJECT TYPE (X)	RESIDENTIAL
PROJECT TYPE (Y)	RESIDENTIAL
PROJECT TYPE (Z)	RESIDENTIAL

Sat No.

NOT FOR CONSTRUCTION

DATE

No.	Date	Issued For / Revisions
1	12/02/2012	ISSUED FOR SPA
2		
3		
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SJMA
ARCHITECTURE INC.

124 Wellington Road, London, Ontario
www.sjma.com 519-444-5220 (519) 444-1453

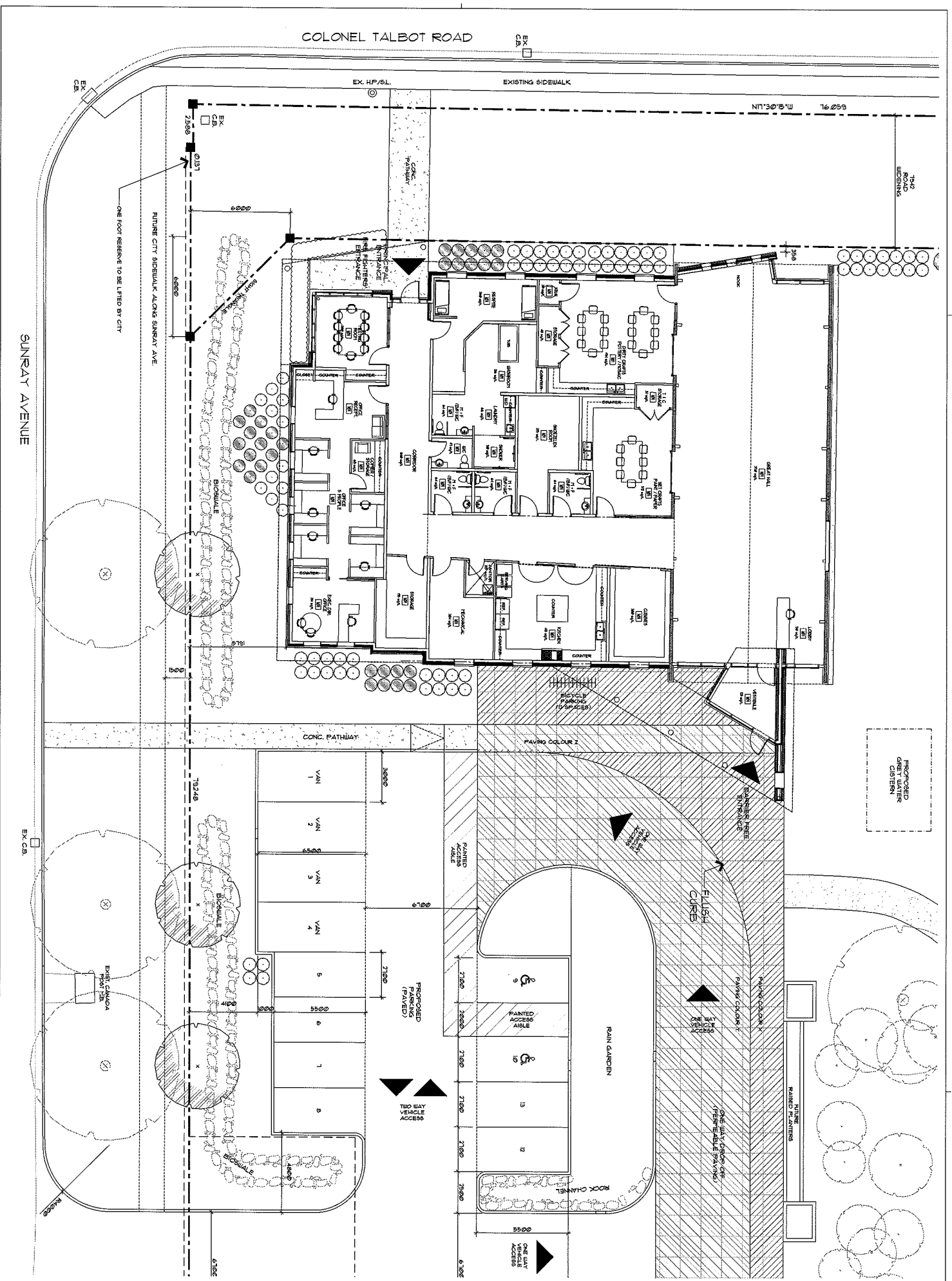
L'Arche Community
Gathering Place
4888 Colonel Talbot Road, London, ON

11111

23 July 2012

A1-1

FLOOR PLAN
SCALE: 1/8" = 1'-0"

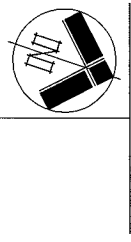


SJMA ARCHITECTURE INC.
124 WASHINGTON ROAD, LONDON, ONTARIO
www.sjma-arch.com TEL: 519-544-5200 FAX: 519-544-1425

L'Arche Community Gathering Place
4888 Colonel Talbot Road, London, ON

FLOOR PLAN

Drawn By	TH	Project No.	1111
Scale	As Shown	Sheet No.	1111
Plot Date	23 July 2012	Drawn By	A1-2
Client Name	L'Arche Community	Client Project	



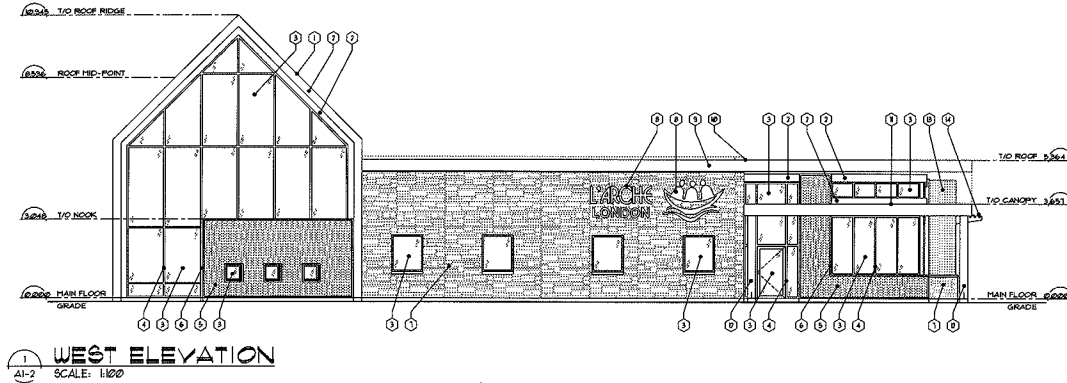
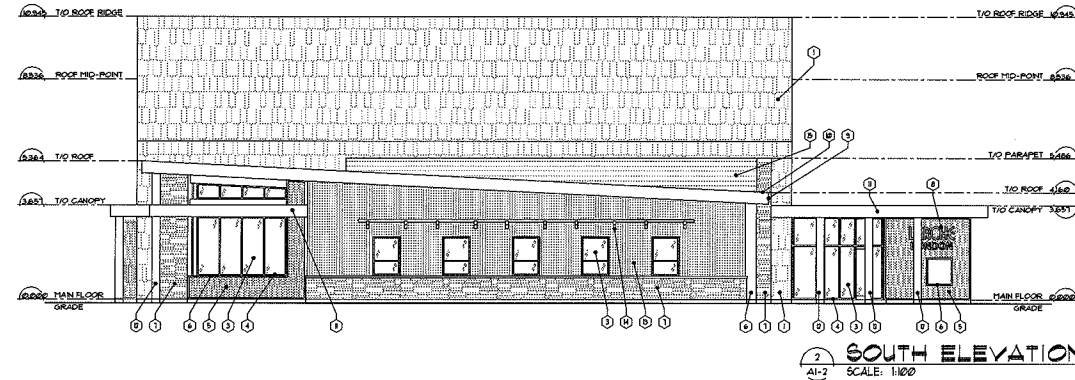
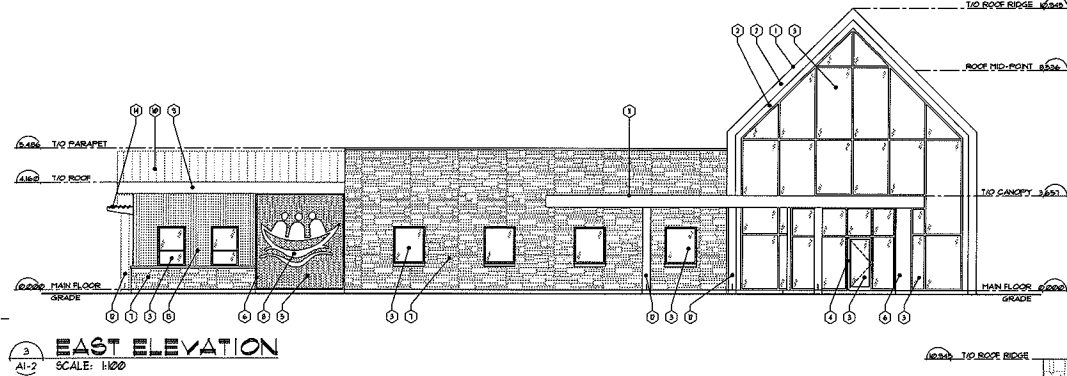
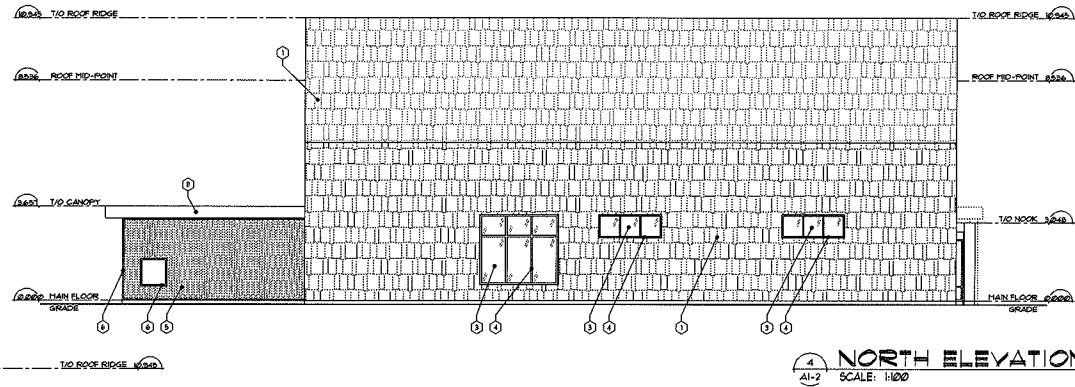
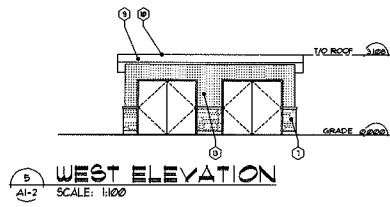
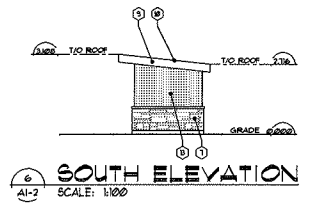
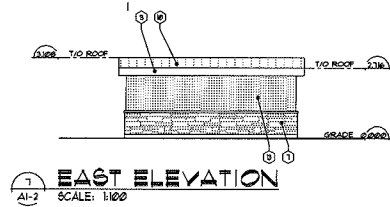
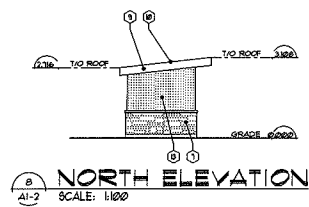
NOT FOR CONSTRUCTION DATE

NOTES:

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. REMOVE ALL EXISTING CURBS OR OBSTACLES IN THE PATH OF NEW CURBS OR OBSTACLES AS SHOWN ON THIS PLAN.
3. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LONDON.
4. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LONDON.
5. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LONDON.
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10. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LONDON.

Issue #	Revision Description	Date	Issued For	Revision
1	23/07/2012	ISSUED FOR RFA		
2				
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Set No.



- EXTERIOR MATERIALS**
- ① METAL "SHAKE" SHINGLES
 - ② PRE-FINISHED METAL CLADDING
 - ③ GLAZING
 - ④ METAL CURTAIN WALL
 - ⑤ STACK WOOD WALL
 - ⑥ PRE-FINISHED METAL TRIM
 - ⑦ "STONE" UNIT MASONRY
 - ⑧ L'ARCHE SIGNAGE

- ① PRE-FINISHED METAL FASCIA
- ② PRE-FINISHED METAL ROOF
- ③ PRE-FINISHED METAL CANOPY
- ④ WOOD COLUMNS
- ⑤ VERTICAL SIDING
- ⑥ BAN SHADE
- ⑦ HORIZONTAL SIDING

Set No.

NOTES:
 1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 2. DO NOT SCALE DRAWINGS.
 3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER AS APPLICABLE.
 4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
 5. THE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
 6. AREA CALCULATIONS ARE APPROPRIATE.

ISSUE & REVISION DESIGNATION
 LETTER (A) + ISSUE No. (1) + REVISION

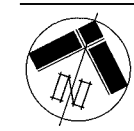
No.	Date	Issued For / Revisions
1	25.07.2012	ISSUED FOR SPA
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NOT FOR CONSTRUCTION
DATE

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AUG 02 2012

CITY OF LONDON
DEVELOPMENT SERVICES



SJMA
 ARCHITECTURE INC.

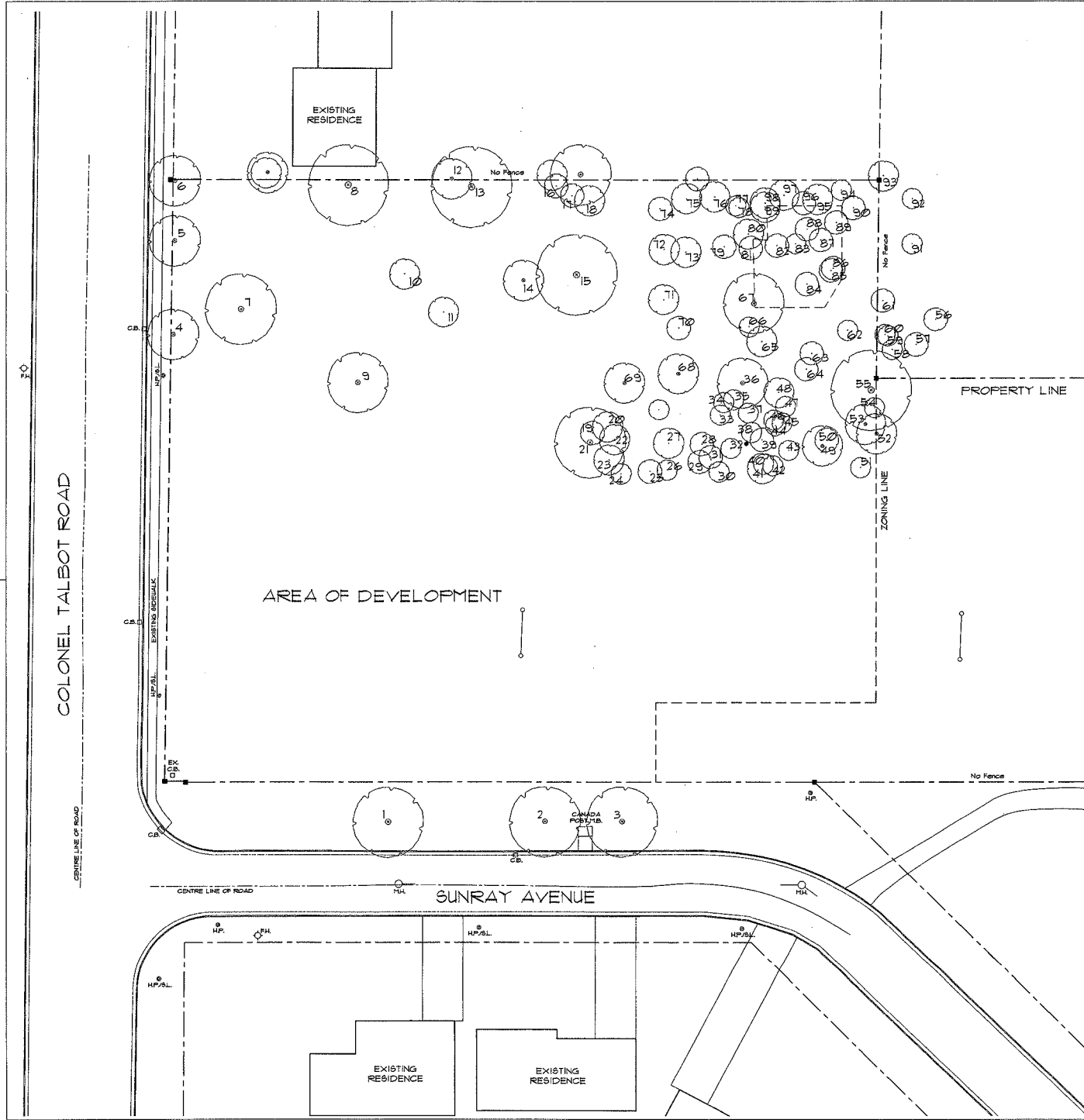
124 Wellington Road, London, Ontario
 www.sjma-arch.ca · 1-519-849-0220 · 1-519-649-1453

Project:
**L'Arche Community
 Gathering Place**
 4888 Colonel Talbot Road, London, ON

Drawing:
**BUILDING ELEVATIONS &
 ACCESSORY BUILDING ELEVATIONS**

Drawn By MH	Job Captain ST	Project No. 1111
Scale As Shown	Sheet No. A3-1	
Plot Date 23 July 2012		
Current Issue	Current Revision	

12-025033



EXISTING TREE INVENTORY

Tree No.	Species Botanical Name	Common Name	Size DBH (cm)	Condition
1	acer rubrum	Red Maple	70	Fair- on Red canopy, center, trunk fungus, 30% debark
2	acer saccharinum	Sugar Maple	60	Good- 10% debark, 5m red canopy
3	acer saccharinum	Sugar Maple	60	Fair- 20% debark, trunk fungus, 5m red canopy
4	Juglans nigra	Black Walnut	50	Fair- tree pruned for overhead wires, trunk fungus
5	Juglans nigra	Black Walnut	50	Fair- tree pruned for overhead wires, trunk fungus
6	Juglans nigra	Black Walnut	50	Fair- tree pruned for overhead wires, trunk fungus
7	Caloptelea speciosa	Northern Caloptelea	70	Good- 10% debark, 5m red canopy, north side bare of branches
8	acer saccharinum	Silver Maple	60	Fair- near existing home, 20% debark
9	Fraxinus sp.	Ash	60	Fair- 30% debark
10	prunus sp.	Cherry	30	Poor- 30% debark
11	aliantinus albatina	Tree of Heaven	30	Poor- invasive, 20 trunk, succoring
12	prunus sp.	Cherry	40	Good- at property line, surrounded by liana
13	Dead stump		40	
14	aliantinus albatina	Tree of Heaven	40	Poor- invasive, dbf trunk, succoring
15	Dead Stump		60	
16	aliantinus albatina	Tree of Heaven	20	Poor- invasive, dbf trunk, succoring
17	aliantinus albatina	Tree of Heaven	20	Poor- invasive, dbf trunk, succoring
18	aliantinus albatina	Tree of Heaven	30	Poor- invasive, dbf trunk, succoring
19	acer negundo	Manitoba Maple	20	Poor- invasive, succoring
20	Juglans nigra	Black Walnut	30	Good
21	acer negundo	Manitoba Maple	70	Fair- invasive, 20% debark
22	acer negundo	Manitoba Maple	30	Poor- 50% debark
23	Juglans nigra	Black Walnut	30	Good
24	Juglans nigra	Black Walnut	10	Good
25	acer rubrum	Red Maple	20	Fair- 30% debark
26	Juglans nigra	Black Walnut	10	Good- trunk fungus
27	Juglans nigra	Black Walnut	30	Good- trunk fungus
28	Juglans nigra	Black Walnut	20	Good- trunk fungus
29	Juglans nigra	Black Walnut	20	Good- trunk fungus
30	Juglans nigra	Black Walnut	10	Good- trunk fungus
31	Juglans nigra	Black Walnut	20	Good
32	Juglans nigra	Black Walnut	10	Good
33	Juglans nigra	Black Walnut	10	Good
34	Juglans nigra	Black Walnut	10	Good
35	Juglans nigra	Black Walnut	10	Good
36	acer negundo	Manitoba Maple	50	Poor- stump with succoring
37	Juglans nigra	Black Walnut	10	Good
38	Juglans nigra	Black Walnut	10	Good
39	Juglans nigra	Black Walnut	20	Good
40	Juglans nigra	Black Walnut	10	Good
41	Juglans nigra	Black Walnut	30	Good
42	Juglans nigra	Black Walnut	10	Good
43	Juglans nigra	Black Walnut	10	Good
44	Juglans nigra	Black Walnut	10	Good
45	Juglans nigra	Black Walnut	10	Good
46	Juglans nigra	Black Walnut	10	Good
47	Juglans nigra	Black Walnut	10	Good
48	Juglans nigra	Black Walnut	30	Good
49	Juglans nigra	Black Walnut	40	Good
50	Caryocarpus caroliniana	Black Birch	8	Good
51	Juglans nigra	Black Walnut	10	Good
52	acer negundo	Manitoba Maple	40	Poor- stump with succoring
53	Fraxinus sp.	Ash	40	Fair- 30% debark, trunk fungus, 5m red canopy
54	Fraxinus sp.	Ash	10	Good
55	Fraxinus sp.	Ash	80	Fair- mulberry, 20% debark
56	Juglans nigra	Black Walnut	20	Good
57	Juglans nigra	Black Walnut	20	Good
58	Fraxinus sp.	Ash	10	Good
59	acer negundo	Manitoba Maple	10	Fair- invasive
60	acer negundo	Manitoba Maple	10	Poor- stump with succoring
61	acer negundo	Manitoba Maple	10	Poor- stump with succoring
62	Juglans nigra	Black Walnut	10	Good- high branching
63	Juglans nigra	Black Walnut	20	Good- high branching
64	Juglans nigra	Black Walnut	20	Good- high branching
65	acer glaberrimus	Honey Maple	30	Good- but invasive
66	Juglans nigra	Black Walnut	10	Good
67	acer negundo	Manitoba Maple	60	Poor
68	Juglans nigra	Black Walnut	40	Good
69	acer negundo	Manitoba Maple	40	Poor- 30% debark, invasive
70	Juglans nigra	Black Walnut	20	Good
71	Juglans nigra	Black Walnut	30	Good- high branching
72	Juglans nigra	Black Walnut	30	Good- high branching
73	Juglans nigra	Black Walnut	30	Good- high branching
74	Juglans nigra	Black Walnut	20	Good- high branching
75	Juglans nigra	Black Walnut	30	Good- high branching
76	acer negundo	Manitoba Maple	30	Poor
77	Caryocarpus caroliniana	Black Birch	10	Good
78	prunus sp.	Cherry	10	Poor- growing with horwood
79	Juglans nigra	Black Walnut	30	Good
80	Fraxinus sp.	Ash	30	Good
81	Fraxinus sp.	Ash	20	Fair- 30% debark
82	Juglans nigra	Black Walnut	20	Good
83	Juglans nigra	Black Walnut	10	Good
84	Juglans nigra	Black Walnut	20	Good
85	Juglans nigra	Black Walnut	30	Good
86	Juglans nigra	Black Walnut	30	Good
87	Juglans nigra	Black Walnut	20	Good
88	Juglans nigra	Black Walnut	20	Good
89	Juglans nigra	Black Walnut	20	Good
90	Juglans nigra	Black Walnut	20	Good- high branching
91	Juglans nigra	Black Walnut	10	Good- high branching
92	acer glaberrimus	Honey Maple	10	Poor
93	Juglans nigra	Black Walnut	30	Good
94	Juglans nigra	Black Walnut	10	Good
95	Juglans nigra	Black Walnut	30	Good- high branching
96	Juglans nigra	Black Walnut	20	Good- high branching
97	Juglans nigra	Black Walnut	30	Good- high branching
98	Juglans nigra	Black Walnut	30	Good- high branching
99	prunus sp.	Cherry	30	Good

Understory Includes:
 Eucalyptus
 Honeysuckle
 Manihot Maple
 Tree of Heaven
 Bramble
 Linc

Set No.

- NOTES:
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
 2. DO NOT SCALE DRAWINGS
 3. REPORT ALL DISCREPANCIES OF ARCHITECT OR DESIGN ENGINEER OR APPLICABLE
 4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE LARGEST NUMBER FOR CONSTRUCTION
 5. THE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
 6. AREA CALCULATIONS ARE APPROPRIATE.

ISSUE # REVISION DESIGNATION
 LETTER (A) + ISSUE, No. (1) + REVISION

No.	Date	Issued For / Revisions
1	29.07.2012	ISSUED FOR SPA
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CITY OF LONDON
 DEVELOPMENT SERVICES

12-025033



SJMA ARCHITECTURE INC.

124 Wellington Road, London, Ontario
 www.sjma-arch.co - (519) 449-0200 - (519) 449-1449

York Urbanist

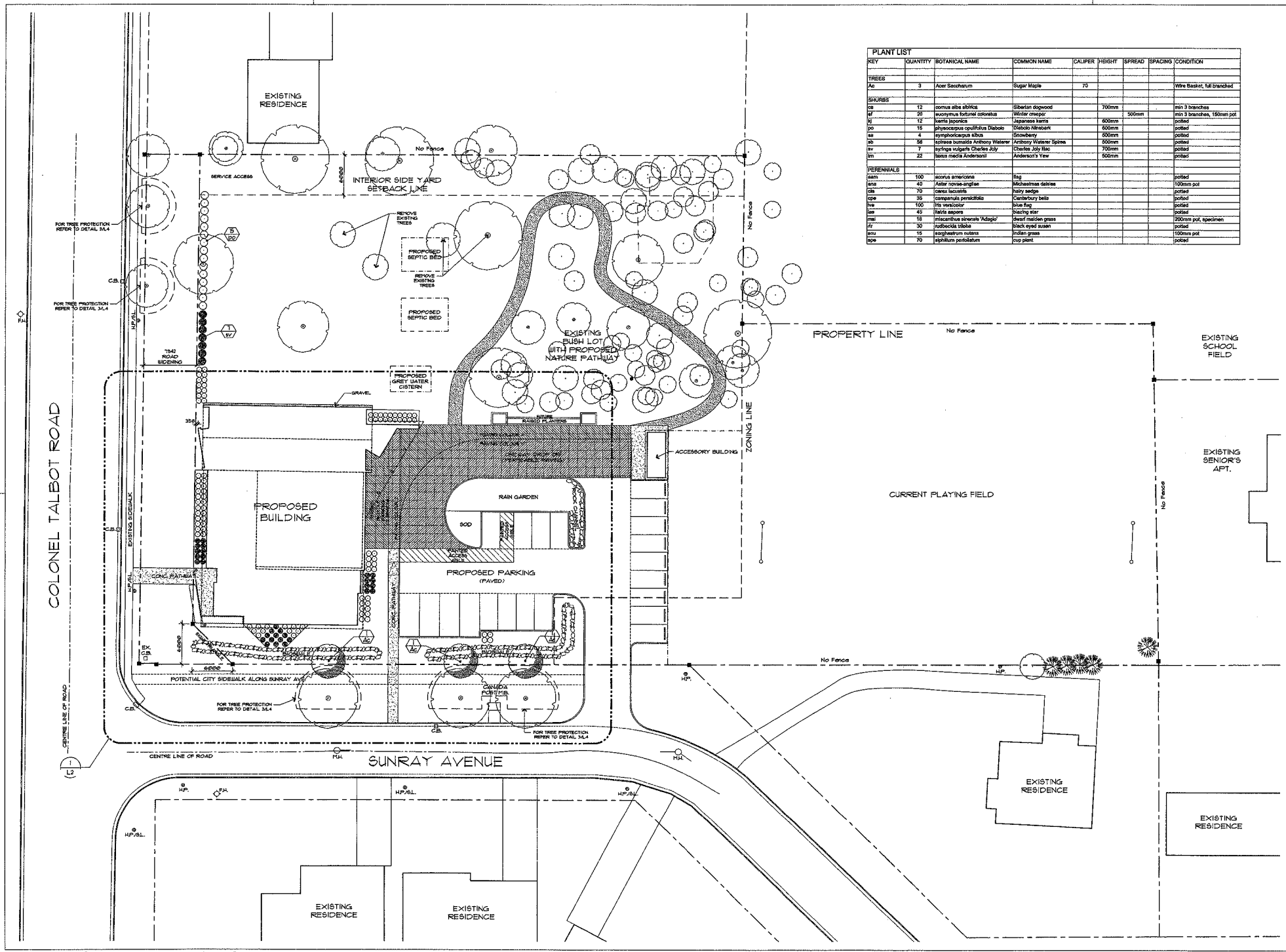
25 Main Street, Kleinburg, ON, L0J 1C0
 yorkurbanist@gmail.com www.yorkurbanist.com
 416-770-8802

Project: L'Arche Community Gathering Place
 4886 Colonel Talbot Road, London, ON

EXISTING TREE INVENTORY PLAN

Drawn By: MH	Job Capital: HI	Project No: 1111
Scale: AS SHOWN		Sheet No:
Plot Date: 23 July 2012		
Current Issue: L	Current Revision: 0	Sheet No: L1

EXISTING TREE INVENTORY PLAN
 SCALE: 1:250



PLANT LIST									
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	SPACING	CONDITION	
TREES									
Ac	3	Acer Saccharum	Sugar Maple	70				Wire Basket, full branched	
SHRUBS									
SB	12	cornus alba sibirica	Siberian dogwood		700mm			min 3 branches	
BT	20	euonymus fortunei coloratus	Winter creeper			500mm		min 3 branches, 150mm pot	
BT	12	varia japonica	Japanese variegata			600mm		potted	
DO	15	Physocarpus opulifolius Diabolo	Diabolo Ninebark			600mm		potted	
SA	4	symphoricarpos albus	Snowberry			600mm		potted	
SB	36	taxus canadensis	Anthony Waterer			600mm		potted	
BT	7	hydrangea vladimiri Charles Joly	Charles Joly Hydr.			700mm		potted	
BT	22	taxus media Anderssonii	Anderson's Yew			600mm		potted	
PERENNIALS									
am	100	scirpus americanus	Flag					potted	
am	40	aster novae-angliae	Michxmas daisy					100mm pot	
SB	70	carex lasiocarpa	hairy sedge					potted	
cp	35	campanula persicifolia	Campanula bells					potted	
am	100	iris versicolor	Blue flag					potted	
am	45	liriodieum	Black star					potted	
ms	16	miscanthus sinensis 'Adagio'	dwarf maiden grass					200mm pot, specimen	
am	30	rustocaulis thibata	black eyed susan					potted	
am	15	trichostema vulgare	indian grass					100mm pot	
cp	70	aliphium perfoliatum	cup plant					potted	

Set No.

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ISSUE & REVISION DESIGNATION LETTER (A) * ISSUE, No. (1) * REVISION

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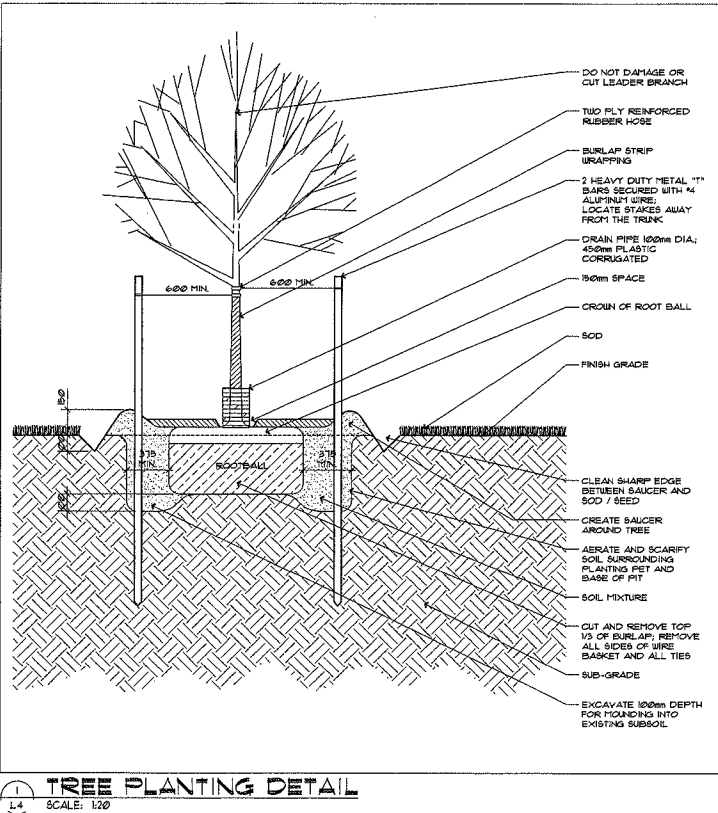
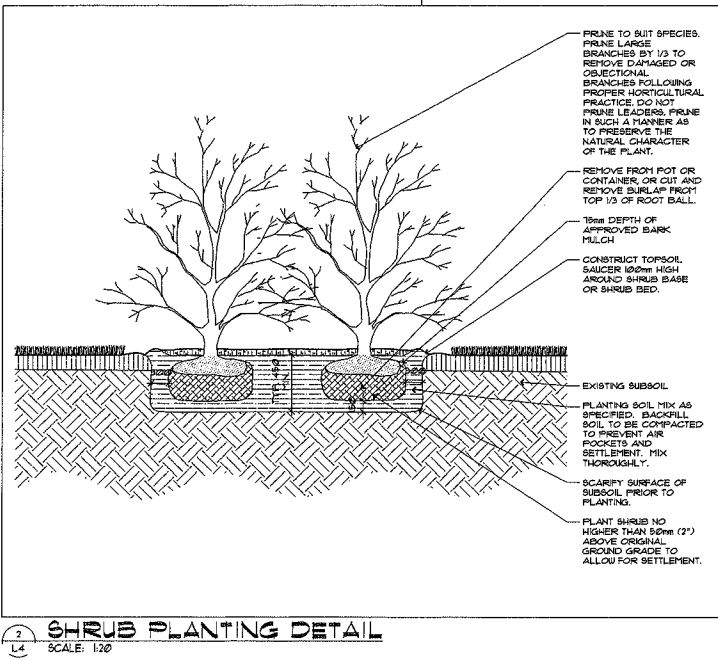
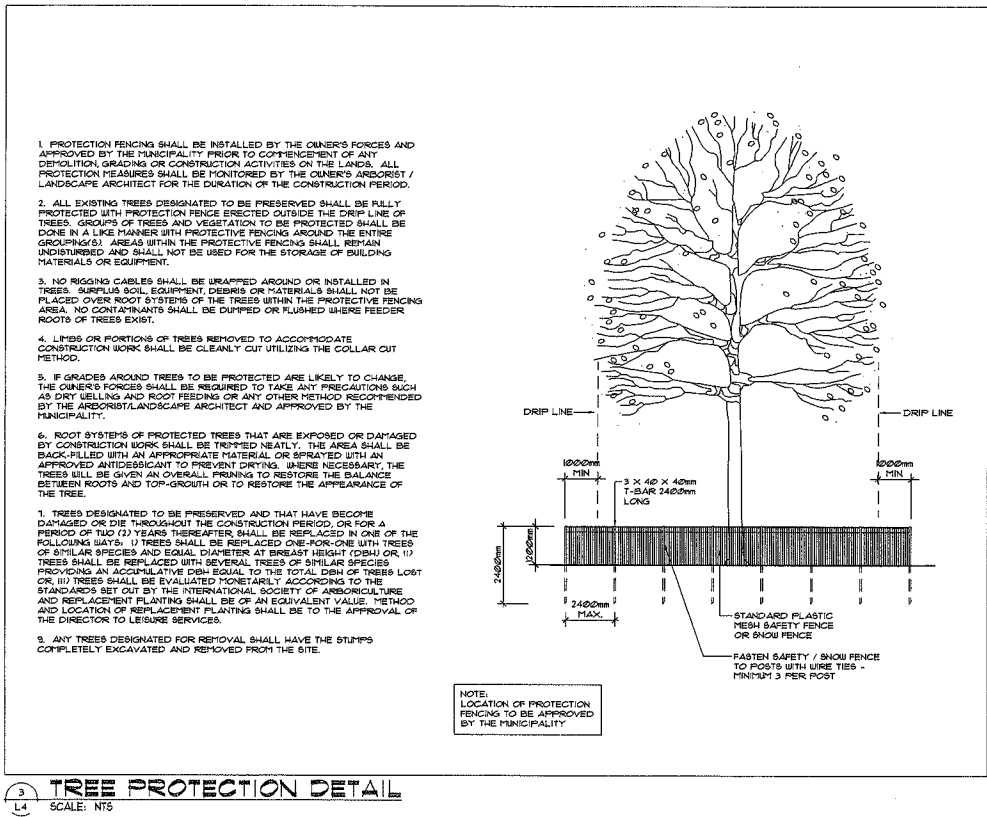
York Urbanist
25 Main Street, Kleinburg, ON, L0J 1C0
yorkurbanist@gmail.com : www.yorkurbanist.com
416-779-8862

Project:
L'Arche Community Gathering Place
4888 Colonel Talbot Road, London, ON

Drawing:
LANDSCAPE FEATURE PLAN

Drawn By: MH	Job Captain: MH	Project No.:
Scale: AS SHOWN	1111	
Plot Date: 23 July 2012	Drawn by:	
Current Issue: L	Current Revision: 0	L2

LANDSCAPE FEATURE PLAN
SCALE: 1:250



Set No.

NOTES:

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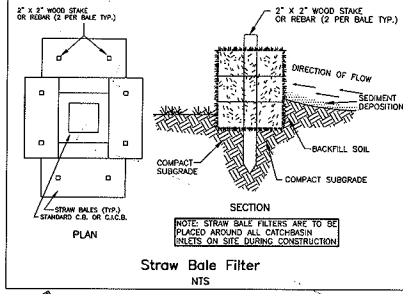
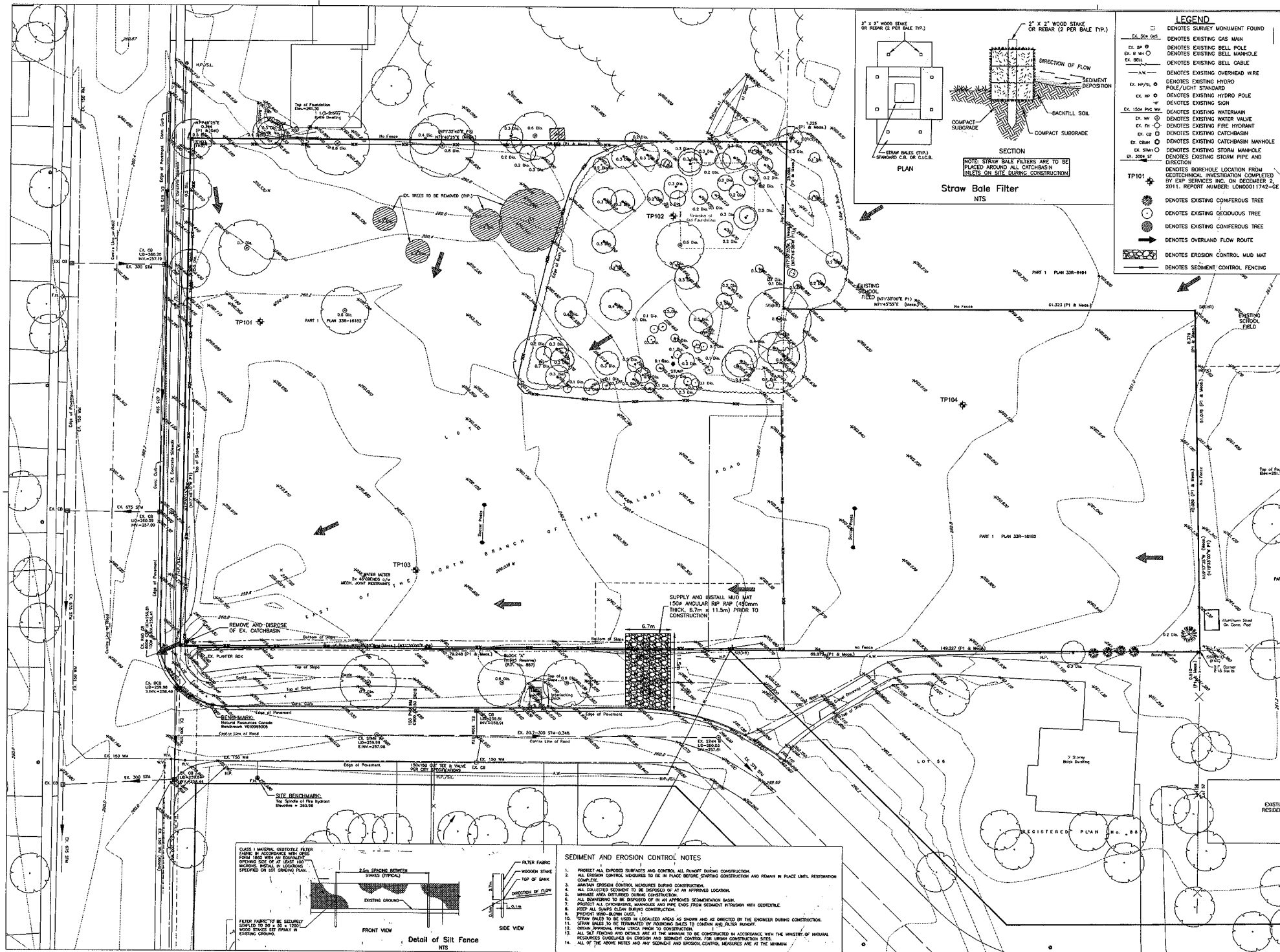
25 Main Street, Kleinburg, ON, L0J 1C0
yorkurbanist@gmail.com | www.yorkurbanist.com
416-776-8862

Project: **L'Arche Community Gathering Place**
4888 Colonel Talbot Road, London, ON

Drawings: **LANDSCAPE DETAILS**

Drawn By: MH	Job Captain: MI	Project No.:
Scale: AS SHOWN	1111	
Plot Date: 23 July 2012	Sheet No.:	
Current Issue:	Current Revision:	L4

12-025033



LEGEND

- DENOTES SURVEY MONUMENT FOUND
- EX. 306 GAS DENOTES EXISTING GAS MAIN
- EX. 8P 8" DENOTES EXISTING BELL POLE
- EX. 8" W 8" DENOTES EXISTING BELL MANHOLE
- EX. BEL 1" DENOTES EXISTING BELL CABLE
- EX. OW DENOTES EXISTING OVERHEAD WIRE
- EX. HY 5/8" DENOTES EXISTING HYDRO POLE/LIGHT STANDARD
- EX. HP 6" DENOTES EXISTING HYDRO POLE
- EX. 150A PVC 150A DENOTES EXISTING SIGN
- EX. W 6" DENOTES EXISTING WATER VALVE
- EX. FH 1" DENOTES EXISTING FIRE HYDRANT
- EX. CB DENOTES EXISTING CATCH-BASIN
- EX. CBH 18" DENOTES EXISTING CATCH-BASIN MANHOLE
- EX. SMH 18" DENOTES EXISTING STORM MANHOLE
- EX. 306 ST DENOTES EXISTING STORM PIPE AND DIRECTION
- TP101 DENOTES BORING LOCATION FROM GEOTECHNICAL INVESTIGATION COMPLETED BY EXP SERVICES INC. ON DECEMBER 2, 2011. REPORT NUMBER: LON00011742-GE
- DENOTES EXISTING CONIFEROUS TREE
- DENOTES EXISTING DECIDUOUS TREE
- DENOTES EXISTING CONIFEROUS TREE
- DENOTES OVERLAND FLOW ROUTE
- ▨ DENOTES EROSION CONTROL MUD MAT
- DENOTES SEDIMENT CONTROL FENCING

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NOTES

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ISSUE # REVISION DESIGNATION
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No.	Date	Issued For / Revisions
1.	11/21/12	ISSUED FOR SPA
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development engineering
Consulting Civil Engineers (London) Limited
41 Adelaide St. N., Unit 71
London, Ontario N6B 3P4

REGISTERED PLAN No. 88

L'Arche Community Gathering Place
4448 Colonel Talbot Road, London, ON

EXISTING CONDITIONS AND EROSION SEDIMENT CONTROLS

Drawn By: RES Job Captain: LM Project No: DEL12-003

Scale: 1:250

Plot Date: 22.06.2012 Sheet No:

Current Issue: Current Revision: SE1

12-025033

Site Specific General Notes

- Existing servicing, topographic & legal information was obtained by Farncombe, Kirkpatrick and Stirling Surveying Ltd.
- All existing underground utilities, either shown or not shown, are to be located and marked prior to commencing construction within the site and on existing abutting road allowances. Any utilities damaged or disturbed during construction shall be repaired or replaced to the satisfaction of the governing body at the site expense of the Contractor.
- All proposed storm & sanitary sewer pipe shall be PVC DR 35 or approved rib pipe with Type 1 bedding under 4.5m of cover and Type II bedding over 4.5m of cover.
- All precast storm and sanitary sewer manholes shall be constructed in accordance with the current G.P.S.D. standard 1001.01. Catchbasin manholes (CMH) shall be 1200 mm inside diameter precast concrete with 600 mm square standard catchbasin frames and grates and 800 mm sumps below the lowest invert (SW-4.0). Catchbasin (CB) shall be 600 mm square precast concrete with 600 mm square catchbasin frames and grates and 800 mm sumps below the lowest invert (SPS0-705.01).
- All storm and sanitary sewers and catchbasin connections shall have approved rubber gasket joints.
- All sewers and manholes are to be installed in accordance with the minimum requirements of the latest revision of the Ontario Provincial Standard Specifications and the City of London.
- All concrete to be cast in place shall be placed in accordance with the minimum requirements of the latest revision of the Ontario Provincial Standard Specifications and the City of London.
- Prior to commencing ANY construction, the Contractor must verify all outlet information, benchmarks, elevations and dimensions and report any discrepancies immediately to the Engineer.
- For commencing ANY construction, an approved set of plans must be available on the job and shall remain there until work is completed.
- The contractor is responsible for the control of surface and subsurface water.
- The Contractor shall construct temporary measures to control all entering the storm drainage system. These measures are to remain in place until construction has been completed all to the specifications of the City of London.
- The developer's consulting engineer shall provide full-time inspection and a Certificate of Compliance upon completion for all work to be constructed on existing municipal streets.
- All existing boulevards and road surfaces, disturbed during construction, shall be restored to a condition as good as or better than original, all to the satisfaction of the City of London.
- Storm Bate Filter detail. Storm Bate to be remain in place until paving and/or sodding is complete.
- Refer to Pavement Design Table for asphalt and granular thickness for light and heavy duty pavements. Restore curb & gutter and sidewalk to match existing unless otherwise specified.
- All waterworks construction shall conform to the current standards and specifications of the City of London. The water service shall be 150 PVC GSD 90 LL150 DR15 installed to a minimum depth of cover of 1.7m unless shown otherwise on the plans.
- The contractor is responsible for:
 - connecting any existing sewer or drain encountered during construction to a new sewer or into another existing sewer;
 - ensuring that there is no interruption of any surface or subsurface drainage flow that would adversely affect neighboring properties for future parking areas.
- All existing underground plant (telephone duct, gas mains, sewer, watermain) that will be crossed under during the installation of services for this development shall be supported by a support beam or by other methods as may be required by the owners of the plant being crossed under.
- All existing underground plant (telephone duct, gas mains, sewer, watermain) that will be crossed under during the installation of services for this development shall be supported by a support beam or by other methods as may be required by the owners of the plant being crossed under.
- Bedfill for sewer trenches under areas to be paved must be clean and compressible and free from organics and other undesirable contaminants. Prior to placing the granular base material, all topsoil, soft and otherwise compressible material must be removed from the pavement area. If it is recommended that the subgrade be profiled with a heavy roller to compress the loose surface material. The bedfill material should not be placed in lifts exceeding 300mm, it is recommended that sewer bedding consist of coarse sand or fine gravel to a height of 300mm above the top of pipe. The remaining bedfill may consist of approved granular pit-in material. All bedding and bedfill material shall be compacted to 90% SFMBD. In areas where the sewer trench encounters seeps, it is recommended that the pipe bedding consist of 19mm (3/4") clear stone.
- All work shall be done in accordance with the minimum standards and specifications of the City of London including proper finishing and paring of pipes in manholes and catchbasins and proper benching and manhole steps. The Engineer will conduct periodic inspections to ensure that the proper standards are being met.
- Upon completion of the installation of all sewer systems the contractor shall pull the "pig" through the pipelines. The contractor shall clean & flush the sewers & provide a sewer video to the Project Engineer for approval.
- The contractor shall notify the Project Engineer a min. of 48 hours in advance of installing any site services so the appropriate inspection can be undertaken.
- The rate of infiltration into storm and sanitary sewers shall not be greater than 34 litres per millimetre of internal diameter per kilometre of line length per day.
- Prior to commencing construction, all existing underground utilities within the limits of the construction site shall be located and marked. Any utilities, damaged or disturbed during construction, shall be repaired or replaced to the satisfaction of the governing body of the contractor's expertise.
- For Stormwater Management information refer to report prepared by Development Engineering (London) Limited dated June, 2012.

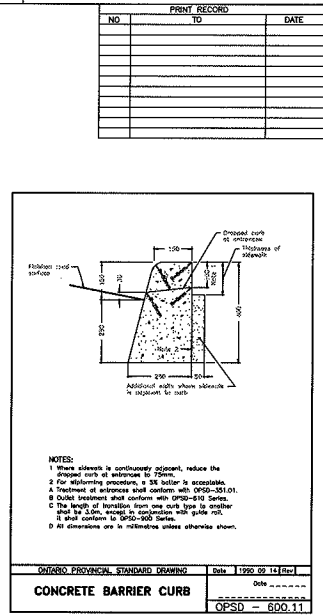
The Following Ontario Provincial Standard Drawings and City of London Engineering Standards shall be used on this Project

SPS0-400.02	Catchbasin, cast iron, frame and flat square grate
SPS0-400.09	Catchbasin, cast iron curb and square frame
SPS0-401.01	Maintenance hole, cast iron cover and square frame
SPS0-401.03	Maintenance hole, cast iron, weatheright cover and square frame
SPS0-405.010	Maintenance hole steps - hollow
SPS0-405.020	Maintenance hole steps - solid
SPS0-600.01	Concrete barrier curb with wide gutter
SPS0-600.06	Concrete semi-mountable curb with standard gutter (curb out not required at driveway entrances)
SPS0-600.11	Concrete barrier curb
SPS0-600.12	Method of termination for curb & gutter
SPS0-701.010	Precast maintenance hole - 1200mm diameter
SPS0-701.020	Maintenance hole benching details
SPS0-701.030	Precast concrete maintenance hole components - 1200mm diameter
SPS0-705.010	Precast concrete catchbasin 600x600, depth - 4.0m max.
SPS0-708.01	Catchbasin connection rigid pipe sewer
SPS0-708.03	Catchbasin connection flexible pipe sewer
SPS0-800.01	Chain link security fence
LC0-330	Landscape grading abutting sidewalk construction
U.C.-3-1M	Standard utility locations for all streets
DWG SW-1-0	Bedding standard for gravity and pressure pipe
DWG SW-1-1	Class A-1 concrete creche bedding and Class A-2 concrete arch bedding for rigid pipe
DWG SW-4-0	Precast concrete catchbasin manhole
DWG SW-5-0	Manhole adjustment unit detail
DWG SW-5-1	Precast concrete maintenance hole hole - depth 10.0m max.
DWG SW-5-2	Steps in maintenance hole benching
DWG SW-5-3	Private drain connection
DWG SW-8-1	Private drain connection riser - Type 1
DWG SW-8-2	Private drain connection riser - Type 2
DWG SW-7-0	Standard seating locations for single family and semi-detached lots
DWG SW-1-0	Concrete sidewalk
DWG SW-1-1	Concrete sidewalk abutting curb & gutters
DWG SW-1-2	Concrete sidewalk ramp
DWG SW-1-3	Standard sidewalk
DWG SW-1-4	Combination curb-face sidewalk at driveway entrances
DWG SW-1-5	Sidewalk driveway entrance detail
DWG SW-2-0	Single, double and multi-family driveway entrance with boulevards
DWG SW-3-0	Concrete curb setback
DWG SW-6-0	Concrete steps with footings
DWG SW-7-0	Standard pedestrian walkway
DWG SW-8-0	Removable post

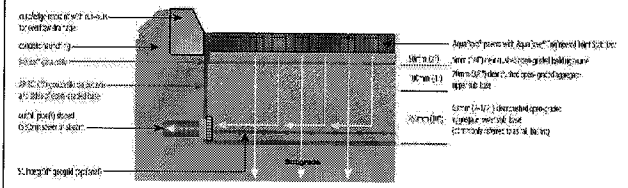
General Construction Notes

- At least 48 hours prior to commencing construction on any existing road allowance maintained by the City of London, the Subdivider/Developer is to obtain a Work Approval Permit from the Public Service Division of the Environmental Services Department after discussion with the staff of the Water, Sewer & Drainage Division and Transportation Division.
- The Subdivider/Developer shall construct temporary measures to control all entering the storm drainage system to the specifications outlined in the Guidelines on Erosion and Sediment Control for Urban Construction Sites prepared by the Ministry of Natural Resources. These measures are to be installed prior to commencing any construction for this subdivision/development/project, and are to remain in place until construction has been completed to the specifications of the City Engineer.
- No foundation drain connections will be permitted into the sanitary sewers and no direct gravity connections from the foundation drains will be permitted to the storm sewer system unless the storm system has the capacity to provide for such connections to the satisfaction of the City Engineer. Sump pumps shall be discharged to storm sewers drain connections.
- All work shall meet the minimum standards and specifications of the City of London Environmental Construction Documents for Municipal Construction, as amended by Council on May 30, 1994 and as amended from time to time, are to be applied to this project.
- The Subdivider/Developer is to inform the London Transit Committee at least four days prior to commencing construction on any street that is on L.T.C. base route which will be disrupted by the construction.
- Where any water service connection is required to be made following the construction of curb, gutter, concrete sidewalk and/or wearing surface coat of asphalt on any street for a new subdivision/development, such water service connection shall not be made using "open cut" methods but shall be made using drilling or boring techniques and in such a manner as to eliminate the possibility of settlement of such curb, gutters, concrete sidewalk or wearing surface coat of asphalt. It being understood that this policy shall apply except where, in the opinion of the City Engineer, ground conditions are such that the use of drilling and boring methods become unreasonable or unseasonable.
- The Subdivider/Developer is to notify the Technical Service Division in writing at least 48 hours prior to commencing construction.
- The Subdivider/Developer shall have its Professional Engineer provide full-time inspection during construction and a Certificate of Completion of works upon completion of all works to be constructed on an existing city street or easement.
- The Subdivider/Developer shall have its Professional Engineer provide adequate inspection during construction and a Certificate of Completion of works upon completion of all works which are to be constructed by the City.
- The Utilities Coordinating Committee must be informed at least two weeks prior to commencing construction on any existing City road allowance.
- The Subdivider/Developer must be informed at least two weeks prior to commencing construction and a Certificate of Completion of works upon completion of all works which are to be constructed on any existing City road allowance.
- The Subdivider/Developer must be informed at least two weeks prior to commencing construction and a Certificate of Completion of works upon completion of all works which are to be constructed on any existing City road allowance.
- Street name signs are to be installed to the specifications of, and at locations approved by, the Transportation Division of the Environmental Services Department.
- If common trench construction is to be used for the installation of storm and sanitary sewers on any street within this subdivision/development/project, the sanitary p.d.c.'s are to be constructed to at least 6' providing adequate protection during construction.
- All organic, unstable or unsuitable materials beneath the road allowances or base foundations must be removed and these areas backfilled with an approved fill material, all to the satisfaction of a geotechnical engineer.
- If a driveway is to be constructed in the approximate location of a sidewalk or extension, the use of attention may be eliminated provided that the curb and gutter section for sidewalk ramp is used across the driveway in lieu of standard driveway curb and gutter.
- The specifications for the design of the streets in conjunction with this subdivision/development/project have been based on a twenty year life expectancy.
- Where adjacent manholes are in close proximity to one another, the area between the adjacent manholes shall be backfilled in accordance with the specifications in the following table:

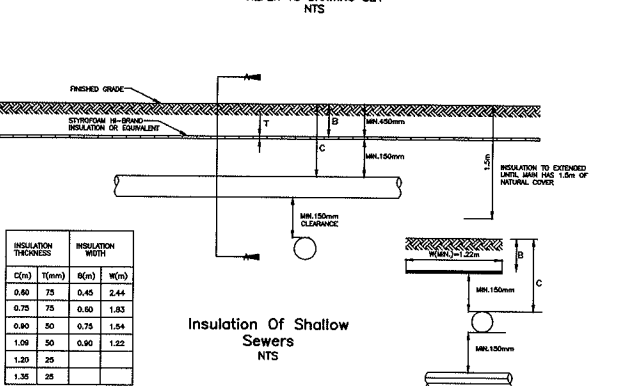
Distance Between adjacent Manholes	Material
0.6m or less	crushed stone
0.6m to 2.4m	granular material
more than 2.4m	approved native material
- The above noted bedfill shall be compacted to the standard Proctor density specified in the soils report, or as approved by the City Engineer.
- The side of all R/C's are to be installed so that the lint grooves are located entirely on one property, to avoid interference by fences.
- The following notes (a & b) shall apply for all multi-family, commercial and industrial blocks:
 - The developers of the multi-family blocks shall make provision for manholes to be located in paved areas or inside alternative arrangements for access to these manholes, to the satisfaction of the City Engineer at the time these blocks are developed.
 - Sewage sampling manholes, built to City of London standards, are to be provided for each individual commercial and industrial lot, according to the By-law No. WM-2 at the time these blocks are developed.
- For projects on City Streets which involve City funding (a tax dollar) and will have a duration of two weeks or longer construction signposting to be installed. These signs will be supplied by the Facilities Division of the Environmental Services Department.
- Residential sanitary p.d.c.'s are NOT to be constructed into any sanitary maintenance hole.
- All substitutions must be approved by the City Engineer.



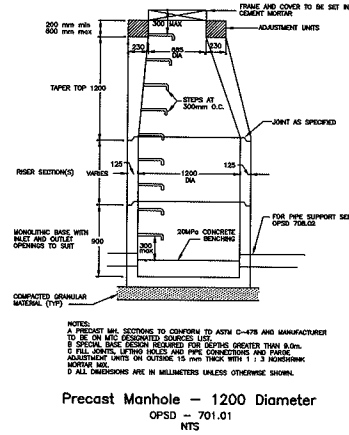
Partial Exfiltration System



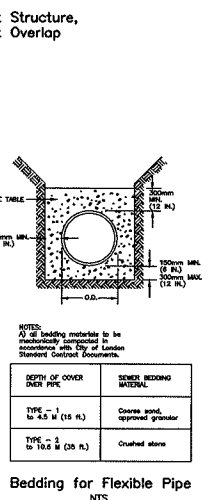
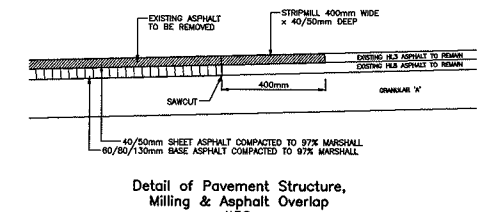
AquaPave PERMEABLE PAVING SYSTEM TYPICAL DETAIL
REFER TO DRAWING SE4
NTS



Insulation of Shallow Sewers
NTS



600x800 Precast Concrete Catchbasin
DEPTH 4.0m MAX.
NTS



NO.	TO	DATE

Set No. _____

NOTES:

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- DO NOT SCALE DRAWINGS.
- REPORT ALL DISCREPANCIES OF ERRORS, OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT OR DESIGNER AS APPLICABLE.
- USE ONLY LATEST REVISIONS OF STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- THE DRAWINGS AND THE PROJECT OF THE ARCHITECT AND/OR ENGINEER AND SHALL BE RETURNED IN GOOD ORDER OF THE PROJECT, ANY UNAUTHORIZED USE IS PROHIBITED.
- AREA CALCULATIONS ARE APPROXIMATE.

ISSUE # REVISION DESIGNATION
LETTER (A) + ISSUE # (1) + REVISION

No.	Date	Issued For / Revisions
1	11/27/12	ISSUED FOR S&A
2		
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CITY OF LONDON DEVELOPMENT SERVICES

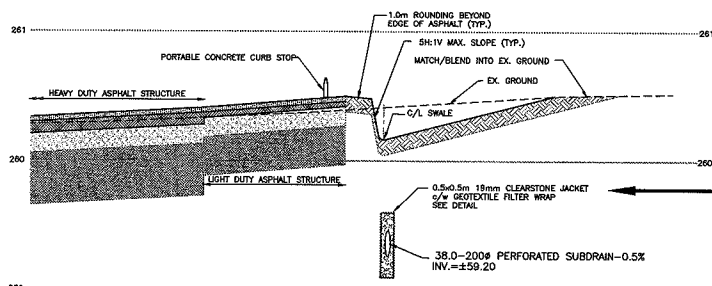
development engineering
Consulting Civil Engineers
41 Adelaide St. N., Unit 71
London, Ontario N6B 3K4
Project: _____

S J M A ARCHITECTURE INC.
126 Wellington Road, London, Ontario
www.sjma-arch.com • 1-519-449-0220 • 1-519-649-1455

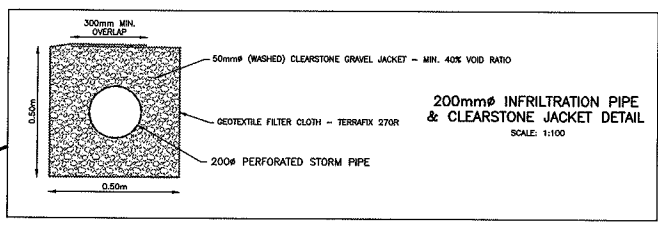
L'Arche Community Gathering Place
4448 Colonel Talbot Road, London, ON

Notes and Details

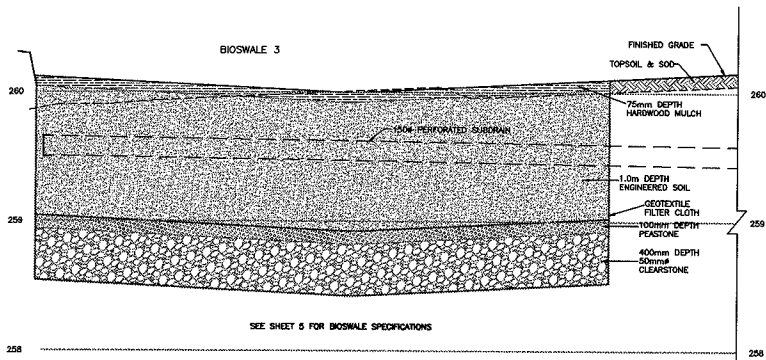
Drawn By	Job Clients	Project No.
REB	LMT	DEL12-003
Scale	AS SHOWN	Sheet No.
Plot Date	22.06.2012	
Current Issue	Current Revision	SE3



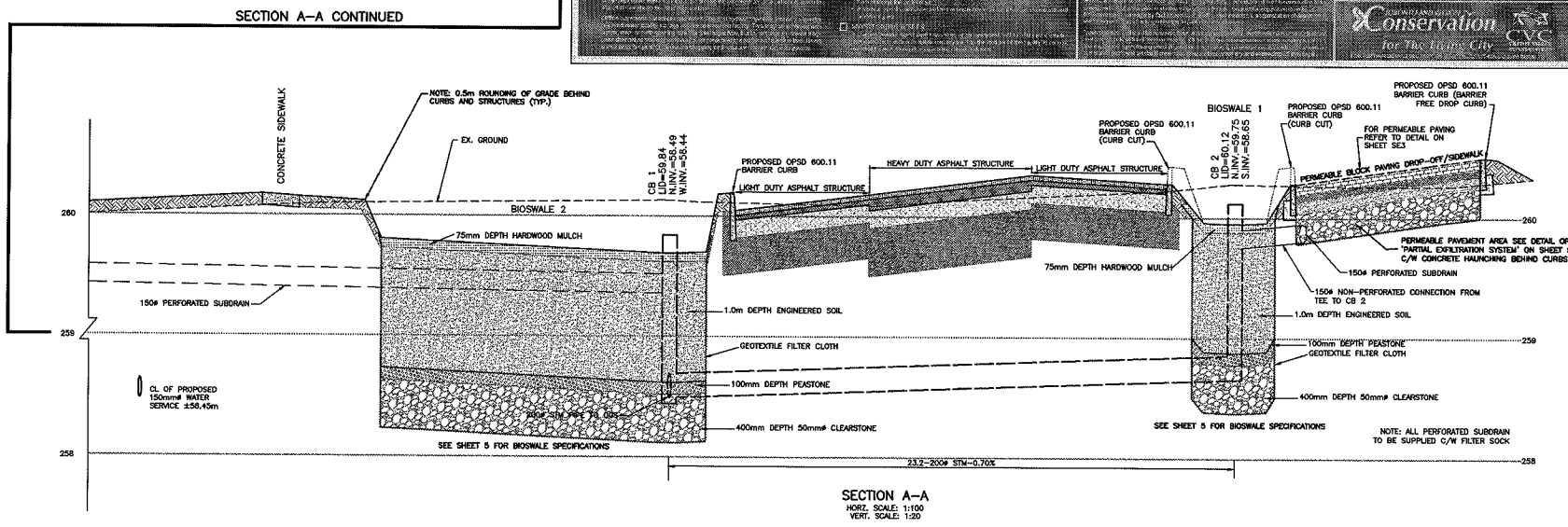
SECTION B-B
HORIZ. SCALE: 1:100
VERT. SCALE: 1:20



200mm# INFILTRATION PIPE & CLEARSTONE JACKET DETAIL
SCALE: 1:100



SECTION A-A
HORIZ. SCALE: 1:100
VERT. SCALE: 1:20



SECTION A-A
HORIZ. SCALE: 1:100
VERT. SCALE: 1:20

PRINT RECORD		
NO.	TO	DATE

Set No.

- NOTES:
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 2. DO NOT SCALE DRAWINGS.
 3. REPORT ALL DISCREPANCIES OF ERRORS, OMISSIONS, OR INCONSISTENCIES TO THE ARCHITECT OR DESIGN ENGINEER AS APPLICABLE.
 4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
 5. THE DRAWING IS THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
 6. AREA CALCULATIONS ARE APPROXIMATE.

ISSUE # REVISION DESIGNATION
LETTER (A) - ISSUE # No. (1) - REVISION

No.	Date	Issued For / Revisions
1	10/1/12	ISSUED FOR SPA
2		
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GENERAL DESCRIPTION

This drawing illustrates the details for the bioswale construction, including the subdrain, filter cloth, pea stone, and clearstone layers.

GENERAL SPECIFICATIONS

1. All materials shall conform to the specifications listed below.

2. The subdrain shall be made of 38.0-200# perforated pipe with a minimum of 40% void ratio.

3. The filter cloth shall be a minimum of 2% geotextile.

4. The pea stone shall be 100mm depth.

5. The clearstone shall be 50mm# and 400mm depth.

CONSTRUCTION CONSIDERATIONS

The contractor shall ensure that the bioswale is constructed in accordance with the details shown on this drawing.

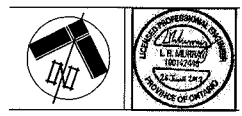
The subdrain shall be installed at a minimum of 0.5% slope towards the discharge point.

12-025033

CITY OF LONDON
DEVELOPMENT SERVICES

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DATE
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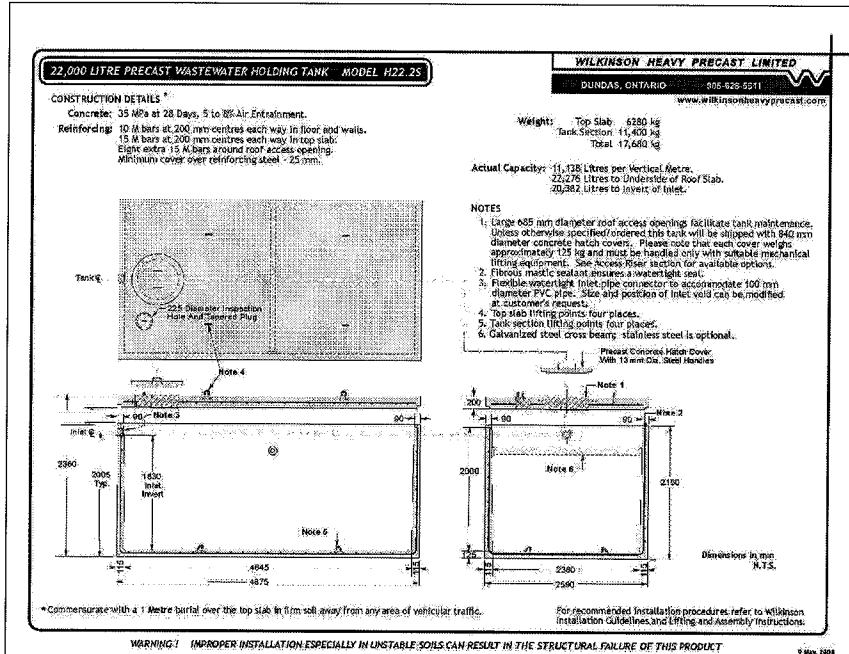
S J M A
ARCHITECTURE INC.
126 Wellington Road, London, Ontario
www.sjma-arch.ca • T: 519.449.0220 • F: 519.449.1453

development engineering
Consulting Civil Engineers
41 Adelaide St. W. Unit 71
London, Ontario N6B 3P4
Project

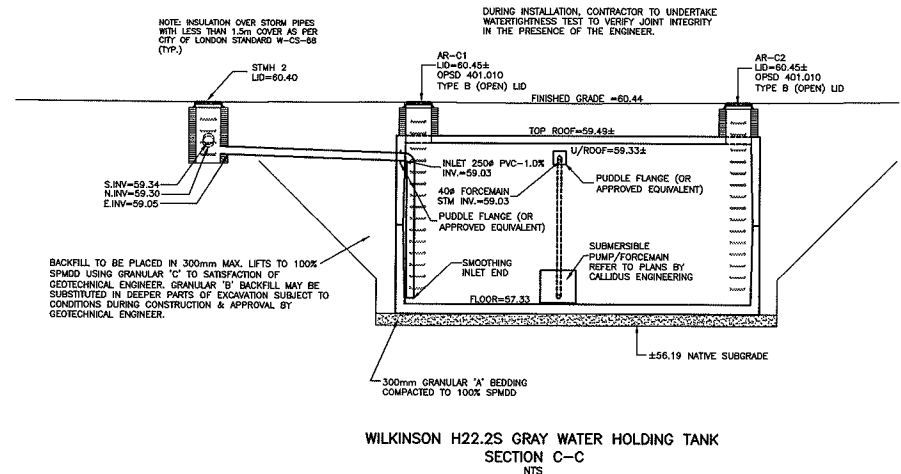
L'Arche Community
Gathering Place
4448 Colonel Talbot Road, London, ON

Drawing: BIOSWALE SECTIONS AND DETAILS

Drawn By	Job Captain	Project No.
RSB	LH1	DEL12-003
Scale:	AS SHOWN	
Plot Date:	22.06.2012	Drawn No.
Client Issue:		Current Revision:
		SE4



- NOTES:**
1. DETAILED SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. STRUCTURAL SHOP DRAWINGS ARE REQUIRED FOR BUILDING PERMIT REVIEW AND APPROVAL.
 2. CONTRACTOR TO ENSURE ALL PIPE CONNECTIONS ARE PROPERLY GROUTED PER MANUFACTURER RECOMMENDATIONS
 3. DURING INSTALLATION, CONTRACTOR TO UNDERTAKE WATERTIGHTNESS TEST TO VERIFY JOINT INTEGRITY IN THE PRESENCE OF THE ENGINEER.
 4. REFER TO MECHANICAL ENGINEERING DRAWINGS BY CALLIDUS ENGINEERING FOR DETAILS RELATED TO SUCTION LINE & RELATED PUMPS.
 5. NOTE: EXCAVATION SLOPES SHOWN HEREIN ARE GENERIC AND MUST BE CONSTRUCTED TO COMPLY WITH OCCUPATIONAL HEALTH & SAFETY ACT REQUIREMENTS - REF. GEOTECHNICAL REPORT EXP SERVICES INC.



PRINT RECORD		DATE
NO.	TO	

NOTES:

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4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE PLANNED, ISSUED FOR CONSTRUCTION. THE DRAWING AND THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
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ISSUE & REVISION DESIGNATION
LETTER (A) = ISSUE, No. (1) = REVISION

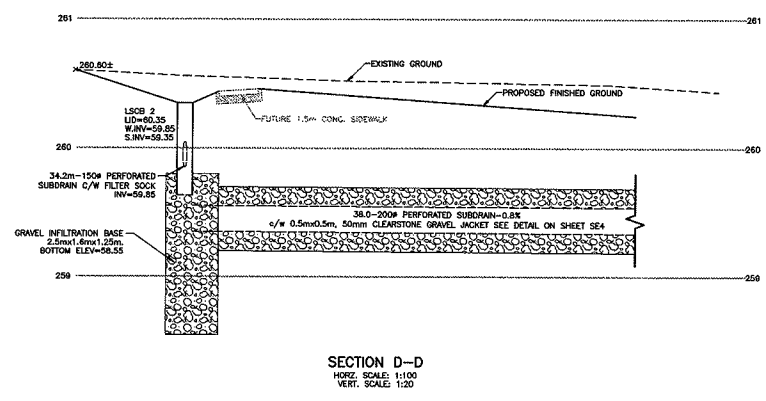
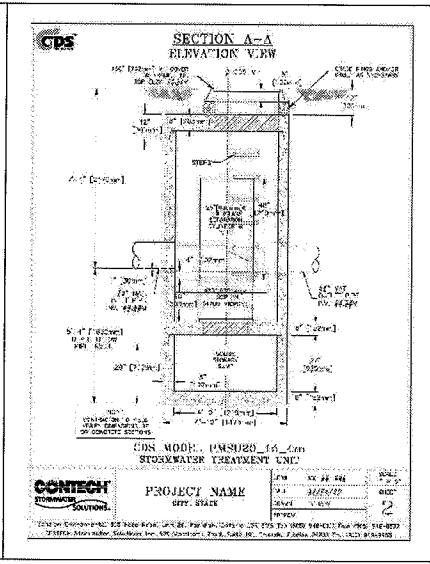
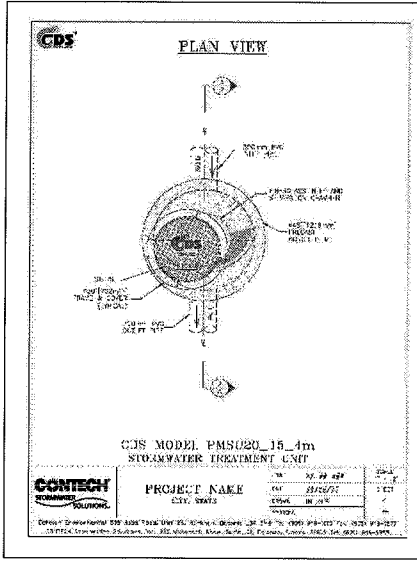
No.	Date	Issued For / Revisions
1	18/12	ISSUED FOR SFA
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DEVELOPMENT SERVICES



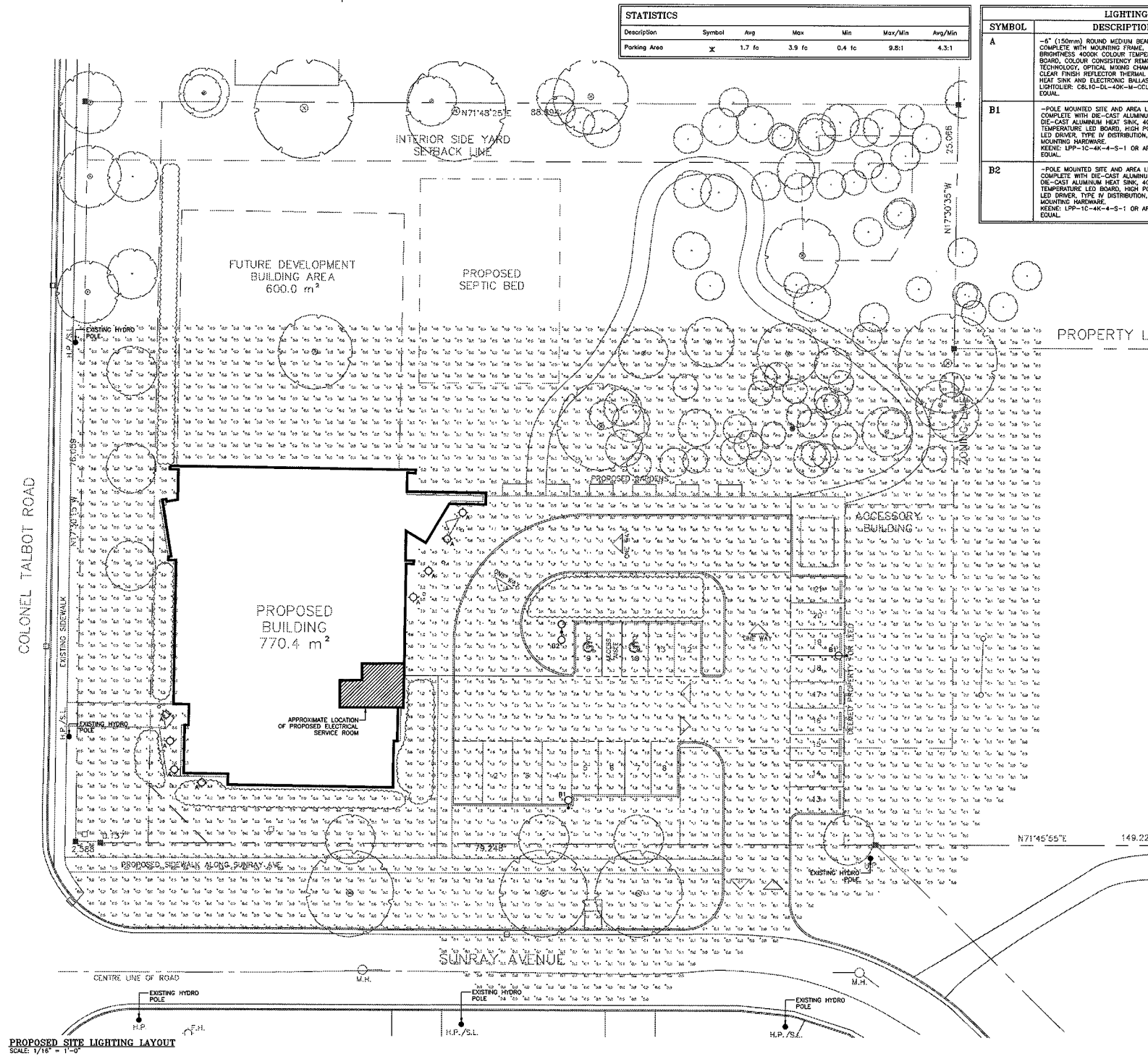
S J M A ARCHITECTURE INC.
124 Wellington Road, London, Ontario
www.sjma-arch.co 1-819-649-0220 1-819-649-1453

development engineering
Consulting Civil Engineers
41 Adelaide St. N., Unit 71
London, Ontario N6B 3M4

L'Arche Community
Gathering Place
4448 Colonel Talbot Road, London, ON

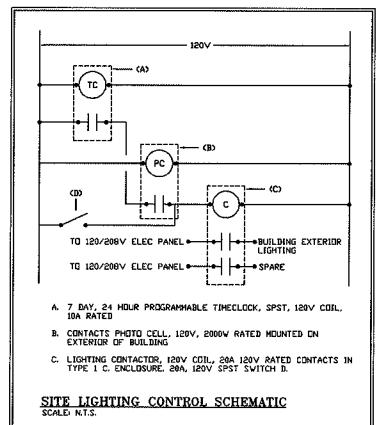
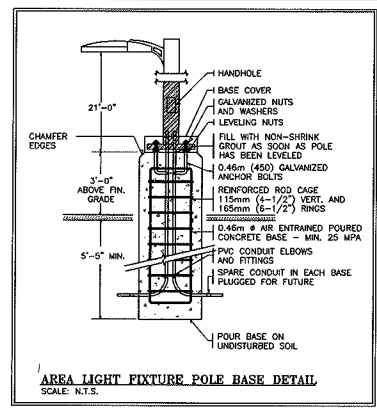
CISTERN/OGS/PERMEABLE PAVER DETAILS

Drawn By	Job Captain	Project No.
RES	LM1	DEL12-003
Scale		
1:250		
Plot Date		Draw No.
22/06/2012		SE5
Current Issue	Current Revision	



STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	X	1.7 fc	3.9 fc	0.4 fc	9.8:1	4.3:1

LIGHTING FIXTURE SCHEDULE					
SYMBOL	DESCRIPTION	VOLTAGE	LAMPS	MOUNTING	
A	4" (100mm) ROUND MEDIUM BEAM DOWNLIGHT COMPLETE WITH MOUNTING FRAME, HIGH BRIGHTNESS 4000K COLOUR TEMPERATURE LED BOARD, COLOUR CONSISTENCY REMOTE PHOSPHOR TECHNOLOGY, OPTICAL MIXING CHAMBER, COMFORT CLEAR FINISH REFLECTOR THERMAL MANAGEMENT HEAT SINK AND ELECTRONIC BALLAST. LIGHTTOLER: CBL10-DL-40K-M-CCL OR APPROVED EQUAL.	120V	LED	RECESSED IN CANOPY	
B1	POLE MOUNTED SITE AND AREA LUMINAIRE COMPLETE WITH DIE-CAST ALUMINUM HOUSING, DIE-CAST ALUMINUM HEAT SINK, 4000K COLOUR TEMPERATURE LED BOARD, HIGH POWER FACTOR LED DRIVER, TYPE IV DISTRIBUTION, POLE AND MOUNTING HARDWARE. KEENE: LPP-1C-4K-4-5-1 OR APPROVED EQUAL.	120V	SINGLE UNIT 136W LED LAMP	21"-0" POLE ON 3"-0" CONCRETE BASE	
B2	POLE MOUNTED SITE AND AREA LUMINAIRE COMPLETE WITH DIE-CAST ALUMINUM HOUSING, DIE-CAST ALUMINUM HEAT SINK, 4000K COLOUR TEMPERATURE LED BOARD, HIGH POWER FACTOR LED DRIVER, TYPE IV DISTRIBUTION, POLE AND MOUNTING HARDWARE. KEENE: LPP-1C-4K-4-5-1 OR APPROVED EQUAL.	120V	DUAL UNIT 136W LED LAMP (PER UNIT)	21"-0" POLE ON 3"-0" CONCRETE BASE	



ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	POLE MOUNTED LIGHTING FIXTURE
	RECESSED CANOPY LIGHTING FIXTURE

Set No.	
---------	--

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ISSUE & REVISION DESIGNATION
LETTER (A) = ISSUE, No. (1) = REVISION

No.	Date	Issued For / Revisions
1.	07.06.12	ISSUED FOR SITE PLAN APPROVAL.
2.		
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DEVELOPMENT SERVICES

12-025033

PROFESSOR OF ENGINEERING
B. S. NELSON
10012201
12-06-07
PROVINCE OF ONTARIO

SJMA
ARCHITECTURE INC.
124 Wellington Road, London, Ontario
www.sjma-arch.ca 1-819-646-0200 1-819-646-1483

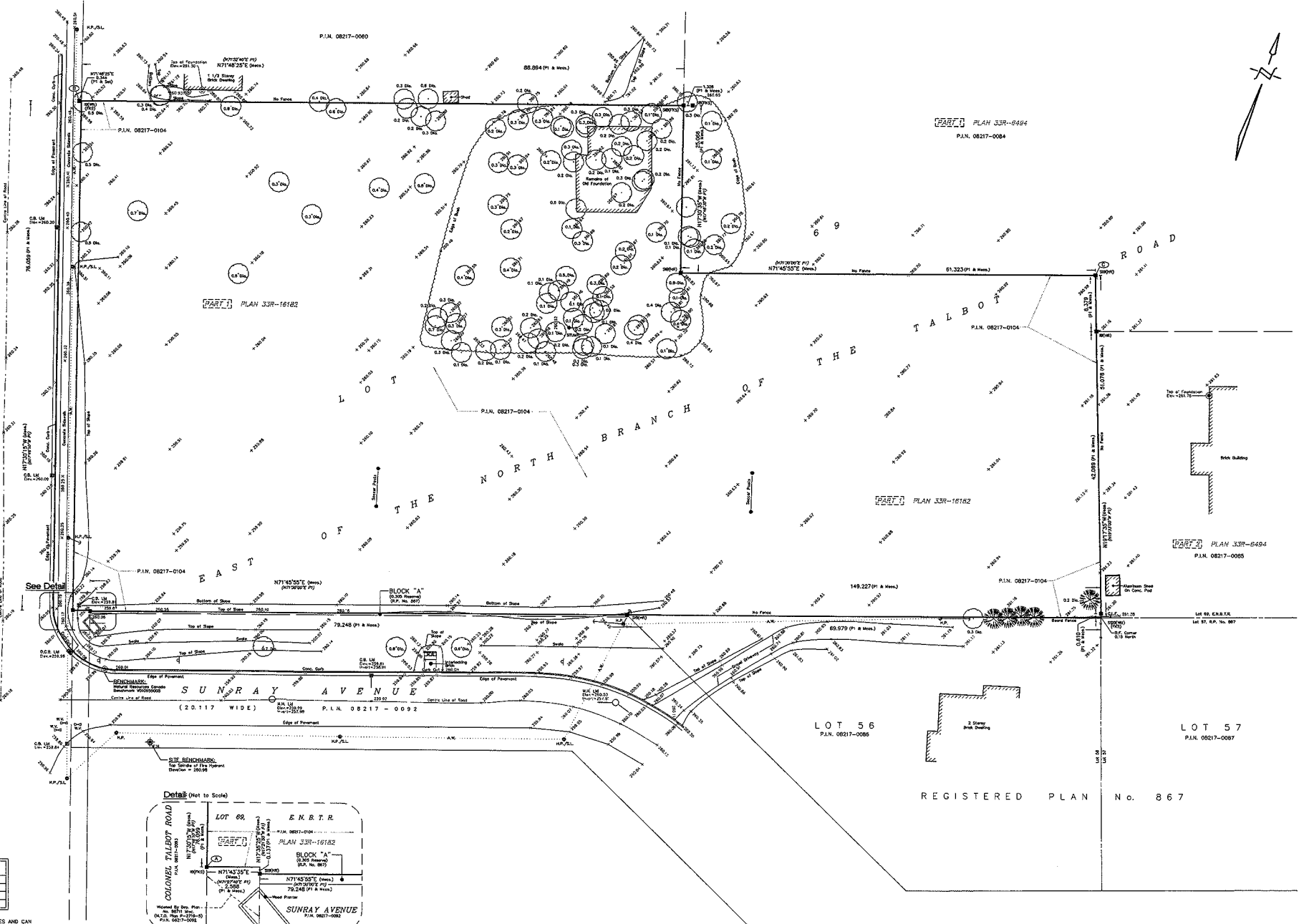
Callidus
Engineering
A Division of 164286 Ontario Inc.
1385 North Knoxville Rd., Unit 9, London, ON N6H 5H5
P: 519-472-7640 F: 519-471-9239 E: info@callidus.ca

Project: L'Arche Community Gathering Place
4888 Colonel Talbot Road, London, ON

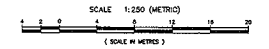
PROPOSED SITE LIGHTING LAYOUT, LEGEND, SCHEDULES AND DETAILS

Drawn By: LMM	Job Captain: BGT	Project No: CE-2248
Scale: AS NOTED		
Plot Date: 07.06.12		Sheet No:
Current Issue:	Current Revision:	E1

COLONEL TALBOT ROAD
(FORMERLY THE KING'S HIGHWAY No. 4)
(WIDTH VARIES)



TOPOGRAPHICAL PLAN OF SURVEY
OF PART OF
LOT 69
EAST OF THE NORTH BRANCH OF THE TALBOT ROAD
(GEOGRAPHIC TOWNSHIP OF WESTMINSTER)
IN THE
CITY OF LONDON
COUNTY OF MIDDLESEX



EXS LAND SURVEYORS
2011

NOTES AND LEGEND
BEARINGS ARE U.T.M. GRID IN NA83 (ORIGINAL) DERIVED FROM G.P.S. OBSERVATIONS AND THE CAN-NET BASE STATION NETWORK AND ARE REFERRED TO THE CENTRAL MERIDIAN @ 107° WEST LONGITUDE, ZONE 17.

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SS DENOTES STANDARD IRON BAR
- SSB DENOTES SHORT STANDARD IRON BAR
- IR DENOTES IRON BAR
- WT DENOTES WITNESS
- PKS DENOTES PARCONIS, KIRKPATRICK & STIRLING, O.L.S.'S
- CD DENOTES CADDEN, DIETZ, O.L.S.'S
- HR DENOTES HOLSTEAD & REDMOND, O.L.S.'S
- PI DENOTES PLAN 33R-16182

- A/W DENOTES AERIAL WIRES
- B.F. DENOTES BOARD FENCE
- C.B. DENOTES CATCH BASIN
- C.L.F. DENOTES CHAIN LINK FENCE
- D.C.B. DENOTES DOUBLE CATCH BASIN
- E.N.B.T.R. DENOTES EAST OF THE NORTH BRANCH OF THE TALBOT ROAD
- F.H. DENOTES FIRE HYDRANT
- H.P. DENOTES HYDRO POLE
- H.P./S.L. DENOTES HYDRO POLE STREET LIGHT
- M.B. DENOTES MAIL BOX
- M.H. DENOTES MAN HOLE
- W.V. DENOTES WATER VALVE

- ⊙ DENOTES CONIFEROUS TREE
- DENOTES DECIDUOUS TREE
- ⊙ DENOTES GAS METER
- ⊙ DENOTES SMALL SIGN (TRAFFIC)
- ⊙ DENOTES UTILITY POLE ANCHOR

ELEVATION NOTE
ELEVATIONS ARE GEODETIC, DERIVED FROM NATURAL RESOURCES CANADA BENCHMARK V010955005 HAVING AN ELEVATION OF 260.122

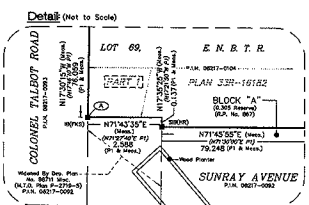
SITE BENCHMARK
SITE BENCHMARK IS LOCATED ON THE TOP SHIELD OF THE FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF SUNRAY AVENUE, EAST OF COLONEL TALBOT ROAD AND SHOWN ON THE FACE OF THIS PLAN AS HAVING AN ELEVATION OF 260.95.

CAUTION
SURFACE FEATURES WERE LOCATED BY VISUAL INSPECTION. FEATURES UNDER VEHICLES, CONSTRUCTION DEBRIS, DIRT, ETC. MAY NOT HAVE BEEN SHOWN HEREON.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS COMPLETED ON THE 24th DAY OF NOVEMBER, 2011.
DEC. 14, 2011
LONDON, ONTARIO
ROBERT D. STIRLING
ONTARIO LAND SURVEYOR

EKS
LAND SURVEYORS
571 Whorcliffe Road South, London, Ontario N6J 2M6 TEL: 686-2422
FILE No. 11-406

POINT ID	NORTHING	EASTING
A	4750325.338	475582.828
B	4750397.731	475458.635
C	4750420.834	475810.144

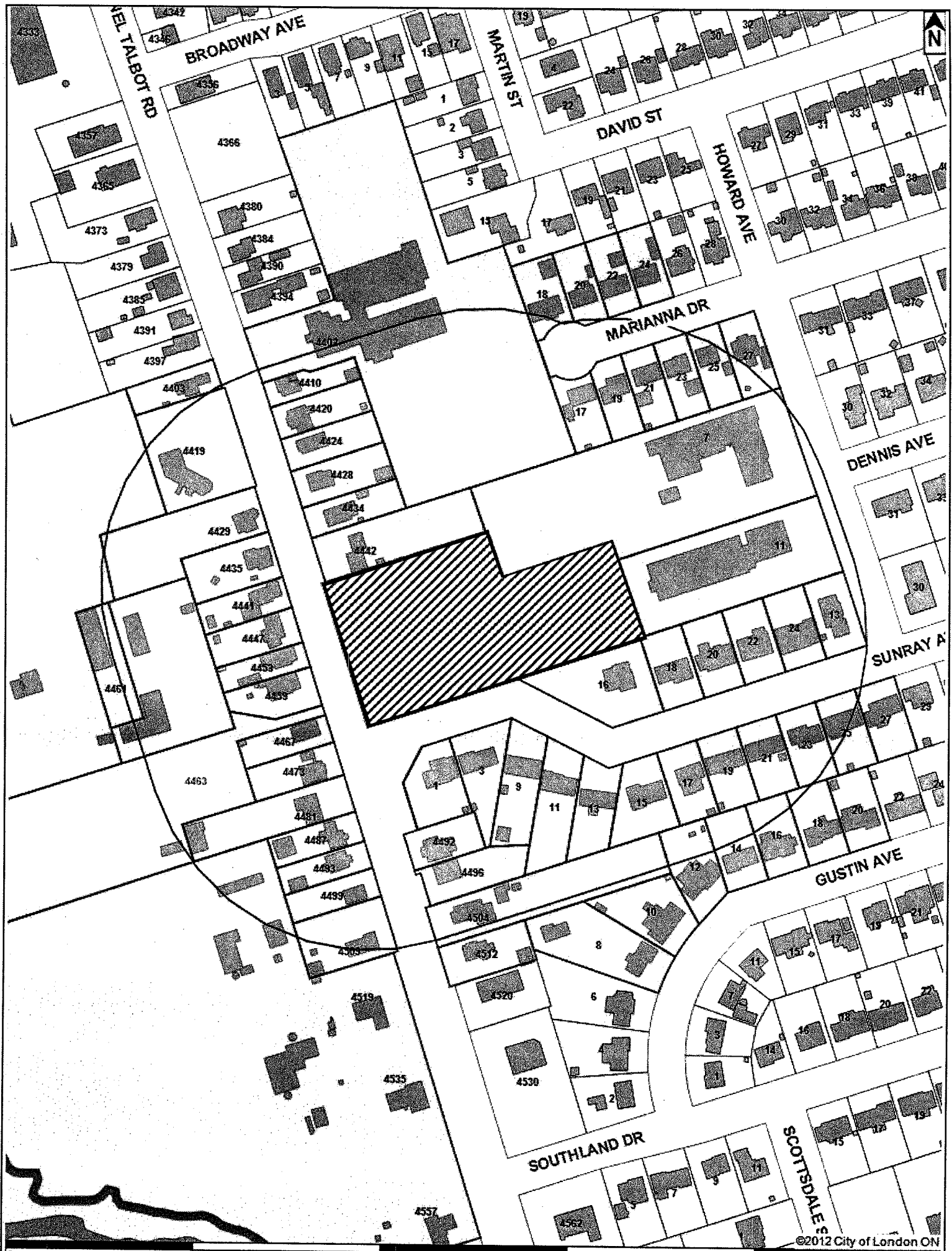


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DEVELOPMENT SERVICES

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048








©2012 City of London ON

LOCATION MAP

Subject Site: 4448 Colonel Talbot Rd
 Applicant: L'Arche London
 File Number: SP12-025033
 Planner: New
 Created By: Ryan Nemis
 Date: 2012-08-24
 Scale: 1:2500

LEGEND

-  Subject Site
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers





File Number: SP-12-025033

Schedule "B"

Related Estimated Costs and Revenues

4888 Colonel Talbot Road

Estimated Costs – This Agreement	
Claims from Urban Works Reserve Fund – General	Nil
Stormwater Management	Nil
Capital Expense	Nil
Other	Nil
Total	Nil
Estimated Revenues - This Agreement (2012 rates)	
CSRF	\$83,904.26
UWRF	\$46,863.43
Total	\$130,767.69

1. The revenue estimates includes DC cost recovery for "soft services" (fire, police, parks and recreation facilities, library, growth studies). There is no comparative cost allocation in the Estimated Cost section of the report, so the reader should use caution in comparing the Cost with the Revenue section.
2. The revenues and costs in the table above are not directly comparable. This site, like others in the area, also relies on the previously constructed infrastructure, the cost of which is not reported above. Growth related costs (like wastewater treatment plant and road capacity expansion) incurred to serve this site and surrounding areas are not reported above, though the revenue for those service components is included in the "Estimated Revenues – This Agreement" section above. As a result, the revenues and costs reported above are not directly comparable. The City employs a "citywide" approach to recovery of costs of growth – any conclusions based on the summary of Estimated Costs and Revenues (above table) should be used cautiously.

Reviewed By:

Peter Christiaans
 Director, Development Finance