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T. KARIDAS
File No: SP12-019926

TO:	CHAIR AND MEMBERS – PLANNING AND ENVIRONMENT COMMITTEE MEETING
FROM:	G. KOTSIFAS, P.ENG. CHIEF BUILDING OFFICIAL & DIRECTOR, DEVELOPMENT & COMPLIANCE DIVISION
SUBJECT:	APPLICATION BY: M & D CARRUTHERS 189 LANGARTH STREET EAST PUBLIC SITE PLAN MEETING JULY 16, 2012

RECOMMENDATION

That on the recommendation of the Manager, Development Planning, the following actions be taken with respect to the site plan approval application by M & D Carruthers relating to the property located at 189 Langarth Street East:

- a) on behalf of the Approval Authority, the Planning and Environment Committee **BE REQUESTED** to conduct a public meeting on the subject site plan application and **REPORT TO** the Approval Authority the issues, if any, raised at the public meeting with respect to the application for Site Plan approval;
- b) Council **ADVISE** the Approval Authority of any issues they may have with respect to the Site Plan application and **ADVISE** the Approval Authority whether they support the Site Plan application for a single detached dwelling; and,
- c) the applicant **BE ADVISED** that the Director, Development Finance has summarized the claims and revenues information as shown on attached Schedule A.

PURPOSE AND EFFECT OF RECOMMENDED ACTION

The purpose of the report is to request the Planning & Environment Committee conduct a public participation meeting to receive feedback from the public and for Planning & Environment Committee and Council to provide advice to the Approval Authority when he is considering the plans, elevations and requirements for the Site Plan.

The need for public engagement is to satisfy Official Plan policies regarding Intensification and as a condition of a consent to create the new lot.

PREVIOUS REPORTS PERTINENT TO THIS MATTER
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None

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APPLICATION DETAILS

Date Application Accepted: June 25, 2012	Agent: M & D Carruthers
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SITE CHARACTERISTICS:
<ul style="list-style-type: none"> • Current Land Use – Single Detached Dwelling • Frontage – 9.144 m • Depth – 57.5 m • Area – 526.6 m² • Shape – Rectangular

SURROUNDING LAND USES:
<ul style="list-style-type: none"> • North –Residential • South –Residential • East –Residential • West –Residential

OFFICIAL PLAN DESIGNATION: Low Density Residential
EXISTING ZONING: R2-2

SIGNIFICANT DEPARTMENT/AGENCY COMMENTS

Urban Design

The elevations are under review by the Community Planning and Urban Design Section on May 25, 2012, subsequent to the Consent.

PUBLIC LIAISON:	On June 29, 2012 a combined Notice of Application for Site Plan Approval and Notice of Public Meeting was sent out to surrounding property owners and the nature of the application was advertised in the Living in the City section of the London Free Press on June 30, 2012.	0 response received to date.
Nature of Liaison: Same as Requested Action		
Responses: None		

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ANALYSIS

Description of the Site Plan

The Owner has severed the existing lot and is proposing to construct a single detached home on each of the new lots. The parcel is zoned to permit single detached dwelling. The proposed single detached dwelling maintains the existing street line along Langarth Street East. Vehicular access to the property is adjacent to the west property line. The proposed building is two storeys.

Is the Proposed Site Plan in conformity with the Official Plan and is it consistent with the Provincial Policy Statement?

The development of a single detached dwelling conforms to the Official Plan and the proposed residential intensification is consistent with the Provincial Policy Statement. The requirement for a Public Site Plan is due to the Intensification Policies in the Official Plan and the h-5 holding provision.

Does the Plan Conform to the Residential R2-2 Zoning?

The proposed single detached dwelling conforms to the zoning regulations subject to the lot being created.

Is the Site Plan Compatible with Adjacent Properties?





The area surrounding the subject land contains older, one-storey, two storey homes with siding and/or brick exteriors.

The site plan as submitted is compatible with the surrounding uses and is considered appropriate for the development of these lands. The proposed elevations are consistent with the existing homes in the area. The home has been designed to provide some consistencies with the existing homes. Urban Design has approved the proposed elevations, subsequent to the Consent application.

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CONCLUSION

Based on a review of the applicable Official Plan policies, the Zoning By-law, permitted uses and regulations, and the Provincial Policy Statement, approval of the submitted site plan and elevations by the Approval Authority will be appropriate for the development of these lands. The proposal represents good land use planning and subject to the results of the public meeting, the plans and drawings could be recommended for approval to the Approval Authority along with a standard Development Agreement subject to the creation of the new lot.

PREPARED BY:	RECOMMENDED BY:
	
T. KARIDAS SITE PLAN APPROVAL OFFICER DEVELOPMENT SERVICES	B. HENRY MANAGER DEVELOPMENT PLANNING
REVIEWED BY:	SUBMITTED BY:
	
J. RAMSAY MANAGER DEVELOPMENT SERVICES	G. KOTSIFAS CHIEF BUILDING OFFICIAL & DIRECTOR, DEVELOPMENT & COMPLIANCE DIVISION

c : M & D Carruthers
 32-626 Wharncliffe Road South
 LONDON ON N6J 2N4

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T. KARIDAS
File No: SP12-019926

Bibliography of Information and Materials

Reference Documents:

City of London. *Official Plan*, June 19, 1989, as amended.

City of London. *Zoning By-law No. Z.-1*, May 21, 1991, as amended.

City of London, Notice of Application & Notice of Public Meeting, June 29, 2012

City of London, Living in the City, Notice of Public Meeting, June 30, 2012

City of London, Site Plan By-law C.P.-1455-451.

Provincial Policy Statement, March 1, 2005.

Consent Application, B.047/11, September 27, 2011

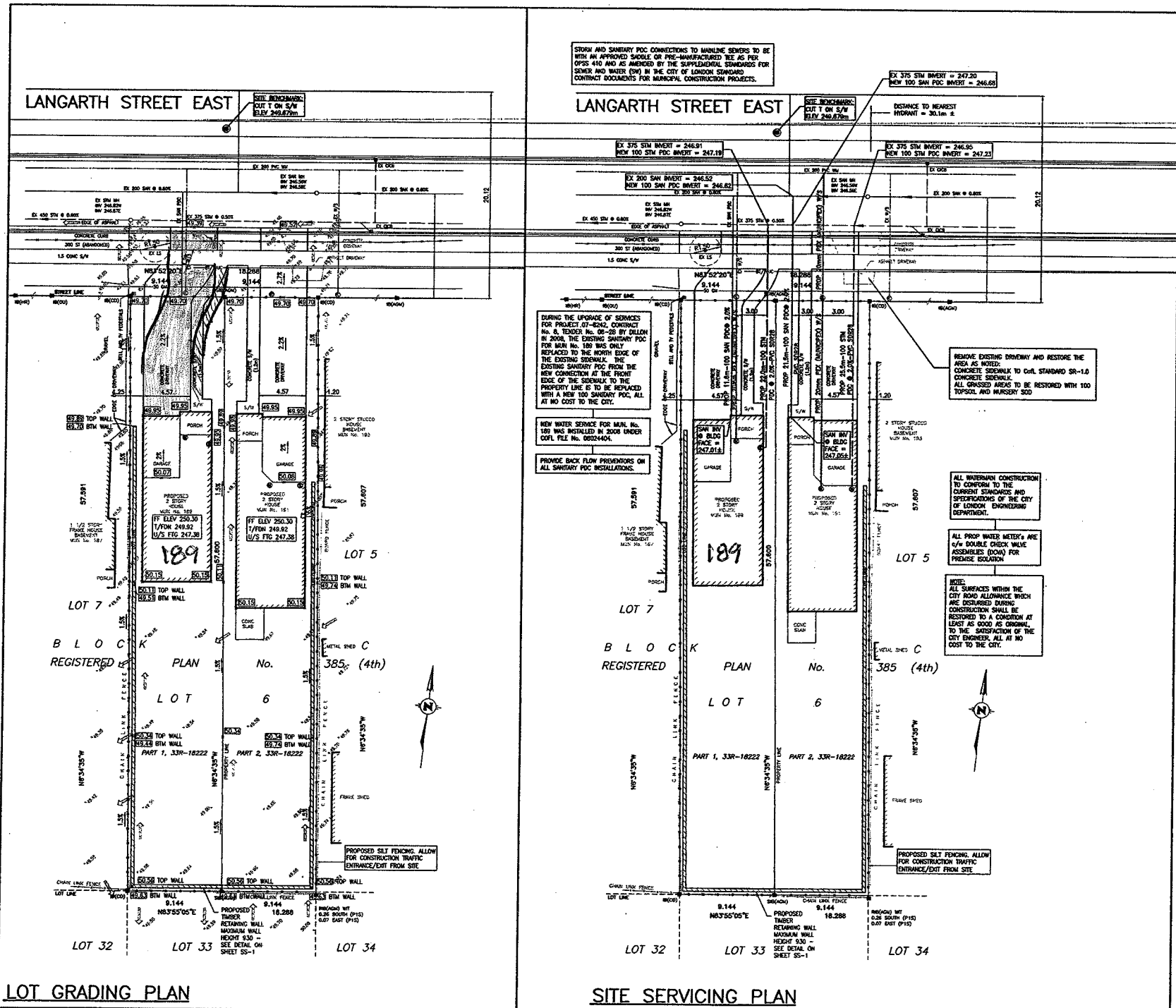
T. KARIDAS
File No: SP12-019926

Schedule A

The Director, Development Finance has summarized the claims and revenues information for the construction of a single detached dwelling on the land as shown below:

	<u>Estimated Revenue</u>	<u>Estimated Claims</u>
Urban Works Reserve Fund	\$6,627.00	\$NIL
Other Reserve Funds (City Services & Hydro)	\$16,450.00	\$NIL
TOTAL	\$23,077.00	

Archived by Eplan@pt Tuesday, June 05, 2012

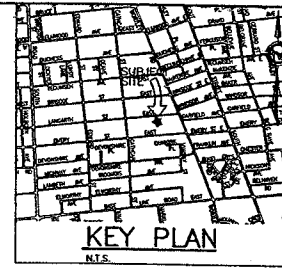


EXISTING PLAN REFERENCE

EXISTING LEGAL AND TOPOGRAPHICAL INFORMATION OBTAINED FROM PLANS PROVIDED BY COLLIN DIETZ INCORPORATED, PLAN No. L-4634, FILE No. 15-15407. EXISTING AS BUILT INFORMATION WITHIN THE RIGHT OF WAY OBTAINED FROM PLANS PROVIDED BY THE CITY OF LONDON'S GEOMATIC DIVISION. ZONING INFORMATION OBTAINED FROM THE CITY OF LONDON'S WEBSITE.

LEGAL INFORMATION

PART 1 AND PART 2
 FP 33R-18222
 P1 Lot 6, FP No. 385 (4th)
 IN THE
 CITY OF LONDON
 COUNTY OF MIDDLESEX



BENCHMARKS

REFERENCE BENCHMARK:
 CITY OF LONDON VERTICAL MONUMENT V91-54
 WALL IN CONCRETE ON WELLINGTON ROAD, 16.30m NORTH OF THE CENTRELINE OF BASELINE RD, 15.0m WEST OF THE CENTRELINE OF WELLINGTON ROAD, SET IN THE SOUTHEAST CORNER OF THE CONCRETE BASE OF A LIGHT STANDARD.
 ELEVATION: 229.20m

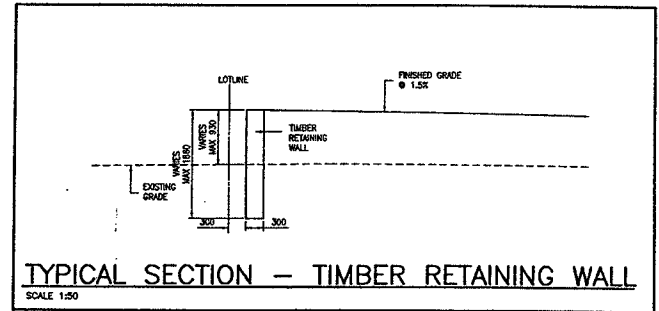
SITE BENCHMARK:
 CUT T ON S/W SIDEWALK
 CUT T ON THE SIDEWALK NORTH SIDE OF LANGARTH STREET, OPPOSITE THE SEVERANCE LINE.
 ELEVATION: 249.67m

LEGEND

- EXISTING SPOT ELEVATION (ADD 200 FOR GEODTIC)
- PROPOSED SPOT ELEVATION (ADD 200 FOR GEODTIC)
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED OVERLAND FLOW
- EXISTING OVERLAND FLOW
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING WATERMAIN
- PROPOSED WATERMAIN
- DOVA DOUBLE CHECK VALVE ASSEMBLY
- EXISTING CURB STOP
- PROPOSED CURB STOP
- EXISTING WATER METER
- PROPOSED WATER METER
- PROPOSED BASEMENT SUMP PUMP LOCATION
- BUILDING OPENING

LIST OF COMMON STANDARDS USED

- SR-1.0 CONCRETE SIDEWALK
- SR-1.4 CONCRETE CURB FACE SIDEWALK AT DRIVEWAYS
- SR-1.4 SIDEWALK DRIVEWAY ENTRANCE DETAIL
- SR-1.5 SINGLE FAMILY AND MULTI-FAMILY DRIVEWAY ENTRANCES WITH BOWLEDWARDS
- SR-2.0 BEDDING STANDARD FOR GRAVITY AND PRESSURE PIPE
- SW-1.0 PRIVATE STORM CONNECTION
- SW-6.0 PDC RISER TYPE 1
- SW-6.1 PDC RISER TYPE 2
- SW-6.2 PRIVATE DRAIN CLEANOUT
- SW-6.3 STANDARD SERVING LOCATIONS FOR SINGLE FAMILY AND SEMI-DETACHED LOTS
- W-7.0 STANDARD INSTALLATION OF 16mm WATER METER
- W-CS-7 STANDARD INSTALLATION OF 20mm AND 25mm WATER SERVICE (SHEET 1)
- W-CS-8 STANDARD INSTALLATION OF 20mm AND 25mm WATER SERVICE (SHEET 2)
- W-CS-8 BOTTOM BOARD FOR STANDARD INSTALLATION OF 20mm AND 25mm WATER SERVICE (SHEET 3)
- W-CS-24 CATHODIC PROTECTION ASSEMBLY FOR 20mm to 50mm WATER SERVICE



LOT GRADING PLAN

SITE SERVICING PLAN

AS CONSTRUCTED NOTES	AS CONSTRUCTED SERVICES	COMPLETION	DESIGN	NO.	REVISIONS	DATE	BY	CONSULTANT
			DESIGN	1	FOR COIL SUBMISSION	JUN 04/12	EB	J. H. VINCENT SERVICES
			DESIGN					A DIVISION OF 509288 ONTARIO LIMITED
			CHECKED					CIVIL ENGINEERING
			APPROVED					2018 HALLARD ROAD, UNIT # 11
			DATE					LONDON, ONTARIO N6H 5L8
			CLIENT					PH 519-472-9068 FX 519-472-4014
			CD					DESIGNER'S STAMP

LOT GRADING CERTIFICATE

I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS IN GENERAL CONFORMITY FOR DRAINAGE AND RELATIVE ELEVATIONS, WITH THE ADJACENT PROPERTIES.

SCALE: 1:200
 2.0 0 4.0m

TITLE: **SITE SERVICING AND GRADING PLANS**
 SITE PLAN No. 11-028847

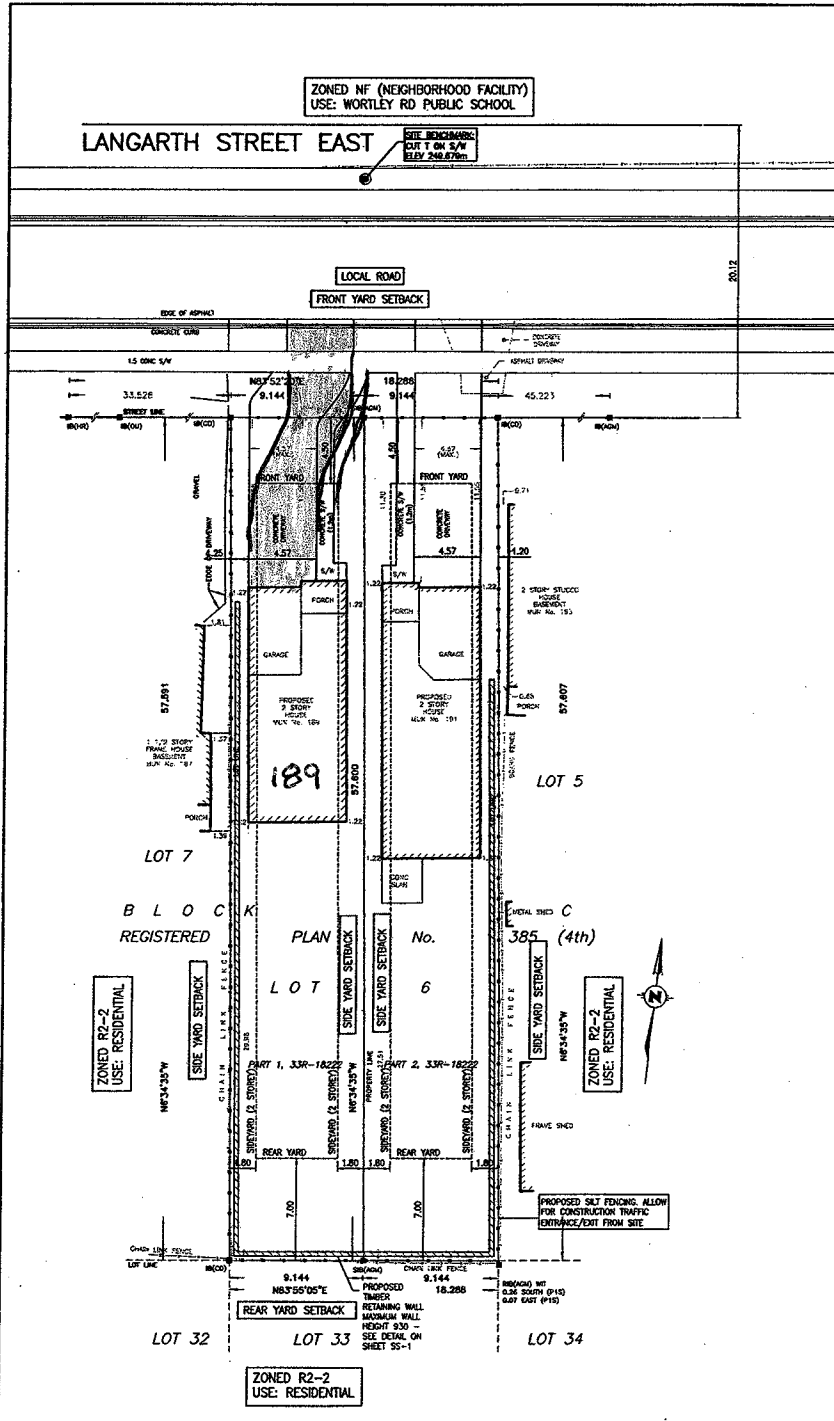
PROJECT No. **7507**

RECEIVED BY: **TWO RESIDENTIAL LOTS**
 189/191 LANGARTH STREET EAST
 LONDON, ONTARIO
 JUN 06 2012

RECEIVED BY: **SS-1**

PLAN FILE No. **118-0-4-0-0-0**

Archibed by Tuesday, June 05, 2012



SITE DATA PART 1

1. GROSS SITE AREA: 526,641 m²
0.053 Ha

2. BUILDING AREA: Proposed 104,882 m²

3A. ASPHALT AREA: Proposed 52,837 m² 3B. LANDSCAPED AREA: Proposed 368,922 m²

ITEM	A	Z-1 ZONING	PROPOSED
4. PERMITTED USES	R2-2	R2-2	R2-2
5. LOT AREA (MIN.)	360 m ²	360 m ²	526,641 m ²
6. LOT FRONTAGE (MIN.)	9.0 m	9.14 m	9.14 m
7. FRONT & EXTERIOR SIDE YARD (MIN.)	Local Street Main Building 4.5m Local Street Garage 6.0m	Local Street Main Building 12.75m Local Street Garage 11.55m	
8. REAR YARD DEPTH (MIN.)	7.0 m	29.86 m	
9. INTERIOR YARD DEPTH (MIN.)	1.8 m	1.22m/1.22m *	
10. LOT COVERAGE (%) MAX.	45%	19.9 % (104,882 m ²)	
11. HEIGHT (m MAX.)	9.0 m	10	
12. PARKING AREA COVERAGE (%) MAX.	15%	10% (52,837 m ²)	
13. NUMBER OF UNITS PER LOT MAXIMUM	1	1	

* - SECTION 6.3(2)(a) - 1.2m PLUS 0.6m PER STOREY ABOVE THE FIRST STOREY
VARIANCE WILL BE REQUIRED - VARIANCE GRANTED

SITE DATA PART 2

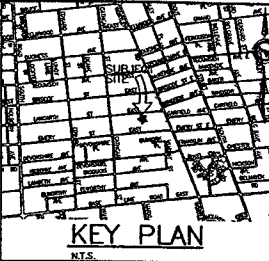
1. GROSS SITE AREA: 526,710 m²
0.053 Ha

2. BUILDING AREA: Proposed 124,753 m²

3A. ASPHALT AREA: Proposed 52,755 m² 3B. LANDSCAPED AREA: Proposed 348,202 m²

ITEM	A	Z-1 ZONING	PROPOSED
4. PERMITTED USES	R2-2	R2-2	R2-2
5. LOT AREA (MIN.)	360 m ²	360 m ²	526,710 m ²
6. LOT FRONTAGE (MIN.)	9.0 m	9.14 m	9.14 m
7. FRONT & EXTERIOR SIDE YARD (MIN.)	Local Street Main Building 4.5m Local Street Garage 6.0m	Local Street Main Building 11.30m Local Street Garage 11.55m	
8. REAR YARD DEPTH (MIN.)	7.0 m	27.51 m	
9. INTERIOR YARD DEPTH (MIN.)	1.8 m	1.22m/1.22m *	
10. LOT COVERAGE (%) MAX.	45%	23.7 % (124,753 m ²)	
11. HEIGHT (m MAX.)	9.0 m	m	
12. PARKING AREA COVERAGE (%) MAX.	15%	10% (52,755 m ²)	
13. NUMBER OF UNITS PER LOT MAXIMUM	1	1	

* - SECTION 6.3(2)(a) - 1.2m PLUS 0.6m PER STOREY ABOVE THE FIRST STOREY
VARIANCE WILL BE REQUIRED - VARIANCE GRANTED



EXISTING PLAN REFERENCE

EXISTING LEGAL AND TOPOGRAPHICAL INFORMATION OBTAINED FROM PLANS PROVIDED BY COLLIN BRET INCORPORATED, PLAN No. L-4834, FILE No. 15-18407. EXISTING AS BUILT INFORMATION WITHIN THE RIGHT OF WAY OBTAINED FROM PLANS PROVIDED BY THE CITY OF LONDON'S GEOMATIC DIVISION. ZONING INFORMATION OBTAINED FROM THE CITY OF LONDON'S WEBSITE.

LEGAL INFORMATION

PART 1 AND PART 2
FP 339-18222
Pt Lot 6, RP No. 385 (4th)
IN THE
CITY OF LONDON
COUNTY OF MIDDLESEX

BENCHMARKS

REFERENCE BENCHMARK:
CITY OF LONDON METRIC MONUMENT 191-64
WALL IN CONCRETE ON WELLINGTON ROAD, 16.8m NORTH OF THE CENTRELINE OF BASELINE RD, 15.0m WEST OF THE CENTRELINE OF WELLINGTON ROAD, SET IN THE SOUTHWEST CORNER OF THE CONCRETE BASE OF A LIGHT STANDOFF.
ELEVATION: 228.305m

SITE BENCHMARK:
CUT T ON SIDEWALK
CUT T ON THE SIDEWALK NORTH SIDE OF LANGARTH STREET, OPPOSITE THE SEWERAGE LINE.
ELEVATION: 249.679m

BUILDING CLASSIFICATION

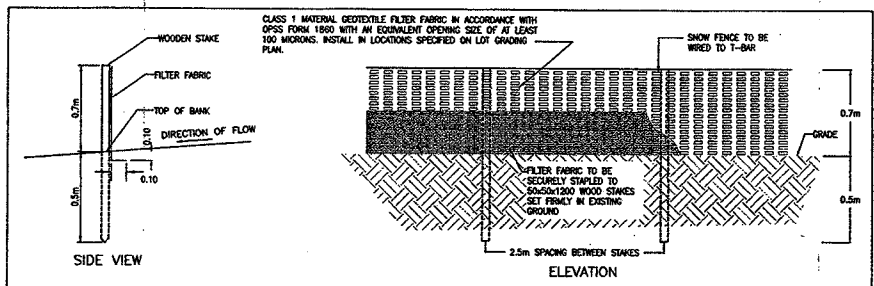
RESIDENTIAL DEVELOPMENT
PART 9 OF THE ONTARIO BUILDING CODE

WASTE REMOVAL

GARBAGE TO BE STORED WITHIN THE RESIDENTIAL UNITS.
HOMEOWNER TO PLACE GARBAGE AT CURB ON DAYS OF MUNICIPAL PICKUP.

CANADA POST

THIS DEVELOPMENT WILL RECEIVE MAIL DELIVERY TO THE DOOR.



SILT FENCE DETAIL

NOT TO SCALE

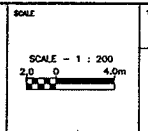
SEDIMENT CONTROL MEASURES

1. PROTECT ALL EXPOSED SURFACES AND CONTROL ALL BLUFF DURING CONSTRUCTION.
2. ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETED.
3. MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
4. ALL COLLECTED SEDIMENT TO BE DEPOSITED OF AT AN APPROVED LOCATION.
5. MANAGE AREA DISTURBED DURING CONSTRUCTION.
6. ALL DUMPSTERING TO BE DEPOSITED OF IN AN APPROVED SEDIMENTATION BASIN.
7. PROTECT ALL CATCH BASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INTRUSION WITH GEOTEXTILE (TERRAFIX 270 R).
8. KEEP ALL SITES CLEAN DURING CONSTRUCTION.
9. PREVENT WIND-BLOWN DUST.
10. STRAW BALES TO BE USED IN LOCALIZED AREAS AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION FOR WORKS WHICH ARE IN OR ADJACENT TO FLOOD LINES, FILL LINES AND HAZARDOUS SLOPES.
11. STRAW BALES TO BE TERMINATED BY ROCKING BALES TO CONTAIN AND FILTER RUNOFF.
12. OBTAIN APPROVAL FROM UTRCA PRIOR TO CONSTRUCTION FOR WORKS WHICH ARE IN, OR ADJACENT TO FLOOD LINES, FILL LINES AND HAZARDOUS SLOPES.
13. ALL SILT FENCING AND DETAILS ARE AT THE MINIMUM TO BE CONSTRUCTED IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
14. ALL OF THE ABOVE NOTES AND ANY EROSION & SEDIMENT CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.

AS CONSTRUCTED NOTES	AS CONSTRUCTED SERVICES	COMPLETION	NO.	REVISIONS	DATE	BY	CONSIDERED
			1	FOR CON. SUBMISSION	JUN 04/12	EB	

J. H. VINCENT SERVICES
A DIVISION OF 509229 ONTARIO LIMITED
CIVIL ENGINEERING
2018 HALLARD ROAD, UNIT # 11
LONDON, ONTARIO N6H 3L6

PH: 519-472-9066 FX: 519-472-4014
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SITE PLAN
SITE PLAN No. 11-028847

TWO RESIDENTIAL UNITS

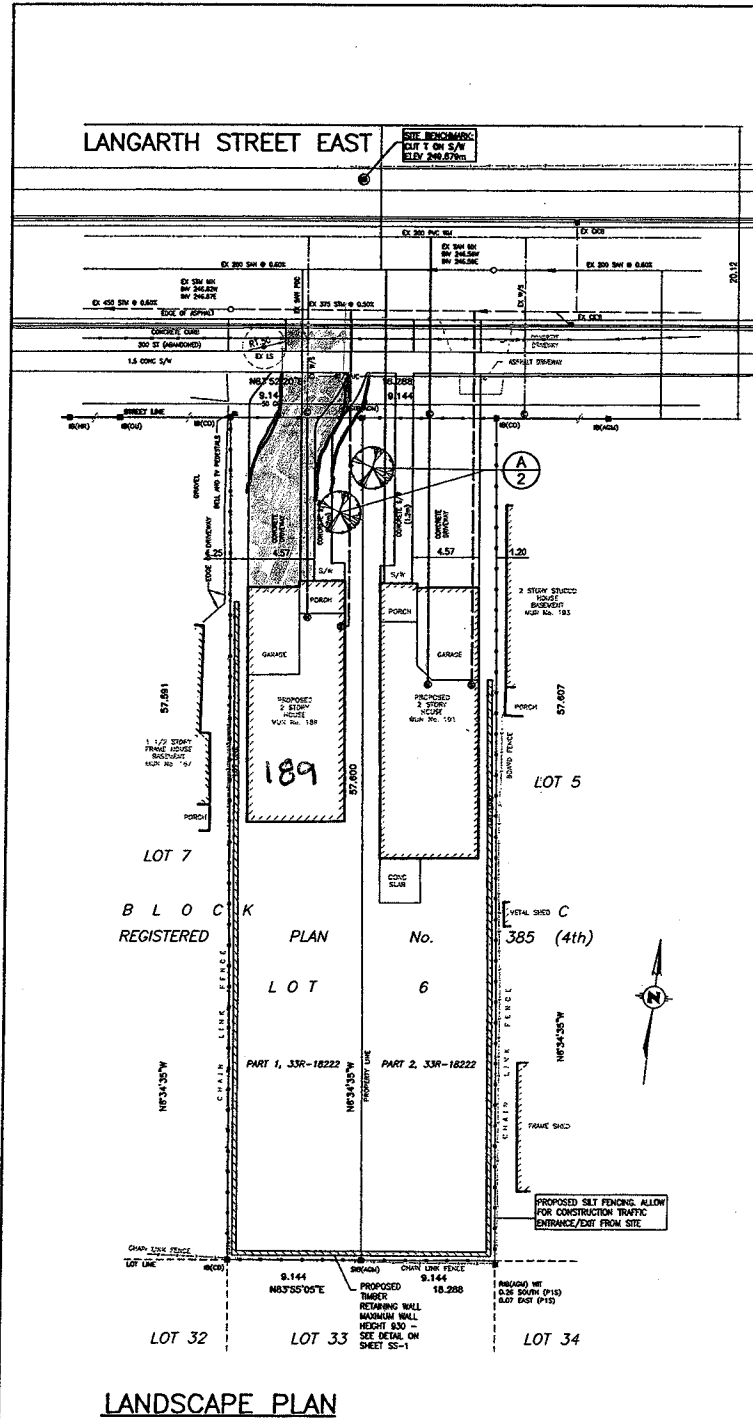
189/191 LANGARTH STREET EAST
LONDON, ONTARIO N6H 3L6

RECEIVED BY
JUN 05 2012

PROJECT No. 7507
SHEET No. SP
PLAN FILE No. 12-04999

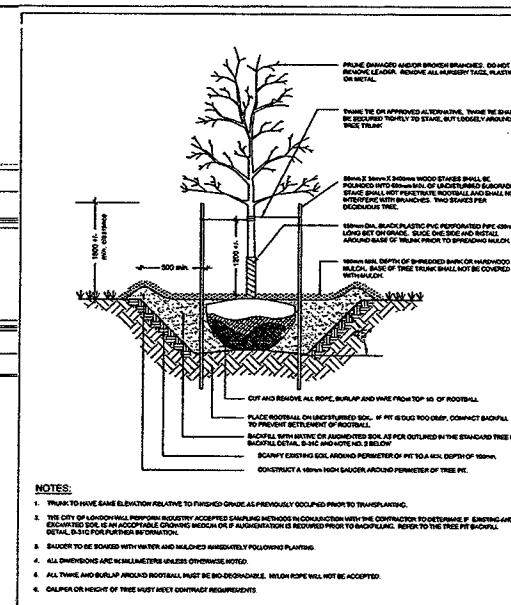
This Drawing shall be used only for the purpose indicated below.
✓ For Approval
For Permit
For Tender
For Construction

Archived by ePlanophile Tuesday, June 05, 2012



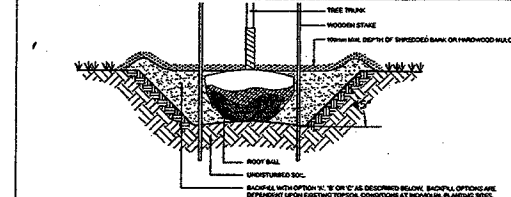
LANDSCAPE PLAN

AS CONSTRUCTED NOTES	AS CONSTRUCTED SERVICES	COMPLETION	DESIGN	No.	REVISIONS	DATE	BY	CONSULTANT
			DESIGN	010	1	FOR CIL SUBMISSION	JUN 04/12	ED
			DRAWN	010				
			CHECKED	JAY				
			APPROVED					
			DATE	MARCH 2011				
			CLIENT	7507				
			END	7507				



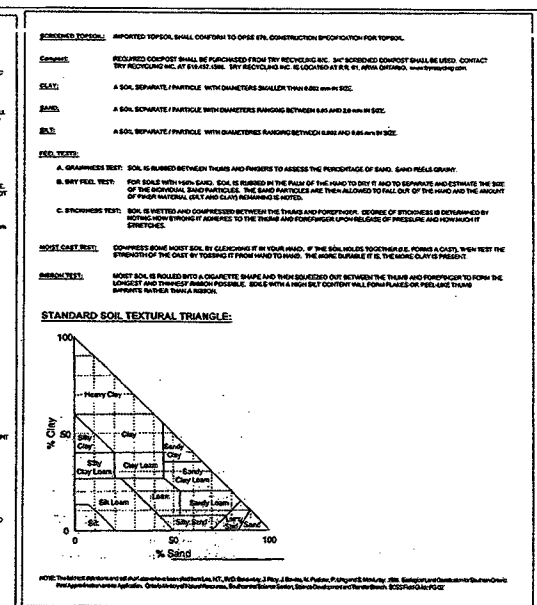
**CITY OF LONDON STANDARD DRAWING
DECIDUOUS TREE PLANTING DETAIL**

DWG	D-31A	DATE	2010-09-22	APPROVED BY	PARIS PLANNING AND DESIGN
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**CITY OF LONDON STANDARD DRAWING
TREE PIT BACKFILL DETAIL**

DWG	D-31C	DATE	2010-09-22	APPROVED BY	PARIS PLANNING AND DESIGN
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**CITY OF LONDON STANDARD DRAWING
TREE PIT BACKFILL - DEFINITIONS & REFERENCE DETAIL**

DWG	D-31D	DATE	2006-11-05	APPROVED BY	PARIS PLANNING AND DESIGN
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PLANTINGS					
ITEM	BOTANICAL NAME	COMMON NAME	QTY	CAL	COND.
A	Molus Hybrid	White Candle Flowering Crapeole	2	50 mm	WIRE BASKET

NOTES:

- Soil conditions at proposed planting site shall be inspected by City of London prior to being determined to suit. Required backfill shall be determined using methods and materials specified in this drawing. Soil conditions shall be reported to the satisfaction of City of London.
- When backfilling tree pit with aggregate soil (Option 'A' above) or aggregate soil (Option 'B' or 'C' above), ensure that soil is moist, has a pH between 6.5 and 7.5 and a base of at least 100mm. The aggregate shall be 10/20mm for Option 'A', 20/40mm for Option 'B', and 10/20mm for Option 'C'. Approved backfill shall be compacted with water per the manufacturer's instructions and shall be free of roots and debris.
- When backfilling tree pit with aggregate soil (Option 'A' above), the existing soil shall be augmented as follows: Prior to backfilling, remove and dispose of 20% (by volume) of existing soil. Replace the volume with backfill material and compact (refer to note 2). Thereafter, topsoil shall be compacted and compact prior to backfilling tree pit.
- When backfilling tree pit with aggregate soil (Option 'B' above), the existing soil shall be augmented as follows: Prior to backfilling, remove and dispose of 20% (by volume) of existing soil. Replace the volume with backfill material and compact (refer to note 2). Thereafter, topsoil shall be compacted and compact prior to backfilling tree pit.
- Refer to the Tree Pit Backfill - Definitions and Reference Detail, D-31D for additional specifications of individual soil components and sources.
- Refer to detail D-31A and D-31B for optional specifications of individual soil components and sources.
- Refer to detail D-31A and D-31B for optional specifications of individual soil components and sources.

EXISTING PLAN REFERENCE

EXISTING LEGAL AND TOPOGRAPHICAL INFORMATION OBTAINED FROM PLANS PROVIDED BY CALVIN DITZ, INCORPORATED, PLAN No. L-4054, FILE No. 12-18407. EXISTING AS BUILT INFORMATION WITHIN THE RIGHT OF WAY OBTAINED FROM PLANS PROVIDED BY THE CITY OF LONDON'S GEOMATIC SERVICES. ZONING INFORMATION OBTAINED FROM THE CITY OF LONDON'S WEBSITE.

LEGAL INFORMATION

PART 1 AND PART 2
FP 039-18222
P1 Lot 6, RFP No. 385 (4th)
IN THE
CITY OF LONDON
COUNTY OF MIDDLESEX

LEGEND

- ⊗ EXISTING SPOT ELEVATION (ADD 200 FOR GEODETIC)
- ⊙ PROPOSED SPOT ELEVATION (ADD 200 FOR GEODETIC)
- ⊕ EXISTING CATCHBASIN
- ⊖ PROPOSED CATCHBASIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED OVERLAND FLOW
- EXISTING OVERLAND FLOW
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING WATERMAIN
- PROPOSED WATERMAIN
- ⊕ DOUBLE CHECK VALVE ASSEMBLY
- ⊕ EXISTING CURB STOP
- ⊕ PROPOSED CURB STOP
- ⊕ EXISTING WATER METER
- ⊕ PROPOSED WATER METER
- ⊕ PROPOSED BASEMENT SUMP PUMP LOCATION
- ⊕ BUILDING OPENING

GENERAL NOTES

- ALL PLANT MATERIAL SHALL BE NURSERY STOCK.
- STAKE ALL DECIDUOUS AND CONIFEROUS TREES.
- DO ALL TREE PITS DEEPER THAN ROOT BALL AND PLACE TREE CENTERED IN PIT ON UNDISTURBED SOIL. BACKFILL WITH PARENT MATERIAL. SEE PLANTING DETAIL AT RIGHT.
- PLANT SHRUBS IN PLANTING BEDS TO A MINIMUM 500mm DEPTH OF TOPSOIL. SEE PLANTING DETAIL AT RIGHT.
- COVER PLANTING BEDS WITH 50mm TO 70mm LAYER OF BARK SHREDS/CHIPS.
- USE NUMBER ONE TURFGRASS NURSERY SOD IN ACCORDANCE WITH THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO.
- SITE LAYOUT IN ACCORDANCE WITH THE SITE PLAN PREPARED BY J.H. VINCENT SERVICES.
- FOR GRADING AND DRAINAGE SEE SITE SERVING PLAN PREPARED BY J.H. VINCENT SERVICES.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR TWO YEARS FROM THE DATE OF PLANTING. ANY REPLACEMENT PLANT MATERIAL WILL BE GUARANTEED FOR TWO YEARS FROM DATE OF THAT PLANTING.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF THE CONSTRUCTION SITE SHALL BE LOCATED AND MARKED. ANY UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT THE CONTRACTOR'S EXPENSE.
- PLANT MATERIALS ARE TO BE INSTALLED AS SHOWN. SUBSTITUTIONS ALLOWED WITH THE APPROVAL OF THE ENGINEER.

This Drawing shall be used only for the purpose indicated below.

- ✓ For Approval
- For Permit
- For Tender
- For Construction

J. H. VINCENT SERVICES
A DIVISION OF 509238 ONTARIO LIMITED
CIVIL ENGINEERING
2018 HALLARD ROAD, UNIT # 11
LONDON, ONTARIO N6M 5L6

PH: 519-472-9068 FX: 519-472-4014
D:\projects\2012\2012\J.H. VINCENT SERVICES\2012-030 - JHV - Langarth St E - 7507\DWG A.dwg

ENGINEER'S SEAL

J. H. VINCENT
JUN 04/12
PROVINCE OF ONTARIO

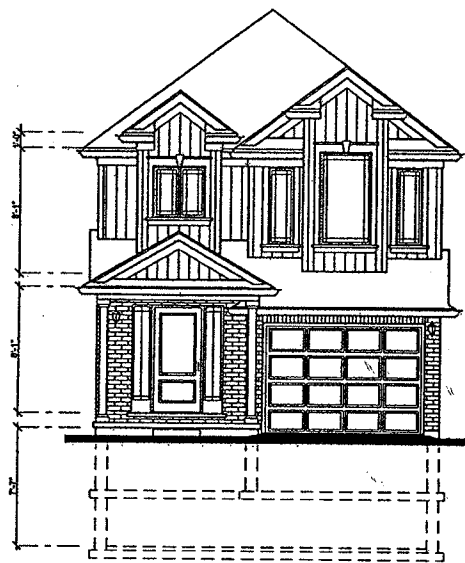
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2.0 0 4.0m

LANDSCAPE PLAN RECEIVED BY

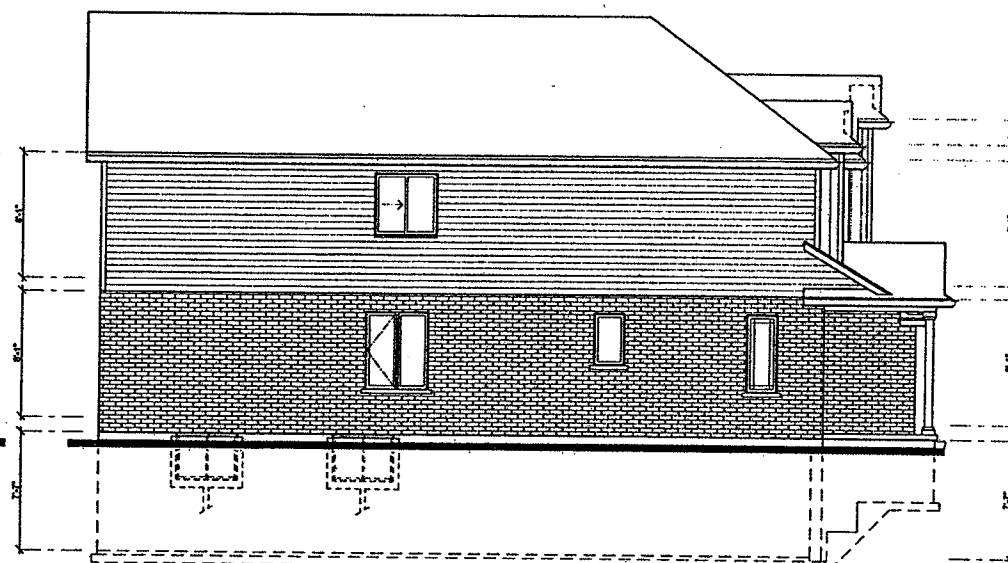
TWO RESIDENTIAL LOTS JUN 25 2012

189/191 LANGARTH STREET CITY OF LONDON
LONDON, ONTARIO DEVELOPMENT APPROVALS
BUSINESS UNIT

RECEIVED E
JUN 06 2012
CITY OF LONDON
DEVELOPMENT APPROVALS BUSINESS UNIT
PLAN FILE NO.

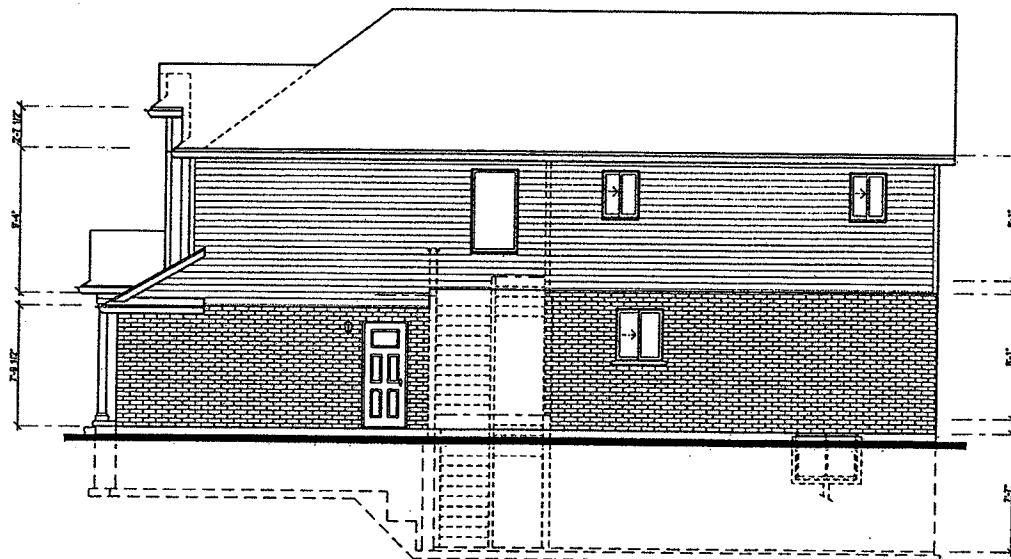


FRONT ELEVATION

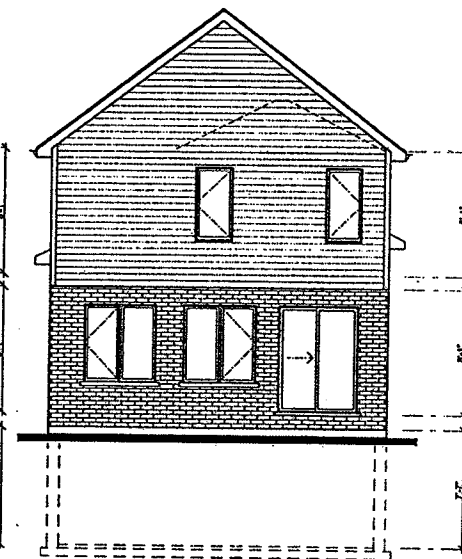


LEFT ELEVATION

ACCEPTED FOR
URBAN DESIGN
MAY 25 2012
Shanahan
URBAN DESIGNER



RIGHT ELEVATION



REAR ELEVATION






189 Langarth St E



NOTIFICATION MAP
120m Radius Buffer

File Number: N/A
 Created By: Jeffrey Shaughnessy
 Date: 2012-06-26
 Scale: 1:2500

LEGEND

-  Subject Site
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers

