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T. KARIDAS
File No: SP12-018099

TO:	CHAIR AND MEMBERS – PLANNING AND ENVIRONMENT COMMITTEE MEETING
FROM:	GEORGE KOTSIFAS, P.ENG. CHIEF BUILDING OFFICIAL & DIRECTOR, DEVELOPMENT AND COMPLIANCE DIVISION
SUBJECT:	APPLICATION BY: LONDON PROPERTY CORP 311 & 319 WHARNCLIFFE ROAD NORTH PUBLIC SITE PLAN MEETING AUGUST 20, 2012

RECOMMENDATION

That on the recommendation of the Manager, Development Planning, the following actions be taken with respect to the site plan approval application for a four storey apartment building by London Property Corp relating at the rear property located at 311 – 319 Wharncliffe Road North:

- a) on behalf of the Approval Authority, the Planning and Environment Committee **BE REQUESTED** to conduct a public meeting on the subject site plan application and **REPORT TO** the Approval Authority the issues, if any, raised at the public meeting with respect to the application for Site Plan approval;
- b) Council **ADVISE** the Approval Authority of any issues they may have with respect to the Site Plan application and **ADVISE** the Approval Authority whether they support the Site Plan application for an apartment building; and,
- c) the applicant **BE ADVISED** that the Director, Development Finance has summarized the claims and revenues information as shown on attached Schedule B.

PURPOSE AND EFFECT OF RECOMMENDED ACTION

The purpose of the report is to request the Planning & Environment Committee conduct a public participation meeting to receive feedback from the public and for Planning & Environment Committee and Council to provide advice to the Approval Authority when they are considering the plans, elevations and requirements for the Site Plan.

The need for public engagement is to satisfy Official Plan policies regarding intensification and as a requirement of a holding provision (h-5) which requires a public meeting..

PREVIOUS REPORTS PERTINENT TO THIS MATTER
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February 14th, 2012 - Report to Planning & Environment Committee (PEC) to rezone a portion of the lands known as 311 – 319 Wharncliffe Road North and 46 – 50 Beaufort Street.

BACKGROUND

March 28th, 2011 The City of London Committee of Adjustment granted- Minor Variance A.23/11 to construct an apartment building adjacent to Wharncliffe Road North with a front yard setback of 3.1m (10.1') whereas 8.0m (26.2') is required; a south interior side yard setback of 2.9m (9.5') 4.5m whereas (14.7') is required; a north interior side yard setback of 2.9m (9.5') whereas 4.5m

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(14.7') is required; a height of 14.0m (45.9') whereas 13.0m (42.6') maximum is permitted, a floor area ratio of 99% whereas 80% maximum is permitted and a zero long term indoor bicycle parking spaces whereas 16 long term indoor bicycle spaces are required (the apartment under construction at the front).

On April 26th, 2011 the applicant applied for Site Plan Approval (SP11-012068) to construct the front apartment "A" on the plan.

On November 9th, 2011 the City of London issued conditional building permit (RA11-029383) for the foundation construction for the building at the front of the property. At the time the conditional permit was issued no holding provisions were applied to these lands.

On September 29th, 2011 an application to rezone the rear of these properties was received. This application was subsequently revised on December 14th, 2011. The application was to permit uses in the R8 zone with a density of 75 units per hectare; a 3.1m front yard setback; interior and rear yard setback of 2.9m; a maximum F.A.R of 142%; a maximum height of 14m to a depth of 40m from Wharnccliffe and 11.0m height on the balance.

In addition to this, an application for a consent was filed to sever the rear of 46, 48 & 50 Beaufort Street and add these lands to the original parcels being 311 to 319 Wharnccliffe Road North.

On February 14th, 2011 PEC recommended the rezoning to City Council and Council approved the rezoning.

APPLICATION DETAILS

Date Application Accepted: June 11, 2012	Agent: Zelinka Priamo
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REQUESTED ACTION: Application for Site Plan Approval for a four storey (16 units) apartment building at the rear of 319 Whancliffe Road North.

SITE CHARACTERISTICS:
<ul style="list-style-type: none"> • Current Land Use – Apartment under construction • Frontage – 5.5m • Depth – irregular • Area – 0.49ha • Shape – irregular

SURROUNDING LAND USES:
<ul style="list-style-type: none"> • North – Apartments and converted dwellings • South – Single detached dwellings • East – Single detached dwellings • West – Apartments and converted dwellings

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OFFICIAL PLAN DESIGNATION: Multi-Family, Medium Density Residential
EXISTING ZONING: h.h-5.R8-4(18)

PUBLIC LIAISON:	On August 3, 2012 notice was sent out to area residents and on August 4, 2012 notice was place in the London Free Press.
Nature of Liaison: Application for Site Plan Approval for a four storey (16 units) apartment building at the rear of 319 Wharncliffe Road North.	
Responses: To date there were no responses.	

ANALYSIS

Description the Site Plan

The proposed 16 unit apartment building is located to the rear of the easterly portion of the site. The building will rely on the previously approved access to Beaufort Street. There will be 19 spaces north of the building and additional 31 spaces between this building and the building under construction at the front of the site.

Surface runoff will be retained on the site and will be directed to the proposed storm system.

The site will be suitably landscaped and a 1.8m high wood fence will be constructed on the east property line.

Does the plan meet the Zone By-Law?

The proposed four storey apartment meets the zone regulations as adopted by City Council on February 21, 2012.

The plan accommodates 50 parking spaces (minimum); the new building is less than 11m in height; the floor area ratio for the property is less than 142%; the building meets the 2.9m rear yard and interim yard setback. There are two holding provisions placed on the property being the "h" and the "h-5".

The "h-5" requires a site plan public meeting to be held and the development agreement to be entered into before the holding provision can be removed.

The "h" also requires the development agreement be entered into before the holding provision can be removed.

A further report will be submitted to Planning & Environment Committee and Council for the removal of the two holding provisions after the owner has entered into the development agreement.

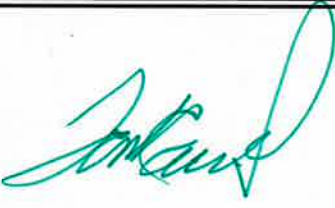



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CONCLUSION

Based on a review of the applicable Official Plan policies, the Zoning By-law, permitted uses and regulations, and the Provincial Policy Statement, approval of the submitted site plan and elevations by the Approval Authority will be appropriate for the development of these lands. The proposal represents good land use planning and subject to the results of the public meeting, the plans and drawings could be recommended for approval to the Approval Authority along with a standard Development Agreement. Subject to the acceptance of the servicing plans.

ACKNOWLEDGEMENTS: This report was prepared under the supervision of Bruce Henry Manager, Development Planning for West London with review of Planning Rational by Jeff Leunissen Manager, Development Planning for East London.

PREPARED BY:	RECOMMENDED BY:
	
T. KARIDAS SITE PLAN APPROVAL OFFICER DEVELOPMENT SERVICES	JEFF LEUNISSEN MANAGER, DEVELOPMENT PLANNING
REVIEWED BY:	SUBMITTED BY:
	
JENNIE A. RAMSAY, P.ENG MANAGER, DEVELOPMENT SERVICES	GEORGE KOTSIFAS, P.ENG. CHIEF BUILDING OFFICIAL & DIRECTOR, DEVELOPMENT AND COMPLIANCE DIVISION

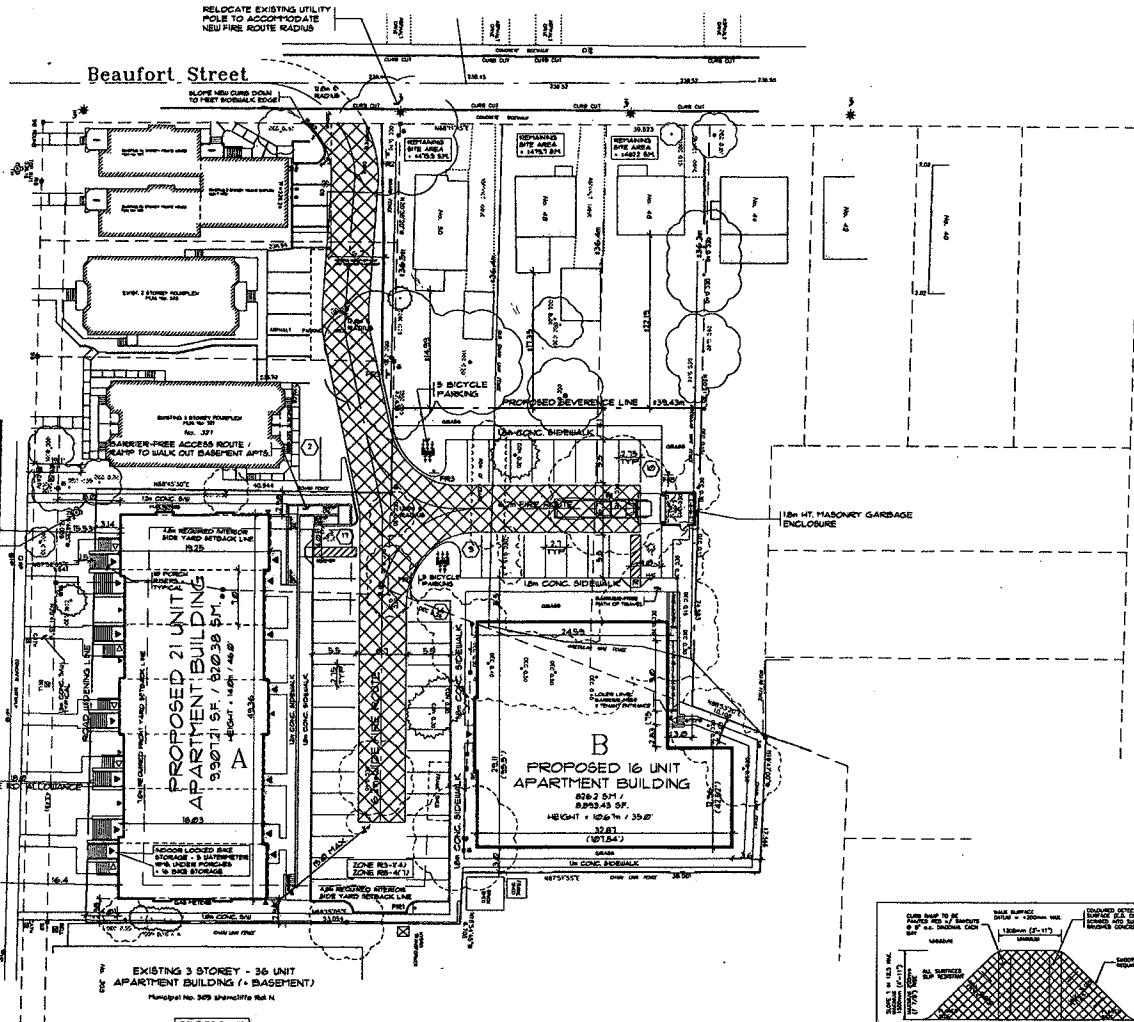
c: Zelinka Priamo Ltd.
 318 Wellington Road
 London ON N6C 4P4

McDonald Ave.

Wharncliffe Road North

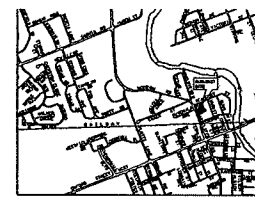
Beaufort Street

IRWIN STREET



Site Plan

1 : 300



key map ↑

Site Data A & B

1. SITE AREA :	4,684.3 s.m. / 50,423.0 s.f. / 0.4684 Ha. / 1.157 Ac.
2. BUILDING AREA :	
2A. BUILDING AREA 'A' :	920.38 s.m. / 9,907.21 s.f.
2B. BUILDING AREA 'B' :	828.2 s.m. / 8,893.43 s.f.
TOTAL BUILDING AREA :	1,748.58 s.m. / 18,800.6 s.f.
3. GROSS BUILDING AREA :	
3A. BUILDING 'A' :	3,681.52 s.m. / 39,828.95 s.f.
3B. BUILDING 'B' :	3,204.8 s.m. / 34,273.7 s.f.
TOTAL GROSS AREA :	6,886.32 s.m. / 73,902.65 s.f.
4. ASPHALT AREA :	1,400.98 s.m. / 15,080.3 s.f.
5. FLOOR AREA RATIO :	80% PERMITTED = 3,747.4 s.m. / PROVIDED = 6,886.32 (149.1%) *
6. ZONES :	2-1 ZONING PROPOSED
7. PERMITTED USES :	RESIDENTIAL -apartment buildings -lodging houses -senior citizens apartment buildings -handicapped persons apartment buildings
8. LOT AREA (MIN.) :	1,000m ² / 10,764.26 s.f. 4,684.3 s.m. / 50,423.0 s.f.
9. LOT FRONTAGE (MIN.) :	30.0m (98.42') 55.21m (181.1')
10. FRONT SETBACK (MIN.) :	5.0m (16.41') plus 1.0m (3.28') per 10.0m (32.81') of main building height or fraction thereof above the first 3.0m (9.84') = 8.0m
11. SIDE SETBACK (MIN.) :	1.5m (4.92') per 1.0m (3.28') of main building height or fraction thereof above 3.0m (9.84') but in no case less than 4.5m (14.8 ft.) 1 TO 1 adjacent to R2 Zones
12. LANDSCAPED OPEN SPACE (G. MIN.) :	30% 32.85m ON 1,538.76 s.m.
13. LOT COVERAGE MAX. (ON GROSS SITE) :	40% 37.3%
14. HEIGHT (MAX.) :	13.0m (42.65 ft.) 14.0m (46.0 ft.)
15. DENSITY :	75 units per ha. 79 units per ha. 37 units proposed * 79 units / ha.
16. PARKING REQ. (MIN.) :	157 UNITS = 2.5 (1.5) x 117 cars per unit = 93 cars TOTAL PROV. = 30 CARS *

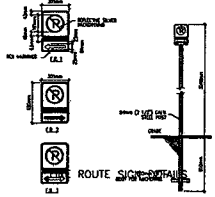
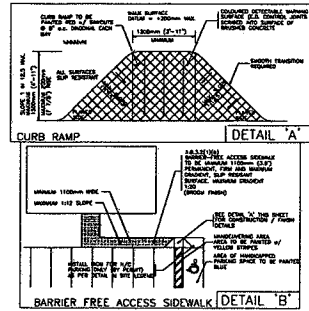
* SUBJECT TO REZONING

BUILDING DATA - A

O.B.C. BUILDING CLASSIFICATION GROUP 'C'
PART 3 - BUILDING AREA: 920.38 S.M.
GROSS FLOOR AREA: 1,888.8 S.M.
UNFURNISHED
3 STOREY + BASEMENT
FACING 2 STREETS
O.B.C. 3.2.2.4a. (1,000 S.M. MAX. BLDG. AREA)

BUILDING DATA - B

O.B.C. BUILDING CLASSIFICATION GROUP 'C'
PART 3 - BUILDING AREA: 828.2 S.M.
GROSS FLOOR AREA: 1,387.7 S.M.
UNFURNISHED
3 STOREY + BASEMENT
FACING 2 STREETS
O.B.C. 3.2.2.4a. (1,000 S.M. MAX. BLDG. AREA)



NOTE: BUILDING 'A' IS REQUIRED TO FACE 2 STREETS UNDER O.B.C. SECTION 3.2.2.4a. THE 50% OF BUILDING PERIMETER REQUIRED TO BE THE 3RD AND MAX. RUN TO FIVE FEET BUILDING PERIMETER DISTANCE = 14.65m (48' 1") DISTANCE PROVIDED = 14.57m (47' 10")

NOTE: BUILDING 'B' IS REQUIRED TO FACE 2 STREETS UNDER O.B.C. SECTION 3.2.2.4a. THE 50% OF BUILDING PERIMETER REQUIRED TO BE THE 3RD AND MAX. RUN TO FIVE FEET BUILDING PERIMETER DISTANCE = 14.65m (48' 1") DISTANCE PROVIDED = 14.57m (47' 10")

NOTE: CITY WILL NOT PERMIT FRONT PORCHES + UNFURNISHED

NOTE: BUILDING 'A' IS REQUIRED TO FACE 2 STREETS UNDER O.B.C. SECTION 3.2.2.4a. THE 50% OF BUILDING PERIMETER REQUIRED TO BE THE 3RD AND MAX. RUN TO FIVE FEET BUILDING PERIMETER DISTANCE = 14.65m (48' 1") DISTANCE PROVIDED = 14.57m (47' 10")

A TYPICAL SUITE ENTRANCE DOOR LOCATION AND FIRE FIGHTER'S ENTRANCE
△ TYPICAL LOCKED BICYCLE STORAGE TO WATER METER
□ 1 LOCKED BICYCLE STORAGE (2 OR 4 BIKES PER)

THE OWNER WARRANTS THAT THE PLANS AND SPECIFICATIONS SHALL BE VERIFIED BY A SURVEYOR TO BE SURE THAT THE PLANS AND SPECIFICATIONS SHALL BE ACCURATE AND COMPLETE. ALL DIMENSIONS SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED.

THE OWNER WARRANTS THAT THE PLANS AND SPECIFICATIONS SHALL BE VERIFIED BY A SURVEYOR TO BE SURE THAT THE PLANS AND SPECIFICATIONS SHALL BE ACCURATE AND COMPLETE. ALL DIMENSIONS SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED.

PLEASE SEE SECTION 2.1 FOR MORE INFORMATION ON THE REQUIREMENTS OF THE ACT.

DATE	ITEM	BY
JUNE 2022	SOUTH SIDEWALK ADDED	M.S.
JUNE 2022	BLDG B - MC RAMP LOC.	M.S.

Site Plan Approval

STANFORD CONSULTING & DESIGN LTD.
625 BERRY STREET EAST - LONDON - ONTARIO - M5C 2G3
TEL: (519) 679-1888 FAX: (519) 679-8556

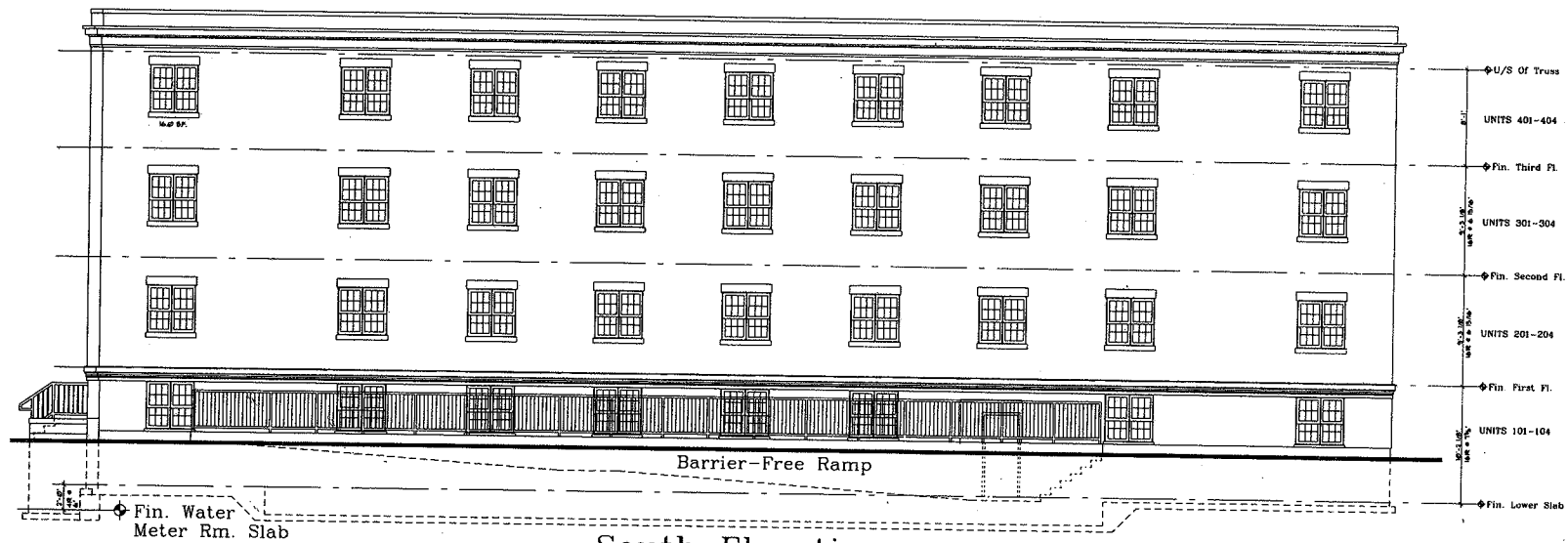
PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
311-313 WHARNCLIFFE ST. N.
LONDON ONTARIO

SHEET TITLE:
SITE PLAN

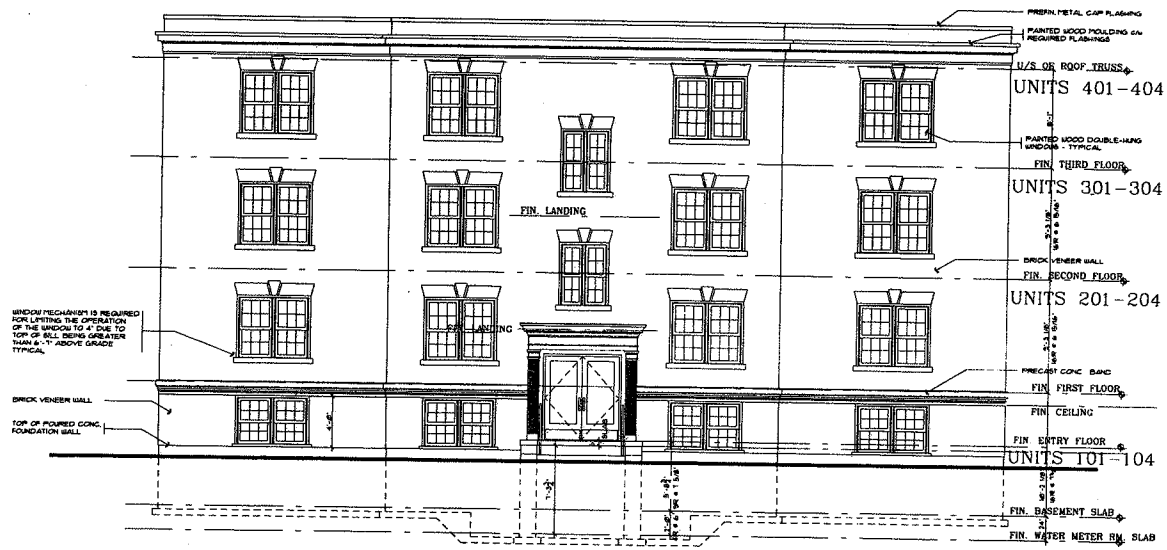
DATE: DEC. / 2021 DRAWN: M.S.

SP:1

SHEET No.
SCALE: 1:300 COMP. REP.
1/300 /UMHARNCONSOL/SITE32

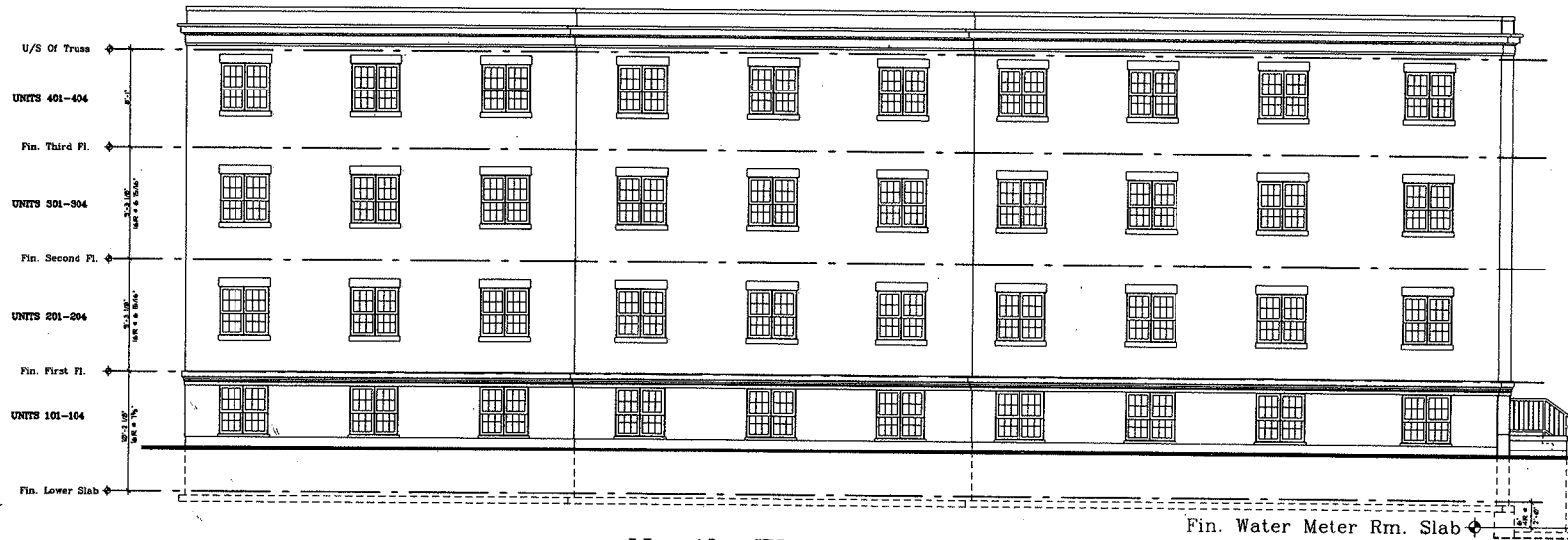


South Elevation

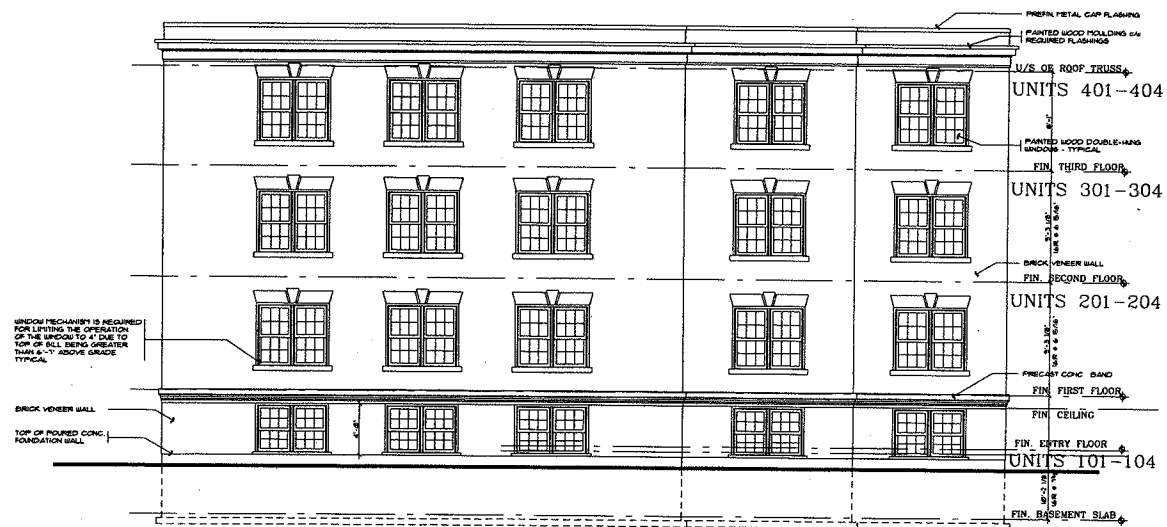


West Elevation

Apartment Building B - 311-319 Wharncliffe Rd. N.

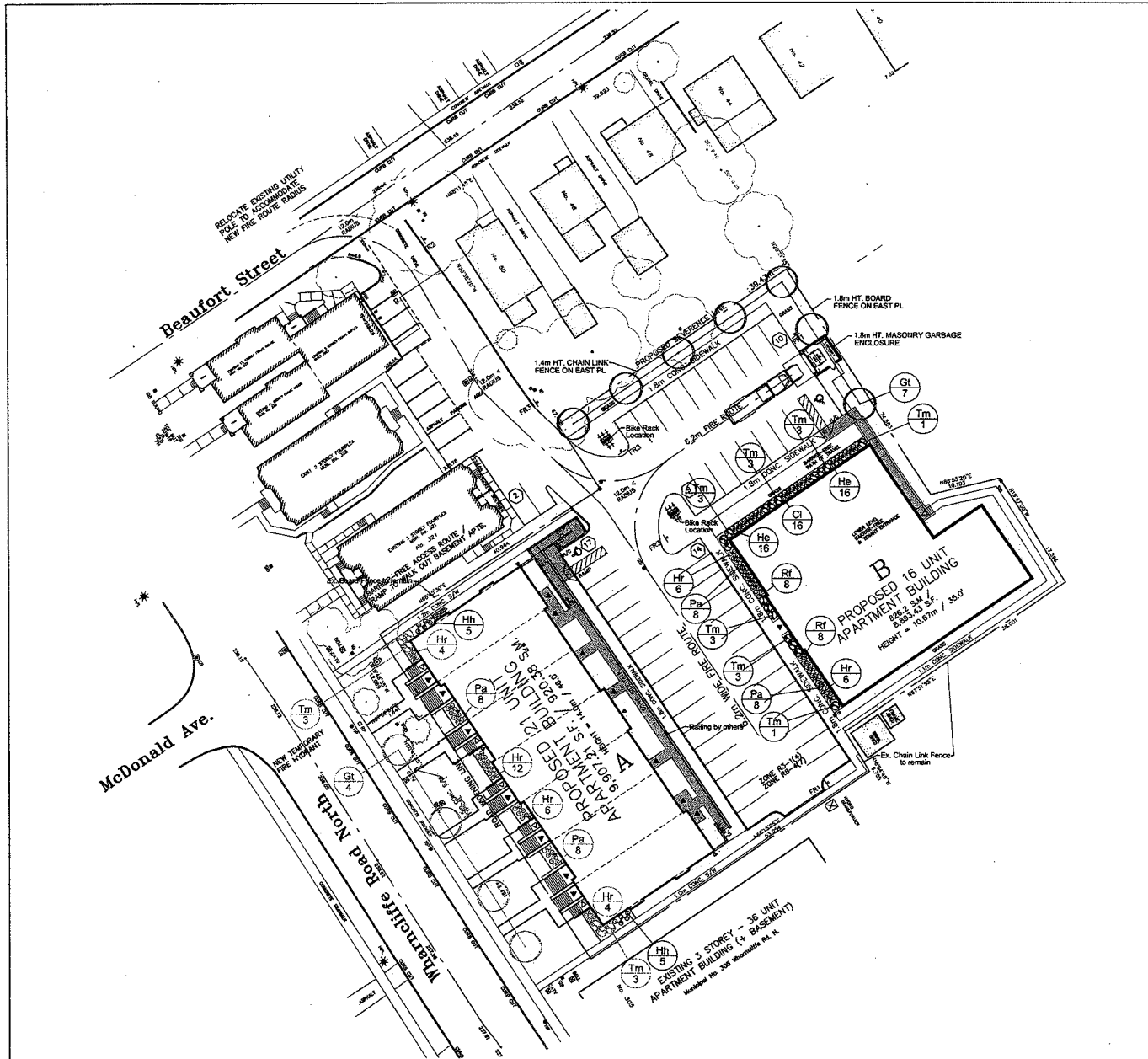


North Elevation



East Elevation

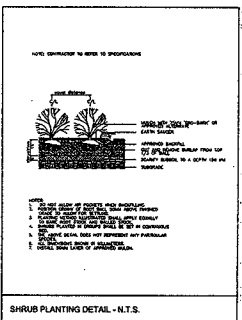
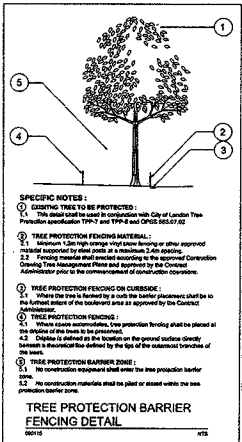
Apartment Building **B** - 311-319 Wharncliffe Rd. N.



PLANT LIST

KEY	COMMON NAME	BOTANICAL NAME	QTY	SIZE	COND
Cl	Northern Sea Oats	<i>Chasmanthium latifolium</i>	16	1gal	Pot
Gt	Shademaster Honeylocust	<i>Gleditsia triacanthos 'Shademaster'</i>	11	60mmcal	Wirebasket
He	Elegans Hosta	<i>Hosta 'Elegans'</i>	32	1gal	Pot
Hh	Baltic Ivy	<i>Hedera helix 'Baltica'</i>	10	15cmht	Pot
Hr	Happy Returns Daylily	<i>Hemerocallis 'Happy Returns'</i>	38	1gal	Pot
Pa	Hamelin Fountain Grass	<i>Pennisetum alopecuroides 'Hamelin'</i>	32	1gal	Pot
Rf	Goldsturm Rudeckia	<i>Rudbeckia fulgida 'Goldsturm'</i>	16	1 gal	Pot
Tm	Dense Yew	<i>Taxus X media 'Densiformis'</i>	23	50cmht	FibrePot

Area to be sodded (1005 m2)



GENERAL PLANTING SPECIFICATIONS -

- LANDSCAPE PLAN COMPLETED IN COLLABORATION WITH ROY HODGINS LANDSCAPE ARCHITECT INC.
- BASE INFORMATION SUPPLIED BY STANFORD CONSULTING AND DESIGN, LONDON, ONTARIO.
- CONTRACTOR TO MAKE THEMSELVES FAMILIAR WITH ALL RELATED SPECIFICATIONS.
- CONTRACTORS ARE RESPONSIBLE FOR REVIEW OF ALL SPECIFICATIONS AND RELATED DRAWINGS WITH SELECTED SUB-CONTRACTORS AS THEY PERTAIN TO WORK AS OUTLINED ON LANDSCAPE ARCHITECTURAL WORKING DRAWINGS AND SPECIFICATIONS.
- REPORT ALL DISCREPANCIES TO THE LANDSCAPE ARCHITECT DURING TENDERING PROCESS.
- ERRORS AND/OR OMISSIONS WILL BE THE RESPONSIBILITIES OF THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN ALL LANDSCAPED AREAS UNTIL OWNER ACCEPTANCE OF PROJECT. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IN WRITING ON COMPLETION OF PROJECT FOR A SITE WORK COMPLETION CERTIFICATE AS WELL AS THE COMMENCEMENT OF THE ACCEPTANCE OF PROJECT.
- ALL WORKMANSHIP TO BE WARRANTED FOR ONE YEAR UNLESS OTHERWISE STATED ON ACCEPTANCE OF PROJECT.
- ALL WORKMANSHIP TO THE STANDARDS OF THE ONTARIO LANDSCAPE ASSOCIATION AND THE LANDSCAPE ONTARIO SPECIFICATION STANDARDS.
- ALL NURSERY STOCK TO BE #1 NURSERY GROWN AND MUST COMPLY WITH "GRADE SPECIFICATION FOR NURSERY STOCK OF THE CANADIAN NURSERY TRADES ASSOCIATION".
- ALL LANDSCAPING IS TO BE INSTALLED PRIOR TO THE END OF THE FIRST GROWING SEASON FOLLOWING THE OCCUPANCY OF THE SITE DEVELOPMENT UNLESS OTHERWISE STATED.
- CONTRACTOR IS RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND MUST SUPPLY THE LANDSCAPE ARCHITECT COPIES PRIOR TO COMMENCEMENT OF WORK.

GRADING -

- CONTRACTOR TO ENSURE POSITIVE DRAINAGE IN ALL AREAS.
- ALL GRADING TO BE IN ACCORDANCE WITH SITE ENGINEERS DRAWINGS.
- SOIL SHALL BE SCARIFIED FREE OF ALL STONES, ROOTS, BRANWERS LARGER THAN 1" (25MM) AND COMPACTED TO 95% S.F.O.
- ALL SUBSOIL TO BE SCARIFIED TO A DEPTH OF 6" (150 MM) PRIOR TO THE INSTALLATION OF TOPSOIL TO ENSURE NO HARDPAN CONDITIONS.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF TOPSOIL TO APPROVE SUBBASE.
- NOTIFY LANDSCAPE ARCHITECT IN WRITING OF ANY SUBSTANTIAL WET CONDITIONS.

TOPSOIL -

- AT THE CONTRACTOR'S EXPENSE A SOIL TEST IS TO BE COMPLETED BY A REPUTABLE LABORATORY. THE SOIL TEST IS TO BE COMPLETED AND IF NECESSARY, RECOMMENDATIONS FROM THE LABORATORY ARE TO BE INCLUDED. THE RESULTS OF SOIL TESTS AND RECOMMENDATIONS ARE TO BE PROVIDED TO THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO WORK COMMENCING FOR APPROVAL.
- TOPSOIL FOR PLANTING BEDS IS TO BE A FERTILE, FRAGILE, NATURAL, LOAM TO A MINIMUM DEPTH OF 12" (300MM) AND A MINIMUM DEPTH OF 4" (100MM) FOR TUBE AREAS - UNLESS OTHERWISE STATED - TOPSOIL SHALL CONTAIN NOT LESS THAN 4% ORGANIC MATTER FOR CLAY LOAMS AND NOT LESS THAN 2% ORGANIC MATTER FOR SANDY LOAM TO A MAXIMUM OF 15% AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FREE OF SUBSOIL, CONTAMINATION, ROOTS AND STONES OVER 50MM DIAMETER. REASONABLY FREE OF WEEDS, AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND HAVING A pH RANGING FROM 6.0 TO 7.0.

PLANT MATERIALS -

- CONTRACTOR TO NOTIFY ALL PLANT MATERIAL ON DRAWING(S) AND PLANT MATERIAL LIST(S).
- REPORT ALL DISCREPANCIES AT TENDERING PROCESS.
- SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT WRITTEN CONFIRMATION BY THE LANDSCAPE ARCHITECT.
- PLANTINGS MAY BE ADJUSTED TO SUIT UTILITIES STRUCTURES AND AESTHETIC CONCERNS. ADJUSTMENTS ARE TO BE MADE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT TO INSPECT ALL PLANT MATERIAL ON SITE ON AT ITS SOURCE PRIOR TO INSTALLATION. CONTRACTOR IS TO GIVE LANDSCAPE ARCHITECT 48 (HRS) NOTICE FOR INSPECTION.
- CONTRACTOR TO NOTIFY IN WRITING TO LANDSCAPE ARCHITECT ADVISORY WEATHER CONDITIONS CLIMATE CONDITIONS AT TIME OF PLANTING, I.E. TEMPERATURE, PRECIPITATION.
- ALL TREE PITS SHALL BE AT LEAST 2 FT. (600MM) WIDER THAN BALL OF THE TREE TO BE PLANTED AND SHALL BE DEEP ENOUGH SO THAT THE TOP OF BALL IS AT THE SAME LEVEL AS SURROUNDING GRADE. A MINIMUM OF 6" (150MM) OF BACKFILL SHALL BE PLACED UNDER BALL.
- TREE PITS ARE NOT TO BE LEFT OPEN OVER NIGHT.
- SHRUB BEDS SHALL BE EXCAVATED TO A DEPTH OF 18" (450MM) AND FILLED WITH APPROVED BACKFILL MATERIAL.
- SHRUB BEDS ARE NOT TO BE LEFT OPEN OVER NIGHT.
- ALL TREES SHALL HAVE AN EARTH SAUCER AT ITS BASE WITH A DIAMETER AS LARGE AS EXCAVATED AREA TO SHAPE TO RETAIN WATER. SEE DETAIL. EARTH SAUCER TO HAVE APPROVED MARCH INSTALLED TO A MINIMUM DEPTH OF 15" (38MM).
- ALL BURLAP SHALL BE CUT AND BURIED BELOW SURFACE DURING PLANTING.
- ALL EVERGREENS ARE TO BE WRAPPED THE FIRST WINTER AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR.
- DO NOT INSTALL PLANT MATERIAL IN DRAINAGE SWALES.
- CONTRACTOR IS TO REMOVE ALL GUY WIRES AFTER 2 FULL GROWING SEASONS.

NO.	REVISIONS	DATE	BY	CONSULTANT OR DESIGN
1	Revised as per City comments	07.05.11	WH	
2	Revised property boundary	09.27.11	WH	
3	Added fire hydrant	11.03.11	WH	
4	Site Plan Adjustments	01.18.12	WH	
5	Site Plan Adjustments	05.18.12	WH	
6	Site Plan Adjustments	06.21.12	WH	
7	Revisions according to City comments	07.04.12	WH	

LANDSCAPE ARCHITECT'S STAMP

BioLogic

110 DUNDAS ST. W. SUITE 200 (437-4384) LONDON, ONTARIO

SCALE: NORTH

SCALE - 1 : 200

311-319 WHARNCLIFFE STREET NORTH
LONDON PROPERTY

FILE NO. J101204

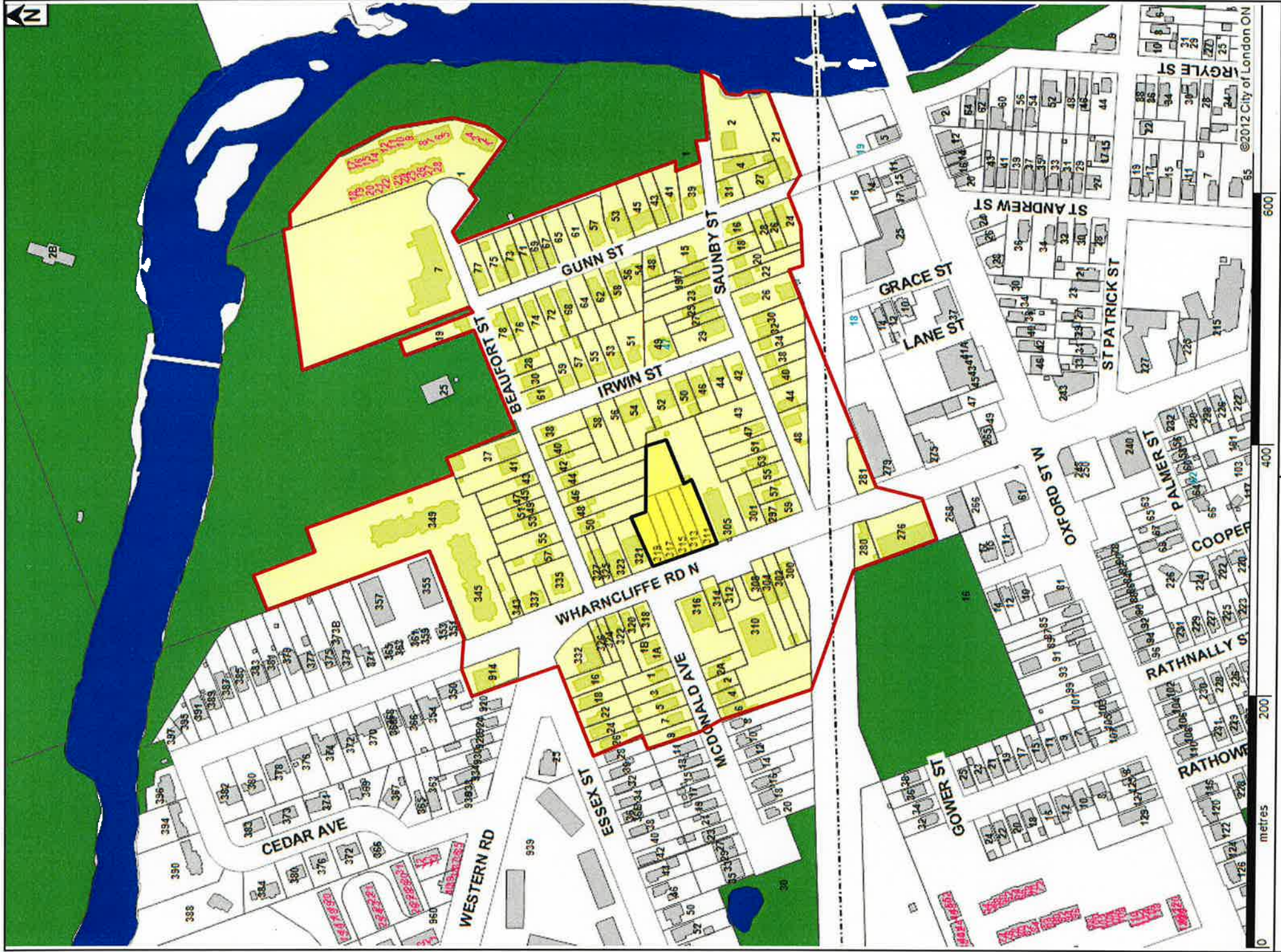
SHEET NO. LP1

LANDSCAPE PLAN

PLAN FILE NO.

RECEIVED BY
JUL 5 2012
CITY OF LONDON
DEVELOPMENT SERVICES

12-010 099



LOCATION MAP

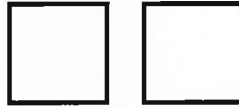
Subject Site: 311 Wharnciffe Road North
 Applicant: Zelinka Priamo Ltd.
 File Number: SP12-018099
 Created By: Jeffrey Shaughnessy
 Date: 2012-07-09
 Scale: 1:3700

Corporation of the City of London
 Prepared By: Planning, Environmental

LEGEND

-  Subject Site
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers

0 200 400 600 metres ©2012 City of London ON



File Number: SP-12-018099

Schedule "B"

Related Estimated Costs and Revenues

319 Wharncliffe Road North

Estimated Costs – This Agreement	
Claims from Urban Works Reserve Fund – General	Nil
Stormwater Management	Nil
Capital Expense	Nil
Other	Nil
Total	Nil
Estimated Revenues - This Agreement (2012 rates)	
CSRF	\$157,008
UWRF	\$63,184
Total	\$220,192

1. The revenue estimates includes DC cost recovery for "soft services" (fire, police, parks and recreation facilities, library, growth studies). There is no comparative cost allocation in the Estimated Cost section of the report, so the reader should use caution in comparing the Cost with the Revenue section.
2. The revenues and costs in the table above are not directly comparable. This site, like others in the area, also relies on the previously constructed infrastructure, the cost of which is not reported above. Growth related costs (like wastewater treatment plant and road capacity expansion) incurred to serve this site and surrounding areas are not reported above, though the revenue for those service components is included in the "Estimated Revenues – This Agreement" section above. As a result, the revenues and costs reported above are not directly comparable. The City employs a "citywide" approach to recovery of costs of growth – any conclusions based on the summary of Estimated Costs and Revenues (above table) should be used cautiously.

Reviewed By:

Peter Christiaans
 Director, Development Finance