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**T. KARIDAS**  
File No: SP12-019896

<b>TO:</b>	<b>CHAIR AND MEMBERS – PLANNING AND ENVIRONMENT COMMITTEE MEETING</b>
<b>FROM:</b>	<b>G. KOTSIFAS, P.ENG. CHIEF BUILDING OFFICIAL &amp; DIRECTOR, DEVELOPMENT &amp; COMPLIANCE DIVISION</b>
<b>SUBJECT:</b>	<b>APPLICATION BY: M &amp; D CARRUTHERS 191 LANGARTH STREET EAST PUBLIC SITE PLAN MEETING JULY 16, 2012</b>

<b>RECOMMENDATION</b>
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That on the recommendation of the Manager, Development Planning, the following actions be taken with respect to the site plan approval application by M & D Carruthers relating to the property located at 191 Langarth Street East:

- a) on behalf of the Approval Authority, the Planning and Environment Committee **BE REQUESTED** to conduct a public meeting on the subject site plan application and **REPORT TO** the Approval Authority the issues, if any, raised at the public meeting with respect to the application for Site Plan approval;
- b) Council **ADVISE** the Approval Authority of any issues they may have with respect to the Site Plan application and **ADVISE** the Approval Authority whether they support the Site Plan application for a single detached dwelling; and,
- c) the applicant **BE ADVISED** that the Director, Development Finance has summarized the claims and revenues information as shown on attached Schedule A.

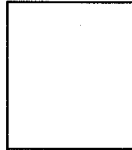
<b>PURPOSE AND EFFECT OF RECOMMENDED ACTION</b>
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The purpose of the report is to request the Planning & Environment Committee conduct a public participation meeting to receive feedback from the public and for Planning & Environment Committee and Council to provide advice to the Approval Authority when he is considering the plans, elevations and requirements for the Site Plan.

The need for public engagement is to satisfy Official Plan policies regarding Intensification and as a condition of a consent to create the new lot.

<b>PREVIOUS REPORTS PERTINENT TO THIS MATTER</b>
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None



**T. KARIDAS**  
**File No: SP12-019896**

**APPLICATION DETAILS**

<b>Date Application Accepted:</b> June 25, 2012	<b>Agent:</b> M & D Carruthers
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<b>SITE CHARACTERISTICS:</b>
<ul style="list-style-type: none"> <li>• <b>Current Land Use</b> – Single Detached Dwelling</li> <li>• <b>Frontage</b> – 9.144 m</li> <li>• <b>Depth</b> – 57.5 m</li> <li>• <b>Area</b> – 526.6 m<sup>2</sup></li> <li>• <b>Shape</b> – Rectangular</li> </ul>

<b>SURROUNDING LAND USES:</b>
<ul style="list-style-type: none"> <li>• <b>North</b> –Residential</li> <li>• <b>South</b> –Residential</li> <li>• <b>East</b> –Residential</li> <li>• <b>West</b> –Residential</li> </ul>

<b>OFFICIAL PLAN DESIGNATION: Low Density Residential</b>
<b>EXISTING ZONING: R2-2</b>

**SIGNIFICANT DEPARTMENT/AGENCY COMMENTS**

**Urban Design**

The elevations are under review by the Community Planning and Urban Design Section on May 25, 2012, subsequent to the Consent.

<b>PUBLIC LIAISON:</b>	On June 29, 2012 a combined Notice of Application for Site Plan Approval and Notice of Public Meeting was sent out to surrounding property owners and the nature of the application was advertised in the Living in the City section of the London Free Press on June 30, 2012.	0 response received to date.
<b>Nature of Liaison:</b> Same as Requested Action		
<b>Responses:</b> None		

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<b>ANALYSIS</b>
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**Description of the Site Plan**

The Owner has severed the existing lot and is proposing to construct a single detached home on each of the new lots. The parcel is zoned to permit single detached dwelling. The proposed single detached dwelling maintains the existing street line along Langarth Street East. Vehicular access to the property is adjacent to the west property line. The proposed building is two storeys.

**Is the Proposed Site Plan in conformity with the Official Plan and is it consistent with the Provincial Policy Statement?**

The development of a single detached dwelling conforms to the Official Plan and the proposed residential intensification is consistent with the Provincial Policy Statement. The requirement for a Public Site Plan is due to the Intensification Policies in the Official Plan.

**Does the Plan Conform to the Residential R2-2 Zoning?**

The proposed single detached dwelling conforms to the zoning regulations subject to the lot being created.

**Is the Site Plan Compatible with Adjacent Properties?**

The area surrounding the subject land contains older, one-storey, two storey homes with siding and/or brick exteriors.




The site plan as submitted is compatible with the surrounding uses and is considered appropriate for the development of these lands. The proposed elevations are consistent with the existing homes in the area. The home has been designed to provide some consistencies with the existing homes. Urban Design has approved the proposed elevations, subsequent to the Consent application.

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**T. KARIDAS**  
**File No: SP12-019896**

<b>CONCLUSION</b>
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Based on a review of the applicable Official Plan policies, the Zoning By-law, permitted uses and regulations, and the Provincial Policy Statement, approval of the submitted site plan and elevations by the Approval Authority will be appropriate for the development of these lands. The proposal represents good land use planning and subject to the results of the public meeting, the plans and drawings could be recommended for approval to the Approval Authority along with a standard Development Agreement subject to the creation of the new lot.

<b>PREPARED BY:</b>	<b>RECOMMENDED BY:</b>
	
<b>T. KARIDAS</b> SITE PLAN APPROVAL OFFICER DEVELOPMENT SERVICES	<b>B. HENRY</b> MANAGER, DEVELOPMENT PLANNING
<b>REVIEWED BY:</b>	<b>SUBMITTED BY:</b>
	
<b>J. RAMSAY</b> MANAGER, DEVELOPMENT SERVICES	<b>G. KOTSIFAS</b> CHIEF BUILDING OFFICIAL & DIRECTOR, DEVELOPMENT AND COMPLIANCE

c : M & D Carruthers  
 32-626 Wharncliffe Road South  
 LONDON ON N6J 2N4

Agenda Item #      Page #

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**T. KARIDAS**  
**File No: SP12-019896**

**Bibliography of Information and Materials**

Reference Documents:

City of London. *Official Plan*, June 19, 1989, as amended.

City of London. *Zoning By-law No. Z.-1*, May 21, 1991, as amended.

City of London, Notice of Application & Notice of Public Meeting, June 29, 2012

City of London, Living in the City, Notice of Public Meeting, June 30, 2012

City of London, Site Plan By-law C.P.-1455-451.

Provincial Policy Statement, March 1, 2005.

Consent Application, B.047/11, September 27, 2011

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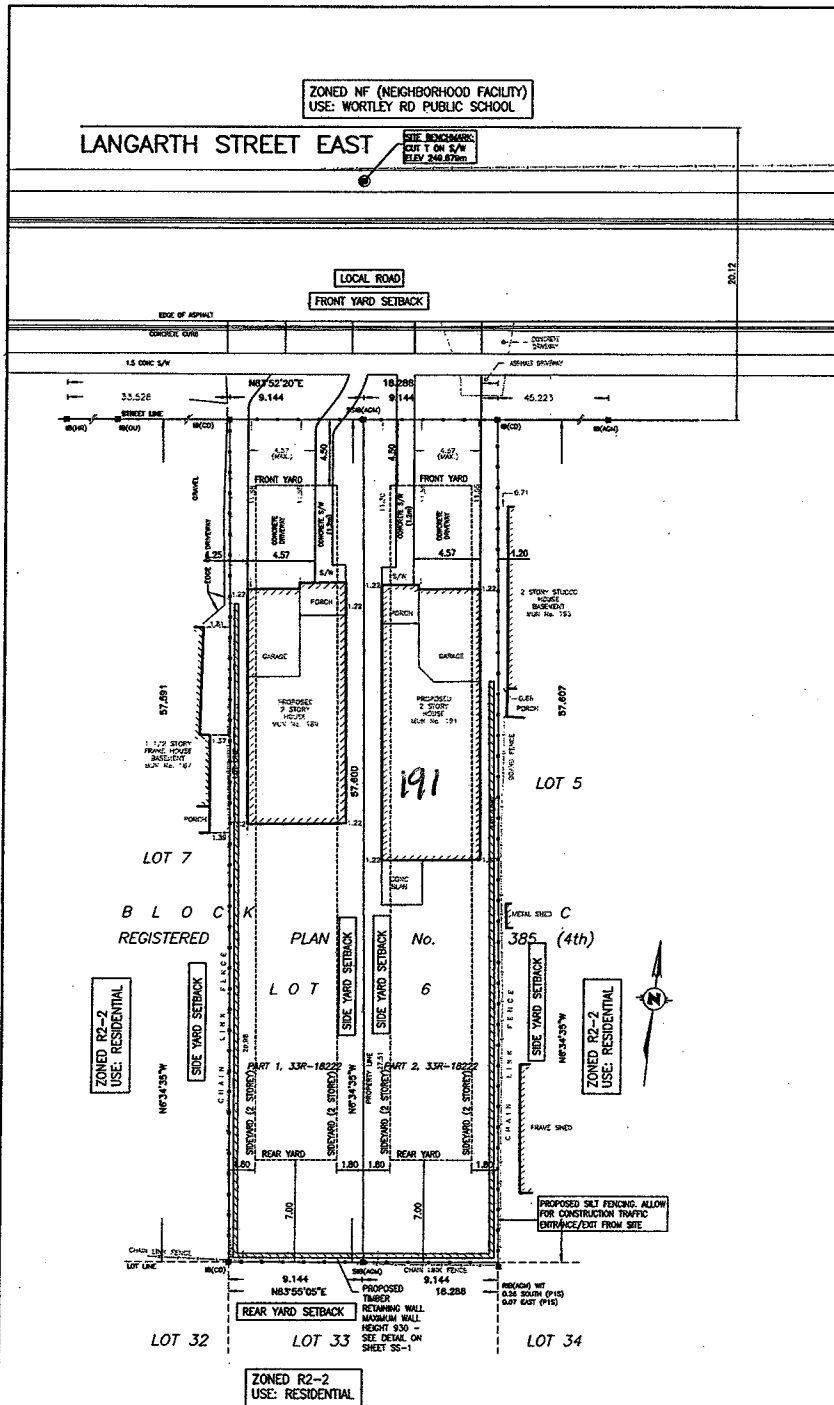
**T. KARIDAS**  
**File No: SP12-019896**

**Schedule A**

The Director, Development Finance has summarized the claims and revenues information for the demolition of a single family home and construction of a single detached dwelling on the land as shown below:

	<u>Estimated Revenue</u>	<u>Estimated Claims</u>
Urban Works Reserve Fund (less demolition credit)	\$6,627.00 -(\$6627.00)	\$NIL
Other Reserve Funds (City Services & Hydro) (less demolition credit)	\$16,450.00 -(\$16,450.00)	\$NIL
<b>TOTAL</b>	<b>\$0.00</b>	

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ZONED NF (NEIGHBORHOOD FACILITY)  
USE: WORTLEY RD PUBLIC SCHOOL

LANGARTH STREET EAST

LOCAL ROAD

FRONT YARD SETBACK

### SITE DATA PART 1

- GROSS SITE AREA: 526,641 m<sup>2</sup>  
0.053 Ha
- BUILDING AREA: Proposed 104,882 m<sup>2</sup>
- ASPHALT AREA: Proposed 52,837 m<sup>2</sup>
- LANDSCAPED AREA: Proposed 368,922 m<sup>2</sup>

ITEM	A	Z-1 ZONING	PROPOSED
4. PERMITTED USES	R2-2	R2-2	R2-2
5. LOT AREA (MIN.)	360 m <sup>2</sup>	360 m <sup>2</sup>	526,641 m <sup>2</sup>
6. LOT FRONTAGE (MIN.)	9.0 m	9.0 m	8.14 m
7. FRONT & EXTERIOR SIDE YARD (MIN.)	Local Street Main Building 4.5m Local Street Garage 6.0m	Local Street Main Building 12.75m Local Street Garage 11.55m	
8. REAR YARD DEPTH (MIN.)	7.0 m	29.95 m	
9. INTERIOR YARD DEPTH (MIN.)	1.8 m	1.22m/1.22m *	
10. LOT COVERAGE (% MAX.)	45%	19.9 % (104,882 m <sup>2</sup> )	
11. HEIGHT (m MAX.)	8.0 m	m	
12. PARKING AREA COVERAGE (% MAX.)	15%	10% (52,837 m <sup>2</sup> )	
13. NUMBER OF UNITS PER LOT MAXIMUM	1	1	

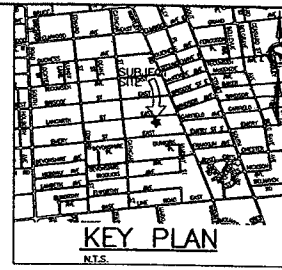
\* - SECTION 6.3.2(2) - 1.2m PLUS 0.6m PER STOREY ABOVE THE FIRST STOREY  
VARIANCE WILL BE REQUIRED - VARIANCE GRANTED

### SITE DATA PART 2

- GROSS SITE AREA: 526,710 m<sup>2</sup>  
0.053 Ha
- BUILDING AREA: Proposed 124,753 m<sup>2</sup>
- ASPHALT AREA: Proposed 52,755 m<sup>2</sup>
- LANDSCAPED AREA: Proposed 349,222 m<sup>2</sup>

ITEM	A	Z-1 ZONING	PROPOSED
4. PERMITTED USES	R2-2	R2-2	R2-2
5. LOT AREA (MIN.)	360 m <sup>2</sup>	360 m <sup>2</sup>	526,710 m <sup>2</sup>
6. LOT FRONTAGE (MIN.)	9.0 m	9.0 m	8.14 m
7. FRONT & EXTERIOR SIDE YARD (MIN.)	Local Street Main Building 4.5m Local Street Garage 6.0m	Local Street Main Building 11.30m Local Street Garage 11.55m	
8. REAR YARD DEPTH (MIN.)	7.0 m	27.51 m	
9. INTERIOR YARD DEPTH (MIN.)	1.8 m	1.22m/1.22m *	
10. LOT COVERAGE (% MAX.)	45%	23.7 % (124,753 m <sup>2</sup> )	
11. HEIGHT (m MAX.)	8.0 m	m	
12. PARKING AREA COVERAGE (% MAX.)	15%	10% (52,755 m <sup>2</sup> )	
13. NUMBER OF UNITS PER LOT MAXIMUM	1	1	

\* - SECTION 6.3.2(2) - 1.2m PLUS 0.6m PER STOREY ABOVE THE FIRST STOREY  
VARIANCE WILL BE REQUIRED - VARIANCE GRANTED



### EXISTING PLAN REFERENCE

EXISTING LEGAL AND TOPOGRAPHICAL INFORMATION OBTAINED FROM PLANS PROVIDED BY CALLON METZ INCORPORATED, PLAN No. L-4834, FILE No. 12-18407.  
EXISTING AS BUILT INFORMATION WITHIN THE BOUNDARY OF THE DEVELOPMENT FROM PLANS PROVIDED BY THE CITY OF LONDON'S GEOMATIC DIVISION.  
ZONING INFORMATION OBTAINED FROM THE CITY OF LONDON'S WEBSITE.

### LEGAL INFORMATION

PART 1 AND PART 2  
FP 33R-18222  
Pl Lot 6, FP No. 385 (4th)  
IN THE  
CITY OF LONDON  
COUNTY OF MIDDLESEX

### BENCHMARKS

REFERENCE BENCHMARK:  
MILY OF LONDON VERTICAL MONUMENT 101-54  
MIL IN CONCRETE ON WELLINGTON ROAD, 16.5m NORTH OF THE CENTRELINE OF BASELINE RD, 15.0m WEST OF THE CENTRELINE OF WELLINGTON ROAD, SET IN THE SOUTHWEST CORNER OF THE CONCRETE BASE OF A LIGHT STANDARD.  
ELEVATION: 228.305m

SITE BENCHMARK:  
CUT T ON SIDEWALK  
CUT T ON THE SIDEWALK NORTH SIDE OF LANGARTH STREET, OPPOSITE THE SEVERANCE LINC.  
ELEVATION: 249.672m

### BUILDING CLASSIFICATION

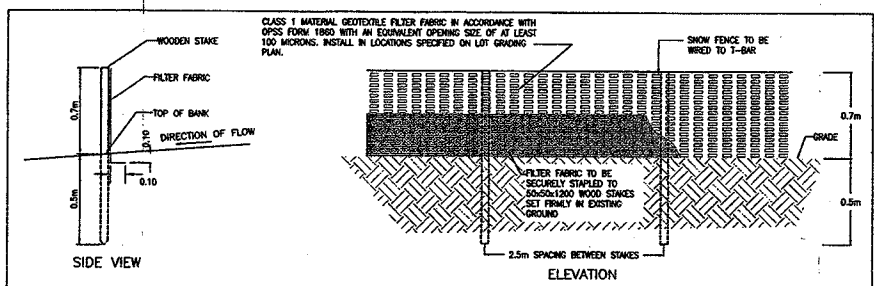
RESIDENTIAL DEVELOPMENT  
PART 9 OF THE ONTARIO BUILDING CODE

### WASTE REMOVAL

GARBAGE TO BE STORED WITHIN THE RESIDENTIAL UNITS.  
HOMEOWNER TO PLACE GARBAGE AT CURB ON DAYS OF MUNICIPAL PICKUP.

### CANADA POST

THIS DEVELOPMENT WILL RECEIVE MAIL DELIVERY TO THE DOOR.



### SILT FENCE DETAIL

NOT TO SCALE

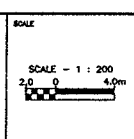
### SEDIMENT CONTROL MEASURES

- PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETED.
- MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
- ALL COLLECTED SEDIMENT TO BE DISPOSED OF AT AN APPROVED LOCATION.
- MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
- ALL DRAINAGE TO BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
- PROTECT ALL CATCH BASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INTRUSION WITH GEOTEXTILE (TERMAFLEX 270 R).
- KEEP ALL SHEDS CLEAN DURING CONSTRUCTION.
- PREVENT WIND-BLOWN DUST.
- STRAW BALES TO BE USED IN LOCALIZED AREAS AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION FOR WORKS WHICH ARE IN OR ADJACENT TO FLOOD LINES, FILL LINES AND HAZARDOUS SLOPES.
- STRAW BALES TO BE TERMINATED BY ROUNDING BALES TO CONTAIN AND FILTER RUNOFF.
- OBTAIN APPROVAL FROM UTICA PRIOR TO CONSTRUCTION FOR WORKS WHICH ARE IN, OR ADJACENT TO FLOOD LINES, FILL LINES AND HAZARDOUS SLOPES.
- ALL SILT FENCING AND DETAILS ARE AT THE MINIMUM TO BE CONSTRUCTED IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
- ALL OF THE ABOVE NOTES AND ANY SEDIMENT & EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.

AS CONSTRUCTED NOTES	AS CONSTRUCTED SERVICES	COMPLETION	DESIGN	DATE	BY	CONSULTANT
			DESIGN	04/12	EB	J. H. VINCENT SERVICES
			DRAWN			
			CHECKED			
			APPROVED			
			DATE			
			DATE			
			DATE			

**J. H. VINCENT SERVICES**  
A DIVISION OF 509228 ONTARIO LIMITED  
CIVIL ENGINEERING  
2018 HALLARD ROAD, UNIT # 11  
LONDON, ONTARIO N6H 5L6

PH: 519-472-9068 FAX: 519-472-4014



**SITE PLAN**  
SITE PLAN No. 11-028847

**TWO RESIDENTIAL UNITS**

189/191 LANGARTH STREET EAST  
LONDON, ONTARIO N6H 5L6

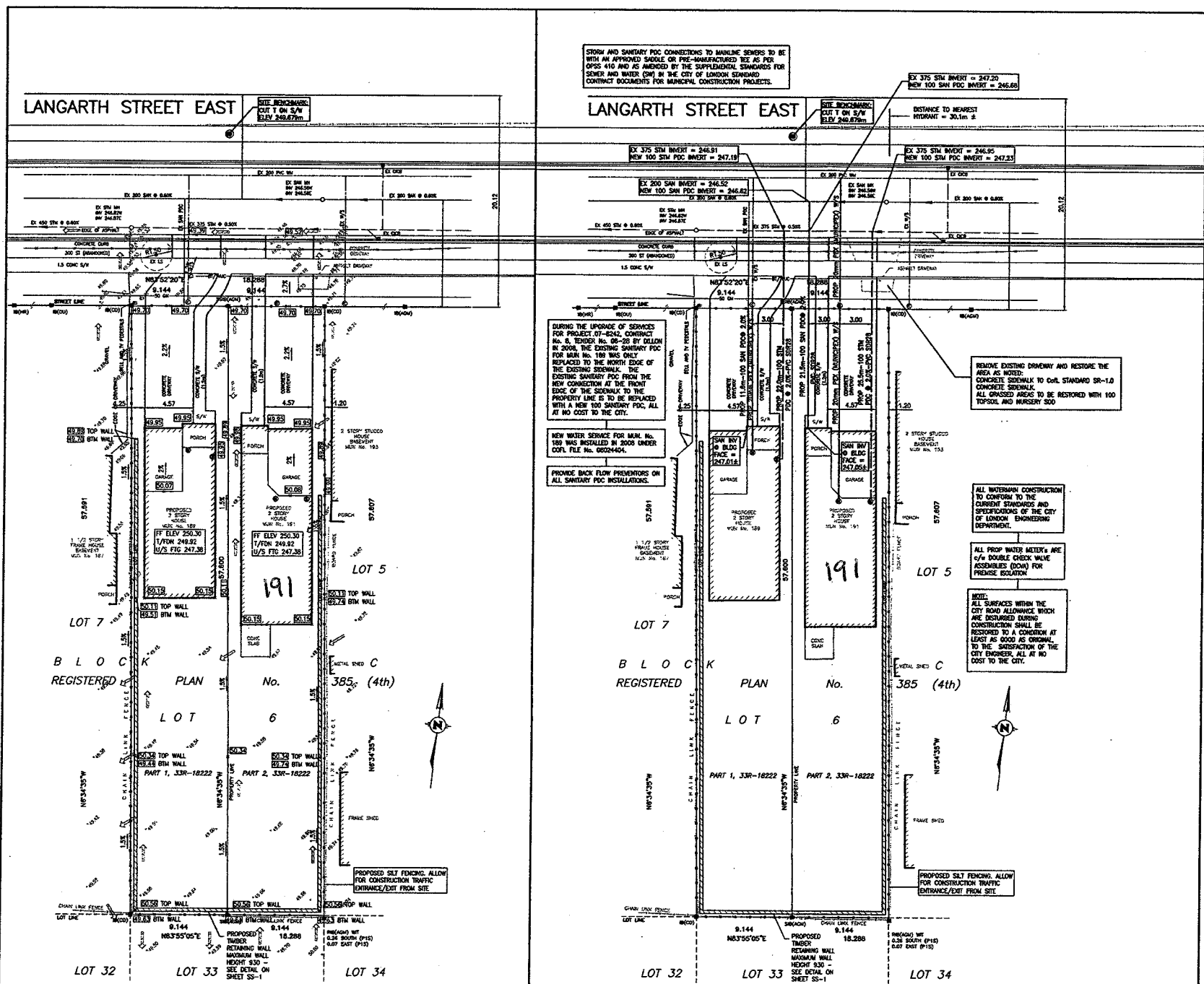
RECEIVED BY  
JUN 26 2012

PROJECT No. 7507  
SHEET No. SP  
PLAN FILE No. 12-0-4990

This Drawing shall be used only for the purpose indicated below.

- ✓ For Approval
- For Permit
- For Tender
- For Construction

Archived by e-Blueprint Tuesday, June 05, 2012



**LOT GRADING PLAN**

**SITE SERVICING PLAN**

**EXISTING PLAN REFERENCE**

EXISTING LEGAL AND TOPOGRAPHICAL INFORMATION OBTAINED FROM PLANS PROVIDED BY CALLON DEZJ INCORPORATED, PLAN No. L-4534, FILE No. 12-18407. EXISTING AS BUILT INFORMATION WITHIN THE RIGHT OF WAY OBTAINED FROM PLANS PROVIDED BY THE CITY OF LONDON'S GEOMATIC DIVISION. ZONING INFORMATION OBTAINED FROM THE CITY OF LONDON'S WEBSITE.



**LEGAL INFORMATION**

PART 1 AND PART 2  
FP 33R-18222  
Pl Lot 6, FP No. 385 (4th)  
IN THE  
CITY OF LONDON  
COUNTY OF MIDDLESEX

**BENCHMARKS**

REFERENCE BENCHMARK:  
CITY OF LONDON METEOROLOGICAL VBL-84  
WALL IN CONCRETE ON WELLINGTON ROAD, 15.0m NORTH OF THE CENTRELINE OF BUNGALOW RD, 15.0m WEST OF THE CENTRELINE OF WELLINGTON ROAD, SET IN THE SOUTHEAST CORNER OF THE CONCRETE BASE OF A LIGHT STAGNARD.  
ELEVATION: 250.50m

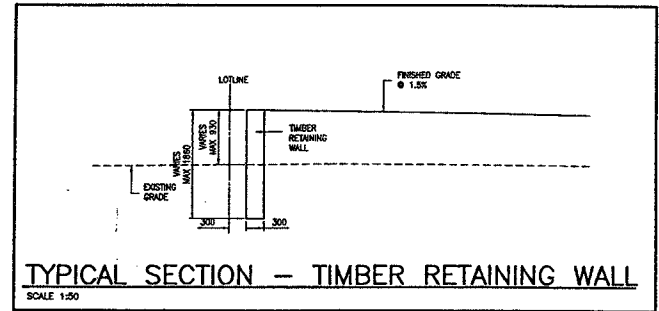
SITE BENCHMARK:  
CUT T ON SIDEWALK NORTH SIDE OF LANGARTH STREET, OPPOSITE THE SEWERANCE LINE.  
ELEVATION: 249.67m

**LEGEND**

- ⊗ 49.85 EXISTING SPOT ELEVATION (ADD 200 FOR GEODETIC)
- ⊕ PROPOSED SPOT ELEVATION (ADD 200 FOR GEODETIC)
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED OVERLAND FLOW
- EXISTING OVERLAND FLOW
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING WATERMAIN
- PROPOSED WATERMAIN
- ⊕ DOVA DOUBLE CHECK VALVE ASSEMBLY
- ⊕ EXISTING CURB STOP
- ⊕ PROPOSED CURB STOP
- ⊕ EXISTING WATER METER
- ⊕ PROPOSED WATER METER
- ⊕ PROPOSED BASEMENT SUMP PUMP LOCATION
- ⊕ BUILDING OPENING

**LIST OF COMMON STANDARDS USED**

- SR-1.0 CONCRETE SIDEWALK
- SR-1.4 CONCRETE CURB FACE SIDEWALK AT DRIVEWAYS
- SR-1.4 SIDEWALK DRAINWAY ENTRANCE DETAIL
- SR-1.5 SINGLE FAMILY AND MULTI-FAMILY DRAINWAY ENTRANCES WITH BOUNDARIES
- SR-2.0 BEDDING STANDARD FOR GRAVITY AND PRESSURE PIPE
- SW-1.0 PRIVATE DRAIN CONNECTION
- SW-6.0 PDC RISER TYPE 1
- SW-6.1 PDC RISER TYPE 2
- SW-6.2 PRIVATE DRAIN CLEANOUT
- SW-6.3 STANDARD SERVING LOCATIONS FOR SINGLE FAMILY AND SEMI-DETACHED LOTS
- W-7.0 STANDARD INSTALLATION OF 16mm WATER METER
- W-CS-7 STANDARD INSTALLATION OF 20mm and 25mm WATER SERVICE (SHEET 1)
- W-CS-8 STANDARD INSTALLATION OF 20mm and 25mm WATER SERVICE (SHEET 2)
- W-CS-8 BOTTOM BOARD FOR STANDARD INSTALLATION OF 20mm and 25mm WATER SERVICE (SHEET 3)
- W-CS-24 CATHODIC PROTECTION ASSEMBLY FOR 20mm to 50mm WATER SERVICE



**TYPICAL SECTION - TIMBER RETAINING WALL**  
SCALE 1:50

This Drawing shall be used only for the purpose indicated below.

✓ For Approval  
For Permit  
For Tender  
For Construction

AS CONSTRUCTED NOTES	AS CONSTRUCTED SERVICES	COMPLETION	DESIGN	DATE	BY	CONTRACTOR
			DESIGN	1	FOR CDR. SUBMISSION	JUN 04/12
			DRAWN			
			CHECKED			
			APPROVED			
			DATE	MARCH 2011		
			CITY	7507		
			CD	7507		

**J. H. VINCENT SERVICES**  
A DIVISION OF 509288 ONTARIO LIMITED  
**CIVIL ENGINEERING**  
2018 HALLARD ROAD, UNIT # 11  
LONDON, ONTARIO N6H 5L6  
PH: 519-472-9068 FX: 519-472-4014  
EMAIL: JHV@VINCENTSERVICES.COM

**ENGINEER'S STAMP**  
J. H. VINCENT  
JUN 04/12  
PROVINCE OF ONTARIO

**LOT GRADING CERTIFICATE**

I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS IN GENERAL CONFORMITY WITH DRAINAGE AND RELATIVE ELEVATIONS, WITH THE ADJACENT PROPERTIES.

**SITE SERVICING AND GRADING PLANS**  
SITE PLAN No. 11-028847

**TWO RESIDENTIAL LOTS**  
189/191 LANGARTH STREET EAST  
LONDON, ONTARIO  
N6H 5L6

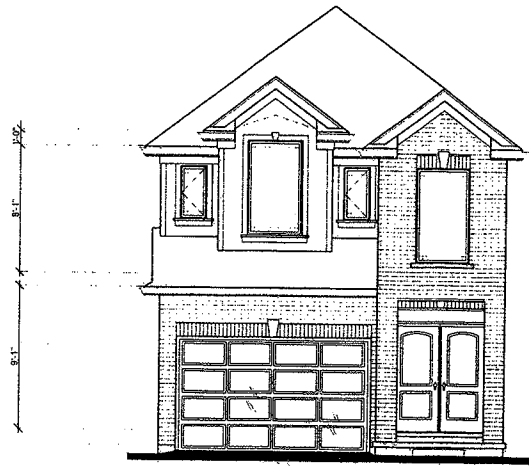
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JUN 05 2012

PROJECT No. 7507  
SHEET No. SS-1

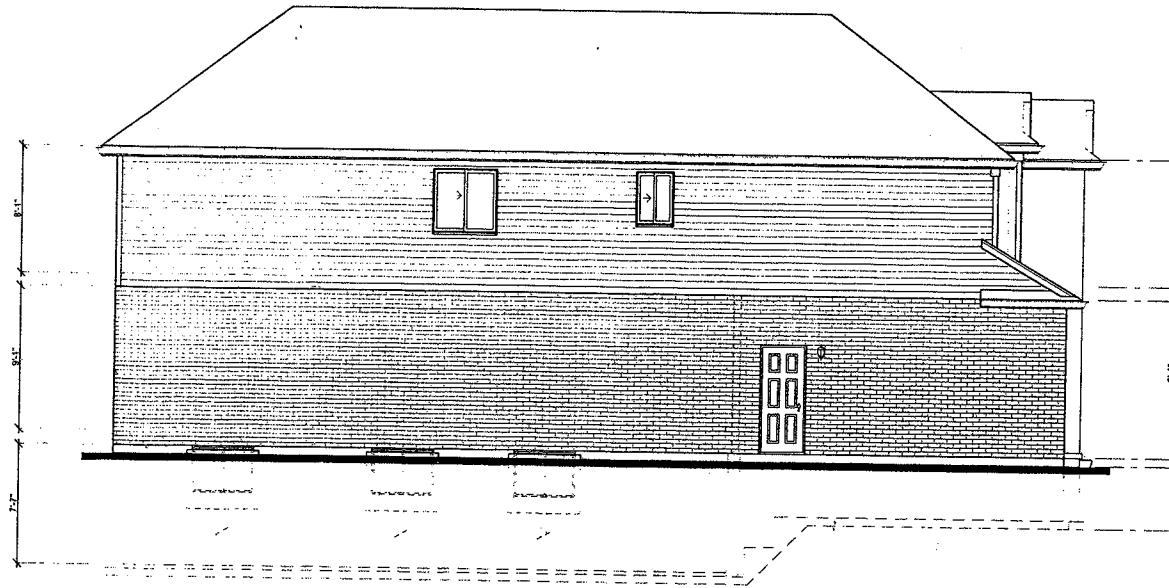
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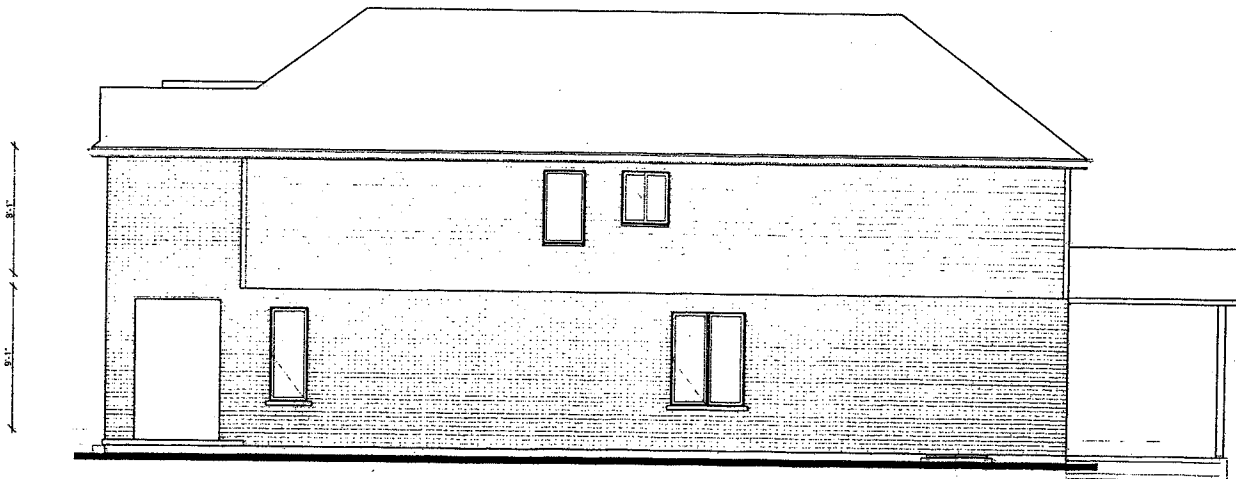




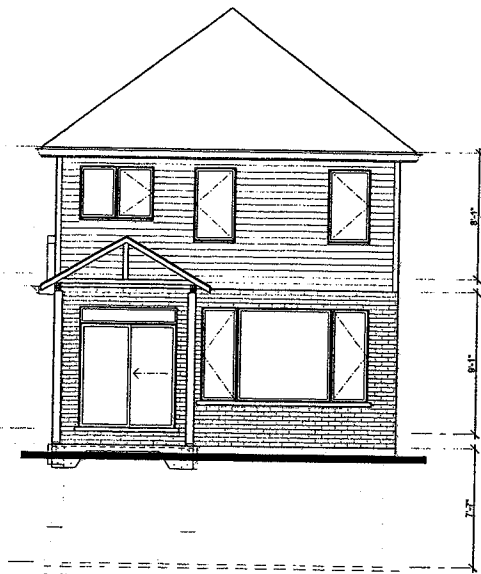
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

191 Langarth St E






4'-0\"/>



**NOTIFICATION MAP**  
120m Radius Buffer

File Number: N/A  
 Created By: Jeffrey Shaughnessy  
 Date: 2012-06-26  
 Scale: 1:2500

**LEGEND**

-  Subject Site
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers

