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T. KARIDAS
File No: SP12-017184

TO:	CHAIR AND MEMBERS – PLANNING AND ENVIRONMENT COMMITTEE
FROM:	G. KOTSIFAS, P.ENG. CHIEF BUILDING OFFICIAL & DIRECTOR, DEVELOPMENT AND COMPLIANCE DIVISION
SUBJECT:	APPLICATION BY: JOSEPH RUSCIO CONSTRUCTION LTD. 7 GREENFIELD COURT PUBLIC SITE PLAN MEETING JULY 23, 2012

RECOMMENDATION

That on the recommendation of the Manager, Development Planning, the following actions be taken with respect to the site plan approval application by **Joseph Ruscio Construction Ltd.** relating to the property located at 7 Greenfield Court:

- a) on behalf of the Approval Authority, the Planning and Environment Committee **BE REQUESTED** to conduct a public meeting on the subject site plan application and **REPORT TO** the Approval Authority the issues, if any, raised at the public meeting with respect to the application for Site Plan approval;
- b) Council **ADVISE** the Approval Authority of any issues they may have with respect to the Site Plan application and **ADVISE** the Approval Authority whether they support the Site Plan application for a single detached dwelling; and,
- c) the applicant **BE ADVISED** that the Director, Development Finance has summarized the claims and revenues information as shown on attached Schedule A.

PURPOSE AND EFFECT OF RECOMMENDED ACTION

The purpose of the report is to request the Planning & Environment Committee conduct a public participation meeting to receive feedback from the public and for Planning & Environment Committee and Council to provide advice to the Approval Authority when he is considering the plans, elevations and requirements for the Site Plan.

The need for public engagement is to satisfy Official Plan policies regarding intensification and as a condition of a consent to create the new lot.

PREVIOUS REPORTS PERTINENT TO THIS MATTER
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None

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APPLICATION DETAILS

Date Application Accepted: June 1, 2012	Agent: Monteith Brown
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SITE CHARACTERISTICS:
<ul style="list-style-type: none"> • Current Land Use – Vacant Lot • Frontage – 14.2 m • Depth – 57.1 m • Area – 788.9 m² • Shape – Rectangular

SURROUNDING LAND USES:
<ul style="list-style-type: none"> • North – Commercial • South – Residential • East – Residential • West – Residential

OFFICIAL PLAN DESIGNATION: Low Density Residential
EXISTING ZONING: R1-4

SIGNIFICANT DEPARTMENT/AGENCY COMMENTS

Urban Design

The elevations are under review by the Community Planning and Urban Design Section.

PUBLIC LIAISON:	On July 6, 2012 a combined Notice of Application for Site Plan Approval and Notice of Public Meeting was sent out to surrounding property owners and the nature of the application was advertised in the Living in the City section of the London Free Press on July 7, 2012.	0 responses received to date.
Nature of Liaison: Same as Requested Action		
Responses: None		

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ANALYSIS

Description of the Site Plan

The Owner has severed the existing lot with an existing dwelling to create a new lot. He is proposing to construct a single detached dwelling on the new lot. The parcel is zoned to permit single detached dwelling. The proposed single detached dwelling maintains the existing street line along Greenfield Court. Vehicular access to the property is adjacent to the east property line. The proposed building is two storeys.

Is the Proposed Site Plan in conformity with the Official Plan and is it consistent with the Provincial Policy Statement?

The development of a single detached dwelling conforms to the Official Plan and the proposed residential intensification is consistent with the Provincial Policy Statement. The requirement for a Public Site Plan is due to the intensification policies in the Official Plan.

Does the Plan Conform to the Residential R1-4 Zoning?

The proposed single detached dwelling conforms to the zoning regulations subject to the lot being created.

Is the Site Plan Compatible with Adjacent Properties?





The area surrounding the subject land contains older, one-storey, two storey homes with siding and/or brick exteriors.

The site plan, as submitted, is compatible with the surrounding uses and is considered appropriate for the development of these lands. The proposed elevations are consistent with the existing homes in the area. The home has been designed to provide some consistencies with the existing homes. Urban Design has accepted the proposed elevations.

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CONCLUSION

Based on a review of the applicable Official Plan policies, the Zoning By-law, permitted uses and regulations, and the Provincial Policy Statement, approval of the submitted site plan and elevations by the Approval Authority will be appropriate for the development of these lands. The proposal represents good land use planning and subject to the results of the public meeting, the plans and drawings could be recommended for approval to the Approval Authority along with a standard Development Agreement subject to the creation of the new lot.

PREPARED BY:	RECOMMENDED BY:
	
T. KARIDAS SITE PLAN APPROVAL OFFICER DEVELOPMENT SERVICES	B. HENRY MANAGER DEVELOPMENT PLANNING
REVIEWED BY:	SUBMITTED BY:
	
J. RAMSAY, P.ENG. MANAGER DEVELOPMENT SERVICES	G. KOTSIFAS, P.ENG. CHIEF BUILDING OFFICIAL & DIRECTOR, DEVELOPMENT AND COMPLIANCE DIVISION

cc : Monteith Brown Planning Consultants
 610 Princess Ave
 London, ON N6B 2B9
 Fax: (519) 681-1690

Agenda Item # Page #

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File No: SP12-017184

Bibliography of Information and Materials

Reference Documents:

City of London. *Official Plan*, June 19, 1989, as amended

City of London. *Zoning By-law No. Z.-1*, May 21, 1991, as amended

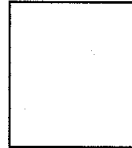
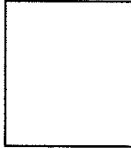
City of London, Notice of Application & Notice of Public Meeting, July 6, 2012

City of London, Living in the City, Notice of Public Meeting, July 7, 2012

City of London, Site Plan By-law C.P.-1455-451

Provincial Policy Statement, March 1, 2005

Consent Application, B.062/11, November 16, 2011



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Schedule A

The Director, Development Finance has summarized the claims and revenues information for the construction of a single detached dwelling on the land as shown below:

	<u>Estimated Revenue</u>	<u>Estimated Claims</u>
Urban Works Reserve Fund	\$6,627.00	\$NIL
Other Reserve Funds (City Services & Hydro)	\$16,450.00	\$NIL
TOTAL	\$23,077.00	

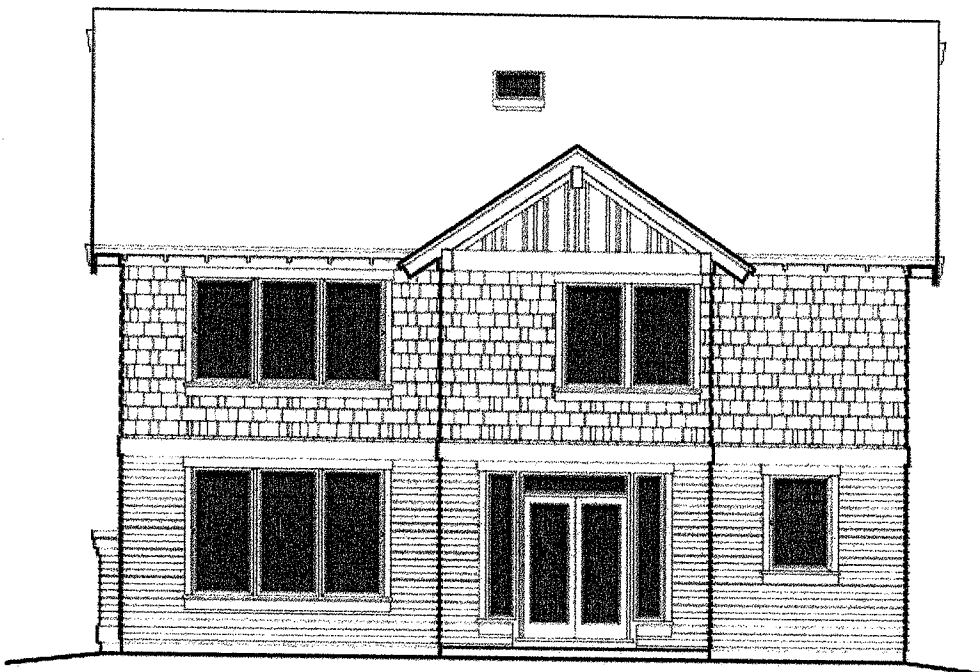
Potential Elevation for 7 Greenfield Court

Typical, variations will be made to building layout and design

Figure A – Front Rendering



Figure B – Rear Elevation



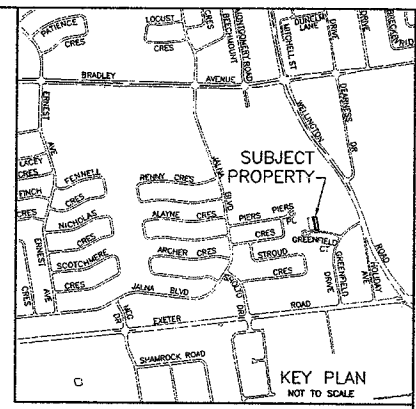
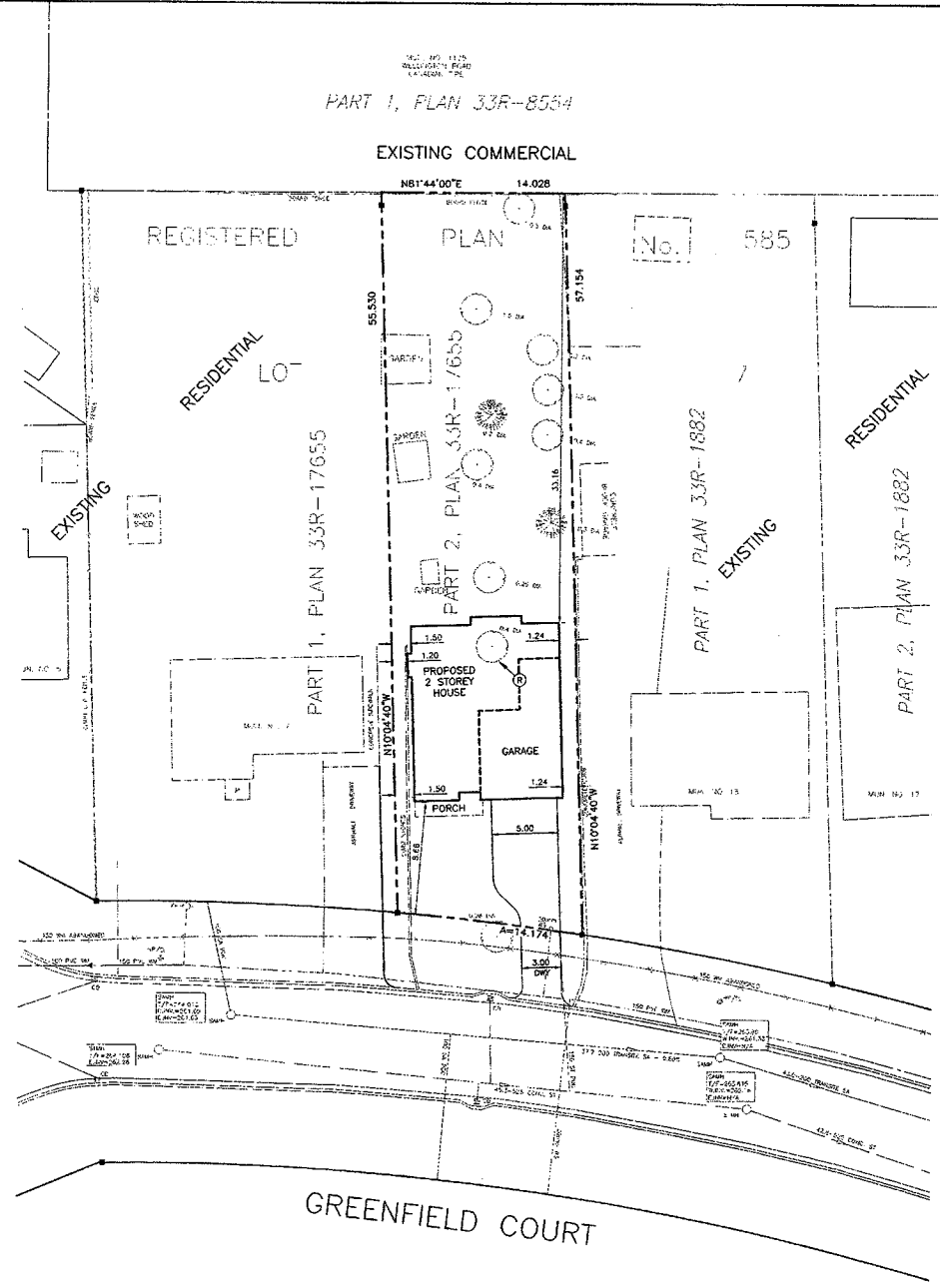
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CITY OF LONDON
DEVELOPMENT APPROVALS BUSINESS UNIT

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PART OF
LOT 7
REGISTERED PLAN No. 585
(FORMERLY TOWNSHIP OF WESTMINSTER)
IN THE
CITY OF LONDON
COUNTY OF MIDDLESEX

SITE DATA

- GRASS SITE AREA: 798.63 m² (2977 sq ft)
- BUILDING AREA: 153.2 m²
- ASPHALT AREA: 45.8 m²

ITEM	A	REQUIREMENTS	PROPOSED
1. INDEX	10.0	10.0	10.0
2. PERMITTED USES		SINGLE DETACHED DWELLING	SINGLE DETACHED DWELLING
3. LOT AREA (M/HA/AC)	798.63 m ²	367 m ²	798.63 m ²
4. LOT FRONTAGE (M/FT)	32.2 m	14.2 m	32.2 m
5. FRONT & REAR SIDE YARD DEPTH (M)	4.5 m	4.5 m	4.5 m
6. FRONT & REAR SIDE YARD DEPTH (M)	6.0 m	6.0 m	6.0 m
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SITE BENCHMARK:
 (T.S.M. 01) TOP OF SPINDLE OF FIRE HYDRANT
 @ SW CORNER OF WHITNEY STREET & EDMONTON STREET
 Elevation=265.948m

METRIC:
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTE:
 DIMENSIONS ARE TO EDGE OF ASPHALT UNLESS SHOWN OTHERWISE.

- LEGEND**
- ◀ PROPOSED FINISHED FLOOR ELEVATION
 - ◀ FIREFIGHTERS PRINCIPAL ENTRANCE AND/OR BARRIER-FREE ENTRANCE
 - ⊙ PROPOSED LANDSCAPED AREA
 - ✱ PROPOSED BUILDING MOUNTED LIGHT
 - ⊖ ITEM TO BE REMOVED

NO. CONSULTANT REFERENCE	COMPLETION	DATE	BY	REVISIONS	DATE	BY	CONSULTANT OR DESIGN	DESIGNER'S STAMP	SCALE	TITLE	PROJECT NO.
	SUBMITTED	15/05/12	AGM					 AGM ARCHIBALD, GRAY & MCKAY ENGINEERING LTD. 2514 WHITE OAK ROAD, LONDON, ON, M8S 2Z9 PHONE 519-885-8200 FAX 519-885-8303 WWW.AGM.ON.CA	1:200	GREENFIELD COURT SITE PLAN	PROJECT NO. 1293-1
	DRAWN						SHEET NO. 01				
	CHECKED						PLAN FILE NO.				
	APPROVED										
	SITE	MAY 2012									

CONSTRUCTION NOTES:

- GENERAL:**
- AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION ON ANY EXISTING ROAD ALLOWANCE MAINTAINED BY THE CITY OF LONDON, THE SUBMITTER/DEVELOPER IS TO OBTAIN A WORK APPROVAL PERMIT FROM THE PUBLIC SERVICE DIVISION OF THE CITY ENGINEER'S DEPARTMENT AFTER DISCUSSIONS WITH THE STAFF OF THE WATER, SEWER AND URBAN DRAINAGE AND TRANSPORTATION DIVISIONS.
 - ALL WORK SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE CITY OF LONDON ENVIRONMENTAL SERVICES DEPARTMENT. THE STANDARD CONTRACT DOCUMENTS FOR MUNICIPAL CONSTRUCTION PROJECTS, AS ADOPTED BY COUNCIL ON MAY 23, 1994 AND AS AMENDED FROM TIME TO TIME, ARE TO BE APPLIED TO THIS PROJECT. WHERE ANY DISCREPANCY EXISTS BETWEEN THE ADOPTED STANDARD CONTRACT DOCUMENTS AND THE STANDARDS AND SPECIFICATIONS NOTED ON THESE DRAWINGS, THE STANDARD CONTRACT DOCUMENTS WILL GOVERN, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
 - THE SUBMITTER/DEVELOPER IS TO MEET ALL THE REQUIREMENTS OF THE OWNERS OF THE UTILITIES ON THIS PLAN AND MUST MAKE SATISFACTORY ARRANGEMENTS WITH THE UTILITY COMPANIES FOR CROSSING THEIR INSTALLATIONS AND FOR PROVIDING ADEQUATE PROTECTION DURING CONSTRUCTION.
 - EXISTING SURFACES WITHIN THE ROAD ALLOWANCE WHICH ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION AT LEAST AS GOOD AS ORIGINAL, OR AS OTHERWISE NOTED TO THE SPECIFICATIONS OF THE CITY ENGINEER. ALL ASPHALT CUTS ARE TO BE MILLED (50mm DEEP X 500mm WIDE).
- MINIMUM GREENFIELD COURT FAVEMENT STRUCTURE TO CONSIST OF:**
- 50mm HL-3 - COMPACTED TO 97% MARSHALL DENSITY
 - 50mm HL-2 - COMPACTED TO 97% MARSHALL DENSITY
 - 150mm GRANULAR "A" - COMPACTED TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY
 - 300mm GRANULAR "B" - COMPACTED TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY
- OR TO MATCH EXISTING ROAD STRUCTURE.
- THE SUBMITTER/DEVELOPER IS TO NOTIFY THE TECHNICAL SERVICES DIVISION IN WRITING AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
 - THE SUBMITTER/DEVELOPER SHALL HAVE ITS PROFESSIONAL ENGINEER PROVIDE FULL-TIME INSPECTION DURING CONSTRUCTION AND A CERTIFICATE OF COMPLETION OF WORKS UPON COMPLETION OF ALL WORKS TO BE CONSTRUCTED ON AN EXISTING CITY STREET OR EASEMENT.
 - THE SUBMITTER/DEVELOPER SHALL HAVE ITS PROFESSIONAL ENGINEER PROVIDE ADEQUATE INSPECTION DURING CONSTRUCTION AND A CERTIFICATE OF COMPLETION OF WORKS UPON COMPLETION OF ALL WORKS WHICH ARE TO BE ASSUMED BY THE CITY.
 - THE UTILITIES CO-ORDINATING COMMITTEE MUST BE INFORMED AT LEAST TWO WEEKS PRIOR TO COMMENCING CONSTRUCTION ON ANY EXISTING CITY ROAD ALLOWANCE.
 - BOULEVARDS WILL BE RESTORED WITH NURSERY SOG ON 100mm TOPSOIL.
 - TREES THAT WILL NOT BE REMOVED MUST BE PROTECTED FROM CONSTRUCTION DAMAGE.
- SEWERS:**
- P.O.C'S SHALL BE PVC SDR 26.
 - SEWER BEDDING SHALL BE GRANULAR "A" COMPACTED TO 98% STANDARD PROCTOR MAXIMUM DRY DENSITY. WHERE HIGH GROUND WATER LEVELS ARE ENCOUNTERED, 150mm CRUSHED STONE BEDDING SHALL BE USED AND SHALL HAVE A GEOTEXTILE WRAP OF TERRAZO 220R OR EQUIVALENT AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. 150 CRUSHED STONE SHALL ALSO BE USED FOR THE SANITARY SEWER BETWEEN MH SA.1 AND MH SA.4.
- WATERMANS:**
- APPROVED BACKFILL MATERIAL TO BE COMPACTED TO 98% STANDARD PROCTOR MAXIMUM DRY DENSITY.
 - ALL WATERMAN CONSTRUCTION AND APPURTENANCES AS PER CITY OF LONDON ENGINEER'S DEPARTMENT WATERWORK GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS FOR THE WATER, SEWER & URBAN DRAINAGE DIVISION.
 - TAPPING SLEEVE AT EXISTING WATERMAIN BY CITY OF LONDON FORCES.
 - MINIMUM COVER OVER WATERMAN AND SERVICES TO BE 1.70m.
 - EXISTING WATER SERVICES TO BE ABANDONED MUST BE CUT AND CAPPED AT THE SOURCE. EXISTING VALVE BOX AND ROD TO BE ABANDONED MUST BE CUT 100mm BELOW FINISHED GRADE.

LOT GRADING NOTES:

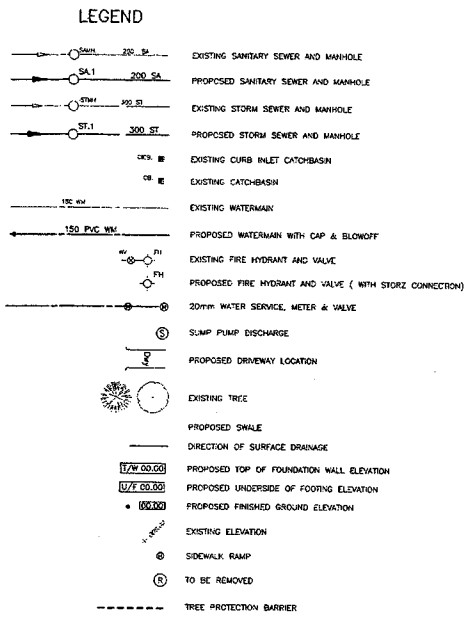
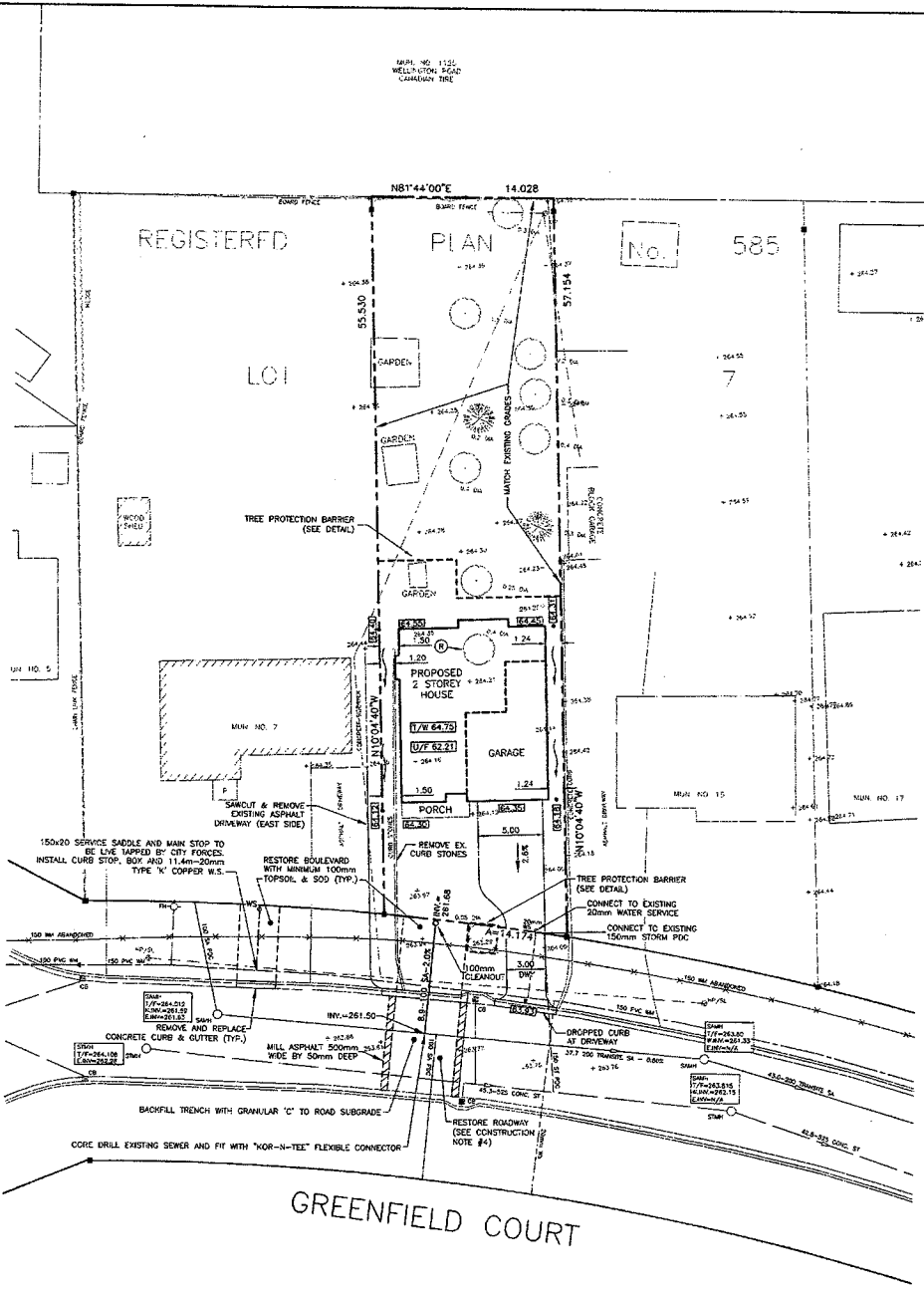
- EXISTING DRAINAGE OF ADJUTING LANDS IS NOT TO BE DISTURBED.
- GROUND ELEVATIONS AT BUILDINGS ADJUTING OVERLAND FLOW ROUTES ARE TO BE 225mm ABOVE OVERLAND FLOW ROUTE ELEVATIONS.
- ALL ROOF WATER OUTLETS FROM THE PROPOSED BUILDINGS AND DRAINAGE FROM IMPERVIOUS AREAS ARE TO BE DIRECTED TOWARDS THE SITE'S STORM DRAINAGE SYSTEM.
- NO WEeping THE CONNECTIONS WILL BE PERMITTED INTO THE SANITARY SEWERS AND NO DIRECT DRAINAGE CONNECTIONS FROM THE WEeping TILES WILL BE PERMITTED TO THE STORM SEWER SYSTEM UNLESS THE STORM SYSTEM HAS THE CAPACITY TO PROVIDE FOR SUCH CONNECTION TO THE SATISFACTION OF THE CITY ENGINEER. HOWEVER, PUMPED CONNECTIONS FROM THE WEeping TILES TO THE STORM SEWER WILL BE PERMITTED.
- IF AN EXISTING DRAIN IS ENCOUNTERED DURING CONSTRUCTION CONTACT THE PUBLIC SERVICE DIVISION OF THE CITY'S ENVIRONMENTAL SERVICES DEPARTMENT.
- BASEMENT CRAWLERS TO BE A MINIMUM 300mm ABOVE THE CENTERLINE OF ROAD UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- SUMP PUMP DISCHARGE MUST BE DIRECTED AWAY FROM DRIVEWAYS AND SIDEWALKS.
- BUILDING OPENINGS TO BE 450mm ABOVE OVERLAND FLOW ROUTES.
- RETAINING WALLS, 1.0m OR GREATER ARE TO BE DESIGNED BY AND CONSTRUCTED TO THE SPECIFICATIONS OF A REGISTERED P. ENG. IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

SEDIMENT CONTROL MEASURES:

- PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION, AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETE.
- MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
- ALL COLLECTED SEDIMENT TO BE DISPOSED OF AT AN APPROVED LOCATION.
- MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
- ALL DEWATERING TO BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
- PROTECT ALL CATCH BASINS, MAINTENANCE HOLES, AND PIPE ENDS FROM SEDIMENT INTRUSION WITH STRAW BALE FILTERS AND GEOTEXTILE (TERRAZO 270).
- KEEP ALL Sumps CLEAN DURING CONSTRUCTION.
- PREVENT WIND-BLOWN DUST.
- STRAW BALES TO BE USED IN LOCALIZED AREAS AS SHOWN AND AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION FOR WORKS WHICH ARE IN OR ADJACENT TO FLOODPLAINS, FILL LINES AND HAZARDOUS SLOPES.
- STRAW BALES TO BE TERMINATED BY ROUNDING BALES TO CONTAIN AND FILTER RUNOFF.
- OBTAIN APPROVAL FROM UTRCA PRIOR TO CONSTRUCTION FOR WORKS WHICH ARE IN, OR ADJACENT TO FLOODPLAINS, FILL LINES AND HAZARDOUS SLOPES.
- ALL Silt FENCING AND DETAILS ARE AT THE MINIMUM TO BE CONSTRUCTED IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
- ALL OF THE ABOVE NOTES AND ANY SEDIMENT AND EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

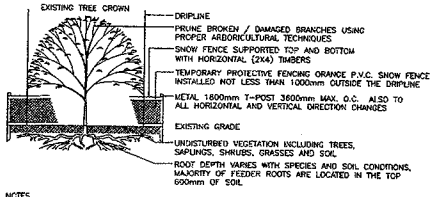


ONTARIO PROVINCIAL STANDARDS

THE FOLLOWING ONTARIO PROVINCIAL STANDARD DRAWINGS AND CITY OF LONDON ENGINEERING STANDARDS SHALL BE USED ON THIS PROJECT:

- OPSD 600.110 CONCRETE BARRIER CURB WITH STANDARD GUTTER
- DWG. SW-1-0 BEDDING STANDARD FOR GRAVITY AND PRESSURE PIPE
- DWG. SW-2-0 PRIVATE DRAIN CONNECTION
- DWG. SW-6-3 PRIVATE DRAIN CONNECTION CLEANOUTS
- DWG. W-CS-6 STANDARD INSTALLATION OF 20mm and 25mm WATER SERVICE

TEMPORARY TREE PROTECTION BARRIER N.T.S.



- NOTES**
- EXISTING TREES ARE TO BE PROTECTED FROM CONSTRUCTION WITH THE INSTALLATION OF A 1200mm HIGH SNOW FENCE, AT NOT LESS THAN 1000mm FROM THE EXISTING DRIPLINE, HELD IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED.
 - THE BARRIER IS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION AND MUST REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED.
 - ALL SUPPORTS AND BRACING SHOULD BE INSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS IN THE TREE PROTECTION ZONE.
 - NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT, OR EXCAVATION OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
 - NO MOVEMENT OF EQUIPMENT, STORAGE OF BUILDING SUPPLIES, CLEANING OF EQUIPMENT, OR DUMPING OF SOLVENTS, GASOLINE, ETC. MAY OCCUR WITHIN THIS FENCE LINE.
 - WHERE HIGH QUALITY SPECIMENS OCCUR ADJACENT TO AREAS SUBJECTED TO INTENSIVE CONSTRUCTION ACTIVITY, WOODEN CRIBBING SHOULD BE INSTALLED TO PROTECT TRUNKS FROM DAMAGE IN THE EVENT THAT HEAVY EQUIPMENT BREAKS DOWN THE SNOW FENCING.
 - FENCE TO BE INSPECTED BY ENVIRONMENTAL CONSULTANT ON A REGULAR BASIS AND BE MAINTAINED BY THE SUBMITTER/BUILDER.

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANCE DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND DRAINAGE PATTERNS ON AND ACROSS THESE LANDS AND THE ADJOINING LANDS OR APPLICABLE CITY BY-LAWS.

SITE BENCHMARK:

(T.B.M. 01) TOP OF SPINDLE OF FIRE HYDRANT @ SW CORNER OF WATNEY STREET & EDMONTON STREET Elevation=265.946m

NOTE:

DIMENSIONS ARE TO EDGE OF ASPHALT UNLESS SHOWN OTHERWISE. ADD 200 METRES TO ALL PROPOSED ELEVATIONS.

RECEIVED BY
 JUN 01 2012
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AS COMPLETED	DATE	BY	REVISION	DATE	BY
DESIGN	4/24	AGM			
DRAWING	5/20	AGM			
CHECKED	5/27	AGM			
APPROVED	5/27	AGM			
DATE	MAY 2012				

AGM
SURVEYING • ENGINEERING

ARCHIBALD, GRAY & MCKAY ENGINEERING LTD.
254 WATNEY STREET, LONDON, ON, N6E 2Z9
PHONE 519-885-5300
EMAIL agm@agm.on.ca
FAX 519-885-5303
WEB www.agm.on.ca



JOSEPH RUSCIO
CONSTRUCTION LTD.

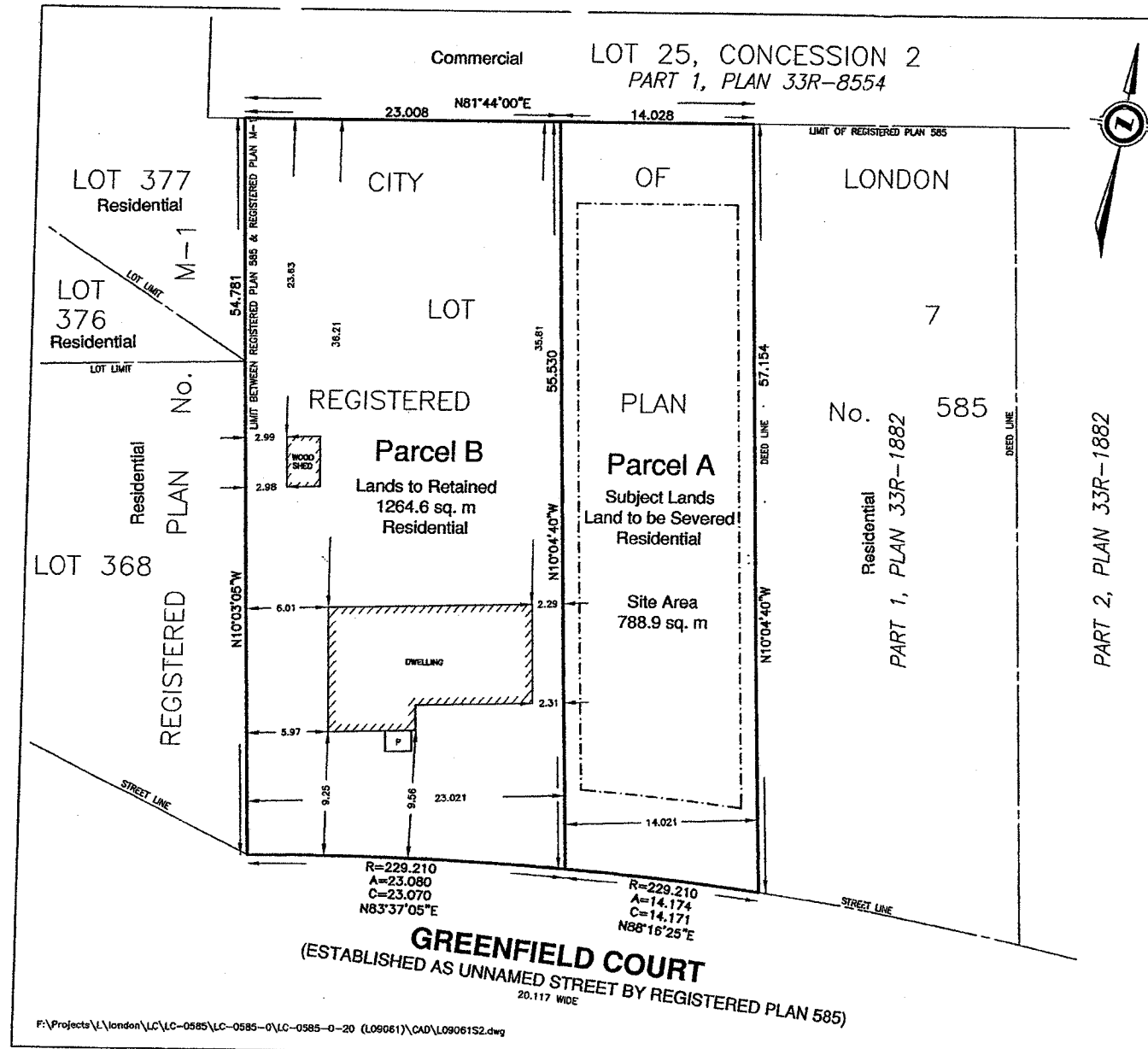
SCALE
1:200

TITLE
GREENFIELD COURT
SITE SERVICING
AND GRADING PLAN

PROJECT NO.
1293-1

SHEET NO.
02

PLAN FILE NO.



SEVERENCE SKETCH
OF PART OF
LOT 7
REGISTERED PLAN No. 585
(FORMERLY TOWNSHIP OF WESTMINSTER)
IN THE
CITY OF LONDON
COUNTY OF MIDDLESEX
SCALE 1:300

SCALE IN METRES



ZONING CHART (METRES)

	PER ZONING R - 1-4	PARCEL A	PARCEL B
SET BACK:	6.0	N/A	9.3
SIDE YARDS:	1 STOREY 1.2	N/A	2.3
	2 STOREY 1.2		
REAR YARDS:	6.0	N/A	35.8
COVERAGE:	40%	N/A	9.5%
AREA:	360	788.9	1264.6
FRONTAGE:	12.0	14.0	23.0

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553 SOUTHDALE RD. E., LONDON, ON, N8E 1A2

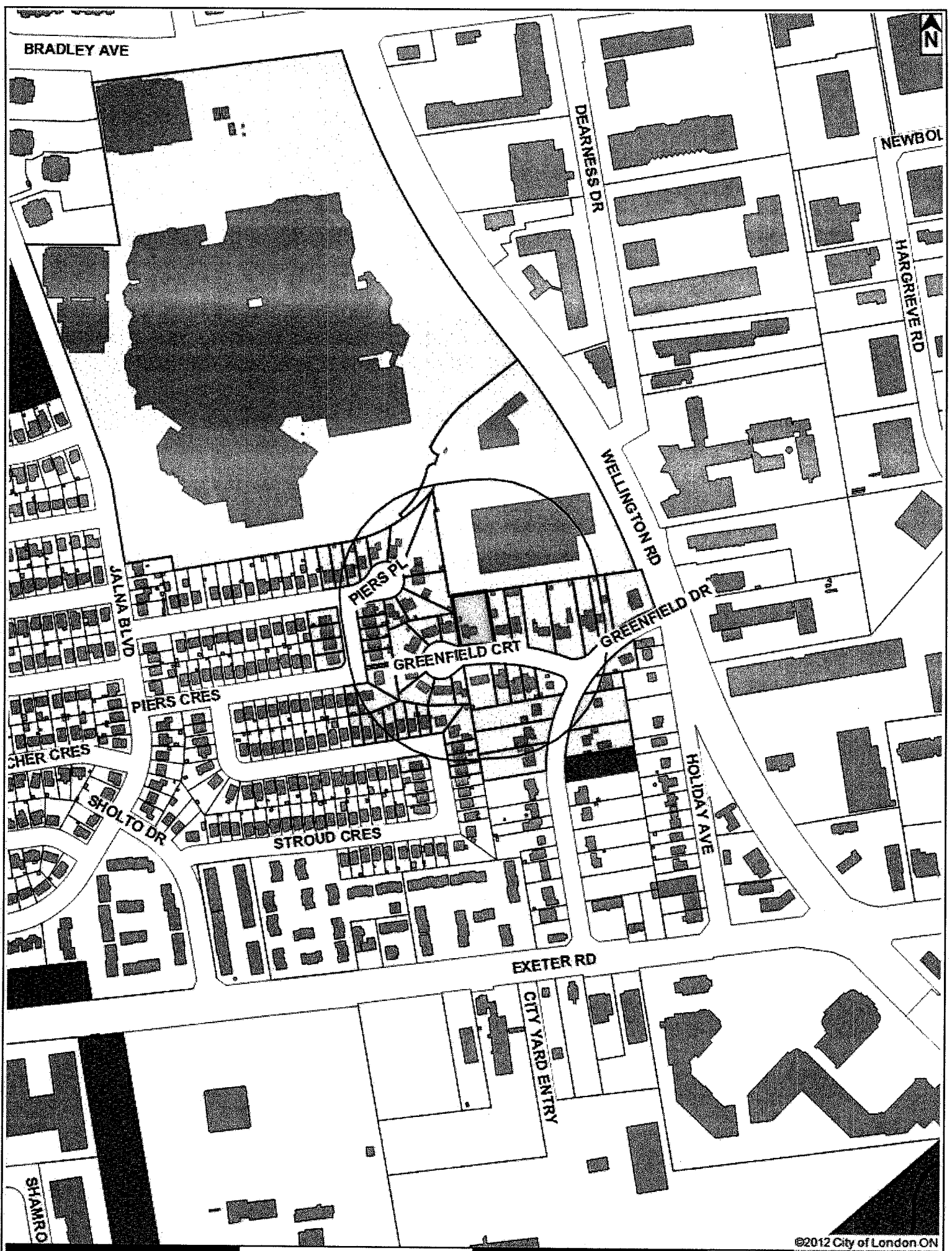
SURVEYING • ENGINEERING PHONE 519-685-5300 FAX 519-885-5303
EMAIL survey@agm.on.ca WEB www.agm.on.ca

DRAWN BY: BAS	DIGITAL FILE: L09061S2.DWG	BUILDER: JOSEPH RUSCIO CONSTRUCTION LTD.
CHECKED BY: DER	COGO FILE: 108045GN.COG	
Plot date: Sep 29, 2009	FILE No: LC-0585-0-20	

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0 metres 250 500 750 1000

LOCATION MAP

Subject Site: 7 Greenfield Court
 Applicant: **BENITA SENKEVICS, MBPC**
 File Number: SP12-017184
 Planner: New
 Created By: Ryan Nemis
 Date: 2012-06-29
 Scale: 1:5000

LEGEND

-  Subject Site
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers

