



Z-8704
B. Turcotte
Tel: 519-661-2500 extension 4651
Fax: 519-661-5397
Email: bturcott@london.ca
Website: www.london.ca

April 13, 2017

**NOTICE OF APPLICATION AND NOTICE OF PUBLIC MEETING
BEFORE THE
PLANNING & ENVIRONMENT COMMITTEE
for ZONING BY-LAW AMENDMENT APPLICATION**

APPLICANT:

Old Oak Properties

LOCATION:

515 Richmond Street - see attached map

PURPOSE AND EFFECT:

The purpose and effect of the requested Zoning By-law amendment is to permit the demolition of the northerly portion of an existing retail plaza to facilitate the development of a 101 metre tall apartment building containing 175 one and two bedroom units (see attached Figures 1 and 2). An additional storey of parking is also proposed to be added to the existing four-storey parking structure along Dufferin Avenue. A removal of a holding provision requiring a wind impact assessment will also be considered.

POSSIBLE AMENDMENT

Change Zoning By-law Z.-1 from a Holding Downtown Area (h-3•DA2•D250) Zone which permits a wide range of retail, commercial and office uses as well as apartment buildings and apartment hotels to a maximum density of 250 units per hectare and a maximum height of 90 metres to a Downtown Area Special Provision (DA2(_)) Zone to permit: a wide range of retail, commercial and office uses as well as apartment buildings and apartment hotels. The requested Special Provision would provide for an apartment building with: a maximum density of 342 units per hectare; a maximum building height of 101 metres; and a maximum building setback of 4.5 metres along the Richmond Street frontage. The removal of the Holding (h-3) Zone requiring a wind impact assessment will also be considered.

Alternatively, the City of London may consider the use of a Bonus "(B-)" Zone to provide for the increased height and density in the requested Zoning By-law Amendment. The Bonus "(B-)" Zone would permit a 175 unit apartment building with: a maximum density of 342 units per hectare; a maximum building height of 101 metres; and a maximum building setback of 4.5 metres along the Richmond Street frontage in return for the provision of services, facilities, and matters that include an enhanced building design, a public plaza and a shared public space along the Richmond Street frontage.

PUBLIC MEETING:

By letter dated October 26, 2016, you were informed of the possible amendment described

above.

You are now advised that the Planning & Environment Committee will consider this application at its meeting on **Monday, May 8, 2017, no earlier than 4:30 p.m.** Meetings are held in the Council Chambers of City Hall, located at 300 Dufferin Avenue (north-east corner of Wellington Street). Each application is allocated a time for public delegations. It should be recognized however, that the Planning & Environment Committee may find it necessary to exceed the limit. Your co-operation is appreciated in the event that you have to wait for your application to be considered.

Please Note: Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Cathy Saunders, City Clerk, 519-661-2500 extension 4937.

If a person or public body does not make oral or written submissions at a public meeting or make written submissions to the City of London before the proposed amendment is adopted, the person or public body may not be entitled to appeal the decision of the Council of the City of London to the Ontario Municipal Board, or may not be added by the Board as a party to the hearing of an appeal unless, in the opinion of the Board, there are reasonable grounds to do so.

A neighbourhood or community association may exist in your area. If it reflects your views on this proposal, you may wish to select a representative of the association to submit comments on your behalf.

Your representative on City Council, Ward 13 Councillor Tanya Park (office (519) 661-2500, extension 4013, email tpark@london.ca) would be pleased to discuss any concerns you may have with this application.

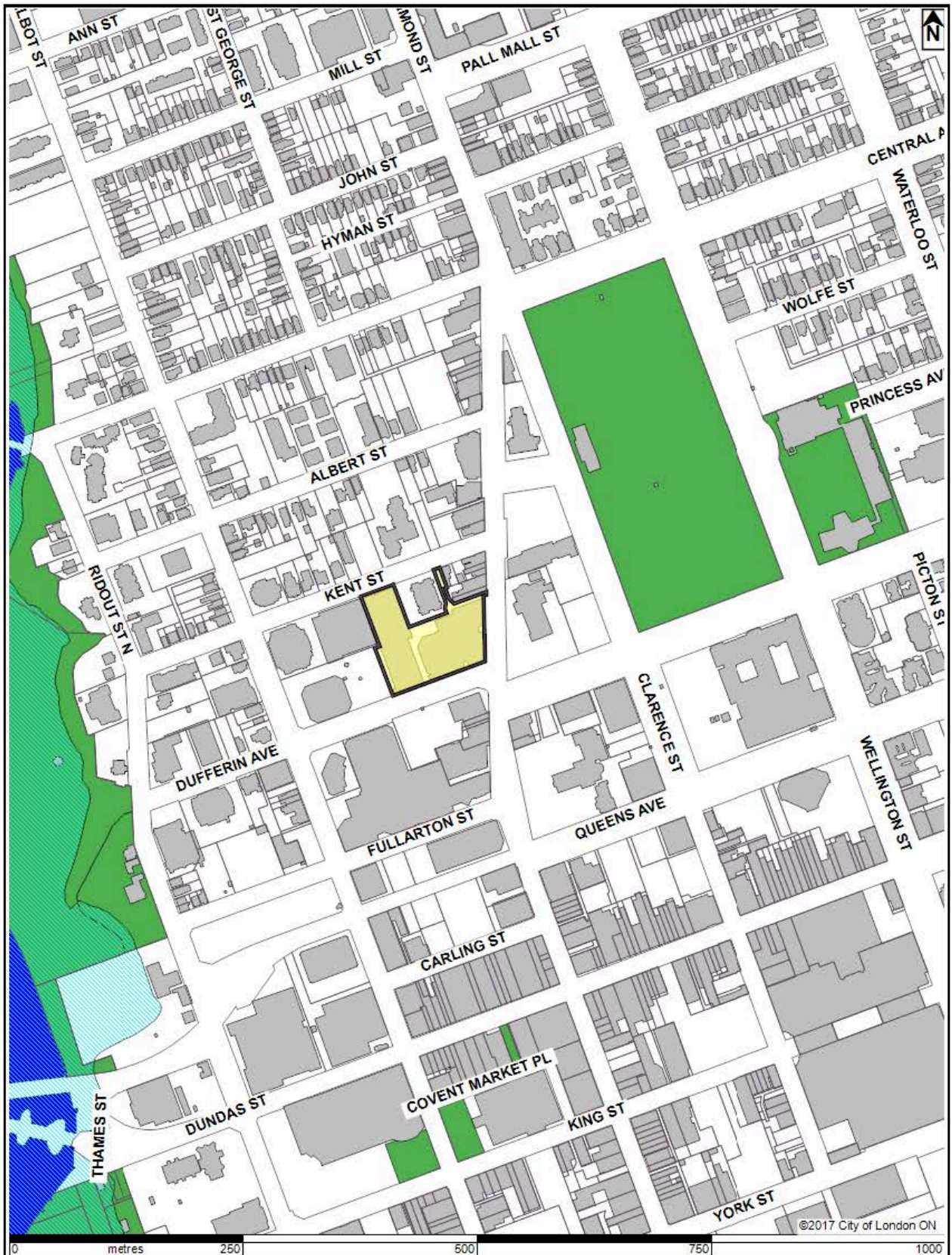
FOR MORE INFORMATION:

Copies of this report are available from Planning Services and will be available at the Planning & Environment Committee meeting. If you wish to view additional information or material about the requested Zoning By-law amendment, it is available for public viewing at Planning Services, 206 Dundas St., London, ON, Monday to Friday, 8:30a.m.-4:30p.m.

For more information, please call Brian Turcotte at 519-661-2500 extension 4651, referring to "Z-8704".

TO BE NOTIFIED:





If you wish to be notified of the adoption or refusal of a request to amend the Zoning By-law, you must make a written request to the City Clerk, 300 Dufferin Avenue, P.O. Box 5035, London, ON N6A 4L9. You will also be notified if you address the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.



LOCATION MAP

Subject Site: **515 Richmond St**
 Applicant: **Old Oak Properties**
 File Number: **Z-8704**
 Planner: **Brian Turcotte**
 Created By: **Brian Turcotte**
 Date: **2017-04-03**
 Scale: **1:5000**

LEGEND

-  Subject Site
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers

Corporation of the City of London
 Prepared By: Planning and Development



Figure 1 - Context



Figure 2 - Renderings

