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HAP 17-036-L  
K. Gonyou

<b>TO:</b>	<b>CHAIR AND MEMBERS LONDON ADVISORY COMMITTEE ON HERITAGE MEETING ON WEDNESDAY JULY 12, 2017</b>
<b>FROM:</b>	<b>JOHN M. FLEMING MANAGING DIRECTOR, PLANNING AND CITY PLANNER</b>
<b>SUBJECT:</b>	<b>HERITAGE ALTERATION PERMIT APPLICATION AT 21 MARLEY PLACE, WORTLEY VILLAGE – OLD SOUTH HCD BY: BRYSONWOOD HOMES LTD.</b>

<b>RECOMMENDATION</b>
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That, on the recommendation of the Managing Director, Planning & City Planner, with the advice of the Heritage Planner, the following actions **BE TAKEN**:

- a) the application made under Section 42 of the *Ontario Heritage Act* to erect a new building on the property located at 21 Marley Place, within the Wortley Village-Old South Heritage Conservation District, **BE PERMITTED** as submitted as proposed in the drawings attached hereto as Appendix C, subject to the condition that the Heritage Alteration Permit is displayed in a location visible from the street until the work is completed; and
- b) consistent with the aesthetic guidelines in s. 10.3.2.2 of the Wortley Village-Old South Heritage Conservation District Plan to maintain and enhance the current streetscape of the HCD, the Chief Building Official **BE REQUESTED** to provide the City’s tree protection awareness brochure to the applicant with the issuance of the building permit, to foster tree/root zone protection measures of City trees on the abutting City property.

<b>PURPOSE AND EFFECT OF RECOMMENDED ACTION</b>
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Being the subject property is within a Conservation District designated under Part V of the Ontario Heritage Act, a Heritage Alteration Permit is required in accordance with Section 42(2.1) of the Ontario Heritage Act and the classes of alterations identified in the Wortley Village-Old South HCD Plan for the alteration of any part of the property and for the erection or demolition of any structures or buildings on the property. The applicant cannot obtain a Building Permit from the Chief Building Official under the Building Code Act without the Heritage Alteration Permit.

<b>PREVIOUS REPORTS PERTINENT TO THIS MATTER</b>
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None.

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**BACKGROUND**

**Location**

The property at 21 Marley Place is located on the west side of Marley Place between Bruce Street and Elmwood Avenue East (Appendix A).

**Property**

The property at 21 Marley Place is located within the Wortley Village-Old South HCD designated under Part V of the *Ontario Heritage Act* on June 1, 2015. The property is not rated as it was vacant at the time of designation (Appendix B). A large silver maple tree is located on the municipal boulevard in front of the property.

**Description**

The area where 21 Marley Place is located was surveyed for building lots in 1849 for James Hamilton and Robert Carfrae, and is deposited in the Land Registry Office as Registered Plan 1. Marley Place was once called Hamilton Street, in recognition of James Hamilton as property owner. His home, still standing at 198 Elmwood Avenue East (built 1848-1849) originally faced Ridout Street South. It was located within an area known as "Hamilton's Bush."

A building was historically located on the property at 21 Marley Place. Its original date of construction is unknown. Fire Insurance Plans show a one storey frame dwelling in the 1892 (revised 1907) edition, 1912 (revised 1915), and 1912 (revised 1922) edition. Based on evidence obtained through a review of aerial photographs, the building was removed between 1960 and 1965 and the property has remained unoccupied since that time.

The property has a frontage of 38' on Marley Place and a depth of 226.5'. While the depth of lots on the west side of Marley Place are consistent between Bruce Street and Elmwood Avenue East, the lot frontage is not. Property frontages range from 103' (25 Marley Place) to 24' (15 ½ Marley Place). This variation is also found on the east side of Marley Place.

A wide variety of architectural styles and dates of construction is also represented on this block of Marley Place. Information from the *Wortley Village-Old South HCD Study* and other sources has identified the following dates of construction and architectural styles/influences for the buildings at the following properties, in no particular order: 30 Marley Place, Edwardian design with Tudor/Elizabethan Revival influences (built circa 1909); 25 Marley Place, Edwardian Classicism (built 1907-1908); 16 Marley Place, Gothic Revival (built 1880); 18 Marley Place, bungalow (built 1940); 9 Marley Place, Queen Anne Revival (built 1890); 11 Marley Place, Arts & Crafts/Vernacular (built 1894); 15 ½ Marley Place, Queen Anne Revival (built 1879); 22 Marley Place, Modern Vernacular (built 1960).

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<b>HERITAGE ALTERATION PERMIT APPLICATION</b>
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As required by the *Ontario Heritage Act*, the *Wortley Village-Old South HCD Plan* identifies classes of alterations that require, or do not require, Heritage Alteration Permit approval. The erection of a new building within the HCD requires a Heritage Alteration Permit and consultation with the London Advisory Committee on Heritage (LACH).

A Heritage Alteration Permit application was submitted by the applicant and received on June 2, 2017. The applicant has applied for a Heritage Alteration Permit to:

- Erect a new two-storey residential building with the following details:
  - Rectangular building footprint with a projecting front bay to emphasize the front door;
  - Setback to average the difference between the setbacks of 19 Marley Place and 23 Marley Place;
  - The primary mass of the building clad in brick, with the projecting bay clad in stone;
  - Chimney clad in stone;
  - Clad-wood windows (“Anderson A Series”) and French Doors with simulated divided lites;
  - Use of a salvaged wood front door (to be confirmed);
  - Painted wood columns of the front porch, including some PVC details, and stained softwood porch ceiling;
  - Metal railing with ¾” square steel pickets set 4” on centre and painted black around the French doors, and on the front porch (if required);
  - Aluminium soffit, fascia, eaves troughs and leader box;
  - Asphalt shingle roofing on the hipped roof with gable;
- Detached garage at the rear of the property with the following details:
  - Rectangular building foot, 32’ by 26’;
  - Two aluminium overhead doors, entry door, and window on the east façade;
  - Clad-wood windows (“Anderson A Series”) with simulated divided lites;
  - Wood door;
  - Hipped roof with hipped gable over the porch at the entry clad in asphalt shingles; and,
  - Clad in wood (“Maibec”) board and batten style siding.

See drawings in Appendix C.

<b>ANALYSIS</b>
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Demolition of heritage buildings within the Wortley Village-Old South HCD is discouraged. Where existing vacant lots exist, there may be opportunities for new development that complies with the policies and guidelines of the *Wortley Village-Old South HCD Plan*. As a vacant lot, 21 Marley Place represents the opportunity for contextual and compatible infill development.

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Sections 4.1.1, 4.4, and 4.6 of the *Wortley Village-Old South HCD Plan* identifies policies for the residential area and new development within the residential area. These policies are intended to ensure the conservation of the heritage character of Wortley Village-Old South HCD. The following policies were used in the analysis of the proposed new building at 21 Marley Place.

<b>Section 4.1.1 Residential Area (Development Pattern)</b>	
<b>Policies</b>	<b>Analysis</b>
a) Maintain the residential amenity and human scale by ensuring that the low rise, low density residential character remains dominant within and adjacent to the HCD.	The proposed new building at 21 Marley Place will retain the low rise (two storey), low density residential character within the HCD.
c) Higher intensity uses or redevelopment opportunities shall be focused outside of the low rise residential area of the HCD, to areas designated by the City of London for higher density development (i.e. Ridout Street)	No change to the existing land use planning framework is proposed.
d) Where a new building replaces a demolished heritage property, the new building will respect or recapture the mass and building presence of the original building and should avoid having a contemporary purpose-built appearance determined only by the new use. The demolition of any building within the HCD shall require a Heritage Alteration Permit.	No demolition is required for the proposed new building at 21 Marley Place. The former building on the property was demolished between 1960 and 1965, and no known photographs of the previous building exist.
e) Evaluation of new buildings adjacent to the Wortley Village-Old South HCD will be required in order to demonstrate that the heritage attributes of the HCD will be conserved, in accordance with the Provincial Policy Statement – 2014. A Heritage Impact Assessment may be required.	See analysis contained herein. No adverse impact to the heritage attributes of the Wortley Village-Old South HCD is anticipated.
f) A Heritage Impact Assessment, in accordance with the policies of the City of London, will be required for any development proposals within and adjacent to the HCD.	No HIA is required for the proposed new building at 21 Marley Place.
g) Parking for new or replacement dwellings is to be located in the driveways at the side of the dwelling or in garages at the rear of the main building, wherever possible. New attached garages at the front of the building are discouraged. Garages shall not be extended beyond the main building façade.	The parking for the proposed new building at 21 Marley Place is to the rear, with a detached garage located at the rear of the property. This is the preferred location for parking within the Wortley Village-Old South HCD. No front yard or boulevard parking is proposed.

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<p>h) To encourage the retention and conservation of existing heritage properties that contribute to the cultural heritage value or interest of the Wortley Village-Old South HCD, the City may consider bonusing where an application for a zoning by-law amendment is required, in accordance with the policies of the Official Plan.</p>	<p>Not applicable; no zoning by-law amendment is proposed.</p>
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<b>Section 4.4 New Development</b>	
<b>Policy</b>	<b>Analysis</b>
<p>a) New buildings shall respect and be compatible with the cultural heritage value or interest of the Wortley Village-Old South HCD, through attention to height, built form, massing, setbacks, building material and other architectural elements such as doors, windows, roof lines and established cornice lines.</p>	<p>See below for analysis of design guidelines.</p>
<p>b) The Architectural Design guidelines provided in Section 8 of this Plan will be used in to review and evaluate proposals for the new buildings to ensure that new development is compatible with the HCD.</p>	<p>See below for analysis of design guidelines.</p>
<p>c) The purpose of the HCD is to respect both age and the quality of design of the heritage properties and cultural heritage resources in the HCD. The City may consider exceptional examples of good architectural design for integration into the cultural heritage fabric of the HCD if the proposed design exhibits sensitivity to the massing and scale of adjacent or nearby heritage properties and texture of the streetscape.</p>	<p>As 21 Marley Place is vacant, the proposed design will be analyzed for its compatibility with the Wortley Village-Old South HCD. See below.</p>
<p>d) Where a new building replaces a demolished heritage property, the new building will respect or recapture the mass and building presence of the original building and should avoid having a contemporary purpose-built appearance determined only by the new use. The demolition of any building within the HCD shall require a Heritage Alteration Permit.</p>	<p>Limited information on the past building located at 21 Marley Place is available. See below for analysis of design guidelines.</p>
<p>g) Where zoning permits taller and/or higher density buildings (i.e. in the Wortley Village commercial area), studies on shadowing, potential loss of view, increased traffic, noise and parking congestion should be conducted and measures taken to mitigate significant potential impacts.</p>	<p>Not applicable.</p>

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<b>Section 4.6 Public Realm (applicable policies)</b>	
<b>Policy</b>	<b>Analysis</b>
<p>b) Mature street trees are to be protected and preserved unless they present a public safety hazard or are in a serious state of decline due to age or disease. When removal of street trees is required, they should be replaced with new trees of an appropriate size and species as determined by the City of London and the Urban Forester.</p>	<p>Trees contribute to the heritage character of Wortley Village-Old South HCD. The retention of existing mature trees is encouraged by the <i>Wortley Village-Old South HCD</i>. A large silver maple tree is located in the municipal boulevard at 21 Marley Place. It is not proposed to be cut (see Appendix B, Image 6; Appendix C, Drawing 6). Tree protection for this tree, and trees within 3m of the property line, is required through the Tree Protection By-law. Tree protection must be consistent with Section 12, Tree Planting and Protection Guideline, in the City of London Design Specifications and Requirements Manual.</p>
<p>c) Landscaping that complements the existing landscape of the HCD, screens parking areas and contributes to the overall pedestrian quality is encouraged for all new development. Specific landscape elements will be governed by Site Plan Approval requirements.</p>	<p>The draft landscape plan for the proposed new building at 21 Marley Place shows an increase in the landscaping in the front yard of the property achieved through the reduction of the driveway width to a single lane (see Appendix C, Drawing 6). The proposed construction is not subject to Site Plan Approval requirements</p> <p>Plant materials typical of the late Victorian southern Ontario residential gardens are encouraged (section 10.4.2, <i>Wortley Village-Old South HCD Plan</i>).</p>
<p>d) Retention of existing grass boulevards and street trees throughout the HCD is strongly encouraged whenever repairs or improvements are made to roads, sidewalks, or underground services. Should removal of trees and boulevards be unavoidable as part of the infrastructure works, every effort should be made to replace them upon completion of the work.</p>	<p>The grass boulevards of Marley Place, between the curb and the sidewalk, must be retained. The landscape plan for the proposed new building shows a single lane driveway, leading to the garage at the rear of the property (see Appendix C, Drawing 6).</p>

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Design guidelines are included within Section 8 of the *Wortley Village-Old South HCD Plan*. The following guidelines, outlined in Section 8.3.3, were used in the analysis of the proposed new building at 21 Marley Place. This analysis refers to area properties depicted in Images 1 through 6 in the table following the analysis.

<b>Section 8.3.3 Design Guidelines – New Buildings</b>	
<b>Guideline</b>	<b>Analysis</b>
<p>a) Match setback, footprint, size and massing patterns of the area, particularly to the immediately adjacent neighbours. Match façade pattern of street or of “street wall” for solids and voids, particularly ensure the continuity of the street wall where one exists.</p>	<p>The height, size, footprint, and massing of the proposed new building at 21 Marley Place, at two stories in height, is consistent the built form the Wortley Village-Old South HCD. Buildings range from single storey to two-and-a-half storey for single, detached residential buildings.</p> <p>The façade patterns of the proposed new building at 21 Marley Place maintain a traditional relationship of solids and voids found throughout the Wortley Village-Old South HCD.</p> <p>The design of the proposed new building at 21 Marley Place references architectural elements of nearby properties. The recurring uses of consistent building materials, forms, and details contributes to the architectural character of the Wortley Village-Old South HCD. For example, the use of brick as the primary cladding material, the ironwork detailing of the railings (example: 113 Elmwood Avenue East, 201 Elmwood Avenue East), the wood front porch with paneled square piers (example: 173 Wortley Road), wood door, the leader box downspout, Gothic pointed window (examples: St. James Westminster, 16 Marley Place) and application of stone (example: 37 Ridout Street South) can be found thematically throughout the Wortley Village-Old South HCD.</p> <p>For discussion on setback, see below.</p>
<p>b) Setbacks of new development should be consistent with adjacent buildings. Where setbacks are not generally uniform, the new building should be aligned with the building that is most similar to the predominant setback on the street.</p>	<p>The setback of the proposed new building at 21 Marley Place averages the difference between the setback of the building at 19 Marley Place (approximately 8 metres from the property line) and the building at 23 Marley Place (approximately 12 metres from the property line) (see Appendix B and Appendix C, Drawing 6).</p>

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<p>c) New buildings and entrances must be oriented to the street and are encouraged to have architectural interest to contribute to the visual appeal of the HCD.</p>	<p>The main entrance of the proposed new building at 21 Marley Place is oriented towards Marley Place and emphasized by architectural details including the porch and its entablature.</p>
<p>d) Respond to unique conditions or location, such as corner properties, by providing architectural interest and details on both street facing façades.</p>	<p>The property at 21 Marley Place is not a corner property and does not have any unique conditions for the proposed new building to respond.</p>
<p>e) Use roof shapes and major design elements that are complementary to surrounding properties and their heritage attributes.</p>	<p>The roof of the proposed building at 21 Marley Place is a hipped roof with a gable roof over the projecting bay with the front doorway. These details are consistent with surrounding properties. The addition of a brick chimney to the design of the proposed building is encouraged.</p>
<p>f) Respond to continuous horizontal patterns along the street such as roof lines, cornice lines, and the alignment of sills and heads of windows and doors.</p>	<p>Buildings along Marley Place typically feature 3-5 steps up to the front porch. Whether the buildings are single or two stories in height, this elevation brings continuity in the horizontal patterns of the built form. There is variation in the roof lines, cornices, and window detailing which reflects the variety of architectural styles found on Marley Place: Gothic Revival, Queen Anne, Tudor Revival, Edwardian, and vernacular.</p>
<p>g) Size, shape, proportion, number and placement of windows and doors should reflect common building patterns and style of other buildings in the immediate area.</p>	<p>The sizes, shapes, proportions, numbers, and placement of windows and doors follows patterns found throughout Wortley Village-Old South HCD. The proposed windows and French doors are clad in wood with simulated divided lights. While Gothic pointed windows are not very common in the Wortley Village-Old South HCD, the building at 16 Marley Place and St. James Westminster, among other examples, have Gothic pointed windows. The window openings on the front façade are accented by brick soldier course lintels, emphasizing the brickwork detailing found throughout Wortley Village-Old South HCD.</p>
<p>h) Use materials and colours that represent the texture and palette of the Wortley Village-Old South HCD.</p>	<p>The proposed building is clad in brick, which is the predominant cladding building material in the Wortley Village-Old South HCD. The proposed use of stone provides a textural variation for details of the building, consistent with accents found on other properties nearby (example: 37 Ridout Street South). The columns and entablature of the porch will be constructed of wood on a concrete base, which complies with the Wortley Village-Old South HCD, using patterns and forms found in the area (example: paneled square porch piers at 173 Wortley Road).</p>



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<p>i) Where appropriate, incorporate in a contemporary way some of the traditional details that are standard in the principal facades of properties in the Wortley Village-Old South HCD.</p>	<p>It is anticipated that the proposed new building at 21 Marley Place will read as a traditionally-inspired new building. It builds on stylistic elements found throughout the Wortley Village-Old South HCD, including orientation, height, materials, and architectural details, without composing a collage of disarticulated elements from other properties in the area. In particular, the proposed new building maintains the important tradition of front porches within the Wortley Village-Old South HCD.</p>
<p>j) New buildings should not be any lower in building height than the lowest heritage property on the block or taller than the highest heritage property on the same block.</p>	<p>The proposed building, at approximately 6.7m (22'), is not lower than the single storey buildings on Marley Place or taller than the two-and-a-half storey buildings on Marley Place. The proposed elevation and steps up to the front door is consistent with adjacent properties.</p>



Image 1: Example of proposed stone cladding.



Image 2: Example of proposed stone cladding.

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Image 3: 37 Ridout Street South (2011).



Image 4: 173 Wortley Road (2010)



Image 5: 113 Elmwood Avenue East (2010).



Image 6: 16 Marley Place (2010).

The design of the proposed building, including its setback, footprint, size, massing patterns, and finishes and details are compliant with the policies and design guidelines of the *Wortley Village-Old South HCD Plan*.

## CONCLUSION

Given that the proposed new building at 21 Marley Place complies with the policies and guidelines of the *Wortley Village-Old South HCD Plan*, Civic Administration recommends that Council give the applicant the permit requested under section 42 of the Ontario Heritage Act to erect a building, subject to terms and conditions as set out in this report. In keeping with the *Plan's* policies aimed at fostering the aesthetic quality of the HCD's streetscape and with the City's broader tree protection measures, the Chief Building Official is requested to provide the applicant with information to help protect the large silver maple tree located on the municipal boulevard in front of the property.

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<b>PREPARED BY:</b>	<b>SUBMITTED BY:</b>
<b>KYLE GONYOU, CAHP HERITAGE PLANNER URBAN REGENERATION</b>	<b>JIM YANCHULA, MCIP, RPP MANAGER URBAN REGENERATION</b>
<b>RECOMMENDED BY:</b>	
<b>JOHN M. FLEMING, MCIP, RPP MANAGING DIRECTOR, PLANNING AND CITY PLANNER</b>	

2017-06-29

Attach:

- Appendix A – Map
- Appendix B – Images
- Appendix C – Proposed Drawings

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APPENDIX A — Map



Map 1: Property location of 21 Marley Place.

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**APPENDIX B — Images**



Image 1: The vacant property at 21 Marley Place, showing the building at 23 Marley Place to the south (left) (June 13, 2017).



Image 2: Vacant lot at 21 Marley Place (June 13, 2017).



Image 3: View looking northwest, showing the vacant property at 21 Marley Place between 23 Marley Place (left) and 19 Marley Place (beyond, right) (June 13, 2017).



Image 4: View looking north showing the setback of the buildings along the west side of Marley Place (June 13, 2017).



Image 5: View looking south showing the setback of the buildings along the west side of Marley Place (June 13, 2017).

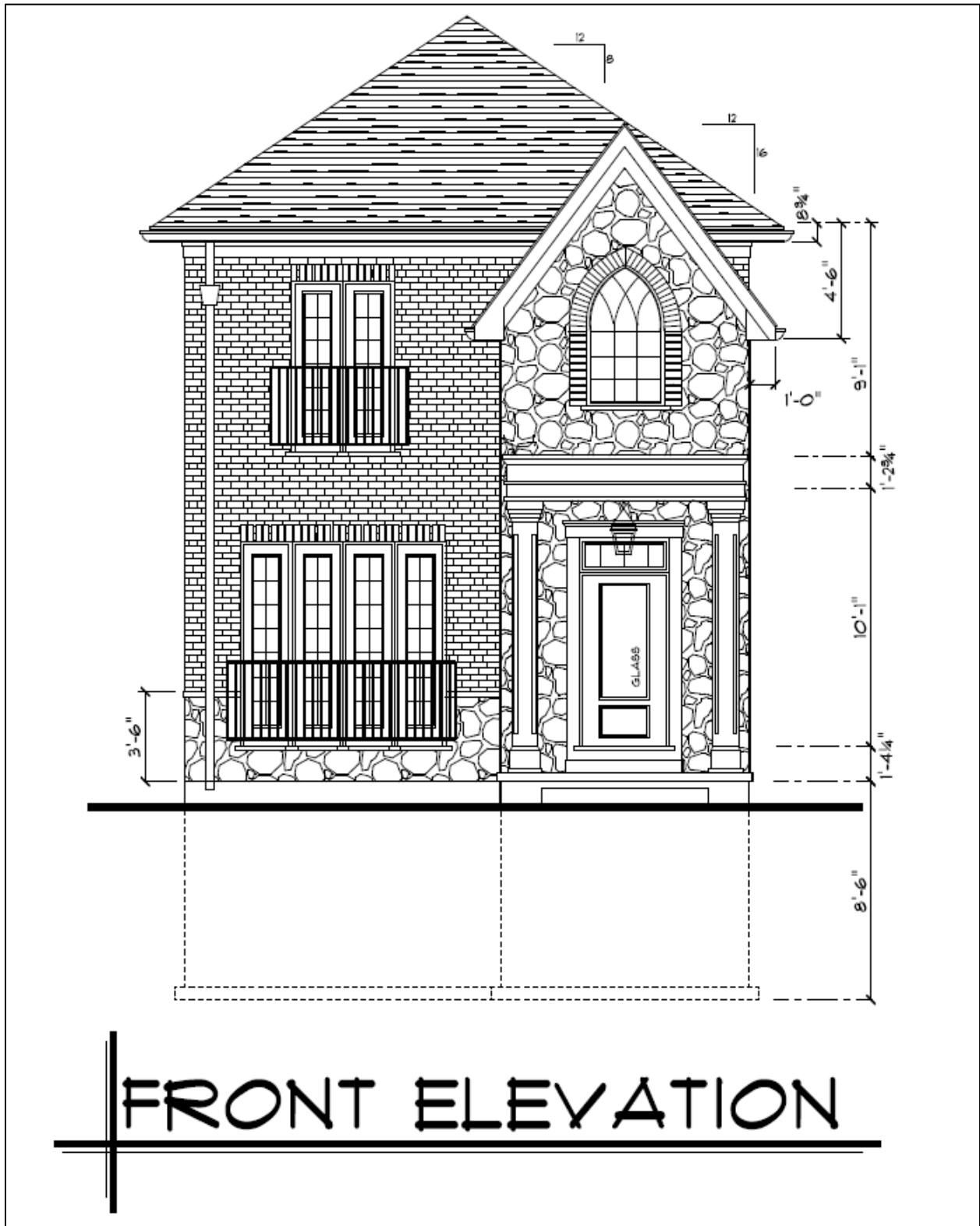


Image 6: Silver maple on the municipal boulevard at 21 Marley Place (June 13, 2017).

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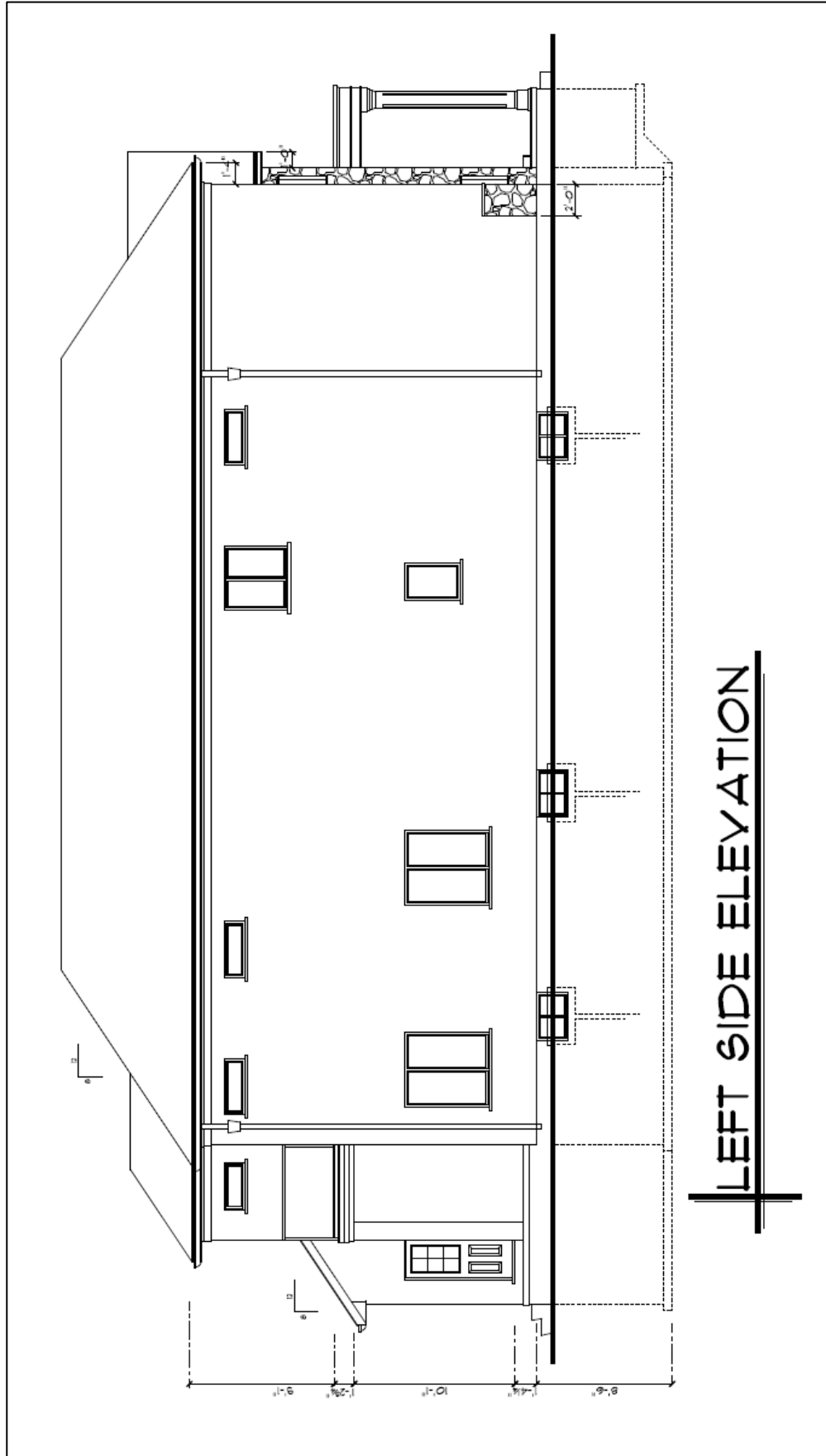
**APPENDIX C — Proposed Alteration Drawings**



Drawing 1: Front (east) elevation of the proposed new building at 21 Marley Place.

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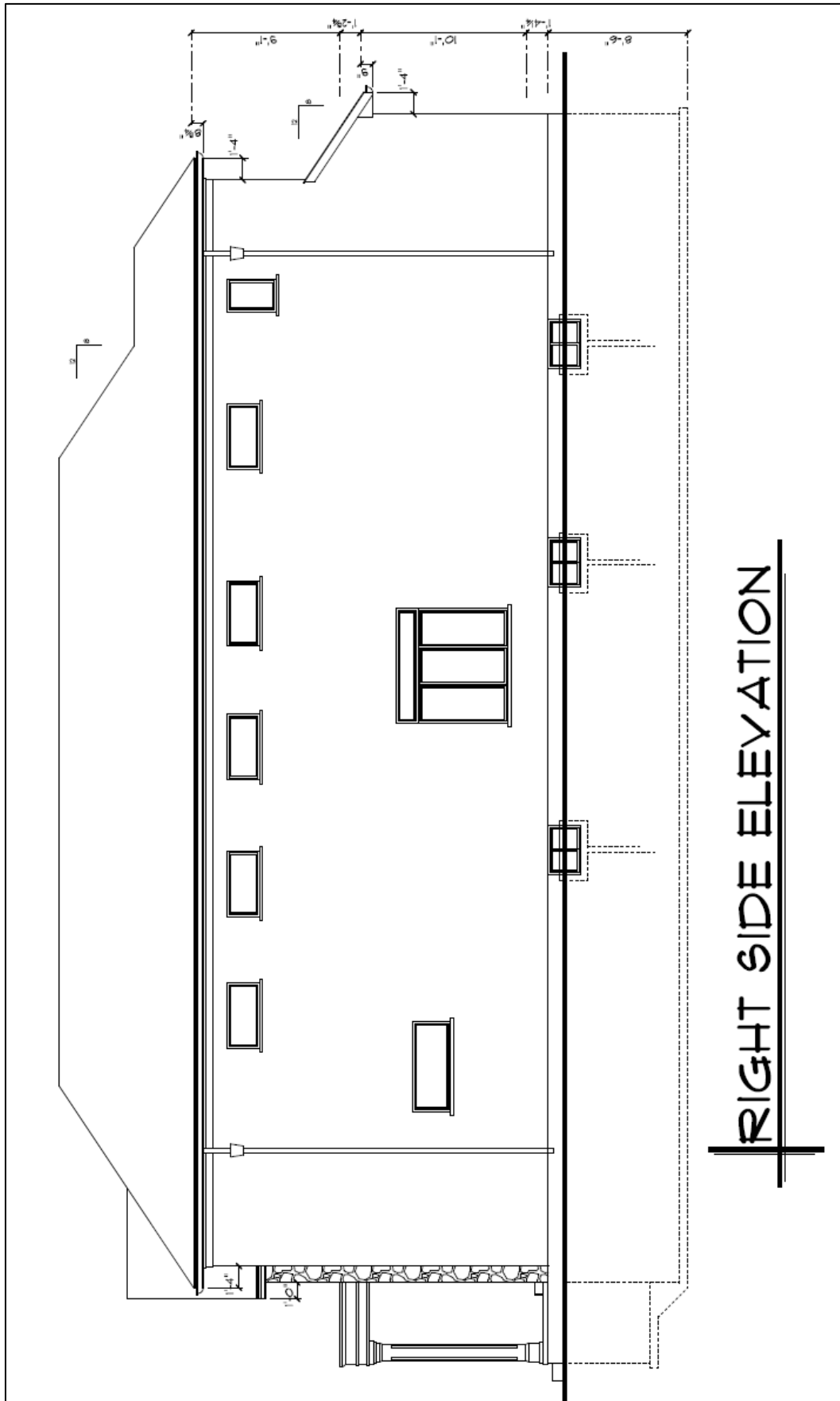
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Drawing 2: Left (south) side elevation of the proposed new building at 21 Marley Place.

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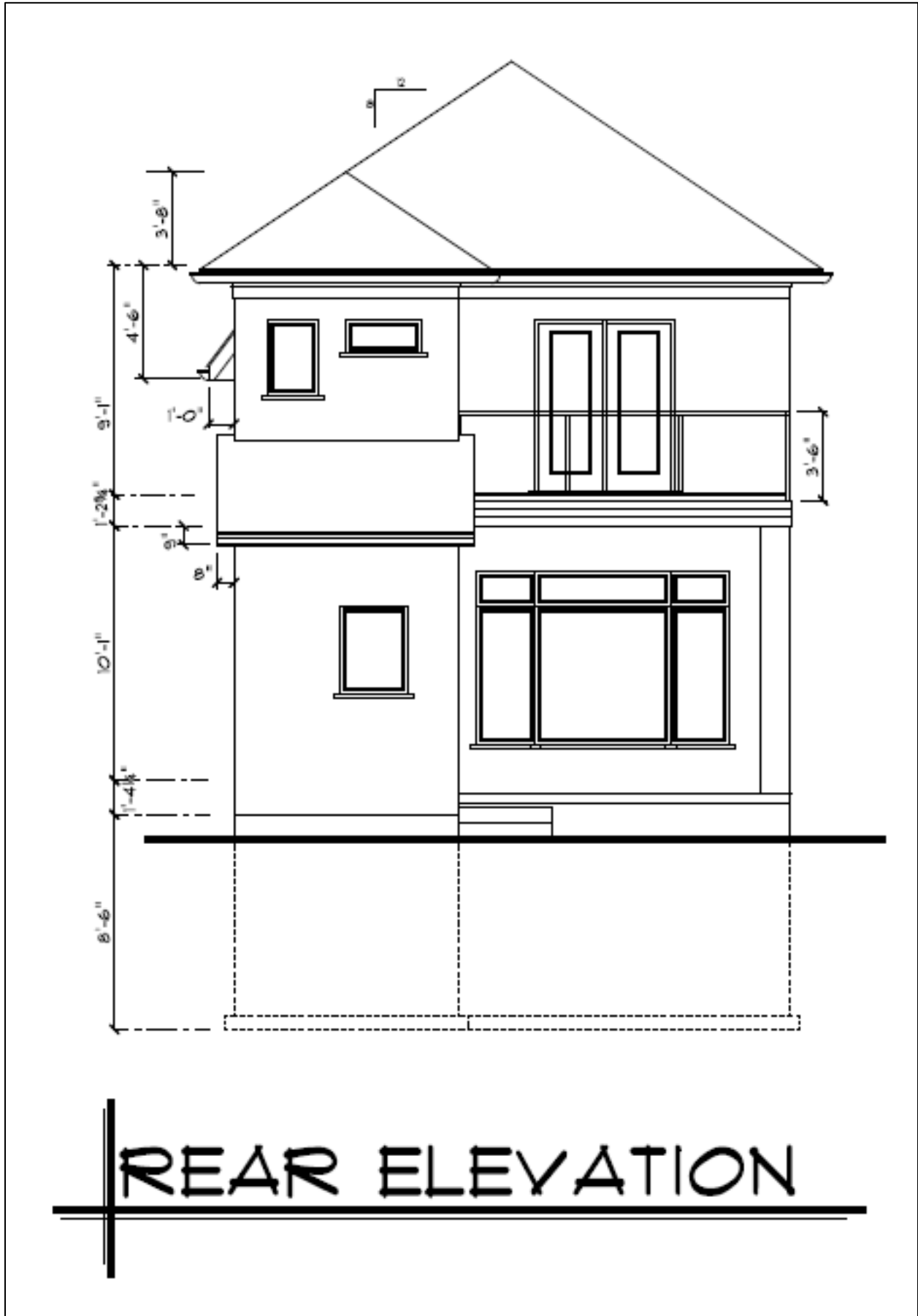


Drawing 3: Right (north) side elevation of the proposed new building at 21 Marley Place.



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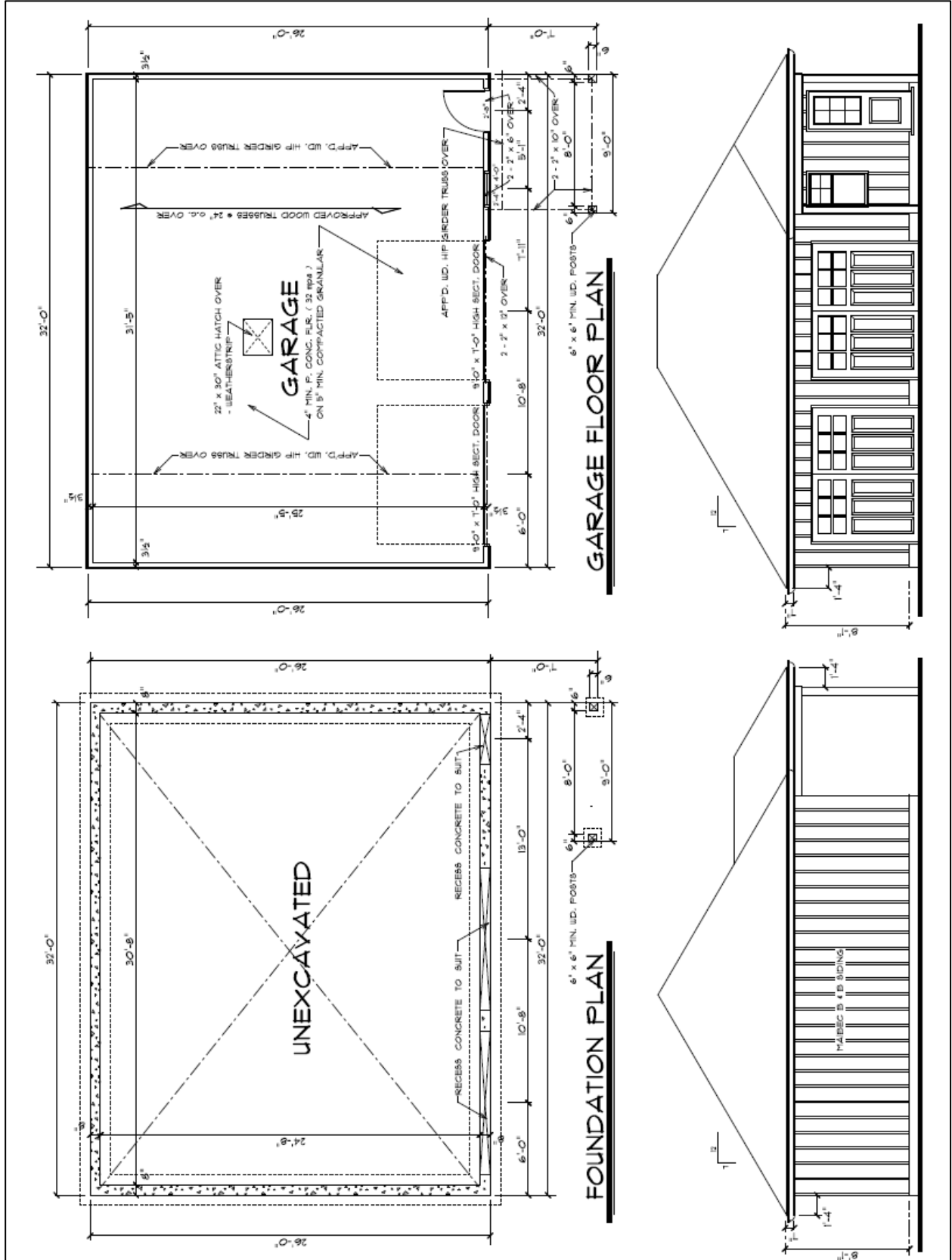
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Drawing 4: Rear (west) elevation of the proposed new building at 21 Marley Place.

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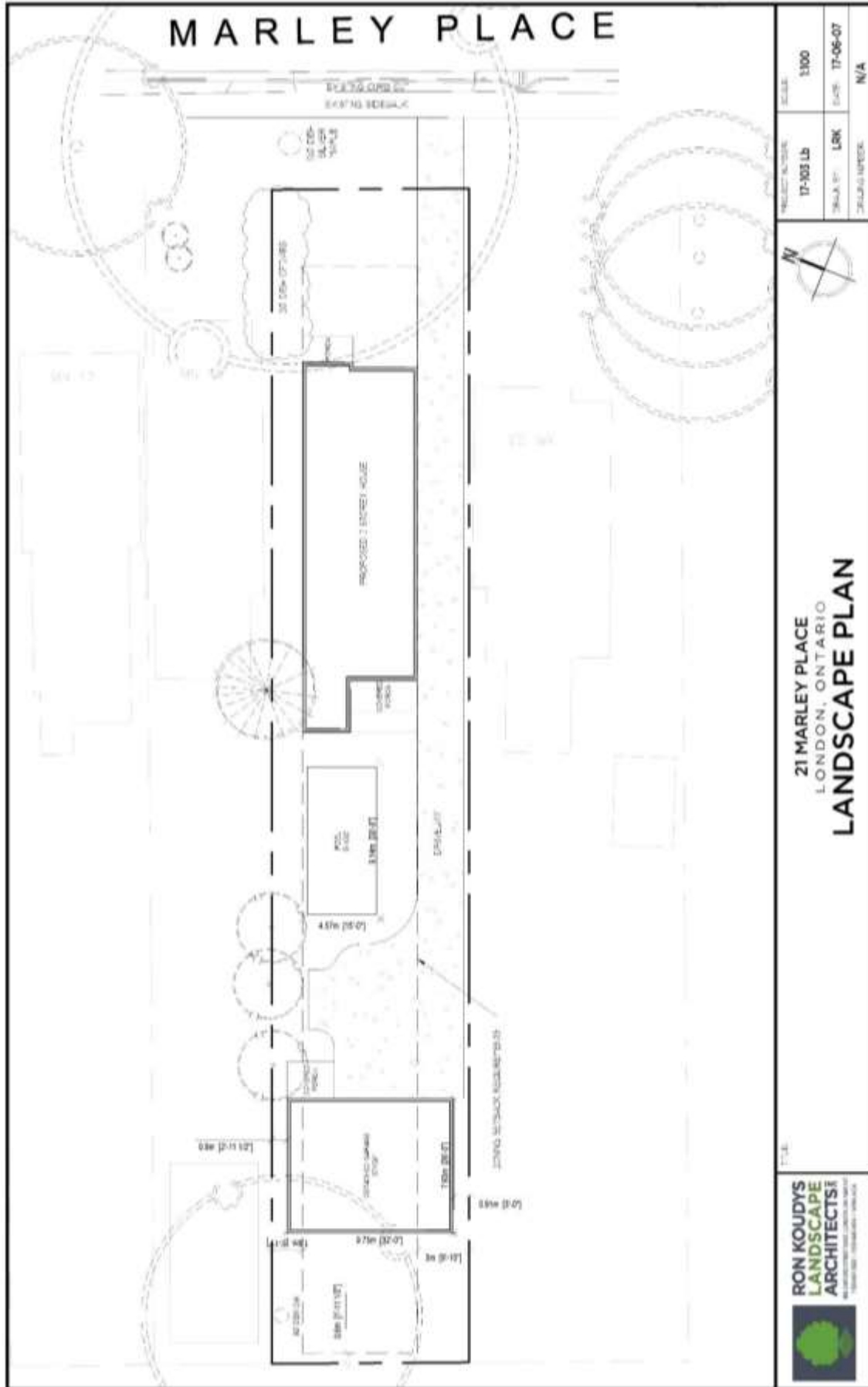
Drawing 5: Proposed garage plans for 21 Marley Place.

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Drawing 6: Landscape Plan