

Bill No. 216  
2017

By-law No. Z.-1-17 \_\_\_\_\_

A by-law to amend By-law No. Z.-1 to rezone an area of land located at 515 Richmond Street.

WHEREAS **Old Oak Properties** has applied to rezone an area of land located at 515 Richmond Street, as shown on the map attached to this by-law, as set out below;

AND WHEREAS this rezoning conforms to the Official Plan;

NOW THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

1. Schedule "A" to By-law No. Z.-1 is amended by changing the zoning applicable to lands located at 515 Richmond Street, as shown on the attached map comprising part of Key Map No. A107, **from** a Holding Downtown Area (h-3•DA2•D250) Zone **to** a Downtown Area Bonus (DA2•B-(\*)) Zone.

2. Section Number 4.3 of the General Provisions of By-law Z.-1 is amended by adding the following Site Specific Bonus Provision:

"B-(\*) 515 Richmond Street

The increase in height and density to the zoning of the subject lands shall be permitted in return for the enhanced urban design elements described below consisting of a residential point-tower, pedestrian plaza and forecourt which, with minor variations at the discretion of the Managing Director, Planning and City Planner, is in keeping with the architectural elevations, site plan and renderings included as Schedule 1 of the amending by-law, and shall be implemented through a development agreement in return for the provision of the following services, facilities, and matters:

Base Features:

- a. A base height equal to two stories, including floor to ceiling vision glass on the east façade and wrapping around partially to the south and north facades.
- b. 60% vision glass on the south, east and north facades, including a secondary entrance on the south façade facing the storefronts of the adjacent commercial building.
- c. Seven architectural stainless steel columns to the east and south of the building supporting the residential floors above.
- d. A large canopy supported by steel columns, extending towards the street on a slight angle with lighting integrated on the underside.
- e. An enclosed corridor attaching the main building to the parking structure, including alternating resident storage areas and vision glass into the corridor.

Tower Features:

- a. A point tower form with a tower floor-plate maximum of 700 square metres.
- b. 60% (linear) vision glass on residential floors.
- c. Fully wrap-around balconies on floors 3 through 28, alternating every 4<sup>th</sup> or 5<sup>th</sup> floor between the following:
  - i. wood finish metal panel on the underside and visible portions of the balcony, paired with tinted glass and a coordinated colour for metal portions of the railing; balconies rotated on a slight angle (~ 3 degrees) from the angle of the building.
  - ii. Light grey finish metal panel on the underside and visible portions of the balcony, paired with clear glass and a coordinated colour for metal portions of the railing; balconies rotated on the opposite angle of above.

- d. Light grey finish metal panel balconies wrapping two separate portions of the building on floors 29 through 32, with wood finish metal panel balconies wrapping the north east corner with a higher portion of vision glass and a taller roof height and cap.
- e. A mechanical penthouse fully enclosed and clad in materials complimentary to the building.

Pedestrian Plaza and Forecourt:

- a. A pedestrian-only plaza located in the setback from Richmond Street, delineated from the public sidewalk by fixed, architectural planters with integrated seating.
- b. A decorative pavement pattern extending across the east entry plaza and into the linear plaza on the south side of the building.

a)	Regulation[s]	
	i) Height (maximum))	101 metres (332 ft.)
	ii) Density (maximum)	342 units per hectare (845 units per acre)
	iii) Front Yard Depth (maximum)”	4.5 (15 ft.)

3. The inclusion in this By-law of imperial measure along with metric measure is for the purpose of convenience only and the metric measure governs in case of any discrepancy between the two measures.

4. This By-law shall come into force and be deemed to come into force in accordance with Section 34 of the *Planning Act, R.S.O. 1990, c. P13*, either upon the date of the passage of this by-law or as otherwise provided by the said section.

PASSED in Open Council on May 16, 2017.

Matt Brown  
Mayor

Catharine Saunders  
City Clerk

First Reading - May 16, 2017  
Second Reading – May 16, 2017  
Third Reading - May 16, 2017

AMENDMENT TO SCHEDULE "A" (BY-LAW NO. Z-1)



File Number: Z-8704

Planner: BT

Date Prepared: 2017/04/10

Technician: MB

By-Law No: Z-1-

SUBJECT SITE 

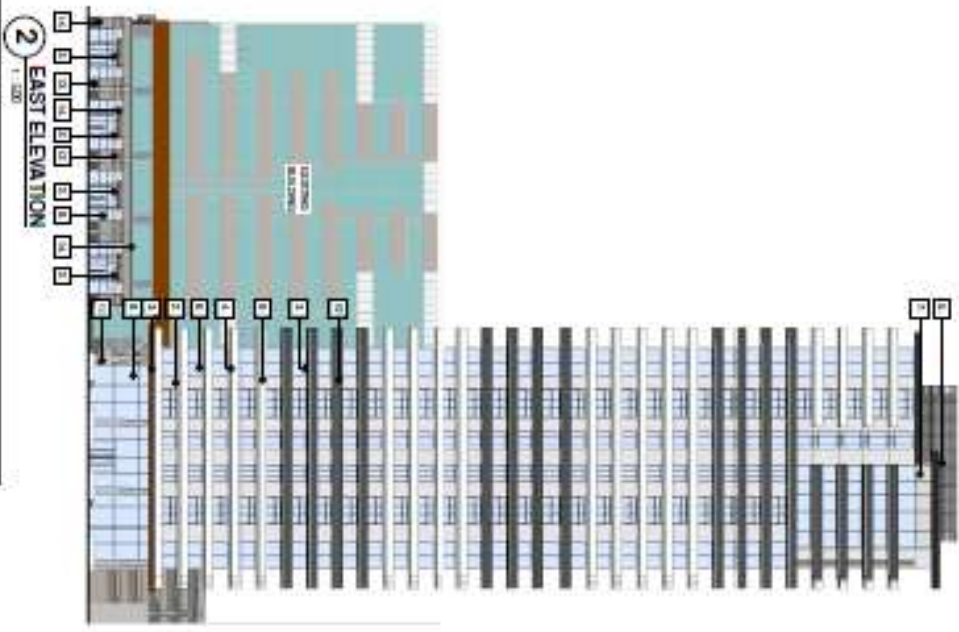
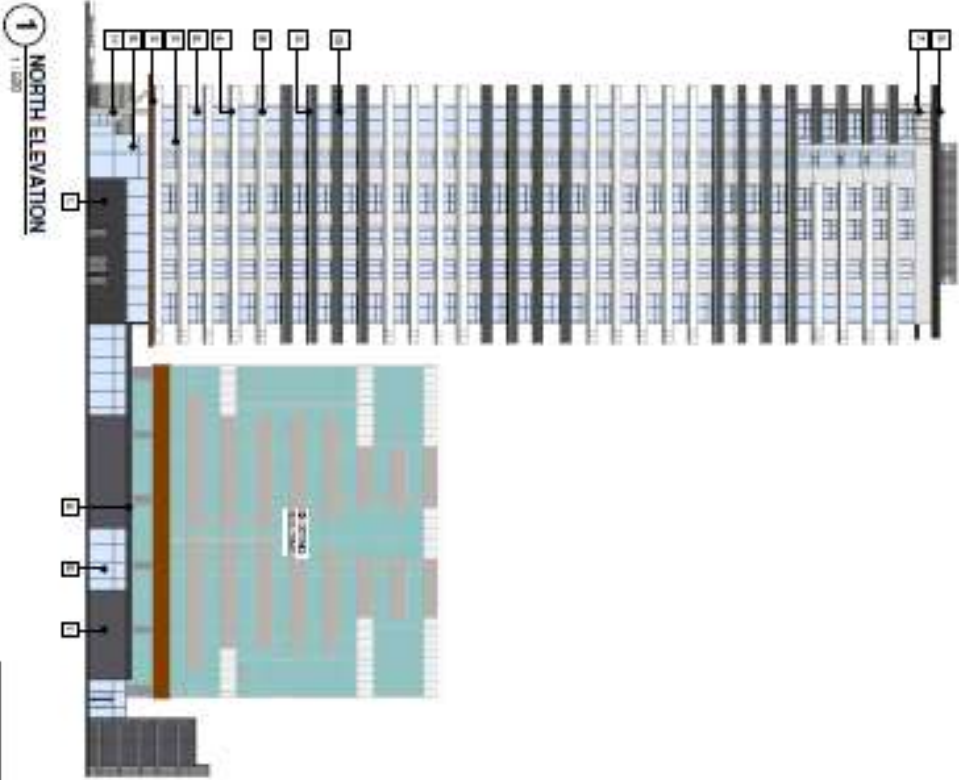
1:2,000

0 10 20 40 60 80 Meters



Schedule 1 - North and East Elevations

NORTH & EAST ELEVATIONS  
515 RICHMOND STREET, LONDON



**MATERIAL LEGEND**

1	Dark Matt Grey Brick	7	Medium Matt Spotted Glazing	13	Light Grey Brick - Dark Tone
2	Dark Matt Grey Brick	8	Medium Matt Spotted Glazing	14	Dark Grey Brick - Dark Tone
3	Concrete Matt Finish - Wood Grain	9	Medium Matt Spotted Glazing	15	Dark Grey Brick - Dark Tone
4	Concrete Matt Finish - Light Grey Brick	10	Medium Matt Spotted Glazing	16	Dark Grey Brick - Dark Tone
5	Concrete Matt Finish - Light Grey Brick	11	Medium Matt Spotted Glazing	17	Dark Grey Brick - Dark Tone
6	Medium Matt Spotted Glazing	12	Medium Matt Spotted Glazing	18	Dark Grey Brick - Dark Tone

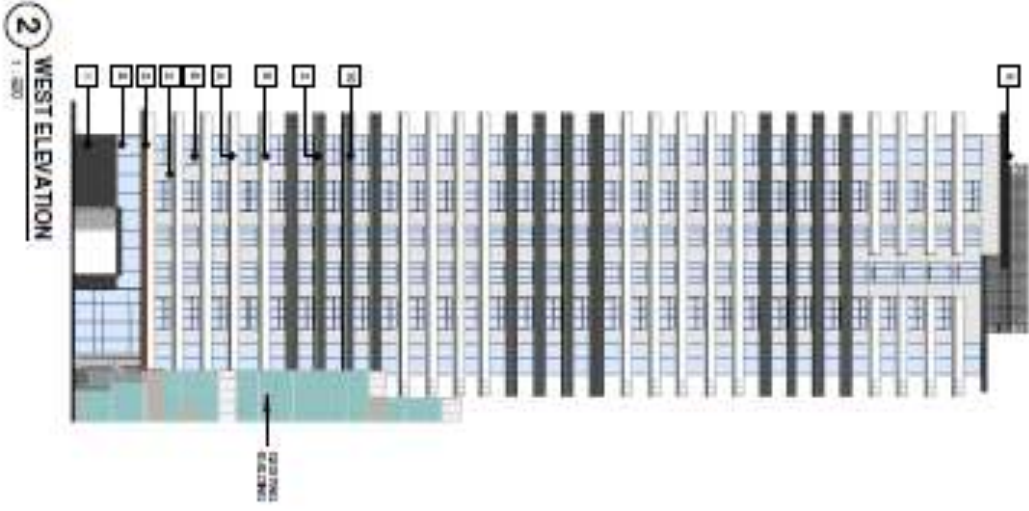
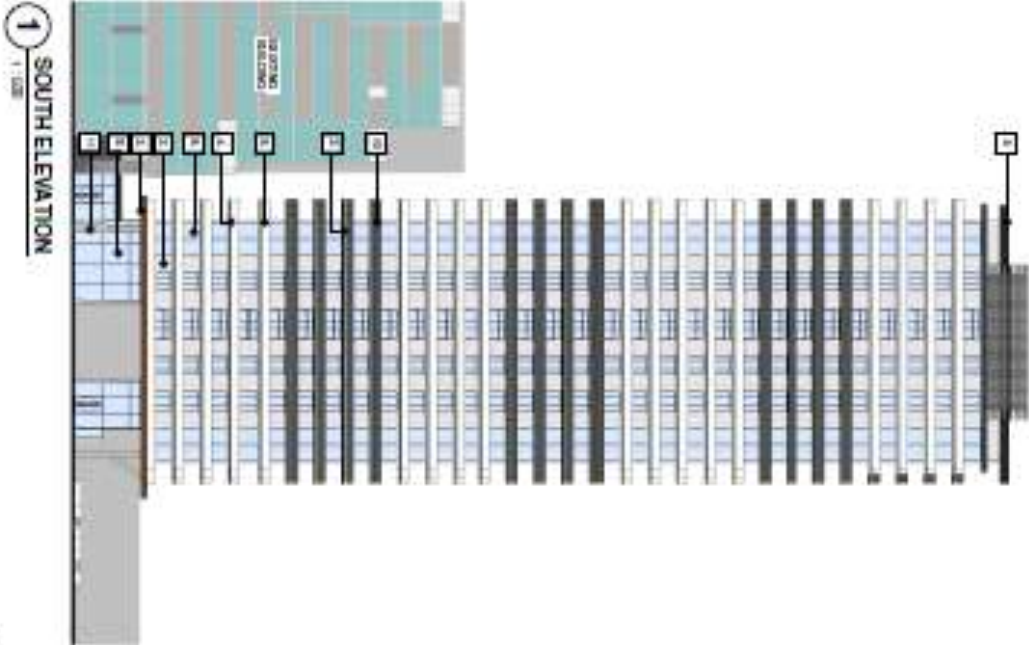
2017-04-06





Schedule 1 - North and East Elevations

SOUTH & WEST ELEVATION  
515 RICHMOND STREET, LONDON



**MATERIAL LEGEND**

1. Brick Masonry - Brick	7. Window and Sashwork Cladding	13. Timber Deck - Oak Deck
2. Stucco - Off White	8. Stucco Cladding	14. Composite Metal Panel - Stainless
3. Composite Metal Panel - Wood Grain	9. Stucco Cladding - Oak Deck	15. Panel - Oak
4. Composite Metal Panel - Light Oak Grain	10. Stucco Cladding - Oak Deck	16. Cladding Material
5. Composite Metal Panel - Dark Oak Grain	11. Stucco - Stucco	
6. Window and Sashwork Cladding	12. Window and Sashwork Cladding	

2017-04-06





Schedule 1 – Building Renderings



VIEW LOOKING WEST  
515 RICHMOND STREET, LONDON

2017-04-06

