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<b>TO:</b>	<b>CHAIR AND MEMBERS PLANNING AND ENVIRONMENT COMMITTEE</b>
<b>FROM:</b>	<b>J. BRAAM ACTING EXECUTIVE DIRECTOR - PLANNING, ENVIRONMENTAL &amp; ENGINEERING SERVICES</b>
<b>SUBJECT:</b>	<b>APPLICATION BY: AYERSWOOD DEVELOPMENT CORP. 940 SPRINGBANK DRIVE PUBLIC PARTICIPATION MEETING ON APRIL 24, 2012</b>

<b>RECOMMENDATION</b>
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That, on the recommendation of the Acting Executive Director of Planning, Environmental & Engineering Services, the following actions be taken with respect to the site plan approval application of Ayerswood Development Corp. relating to the property located at 940 Springbank Drive:

- (a) the attached development agreement and attached schedules for a twelve storey apartment building with 165 units **BE RECEIVED** for final approval.

<b>PURPOSE AND EFFECT OF RECOMMENDED ACTION</b>
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<b>RATIONALE</b>
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<b>BACKGROUND</b>
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September 19, 2011 Municipal Council resolved:

1. *That, the following actions can be taken with respect to the application of Ayerswood Development Corporation for the construction of an apartment building located at 940 Springbank Drive:*
  - (a) *the attached proposed by-law **BE INTRODUCED** at the Municipal Council meeting of September 19, 2011 to amend By-law No. C.P.-1455-541, a by-law to designate a site plan control area and to delegate Council's power under section 41 of the Planning Act, R.S.O. 1990, c.P.13 with respect to an application for site plan approval submitted by Ayerswood Development Corporation for the construction of an apartment building at 940 Springbank Drive;*
  - (b) *the application by Ayerswood Development Corporation, accepted on April 29, 2011 and amended on May 2, 2011, for approval of a site plan for a 165 unit apartment building with 12 floors of residential and two levels of parking **BE APPROVED, SUBJECT TO** the following conditions:*
    - (i) *Ayerswood Development Corporation entering into a development agreement with the Corporation of the City of London;*

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(ii) *Ayerswood Development Corporation provide to the satisfaction of and at no expense to the municipality:*

- Facilities to provide access to and from the land;*
- A servicing plan;*
- A grading plan;*
- A landscaping plan;*
- Hydrological studies; and*
- Drawings and urban design brief showing matters relating to exterior design for consideration by the municipality's urban design panel;*

(c) *the Executive Director of Planning, Environmental & Engineering Services and the Director of Development Planning **BE DIRECTED** to formally prepare for final approval by Municipal Council drawings, plans and development agreement referred to above and report back to the Built and Natural Environment Committee at its meeting held on October 31, 2011; and*

(d) *public delegations **BE RECEIVED** at the Built and Natural Environment Committee meeting at which the final versions of the above-noted plans are received;*

*It being noted that the Built and Natural Environment Committee asked the Civic Administration to outline the Urban Design Review process;*

On October 31, 2011, the Executive Director submitted a status report indicating that the Director did not have all the information to provide Council with a final package.

**ANALYSIS**

In response to the conditions established by Council on September 19, 2011, the following indicate what action the administration has taken and how the conditions have been satisfied.

**Facilities to Provide Access to and from the Land:**

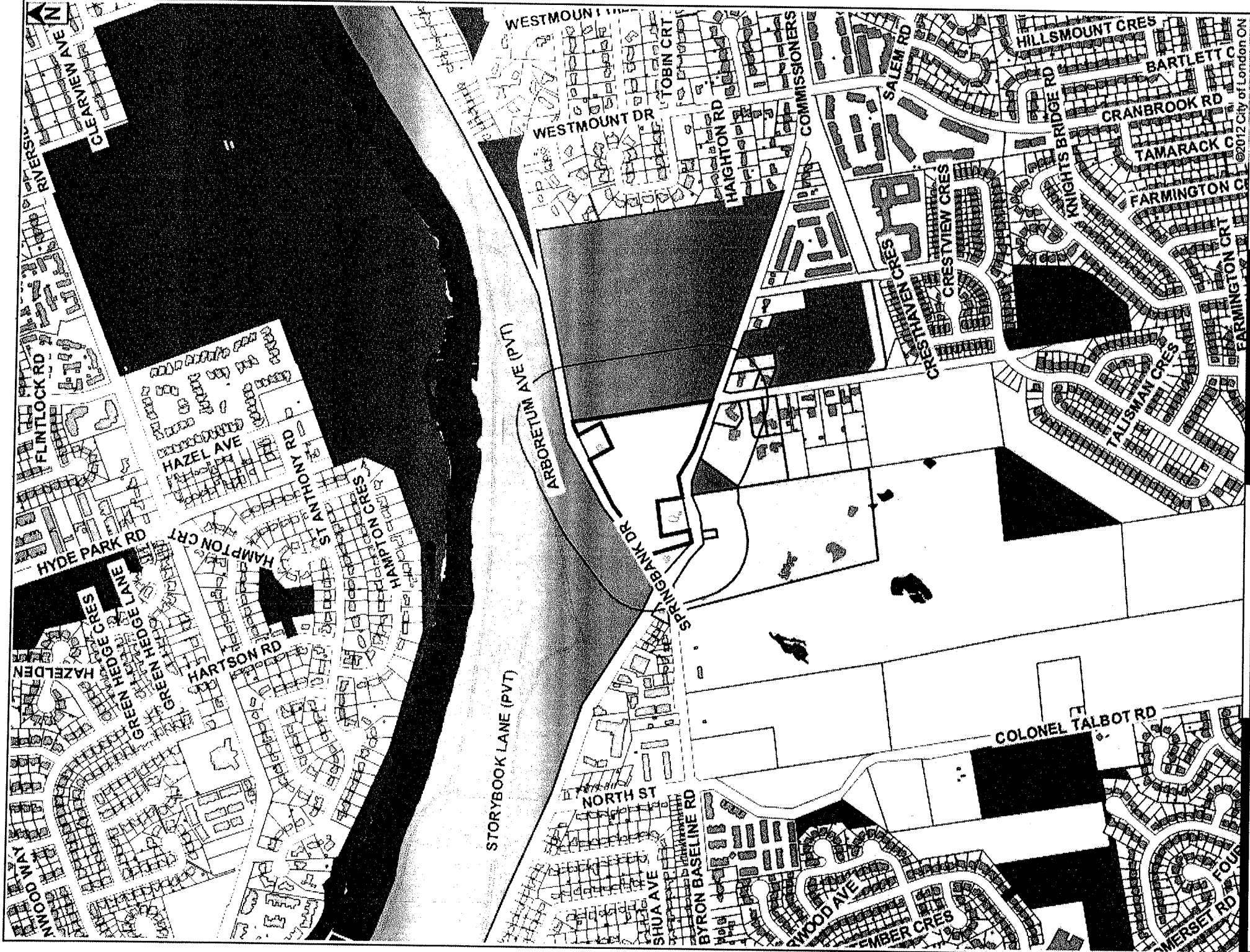
The access has been established at a location acceptable to the Transportation Division. The developer is required to construct a left turn lane on Springbank Drive to facilitate movements into the site. This lane will provide for the storage of 3 vehicles. This will provide adequate storage for left turn movements onto the site and will allow through traffic to flow through without interruption. As part of the development, the developer will be constructing a 1.5 wide sidewalk across the front of the site and west to the Commissioners' intersection. The cost to construct the works on the City road allowance are the responsibility of the developer. The administration support approval of the proposed access location and other related improvements required as proposed by the applicant.

**Servicing Plans/Grading Plans**

In order to service the site, the developer will be required to extend both the storm and sanitary sewer from Commissioners Road West to the site. The cost of the external works will be borne totally by the developer.






The development agreement has been prepared to accommodate the external works including 100% security including 15% engineering fees. The agreement requires the award and commencement of construction of the external works before any building permits are issued for the site. The drawings for these works within the City road allowance have been accepted by Development Services.

With respect to the site, the grading and servicing plans have been accepted by Development Services. The plans provide for a minimum area of disturbance on the site. The original proposal had an area of disturbance of 1.02 hectares and the current proposal has an area of disturbance of 0.91 hectares. The area of disturbance is less than the original proposal. The plans have included the use of retaining walls to minimize the effect on the vegetated slope adjacent to the building. In addition to this, they provide for water balance, storm water



0 500 1000 1500 2000  
metres

## LEGEND

-  Subject Site
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers

## NOTIFICATION MAP

120m Radius Buffer  
 Subject Site: 940 Springbank Dr  
 Applicant: Ayerswood Develop/Co  
 File Number: SP11-011305  
 Created By: Jeffrey Shaughnessy  
 Date: 2012-04-07  
 Scale: 1:10100



Agenda Item #	Page #

retention detail, erosion control plan, as well as other normal requirements. Administration support approval of the proposed grading and services plans for the subject site and the proposed external site works required to service the site and a 1.5 m sidewalk across the frontage of the site over to Commissioners Road.

**Landscape Plan**

The landscape plan provides for a 1.8m wood screen on a portion of the east property line which corresponds to the west property line of 928 Springbank Drive.

The plan also provides for supplemental planting east of the proposed building and adjacent to the east property line.

As a result of the original submission to the UDPRP, additional plantings were added based on the panel's comments.

The plan provides for considerable planting being added around the proposed building and meets the minimum standards. The landscape plans are acceptable to our Landscape Planner and Administration supports approval of the revised landscape plan proposed by the applicant.

**Hydrogeological Studies**

**“Hydrological/Geotechnical Studies**

In accordance with City Council's Resolution of September 19, 2011 the Planning, Environmental and Engineering Services Department (PEESD) undertook review of Golder's submitted hydrogeotechnical, geotechnical and slope stability reports and information prepared for the Reservoir Hill Apartment site and also engaged Terraprobe Inc. to undertake an Engineering Peer Review of the same. Terraprobe Inc. provided peer review comments in reports dated November 22 and December 8, 2011. On December 21, 2011, Golder's responded to Terraprobe's comments.

Terraprobe's peer review recommendations included the requirement for engineering analysis of the stability of the slopes under post-construction (long-term) conditions analysis to be completed in accordance with accepted engineering procedures and techniques and verification of Golder's previously identified groundwater table elevations assumptions for the Reservoir Hill Apartment site. These issues were not sufficiently addressed by Golder's December 21, 2011 response as was noted in Terraprobe Inc.'s letter dated January 10, 2012.

In response to these outstanding issues Golder's provided a Geotechnical Investigation report for proposed sewer installations on Springbank Drive received January 30, 2012 and additional letter report dated March 29, 2012. Based on further review of these reports, staff are satisfied the information provided is sufficient to proceed with finalizing the plans and the approval.

**Urban Design Brief / Urban Design Peer Review Panel**

On October 4, 2011, M. Hannay, Zelinka Priamo submitted an Urban Design Brief to the Urban Design Peer Review Panel (UDPRP). As a result of this submission, Zelinka Priamo made two presentations to the UDPRP. As a result of these presentations, the UDPRP confirmed that their advice had been accommodated except for the width of the sidewalk on Springbank Drive. Staff would confirm that the advice of the UDPRP has been incorporated into the plans except for the width of the sidewalk on Springbank. The standard city sidewalk is 1-5 m not 2.5 m.

**LACH comments to BNEC November 28, 2011.**

*That the Civic Administration **BE ADVISED** of the following concerns with respect to the property located at 940 Springbank Drive:*

- (a) *Approval of the site plan, which does not comply with the restraints imposed by the Ontario Municipal Board, sets a dangerous precedent*
- (b) *Approval of the site plan will result in additional loss of the part of the site which the*

Agenda Item #	Page #

*Ontario Municipal Board directed should be rezoned OS5;*

It being noted that the London Advisory Committee on Heritage received a presentation from A. Hopkins, 28 Springbank Drive, with respect to this matter.

The Ontario Municipal Board (OMB) established the limit of the R9-7 zone for the apartment site and the OS5 zone for the remaining lands. The limit of the site plan reflects the limits established by the OMB and was the basis of the Site Plan Council approved on September 19, 2011.

Council has approved the site plan and has given consideration to the decisions of the OMB.

**Public Notice**

Notice of public meeting was sent out to area property owners on April 13, 2012 and additional individuals who participated at earlier stages were also notified as per the Council meeting of April 10, 2012 and Notice was placed in the London Free Press on April 14, 2012.

**Urban Design Process**

On September 19, 2011, BNEC asked the Civic Administration to outline the Urban Design review process.

In general terms applicants prepare and Urban Design Brief. The brief includes plans, drawings, details, other information and background material for the Urban Design Peer Review Panel (Panel). These materials are submitted several weeks in advance in order to provide ample time for panel members to review the submission before the presentation to Panel.

At the Panel, staff provide a short presentation to set the context of the proposal for the Panel and the applicant. The applicant provides a detailed presentation to the applicant. As a result of the presentations, the Panel asks questions for clarification and the Panel discusses the various aspects of the development.

Approximately 10 days after this meeting the panel issues their advice. The applicant reviews this advice and determines how the advice can be implemented.

<b>CONCLUSION</b>
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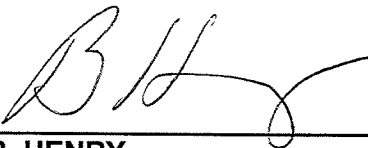

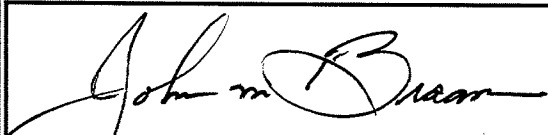
Should Council decide their conditions have been adequately addressed and they desire to proceed with the final approval, the approval package will then be sent to the owner by Development Services staff. Once the owner signs the agreement, then the Clerk and Mayor will sign the agreement and the drawings and plans attached to the agreement.

The agreement will subsequently be registered on title by the developer's solicitor. Their solicitor will certify the title.

Staff have completed the review of the plans, drawings and have prepared the development agreement to provide a complete package for Council's final approval. The acting Executive Director, PEEs is satisfied that all outstanding issues have been resolved. The proposed site plan and building conform to the zoning approved by the OMB. The proposed plans meet the objectives of the Site Plan Approval Manual. The attached plans provide facilities to provide access to the site. The site servicing and grading plans and the external servicing plans have been accepted by development services staff. The landscape plan and tree retention plan have been accepted by the Landscape Planner. The hydro-geological information have provided sufficient information to satisfy the Acting Director, PEES. The applicant has implemented the advice of the UDPRP with the exception of an increased sidewalk width on Springbank Drive in place of the standard width as required by the City Engineer. The plans and the agreement provide for the dedication of 2.0 acres of Parkland to the City and road widening of 18.0 m from the travelled centerline of Springbank Drive.

Agenda Item #    Page #

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<b>PREPARED BY:</b>	<b>REVIWED BY:</b>
	
<b>B. HENRY MANAGER, DEVELOPMENT PLANNING</b>	<b>G. KOTSIFAS DIRECTOR, BUILDING CONTROLS</b>
<b>RECOMMENDED BY:</b>	
	
<b>J. BRAAM, P.ENG ACTING EXECUTIVE DIRECTOR, PLANNING, ENVIRONMENTAL AND ENGINEERING SERVICES</b>	

"Attach."

CC

AYERSWOOD DEVELOPMENT CORP.  
C/O Michelle Doornbosch  
Zelinka Priamo  
318 Wellington Road  
London, ON N6C 4P4  
Fax 519-281-6769

Mr. & Mrs Hopkins  
928 Springbank Drive  
London ON N6K 1A5

Mrs. Polatajko – Howell  
929 Commissioners Road West  
London ON N6K 2C1

Y:\Shared\Site Plan.Section\SitePlan.Section\2011 Compiled Site Plan Files\Springbank 940 (LMo)\BNEC Site Plan Approval.doc

This Agreement made in duplicate this day of , 2012.

BETWEEN:

**THE CORPORATION OF THE CITY OF LONDON,**  
hereinafter called "the City" OF THE FIRST PART;

- and -

**AYERSWOOD DEVELOPMENT CORP.**

hereinafter called "the Owner" OF THE SECOND PART;

WHEREAS the Owner represents that it is the registered owner of the lands situate in the City of London, in the County of Middlesex, more particularly described in the **Schedule "A"** attached hereto (the "Land"), consisting of an apartment building with 165 units located at what is known municipally as 940 Springbank Drive;

AND WHEREAS as a condition of the approval of site plans and drawings for a development on the Land pursuant to Section 41 of the Planning Act, R.S.O.1990, c.P.13., the Owner is entering into this Agreement with the City dealing with the buildings and structures to be erected on the Land and all facilities and works to be provided in conjunction therewith including the provision and maintenance thereof (hereinafter called "the Development ") by the Owner and any and all subsequent owners to the satisfaction of and at no expense to the City.

NOW THEREFORE THIS AGREEMENT WITNESSETH that for other valuable consideration and the sum of Two Dollars (\$2.00) of lawful money of Canada, now paid by the City to the Owner (the receipt and sufficiency whereof is hereby acknowledged) the parties hereto covenant and agree each with the other to comply with, keep, perform and be bound by each and every term, condition and covenant herein set out to the extent that the same are expressed to be respectively binding upon them, and the same shall endure to the benefit of and shall be binding upon their respective heirs, executors, administrators, successors and assigns.

1. **Definitions:** The words and phrases defined in this section shall, for all purposes of this Agreement and of any subsequent agreement supplemental hereto, have ascribed to them the meanings herein specified unless the context expressly or by necessary implication otherwise requires:

**"Chief Building Official, (CBO)"** means the person holding the position of Chief Building Official for the City of the London, or his/her designate;

**"Building"** means any structure consisting of walls and a roof which is used or intended to be used for the shelter, accommodation or enclosure of persons, animals, or chattels, and includes accessory buildings and structures such as heat pumps or air exchangers, but does not include any vehicle or a fence.

**"Fire Chief"** means the person holding the position of Fire Chief for the City of London on his/her designate.

**"City Engineer"** shall mean that the person holding the position of City Engineer for the City of London or his/her designate;

**"Fully Serviced"** shall be deemed to include but not limited to those works, services and other requirements as set out in this Agreement.

**"Lot"** shall include "Block" and vice-versa.

**"Managing Director"** means the person holding the position of Managing Director of Development Approvals Business Unit for the City of London or his/her designate.

**"Professional Engineer"** shall mean a licensed Professional Engineer who, holds a current certificate of authorization issued by the Association of Professional Engineers of Ontario or, is employed by a partnership or corporation authorized by the Association to offer Professional Engineering services to the public and who is retained by the Owner to provide professional engineering services in connection with the Development.

**"The Development"** shall mean the Buildings and structures to be constructed, erected or placed on the Land or a commercial parking lot established on the Land, and includes all facilities and works to be provided in conjunction therewith as described herein, including the provision and maintenance thereof which shall be undertaken by the Owner and all subsequent owners and that are contained within the limits of the Land or as otherwise indicated herein.

2. Incontestability: The Owner shall not call into question directly or indirectly in any proceeding whatsoever in law or in equity or before any administrative or other tribunal the right of the City to enter into this Agreement and to enforce each and every term, covenant and condition thereof and this provision may be pleaded by the City in any such action or proceeding as a complete and conclusive estoppel of any denial of such right.

3. Work According to Plans: The Owner shall develop the Land in accordance with the approved site plan, site servicing and grading plan, elevation drawings and landscape plan, which are attached hereto as Schedules "B", "C", "D", and E respectively. The Owner shall submit from time to time one or more plans and drawings as may be required pertaining to any of the buildings, structures, facilities, works and matters to be erected, constructed or installed on the Land, including but not restricted to any plans or drawings specifically mentioned herein. Such plans and drawings as and when approved by the City, whether before or after the date upon which this Agreement is entered into shall be treated as forming part of this Agreement in the same manner and to the same extent as if such plans and drawings had been approved and actually attached to this Agreement at the time that it is entered into. In all matters not herein provided for, the Owner shall develop the Land and shall use the same in accordance with the Site Plan Design Manual and plans and drawings required to be filed and as approved. The provisions of this Agreement and any approved site plan or drawing pertaining to a facility, work or matter shall be construed and applied as complementary to each other but in the event of any conflict the plan or drawing receiving the last approval shall govern.

Upon completion of the Development, the Owner agrees that the responsibility for the repair, maintenance and replacement of any or all of the facilities and works within this Development will rest with the Owner at its sole expense and that the City will have no liability for repair, maintenance or replacement of any works within this Development.



4. Drawings and Construction of External Works: Prior to the issuance of a Permit of Approved Works (PAW) the Owner shall have its Professional Engineer submit detailed design drawings of external road, sewer and other improvements together with associated internal facilities and works and detailed final estimates of the total cost. Prior to the issuance for the building, (the Owner shall have awarded the contract for the external works and the owner's contractor shall have commenced construction of the works in part 4(c) construct solely at its expense and to the specification and satisfaction of the City Engineer, the following works:

- (a) construction of a 1.5 m wide concrete sidewalk on Springbank Drive from the east property line of the site to the intersection of Springbank and Commissioners,
- (b) construction of a left turn lane and lane improvements on Springbank Drive.
- (c) Extension of Storm and Sanitary Sewers complete to service the property known as 940 Springbank Drive.

The above works are to be completed at the sole expense of Ayerswood Developments in accordance with the plans attached at Schedule F & G.

5. "As-constructed" Drawings: Prior to the release of any security posted under this Agreement, or any portion thereof, the Owner shall supply to the City with "as constructed" drawings for all municipal services installed under this Agreement and to be assumed by the City, all to the specifications and satisfaction of the City Engineer, and all at no cost to the City.

6. Inspection and Completion of Works: The Owner shall have its Professional Engineer provide on-site inspection by a qualified inspector approved by the City Engineer of all facilities, works and services required by this Agreement that are to be assumed for maintenance by the City. Upon completion of the facilities, works and sewers prior to requesting the City to assume the facilities, works and services the Owner shall supply to the City Engineer, a certificate of the Owner's Professional Engineer substantially in the form attached as **Schedule "H"**.

When all facilities, works and services required to be constructed, installed or done by the Owner have been accomplished strictly in accordance with this Agreement and the approved plans and drawings, to the specifications and satisfaction of the City Engineer. The City Engineer shall issue to the Owner a Certificate of Assumption approval to that effect (the "Assumption Certificate"). The City will not issue an Assumption Certificate until the Owner has provided the City Engineer with final "as-constructed" drawings to the current standards of the City Engineer.

7. Completion of Work: All work required under this Agreement, including but not restricted to asphalt surfacing, fencing, establishment of landscaping and development "as constructed" drawings, shall be completed or delivered, as the case may be, within a period of nine (9) months of the date of substantial completion of construction of the Development as determined by the Managing Director. All such work shall be performed to the satisfaction of the City Engineer, and the Managing Director as the case may be.

8. Methane Gas Report: If, during the building or constructing of all buildings, structures, facilities, works and services within this Developments, any deposits of organic materials or refuse are encountered, these deposits must be reported to the City Engineer and the CBO immediately and if required b the City Engineer or the CBO; the owner shall at its expense retain a Professional Engineer competent in the field of methane gas to investigate these deposits and submit a full report on them to the City Engineer and the CBO. If the report indicates the presence of methane gas, then all of the recommendations of the Professional Engineer, contained in any such report submitted to the City Engineer and the CBO shall be Implemented and carried out by and at the expense of the Owner under the supervision of the Professional Engineer, to the satisfaction of the City Engineer and the CBO before any construction progresses in such an instance. The report shall include provision for an ongoing methane gas monitoring program, if required, subject to the approval of the City Engineer for review for the duration of the approved program.

If a permanent venting system or facility is recommended in the report, the owner shall register against the title of each affected Lot and Block and include in any agreement for the sale or transfer of each of the affected Lots and Blocks, a covenant by the purchaser or transferee (and by each successive Owner after such purchaser or transferee) stating that the owner of the subject Lots and Blocks must have the required venting system or facility designed constructed and monitored to the specifications of the City Engineer and, that the owner must maintain the installed venting system or facilities in perpetuity at no cost to the City. The report shall also include measures to control the migration of any methane gas to abutting lands outside the Land.

9. City's Right To Enter: The City or any of its officers, employees, servants or agents and any other persons authorized by the City for this purpose shall have the right at any time and, from time to time to enter upon Land (except any room or place actually used as a dwelling unless the occupant has first been informed that the right or entry may be refused and entry made only under the authority of a search warrant or court order and the occupant has been requested to give and has given consent to enter) and any lands upon which any facility, work or service herein required to be done is being, or has been, erected, constructed, or installed and to make such tests and inspections as it may deem necessary or desirable and to call for and obtain any document, contract, plan, specification, record or other writing or thing, and to give direction to the Owner in any matter touching upon the due completion of the facilities, works and services herein required to be done . The City may require that any or all work shall cease until any breach of plans and specifications or the City Engineer's requirements (of which he shall be the sole judge) has been remedied (other than the work required to be done to remedy such breach) and if the City Engineer shall deem it necessary to engage technical consultants to assist him in the performance of any inspection or supervision, the expense of such technical consultants, if engaged, shall be a debt due to the City by the Owner recoverable upon demand or from any security posted by the Owner. The City, its officers, employees, servants and agents shall not be liable to the Owner or any occupant of the Land for any losses or damages of any kind whatsoever arising in any way from entry for such purposes.

10. Tree Presentation: Prior to commencement of any construction on the site the Owner shall install all fencing as proposed in the tree preservation plans and the Owner's Landscape Architect shall inspect and certify to the City that the tree protection fencing has been installed in accordance with the approved Tree Presentation plans. The Landscape Architect shall conduct periodic inspections to ensure the fence is maintained throughout the period of construction.

11. Erosion and Sediment Control: The Owner shall construct temporary measures to control silt entering the storm drainage system to the specifications outlined in the Guidelines on Erosion and Sediment Control for Urban Construction Sites (December 2006) prepared by the Ministry of Natural Resources. These measures are to be approved by the City Engineer and installed prior to commencing any construction of this Development, and are to remain in place until construction as required under this Agreement has been completed to the specifications of the City Engineer. The Owner shall have its Professional Engineer monitor the erosion and sediment control measures installed in accordance with the above-noted Guidelines and submit to the City Engineer monitoring reports with a log of dates when the facilities were inspected, the condition of the facilities at that time, and what remedial action, if any, was needed and taken. The monitoring reports are to be submitted to the City Engineer by April 1, July 1 and November 1 of each year until all works and services in this Plan are completed to the satisfaction of the City

12. Grading and Lot Grading:

The Owner covenants and agrees that each lot and block shall be graded to conform generally to the elevations and grades shown on the approved site servicing plan attached hereto as Schedule "C" for the full developed lot including the building, the landscaping and the paved driveway.

The Owner further agrees that he shall either impose by a general registration on all lots and blocks in the development a building scheme which includes the following lot and block grading restrictions, or include in the agreement of the sale and in the conveyance or transferee (and by each successive owner after such purchaser or transferee) in the following form to observe and comply with the lot grading restrictions (attached as **Schedule "I"**)

13. Storm Water Management: The Owner shall construct the storm water management system in accordance with the accepted drawings. The Professional Engineer shall provide inspection during construction of the storm water management system and certify upon completion that it was constructed in accordance with the accepted drawings. This work shall be completed prior to occupancy of the Development. The Owner shall maintain this storm water management system thereafter so that it is functional as designed all to the satisfaction of the City Engineer, and at no cost to the City.

14. Debris and Soil on City Streets: The Owner shall employ measures during the course of Development (including any demolition) so that debris, dirt or other rubbish or refuse is not deposited on any street by vehicles delivering materials to or removing materials from the Land or, if unavoidably deposited on any street is removed as soon as practicable and the street restored to a clean condition. If the Owner is given notice by the City to restore any such street to a clean condition to the satisfaction of the City Engineer and the Owner fails to do so within the time (not exceeding 48 hours) specified in the notice, the City Engineer may take such steps

as he considers necessary to rectify the problem and the cost to the City shall be a debt due to the City by the Owner recoverable on demand, or from any security posted by the Owner.

15. Garbage Storage Facilities: Garbage storage facilities that are not located within a Building shall be located, constructed, used and maintained such that odour, noise from use, noise from collection (by other than the City or any of its officers, servants or agents,) accessibility by animals and containment of debris are controlled and view from adjoining streets and properties to garbage storage facilities is screened, all to the satisfaction of the City Engineer. If at any time a change in the location, construction, use or maintenance of garbage storage facilities is contemplated, the Owner shall submit a proposal to and for approval by the Managing Director. The proposal shall include measures as may be required to mitigate the impact of the revised garbage facility. The Owner shall implement the recommendations of the proposal to the satisfaction of the Managing Director.

16. Lighting Facilities: All lighting of the site shall be oriented and its intensity controlled so as to prevent glare on adjacent roadways and residential properties to the satisfaction of the Managing Director.

17. Landscaping: The Owner shall landscape the site including transformer and other equipment box screening if applicable, and shall thereafter maintain the landscaping in general conformity with the approved Landscaping Plan attached hereto as **Schedule "E"**, all to the satisfaction of the Managing Director and at no cost to the City.

18. Fire Routes: The Owner shall construct and maintain fire routes for access for fire fighting and fire fighting vehicles in conformity with the approved site plan attached hereto as **Schedule "B"** and the Owner shall install and maintain fire route signs in accordance with the City's Traffic and Parking By-law No.P.S.-111-11093 as amended thereto along such designated fire routes in accordance with the locations as shown on the approved site plan, all to the satisfaction of the Fire Chief and CBO and at no cost to the City.

19. Water Supply and Fire Fighting Access During Construction: Where construction proceeds beyond the foundation stage and wood frame construction is underway, the Owner shall have regard to the separation distances between the proposed construction and existing Buildings on adjacent properties, ensure that adequate water supply for fire fighting is provided within 90 metres of any building and that a fire fighting access shall be maintained capable of carrying the weight of fire fighting trucks to within 45 metres of any Building under construction, until all construction is finished, all to the satisfaction of the Managing Director and at no cost to the City.

20. Subsurface Drainage: The Owner shall notify its Professional Engineer in the event that any existing sewer or drain is encountered during the progress of construction. The Owner shall have its Professional Engineer investigate the matter and shall comply with the recommendations of its Professional Engineer as approved by the City Engineer with respect to the sewer or drain encountered. The Owner shall also ensure that there is no interruption of any subsurface drainage flow because of construction on the Land which would have an adverse effect on neighbouring properties. If such an interruption should occur, the Owner shall

carry out any necessary remedial work to correct the problem as recommended by its Professional Engineer and to the satisfaction of the City Engineer at no expense to the City.

21. Abandoned Private Drain Connections: Any abandoned existing private drain connections shown on the site plans or encountered during construction shall be excavated at the street line and sealed to the satisfaction of the City Engineer, all at no cost to the City.

22. Existing Private Drain Connections: Any existing private drain connections which are proposed for re-use shall be excavated at the street line and shall be inspected and approved by the City Engineer for re-use all at no cost to the City.

23. Work At Owner's Risk: All incidental matters including but not restricted to the removal and planting of trees; cutting, replacing and installing approaches; relocating utilities, pipes, poles, valves and equipment; resetting drains and manholes; and all other things required by this Agreement or by the City Engineer shall be carried out by the Owner at his-its own risk and expense provided all work is to be done to the satisfaction of the City Engineer and by permission and to the satisfaction of the owner of such utilities.

24. Indemnity: Except as otherwise expressly provided in this Agreement, the right of the Owner to use and occupy any untraveled portions of road allowances shall at all times be at the will of the City and the construction and maintenance of any and all curb, pavements, plantings and other improvements or works thereon shall at all times be at the risk and expense of the Owner. The Owner shall indemnify and save the City and any of its officers, employees, servants or agents harmless from and against all actions, suits, claims and demands which may be brought against or made upon the City or any of its officers employees, servants or agents, and from all loss, costs, damages and expenses which may be paid, sustained or incurred by the City or any of its officers, employees, servants or agents in consequence of the use and occupation of untraveled portions of road allowances by the Owner or the construction, maintenance or existence of curbs, pavements plantings and other improvements of the Owner thereon, and such indemnity shall constitute a lien and charge upon the Land. Without limiting the foregoing agreement to indemnify the City may, in case any such action, suit, claim or demand is brought or made against the City or any of its officers, employees, servants or agents, settle any such action suit, claim or demand on such terms as the City shall see fit, and the Owner shall thereupon forthwith pay to the City the sum or sums so paid, together with such sum as shall represent the reasonable costs of the City and its solicitor in defending or settling any such action, suit, claim or demand, provided that no such action, claim, suit or demand shall be settled by the City without giving at least fifteen (15) days notice to the Owner and without the consent of the Owner which shall not be unreasonably withheld.

25. Security for Performance: To ensure due performance of all matters required by this Agreement and in order to protect the City in respect of its liability for holdback and costs under Subsection 17(4) of the Construction Lien Act, R.S.O.1990, c.C.30., the Owner shall deposit with Development Finance security satisfactory to Development Finance in the amount of \$250,000.00. In addition, the Owner shall, prior to signing this Agreement, deposit with the City Treasurer a "CASH" security in the amount of \$1,900,000.00 to ensure completion of external works.

26. Release of Security: The release of any or all security shall be subsequent to the completion of work required herein, the submission of acceptable "as-constructed drawing" and the expiration of any warranty period, as determined by and to the specifications of the City Engineer.

The amount of security released shall be based upon such matters as the submission of a Professional Engineer's Certificate of Completion of Works for works required herein, the submission of a detailed list of costs of required works completed and not completed, and the compliance of other matters required therein, all to the satisfaction of the City Engineer.

27. Enforcing Performance of Requirements: In addition to any remedy authorized or permitted by this Agreement or by law, the City may, in default of any matter or thing required to be done by the Owner under this Agreement, do such matter or thing at the Owners' expense, and the City may recover the expense incurred in doing it by action, from any security posted by the Owner, or by recovery in like manner as municipal taxes. No proceeding by the City under this clause and no waiver under any provision of this Agreement shall prejudice the rights of the City in respect of any subsequent default or any matter or thing required to be done by the Owner under this Agreement. The rights of the City may be enforced by any remedy authorized or permitted by this Agreement or by law, and no such remedy shall be exclusive of or dependent on any other remedy.

28. Default: Time shall be of the essence in this Agreement. Upon breach by the Owner of any covenant, term, condition or requirement of this Agreement, or upon the Owner becoming insolvent or making an assignment for the benefit of creditors, the City may, at its option, declare that the Owner is in default. Notice of such default shall be given as provided in paragraph 29 hereof, and if the Owner has not remedied such default within such time, as provided in the notice, the City may declare that the Owner is in final default under this Agreement, and shall then forthwith give notice thereof to the Owner as provided in said Clause 30.

29. Remedy on Giving Notice of Default: Upon notice of default having been given, the City may require all work by the Owner, its servants, agents, independent contractors and subcontractors to cease (other than any work necessary to remedy such default) until such default shall have been remedied, and in the event of final default may require all work as aforesaid to cease.

30. Notice: Any notices required or permitted to be given pursuant to the terms of this Agreement shall be given in writing sent by prepaid registered post, addressed in the case of notice given by the City to: AYERSWOOD DEVELOPMENT CORP. PO BOX 3117 London, Ontario N6A 4J4 and in the case of notice given by the Owner, addressed to: The City Clerk, P.O. 5035, London, Ontario N6A 4L9.

Notice shall conclusively be deemed to have been given on the day that the same is posted. Wherever in this Agreement the City Engineer is permitted or required to give direction, exercise supervision, or to require work to be done or work to cease in respect of the construction, installation, repair and maintenance of facilities, works and services, he shall be deemed to have done so if he communicates such direction, supervision or requirement, orally

or in writing to any person purporting or appearing to be a foreman, superintendent or other servant of the Owner, and if the City Engineer shall have made such communication orally he shall confirm such communication in writing as soon as conveniently possible.

31. Remedies on Final Default: Upon final default of the Owner the City may, at its option, adopt or pursue any or all of the following remedies, but shall not be bound to do so:

- (a) Enter upon the Land by its employee, servants, agents and contractors and complete any facilities, work, services, repair or maintenance wholly or in part required herein to be done by the Owner and collect the cost thereof from the Owner and/or enforce any security available to it;
- (b) Make any payment which ought to have been made by the Owner and upon demand collect the amount thereof from the Owner and/or enforce any security available to it;
- (c) Retain any sum of money heretofore paid by the Owner, to the City, for any purpose, and apply the same in payment or part payment for any work which the City may undertake;
- (d) Assume any facilities, work or services at its option whether the same are completed or not, and thereafter the Owner shall have no claim or title thereto or remuneration therefore;
- (e) Bring action to compel specific performance of all or any part of this Agreement or for damages;
- (f) Exercise any other remedy granted to the City under the terms of this Agreement or available to the City in law.

32. Special Provisions:

The Owner shall make all payments, carry out and perform all the external works and satisfy all the provisions hereinafter set out in these Special Provisions.

(a) Prior to the issuance of a building permit, the contract for the works included in clause 4(c) of this agreement shall be awarded and the successful contractor shall have commenced work.

(b) The owner shall have a Traffic Management Plan prepared and accepted by the City Engineer before commencing any work in the road allowance and the issuance of a P.A.W.

(c) Noise Study (Arterial Streets)

The plans for all dwelling units shall be reviewed and certified by a qualified acoustical engineer before building permits are issued, to ensure that they incorporate the recommended indoor and outdoor noise control measures outlined in the accepted noise study; and the Owner's qualified acoustical consultant and architect shall, upon completion of construction of the accepted noise abatement measures and prior to issuance of occupancy permits, certify the work has been carried out in accordance with the accepted noise study.

(d) Warning Clauses: warning clauses shall be included in all agreements of purchase and sale and all rental agreements as follows:

"This dwelling unit has been supplied with a central air conditioning system which will allow windows and exterior doors to remain closed, thereby ensuring that the indoor sound levels are within the Ministry of the Environment's noise criteria."

"The City of London assumes no responsibility for noise issues which may arise from the existing or increased traffic on Springbank Drive as it relates to the interior or outdoor living areas of any dwelling unit within the development. The City of London will not be responsible for constructing any form of noise mitigation for this development."

- (e) Tree Preservation
- If during construction or during a period ending two years after occupancy of the development the City Landscape Planner determines that the health of existing trees designated for preservation as shown on Schedule 'E' attached may be declining due to construction or the operations on the Owner's lands, the Owner shall at his expense retain a consultant qualified in the field of arboriculture to investigate and submit a report to the Director of Development Planning. The report shall outline any measures required to mitigate the damage to existing trees and the Owner shall implement the recommendations of the report under the supervision of the consultant. The consultant shall certify in writing that the work was completed in accordance with the recommendations. In the case where trees in the designated area of tree preservation are required to be removed, new trees with a minimum of 5" calliper shall be planted at a ratio of two new trees for each tree removed in the area of tree preservation. The type of the trees shall be to the satisfaction of the CBO.
- (f) Parkland Dedication
- Prior to issuance of a building permit, the owner shall dedicate the two acre parkland to the City free and clear of any encumbrances, As shown on schedule "F" of this agreement all to the satisfaction of the Manager of Parks Planning.
- (g) Road Widening Dedication: Prior to and as a condition precedent to the issuance of a final building permit for the development, the Owner shall deliver to the City Legal Department a fully registrable deed or transfer to the satisfaction of the City's Chief Surveyor dedicating, at no expense to the City, sufficient land free from any building, encumbrance, restriction, condition, right-of-way, or easement whatsoever, except as may be acceptable to the City, for the purposes of widening Springbank Drive and Commissioners Road abutting the said lands a maximum distance of 18 metres from centre line of construction.
- (h) Expenses of Dedication: With the intent that there be no expense to the City, the Owner shall have an Ontario land surveyor prepare to the satisfaction of the City's Chief Surveyor and deposit on title a reference plan, if one is required by the Land Registry Office, describing the land being dedicated and conveyed to the City for road widening, municipal services and utility easements or any other purpose under this agreement. The Owner shall bear all expenses for the preparation, deposit and registration of the reference plan, if required, and the deed or transfer or grant of easement to the City.
- (i) Ayerswood Developments shall implement the approval traffic Management Plan for all work in the road allowance.
- (j) Ayerswood Developments' consultant shall have received any and all Certificates of Approval by the MOE before commencing construction.
- (k) When all external works, services and things required to be constructed, installed or done by Ayerswood Developments except as herein before specified, in the opinion of the City Engineer or on submission of the Certificate of Completion of Works by an independent registered professional engineer in accordance with clause 2 of this agreement, Inspection and Completion of Works, have been accomplished strictly in accordance with this agreement and to the specifications and satisfaction of the Engineer, the Engineer shall issue to the parties hereto a Certificate of Final Approval.
- (l) Ayerswood Developments is advised that security which is held to ensure the completion of external works cannot be released until the City issues the aforementioned Certificate of Final Approval. Save and except 15% hold back to the end of the one year warrantee period.



(m) Ayerswood Developments shall guarantee each and every one of the works and services in good condition and repair, consistent with what is, in the opinion of the City Engineer, or on the certification of independent registered professional engineer, sound engineering practice, for the period of one year after the date of issuance of the Certificate of Final Approval by the City. Provided however, that the City may, at its option, assume any or all of the said external works and services at any time, but the City shall not be deemed to have assumed any work or service unless such assumption is evidenced by a Certificate of Final Approval.

(n) City of London approval of this development is conditional upon Ayerswood Developments Limited agreeing to construct the storm and sanitary sewer to service the development at 940 Springbank Drive and all restoration to the satisfaction of the City Engineer.

(o) Occupancy Requirements. Occupancy of the development will not be permitted until such time as the proposed external works are in place and functional as determined by the City Engineer and the CBO.

33. By-laws: Notwithstanding any of the provisions of this Agreement, the Owner shall be subject to and comply with all applicable by-laws of the City. In the event of conflict between the provisions of this Agreement and the provisions of any by-law of the City, the provisions of the by-law shall prevail.

34. Subsequent Owners Bound: Subject to the provisions of the Registry Act and the Land Titles Act, the covenants, agreements, conditions and understandings therein contained on the part of the Owner shall be conditions running with the land described in Schedule "A" attached hereto and shall be binding upon it, its heirs, executors, administrators, successors and assigns, as the case may be, as subsequent owners and occupiers of the Land from time to time (and "Owner", wherever used in this Agreement, is intended and shall be construed to include such subsequent owners and occupiers), and shall be appurtenant to the adjoining highways in the ownership of the City.

35. Separate Covenants: All of the provisions of this Agreement are, and are to be construed as, covenants and agreements as though the words importing such covenants and agreements were used in each separate clause hereof. Should any provision of this Agreement be adjudged unlawful or not enforceable, it shall be considered separate and severable from the agreement and its remaining provisions as though the unlawful or unenforceable provision had never been included.

36. Number and Gender: This Agreement shall be read with all changes to gender required by the context.

37. Assignment: The Owner shall not assign this Agreement without the prior written consent of the City, wherein consent shall not unreasonably be withheld.

38. Payment of Registration Costs: Prior to construction, the Owner shall register this Agreement upon the title of the Land, and agrees to pay forthwith, on demand, all solicitors' fees and disbursements incurred by the City in any way arising out of this Agreement, including the preparation or review thereof and of other deeds, conveyances, registrations and agreements.

IN WITNESS WHEREOF the City has executed this Agreement by its authorized officers pursuant to C.P. Bylaw 1213-340 as amended and the Owner has hereunto set its hand and seal, or hereunto affixed its corporate seal attested by the hands of its duly authorized officers.

**THE CORPORATION OF THE CITY OF LONDON**  
by its authorized officers:

\_\_\_\_\_  
Joe Fontana, Mayor

\_\_\_\_\_  
Catherine Saunders, City Clerk

We have the authority to bind the Corporation.

**AYERSWOOD DEVELOPMENT CORP.**

\_\_\_\_\_  
(seal)

\_\_\_\_\_  
(seal)

I/We have the authority to bind the Corporation.

## Description of Schedules

### Schedule "A"

Title: Legal Description

### Schedule "B" Page 1 of 3

Drawing Title: **Site Plan**  
Drawing Author: Zelinka Priamo Ltd.  
Date of Drawing: March 2011  
Drawing Latest Revision Date: April 28, 2011  
Municipal Address: 940 Springbank Drive  
City File Number: SP11-011305

### Schedule "B" Page 2 of 3

Drawing Title: **P1 Level Plan**  
Drawing Number: A2  
Drawing Author: William Haas Consultants Incorporated  
Date of Drawing: November 3, 2010  
Drawing Latest Revision Date: April 27, 2011  
Municipal Address: 940 Springbank Drive  
City File Number: SP11-011305

### Schedule "B" Page 3 of 3

Drawing Title: **P2 Level Plan**  
Drawing Number: A3  
Drawing Author: William Haas Consultants Incorporated  
Date of Drawing: November 3, 2010  
Drawing Latest Revision Date: April 27, 2011  
Municipal Address: 940 Springbank Drive  
City File Number: SP11-011305

### Schedule "C" Page 1 of 6

Drawing Title: **Site Engineering Plan**  
Drawing Author: Development Engineering  
Drawing Number: 1  
Date of Drawing: August 28, 2006  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

### Schedule "C" Page 2 of 6

Drawing Title: **General Notes and Details**  
Drawing Author: Development Engineering  
Drawing Number: 2  
Date of Drawing: April 8, 2004  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "C" Page 3 of 6**

Drawing Title: **Cross Sections Plan**  
Drawing Author: Development Engineering  
Drawing Number: 3  
Date of Drawing: February 9, 2004  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "C" Page 4 of 6**

Drawing Title: **Cross Sections Plan**  
Drawing Author: Development Engineering  
Drawing Number: 4  
Date of Drawing: April 8, 2004  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "C" Page 5 of 6**

Drawing Title: **Cross Sections Plan**  
Drawing Author: Development Engineering  
Drawing Number: 5  
Date of Drawing: April 8, 2004  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "C" Page 6 of 6**

Drawing Title: **Fire Route Sign Detail**  
Drawing Author: City of London  
Drawing Number: Figure 6.2  
Date of Drawing: July 19, 2005  
Municipal Address: 940 Springbank Drive  
City File Number: SP11-011305

**Schedule "D" Page 1 of 3**

Drawing Title: **North Elevation**  
Drawing Author: William Haas Consultants Incorporated  
Date of Drawing: April 7, 2011  
Drawing Latest Revision Date: May 27, 2011  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: William Haas OAA  
City File Number: SP11-011305

**Schedule "D" Page 2 of 3**

Drawing Title: **South Elevation**  
Drawing Author: William Haas Consultants Incorporated  
Date of Drawing: April 7, 2011  
Drawing Latest Revision Date: May 27, 2011  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: William Haas OAA  
City File Number: SP11-011305

**Schedule "D" Page 3 of 3**

Drawing Title: **East / West Elevations**  
Drawing Author: William Haas Consultants Incorporated  
Date of Drawing: April 7, 2011  
Drawing Latest Revision Date: May 27, 2011  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: William Haas OAA  
City File Number: SP11-011305

**Schedule "E" Page 1 of 3**

Drawing Title: **Landscape Plan**  
Drawing Author: Ron Koudys Landscape Architect  
Drawing Number: L-1  
Date of Drawing: April 7, 2004  
Drawing Latest Revision Date: August 17, 2011  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: Ron Koudys Landscape Architect  
City File Number: SP11-011305

**Schedule "E" Page 2 of 3**

Drawing Title: **Landscape Details**  
Drawing Author: Ron Koudys Landscape Architect  
Drawing Number: L-2  
Date of Drawing: April 7, 2004  
Drawing Latest Revision Date: August 17, 2011  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: Ron Koudys Landscape Architect  
City File Number: SP11-011305

**Schedule "E" Page 3 of 3**

Drawing Title: **Tree Preservation Plan**  
Drawing Author: Ron Koudys Landscape Architect  
Drawing Number: T-1  
Date of Drawing: January 9, 2009  
Drawing Latest Revision Date: August 17, 2011  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: Ron Koudys Landscape Architect  
City File Number: SP11-011305

**Schedule F**

Drawing Title: **Park Block Dedication Illustration.**  
City File Number: SP11-011305

**External Works Drawings**

**Schedule "G" Page 1 of 17**

Drawing Title: Springbank Drive  
Drawing Author: Development Engineering  
Drawing Number: 6  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 2 of 17**

Drawing Title: Springbank Drive  
Drawing Author: Development Engineering  
Drawing Number: 7  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 3 of 17**

Drawing Title: **Commissioners Rd W**  
Drawing Author: Development Engineering  
Drawing Number: 8  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 4 of 17**

Drawing Title: **Springbank Dr, Site Outlet and Commissioners Rd W**  
Drawing Author: Development Engineering  
Drawing Number: 9  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 5 of 17**

Drawing Title: **Lane Markings Plan**  
Drawing Author: Development Engineering  
Drawing Number: 10  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 6 of 17**

Drawing Title: **Restoration Plan**  
Drawing Author: Development Engineering  
Drawing Number: 11  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 7 of 17**

Drawing Title: **Storm Area Plan West and Design Sheet**  
Drawing Author: Development Engineering  
Drawing Number: 12  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 8 of 17**

Drawing Title: **Sanitary Area Plan West and Design Sheet**  
Drawing Author: Development Engineering  
Drawing Number: 13  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 9 of 17**

Drawing Title: **Erosion and Sediment Control Plan**  
Drawing Author: Development Engineering  
Drawing Number: 14  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 10 of 17**

Drawing Title: **Springbank Drive – Cross Section**  
Drawing Author: Development Engineering  
Drawing Number: 15  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 11 of 17**

Drawing Title: **Springbank Drive – Cross Section**  
Drawing Author: Development Engineering  
Drawing Number: 16  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: April 16, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 12 of 17**

Drawing Title: **Commissioners Road – Cross Section**  
Drawing Author: Development Engineering  
Drawing Number: 17  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 13 of 17**

Drawing Title: **Traffic Management Plan**  
Drawing Author: Development Engineering  
Drawing Number: 18  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 14 of 17**

Drawing Title: **Traffic Management Plan**  
Drawing Author: Development Engineering  
Drawing Number: 19  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 15 of 17**

Drawing Title: **Roadway Lighting Photo Metrics**  
Drawing Author: Development Engineering  
Drawing Number: 20  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 16 of 17**

Drawing Title: **Roadway Lighting Electrical Layout**  
Drawing Author: Development Engineering  
Drawing Number: 21  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "G" Page 17 of 17**

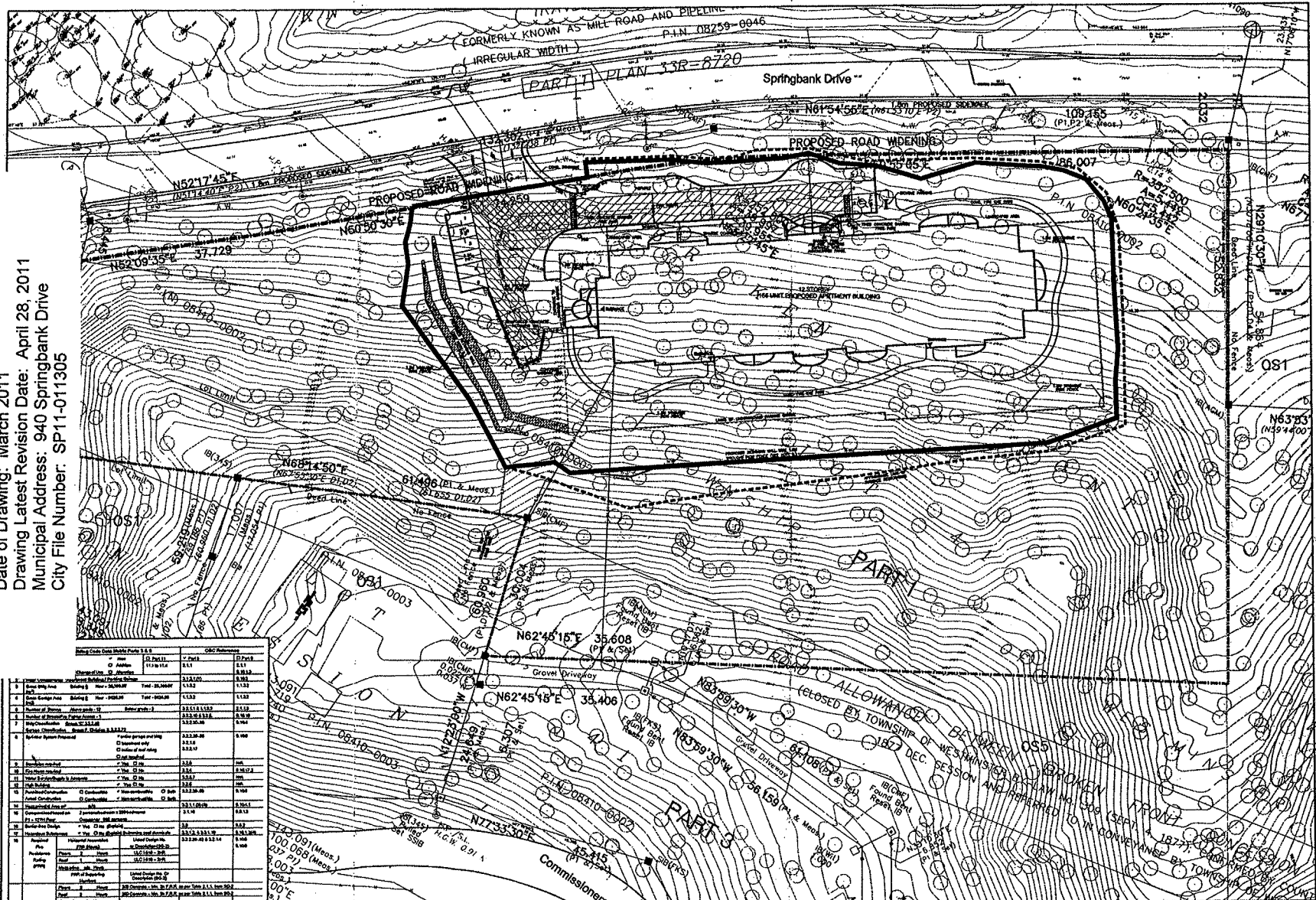
Drawing Title: **Alternate Traffic Management Plan**  
Drawing Author: Development Engineering  
Drawing Number: 22  
Date of Drawing: October 27, 2011  
Drawing Latest Revision Date: March 9, 2012  
Municipal Address: 940 Springbank Drive  
Drawing Sealed by: E.B. Wszol P. Eng.  
City File Number: SP11-011305

**Schedule "H"**

**Schedule "I"**

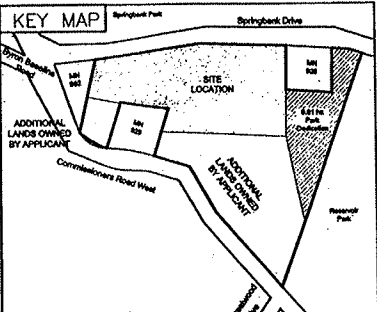
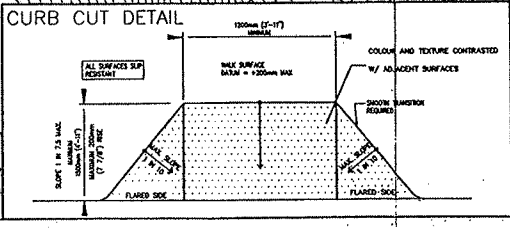


Drawing Title: Site Plan  
 Drawing Author: Zelinka Priamo Ltd.  
 Date of Drawing: March 2011  
 Drawing Latest Revision Date: April 28, 2011  
 Municipal Address: 940 Springbank Drive  
 City File Number: SP11-011305



Item	Description	Quantity	Unit	Remarks
1	Asphalt Paving	1,000	sq.m	
2	Concrete Paving	500	sq.m	
3	Gravel	10,000	cu.m	
4	Excavation	500	cu.m	
5	Retaining Wall	100	sq.m	
6	Landscaping	100	sq.m	
7	Site Preparation	100	sq.m	
8	Drainage	100	sq.m	
9	Utilities	100	sq.m	
10	Other	100	sq.m	

- NOTES**
1. WASTE AND RECYCLING MATERIALS ARE PROPOSED TO BE STORED WITHIN THE BUILDING AND MOVED TO GARAGE PICK-UP AREA FOR MUNICIPAL PICK-UP.
  2. COMMUNITY MAIL BOX LOCATION IS WITHIN THE MAIN LOBBY.
  3. A MINIMUM OF TWO SANDPIT PARKING SPACES TO BE PROMOTED INSIDE PARKING GARAGE.
  4. SEE LANDSCAPE PLAN FOR DETAILS RELATED TO FENCING AND SIDEWALKS AND PLANTS.
  5. SEE SERVICING AND GRADING PLAN FOR RETAINING WALL DETAILS AND CURB OUT LOCATIONS.



## PROPOSED SITE PLAN

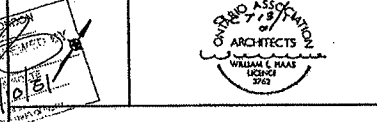
OF PART OF  
**LOT 41, BROKEN FRONT CONCESSION 'B'**  
 AND  
**LOT 41, CONCESSION 1**  
 (GEOGRAPHIC TOWNSHIP OF WESTMINSTER)  
 CITY OF LONDON  
 COUNTY OF MIDDLESEX

**SITE STATISTICS**

ZONE PROVISIONS	REQUIREMENTS	PROPOSED
Use	R8-7 (15)/M10	Apartment Building
Total Lot Area (min)	1,000 sq.m	54,688 sq.m
Total Zoned Area (min)	1,000 sq.m	21,055 sq.m
Lot Frontage (min)	30.0 m	243.4 m
Ground Floor Area	n/a	2,182 sq.m
Front Yard Setback - Arterial (min)	12.0 m	18.0 m
Rear Yard Setback (min)	18.0 m	61.5 m
Interior Side Yard Setback (min)	15.0 m	36.6 m
Landscape Open Space (% min)	30.0 %	63.3%
Lot Coverage (max)	30.0 %	10.4 %
Building Height (max)	40.0 m	38.78 m
Density (max)	150 uph	78.4 uph
Parking (125 spaces/unit)	207 spaces	218 spaces
Bicycle Parking	124 spaces	124 spaces

(0.75 spaces/unit)

NO.	REVISION	DATE	INITIAL
1.	UPDATED UNIT COUNT	APR 29/11	MD
2.	AS PER SITE PLAN COMMENTS MAY 5/11	MAY 4/11	MD
3.	AS PER SITE PLAN COMMENTS SEPT 14/11	OCT 18/11	MD



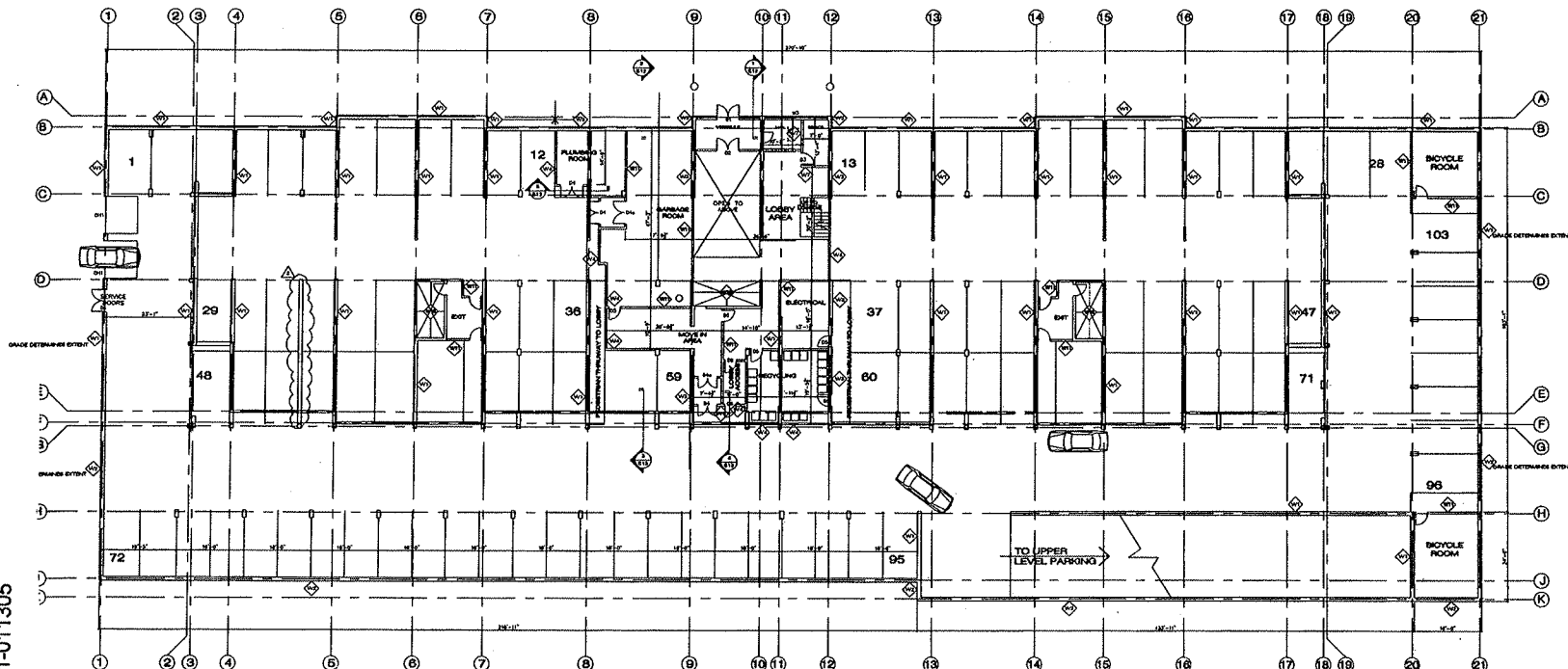
APPLICANT:  
**AYERSWOOD DEVELOPMENT CORP.**  
 673 Richmond Street, London, ON, N6A 4J4

DRAWING: **SITE PLAN**  
 940 SPRINGBANK DRIVE

**RECEIVED BY**

CITY FILE NO. SP 11-011305	DATE OCT 28 2011
DRAWN BY MD	PROJECT NO. CITY OF LONDON DEVELOPMENT APPROVALS BUSINESS UNIT AYR/LON/01-01
DATE MARCH 2011	SCALE 1:400

Drawing Title: P1 Level Plan  
 Drawing Number: A2  
 Drawing Author: William Haas Consultants Incorporated  
 Date of Drawing: November 3, 2010  
 Drawing Latest Revision Date: April 27, 2011  
 Municipal Address: 940 Springbank Drive  
 City File Number: SP11-011305



**P1 LEVEL PLAN (PARKING/LOBBY)**

SCALE: 1/16" = 1'-0"  
 46,430 FT<sup>2</sup> (103 PARKING SPACES)

**LEGEND**

	W1 - WALL TYPE (SEE SCHEDULE ON SHEET A15)
	W1 - WINDOW TYPE (SEE SCHEDULE ON SHEET A14)
	D1 - DOOR TYPE (SEE SCHEDULE ON SHEET A14)

- GENERAL NOTES**
- APARTMENT BLDG CLASSIFIED GROUP "C"
  - 12 STOREY BUILDING
  - GROUP "C" MAJOR OCCUPANCY
  - SPRINKLERED
  - CLASSIFICATION 3.2.2.42
  - NON-COMBUSTIBLE CONSTRUCTION
  - FIRE SEPARATION GARAGE 2HR
  - FIRE SEPARATION FLOORS 2HR
  - FIRE ALARM REQUIRED
  - ANNUNCIATOR REQUIRED
  - SIGNAL TO FIRE DEPARTMENT REQUIRED
  - SMOKE ALARM REQUIRED
  - STANDPIPE SYSTEM REQUIRED
  - EMERGENCY POWER FOR PUMP REQUIRED
  - FIRE SEPARATIONS AT EXITS 2HR
  - EXIT SIGNS REQUIRED
  - PANIC HARDWARE REQUIRED (SEE ELEC1. DWGS.)
  - FIRE SEPARATION AT SUITES 1HR
  - FIRE SEPARATION AT CORRIDORS 1HR
  - FIRE SEPARATION AT DUCT SHAFTS 1HR
  - FIRE SEPARATION AT ELECTRICAL ROOMS 1HR
  - FIRE SEPARATION AT MECHANICAL ROOM 1HR
  - FIRE SEPARATION AT ELEVATOR SHAFT 2HR
  - EMERGENCY LIGHTING REQUIRED
  - BARRIER-FREE DESIGN REQUIRED
  - BALCONIES TO BE USED AS AREAS OF REFUGE AS PER PART 3.2.6.6. OF THE O.B.C.

**NOTES**  
 CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE FIRM BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS BEHALF THE PRECEDENCE OF THIS PLAN.

REVISED AS PER	DATE	BY
DESIGN FLOOR ASSIGNMENTS	4 April 27 2011	SP
update section marks	3 April 25 2011	SP
update pool support wall	2 March 30 2011	SP
update columns	1 Nov 3 2010	AK

NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED

NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED

**WILLIAM HAAS CONSULTANTS INC.**  
 ARCHITECT / ENGINEER  
 LONDON, ONTARIO  
 TEL: (519)471-1336 FAX: (519)471-4618

PROJECT:  
**AYERSWOOD DEVELOPMENTS**  
 RESERVOIR HILL  
 12 STOREY APT. BLDG.  
 LONDON, ONTARIO

**P1 LEVEL PLAN (PARKING/LOBBY)**

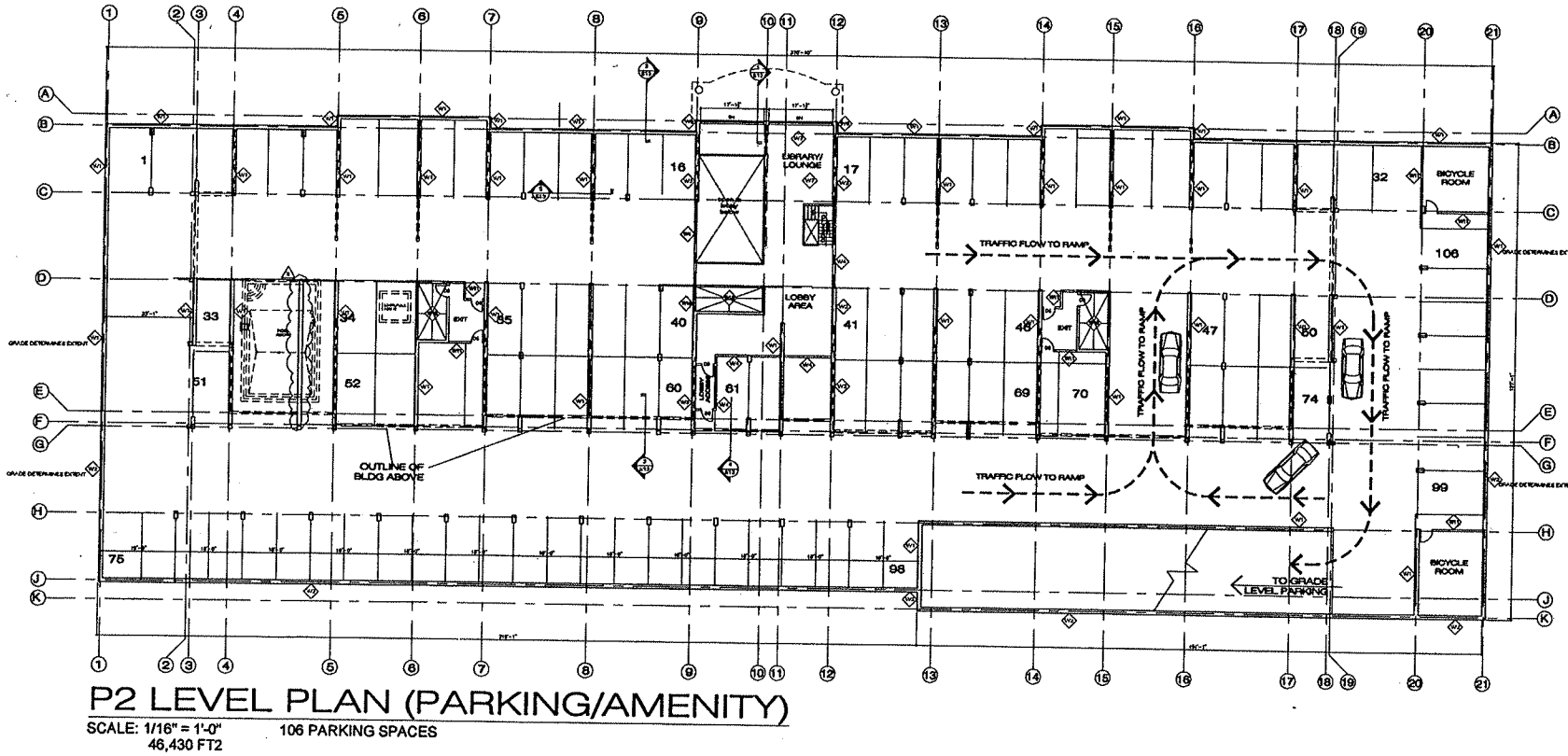
SCALE: 1/16" = 1'-0" DATE: SEPTEMBER, 2010

JOB NUMBER: DRAWING NO: **A2**

DRAWN BY: TD

Schedule "B" Page 3 of 3

Drawing Title: P2 Level Plan  
 Drawing Number: A3  
 Drawing Author: William Haas Consultants Incorporated  
 Date of Drawing: November 3, 2010  
 Drawing Latest Revision Date: April 27, 2011  
 Municipal Address: 940 Springbank Drive  
 City File Number: SP11-011305



**P2 LEVEL PLAN (PARKING/AMENITY)**  
 SCALE: 1/16" = 1'-0"  
 46,430 FT<sup>2</sup>      106 PARKING SPACES

**NOTES**  
 CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE FIRM BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS REMAIN THE PROPERTY OF THE FIRM.

NO.	DATE	BY
1	Nov 3 2010	AK
2	March 30 11	SL
3	April 25 11	SL
4	April 27 2011	SL

ISSUED TO	No.	DATE	BY

NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED

NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED

**WILLIAM HAAS CONSULTANTS INC.**  
 ARCHITECT / ENGINEER  
 LONDON, ONTARIO  
 TEL. (519)471-1336 FAX. (519)471-4618

PROJECT:  
**AYERSWOOD DEVELOPMENTS**  
 RESERVOIR HILL  
 12 STOREY APT. BLDG.  
 LONDON, ONTARIO

DRAWING TITLE:  
**P2 LEVEL PLAN (PARKING/AMENITY)**

SCALE: 1/16"=1'-0"	DATE: SEPTEMBER, 2010
JOB NUMBER:	DRAWING No.
DRAWN BY: TD	<b>A3</b>

**LEGEND**

	- WALL TYPE (SEE SCHEDULE ON SHEET A13)
	- WINDOW TYPE (SEE SCHEDULE ON SHEET A14)
	- DOOR TYPE (SEE SCHEDULE ON SHEET A14)

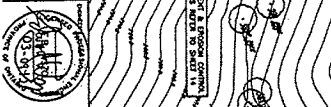
- GENERAL NOTES**
- APARTMENT BLDG CLASSIFIED GROUP 'C'
  - 12 STOREY BUILDING
  - GROUP 'C' MAJOR OCCUPANCY
  - SPRINKLERED
  - CLASSIFICATION 3.2.2.42
  - NON-COMBUSTIBLE CONSTRUCTION
  - FIRE SEPARATION GARAGE 2HR
  - FIRE SEPARATION FLOORS 2HR
  - FIRE ALARM REQUIRED
  - ANNUNCIATOR REQUIRED
  - SIGNAL TO FIRE DEPARTMENT REQUIRED
  - SMOKE ALARMS REQUIRED
  - STANDPIPE SYSTEM REQUIRED
  - EMERGENCY POWER FOR PUMP REQUIRED
  - FIRE SEPARATIONS AT EXITS 2HR
  - EXIT SIGNS REQUIRED
  - PANIC HARDWARE REQUIRED (SEE ELECT. DWGS.)
  - FIRE SEPARATION AT SUITES 1HR
  - FIRE SEPARATION AT CORRIDORS 1HR
  - FIRE SEPARATION AT DUCT SHAFTS 1HR
  - FIRE SEPARATION AT ELECTRICAL ROOMS 1HR
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  - FIRE SEPARATION AT ELEVATOR SHAFT 2HR
  - EMERGENCY LIGHTING REQUIRED
  - BARRIER-FREE DESIGN REQUIRED
  - BALCONIES TO BE USED AS AREAS OF REFUGE AS PER PART 3.2.6.6. OF THE O.B.C.

Drawing Title: Site Engineering Plan  
 Drawing Author: Development Engineering  
 Drawing Number: 1  
 Date of Drawing: August 28, 2006  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305

(AGE RESTORATION)

NO.	DATE	DESCRIPTION	BY	CHECKED
1	08/28/06	ISSUED FOR PERMIT	EW	EW
2	03/09/12	REVISED FOR PERMIT	EW	EW

development  
 engineering



1. I HEREBY CERTIFY THAT THE PROPOSED GRADING AND DRAINAGE PLAN IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPAL ACT AND THE ENGINEERING ACT AND THAT THE PROPOSED GRADING IS COMPARABLE WITH APPROVED CITY GRADING AND THE EXISTING DRAINS AND ADJOINING LOTS.

2. THESE AND SIMILAR LOCAL LEGAL LIMITS OF ADJACENT PROPERTIES ARE SHOWN TO THE BEST OF MY KNOWLEDGE AND BELIEF TO BE CORRECT AND TO BE IN ACCORDANCE WITH THE RECORD DRAWINGS AND SURVEYING DATA.

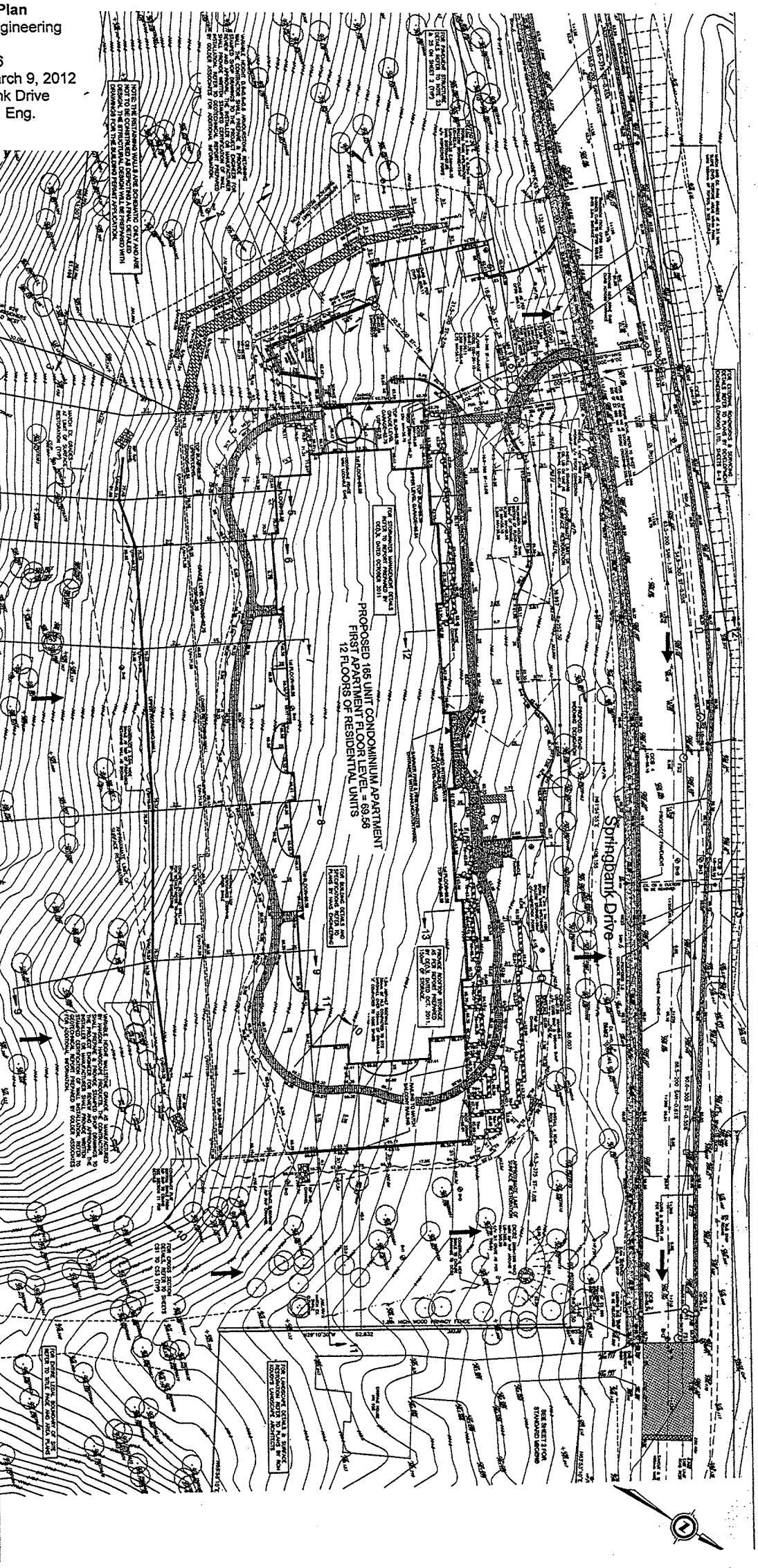
3. THE PROPOSED GRADING AND DRAINAGE PLAN IS BASED ON THE FOLLOWING ASSUMPTIONS:  
 (a) THE PROPOSED GRADING AND DRAINAGE PLAN IS BASED ON THE RECORD DRAWINGS AND SURVEYING DATA.  
 (b) THE PROPOSED GRADING AND DRAINAGE PLAN IS BASED ON THE RECORD DRAWINGS AND SURVEYING DATA.  
 (c) THE PROPOSED GRADING AND DRAINAGE PLAN IS BASED ON THE RECORD DRAWINGS AND SURVEYING DATA.

NO.	DATE	DESCRIPTION	BY	CHECKED
1	08/28/06	ISSUED FOR PERMIT	EW	EW
2	03/09/12	REVISED FOR PERMIT	EW	EW

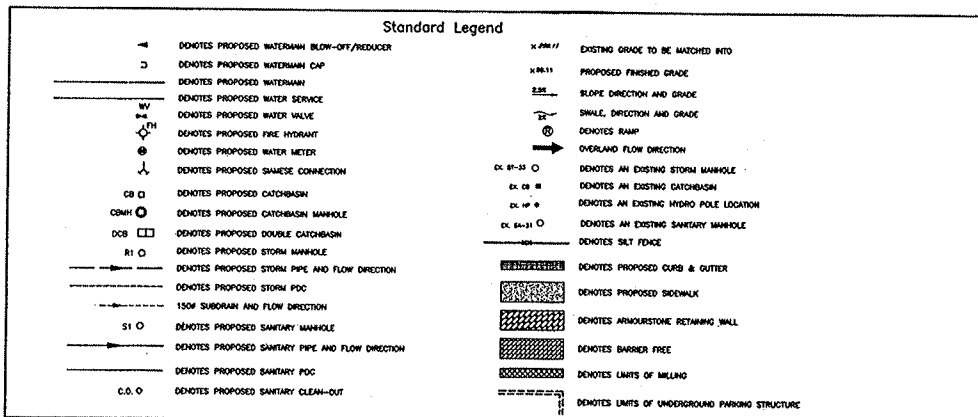
1279085 Ontario Limited  
 Site Engineering Plan  
 155 Unit Condominium Apartment Development  
 Part of Lot 41, Block 1 from Concession 5  
 Part of Brossard Road  
 940 Springbank Drive

NO.	DATE	DESCRIPTION	BY	CHECKED
1	08/28/06	ISSUED FOR PERMIT	EW	EW
2	03/09/12	REVISED FOR PERMIT	EW	EW

7105  
 1



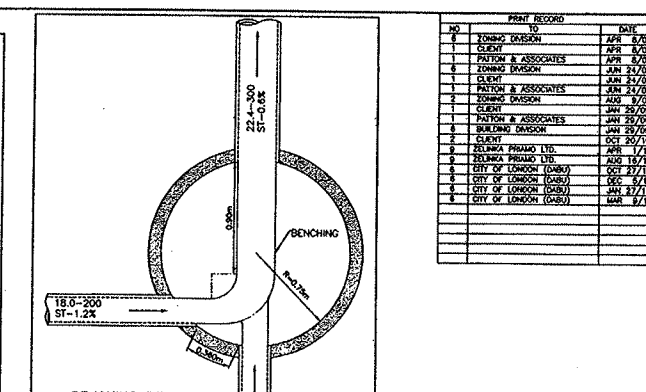
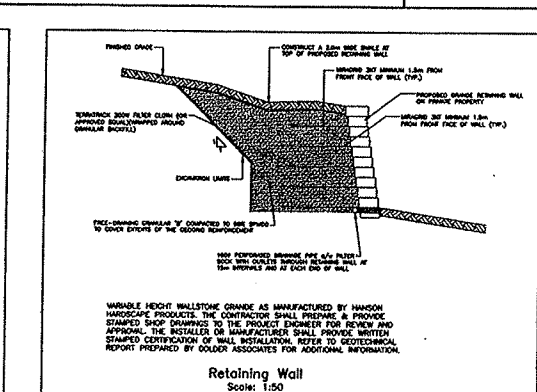
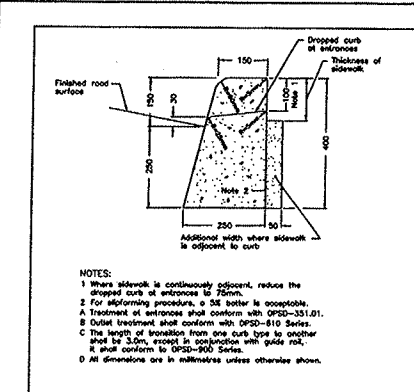
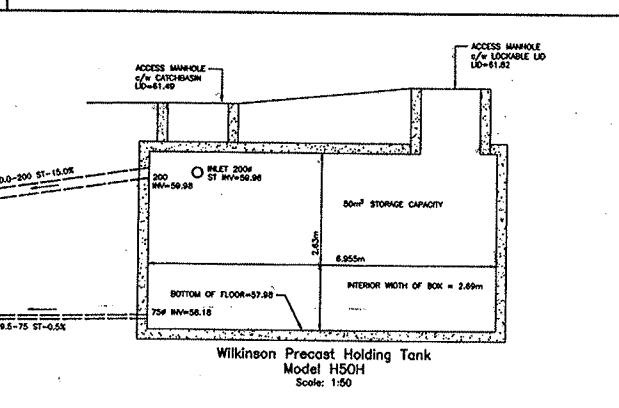
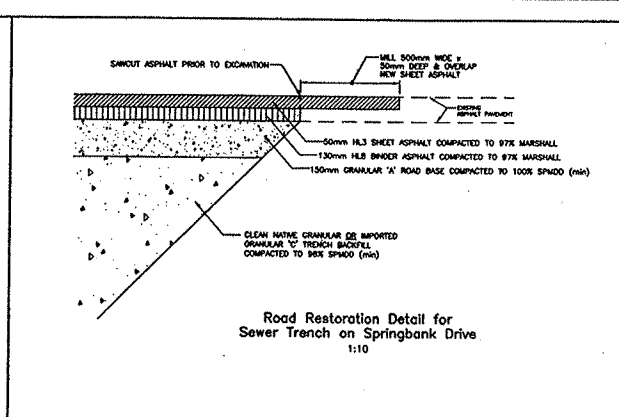
Drawing Title: General Notes and Details  
 Drawing Author: Development Engineering  
 Drawing Number: 2  
 Date of Drawing: April 8, 2004  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Waszol P. Eng.  
 City File Number: SP11-011305



**General List of Most Common Standards Used**

The following Ontario Provincial Standard Drawings and City of London Engineering Standards shall be used on this Project.

OPSD-400.02	Catchbasin, cast iron, frame and feet square grate	U.C.C.-14	Standard utility locations for all streets
OPSD-400.09	Catchbasin, cast iron curb, inlet, overflow plate	DWG 52M-1.0	Bedding standard for gravity and pressure pipe
OPSD-401.01	Maintenance hole, cast iron tower and square frame	DWG 52M-1.1	Class A-1 concrete curbs bedding and Class A-2 concrete arch bedding for curb
OPSD-401.03	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-2.0	Maintenance hole structure - type 1
OPSD-402.01	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-2.1	Maintenance hole, cast iron, rectangular cover & frame
OPSD-402.02	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-2.2	Private drain connection including down out
OPSD-402.03	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-2.3	Private drain connection riser - type 1
OPSD-402.04	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-2.4	Private drain connection riser - type 2
OPSD-402.05	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-2.5	Standard spigoting locations for single family and semi-detached lots
OPSD-402.06	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-2.6	Concrete sidewalk
OPSD-402.07	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-2.7	Concrete sidewalk coping
OPSD-402.08	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-2.8	Concrete sidewalk coping
OPSD-402.09	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-2.9	Concrete sidewalk coping
OPSD-402.10	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-3.0	Standard spigoting locations for single family and semi-detached lots
OPSD-402.11	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-3.1	Concrete sidewalk coping
OPSD-402.12	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-3.2	Concrete sidewalk coping
OPSD-402.13	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-3.3	Concrete sidewalk coping
OPSD-402.14	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-3.4	Concrete sidewalk coping
OPSD-402.15	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-3.5	Concrete sidewalk coping
OPSD-402.16	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-3.6	Concrete sidewalk coping
OPSD-402.17	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-3.7	Concrete sidewalk coping
OPSD-402.18	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-3.8	Concrete sidewalk coping
OPSD-402.19	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-3.9	Concrete sidewalk coping
OPSD-402.20	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-4.0	Concrete sidewalk coping
OPSD-402.21	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-4.1	Concrete sidewalk coping
OPSD-402.22	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-4.2	Concrete sidewalk coping
OPSD-402.23	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-4.3	Concrete sidewalk coping
OPSD-402.24	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-4.4	Concrete sidewalk coping
OPSD-402.25	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-4.5	Concrete sidewalk coping
OPSD-402.26	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-4.6	Concrete sidewalk coping
OPSD-402.27	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-4.7	Concrete sidewalk coping
OPSD-402.28	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-4.8	Concrete sidewalk coping
OPSD-402.29	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-4.9	Concrete sidewalk coping
OPSD-402.30	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-5.0	Concrete sidewalk coping
OPSD-402.31	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-5.1	Concrete sidewalk coping
OPSD-402.32	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-5.2	Concrete sidewalk coping
OPSD-402.33	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-5.3	Concrete sidewalk coping
OPSD-402.34	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-5.4	Concrete sidewalk coping
OPSD-402.35	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-5.5	Concrete sidewalk coping
OPSD-402.36	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-5.6	Concrete sidewalk coping
OPSD-402.37	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-5.7	Concrete sidewalk coping
OPSD-402.38	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-5.8	Concrete sidewalk coping
OPSD-402.39	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-5.9	Concrete sidewalk coping
OPSD-402.40	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-6.0	Concrete sidewalk coping
OPSD-402.41	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-6.1	Concrete sidewalk coping
OPSD-402.42	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-6.2	Concrete sidewalk coping
OPSD-402.43	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-6.3	Concrete sidewalk coping
OPSD-402.44	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-6.4	Concrete sidewalk coping
OPSD-402.45	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-6.5	Concrete sidewalk coping
OPSD-402.46	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-6.6	Concrete sidewalk coping
OPSD-402.47	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-6.7	Concrete sidewalk coping
OPSD-402.48	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-6.8	Concrete sidewalk coping
OPSD-402.49	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-6.9	Concrete sidewalk coping
OPSD-402.50	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-7.0	Concrete sidewalk coping
OPSD-402.51	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-7.1	Concrete sidewalk coping
OPSD-402.52	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-7.2	Concrete sidewalk coping
OPSD-402.53	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-7.3	Concrete sidewalk coping
OPSD-402.54	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-7.4	Concrete sidewalk coping
OPSD-402.55	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-7.5	Concrete sidewalk coping
OPSD-402.56	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-7.6	Concrete sidewalk coping
OPSD-402.57	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-7.7	Concrete sidewalk coping
OPSD-402.58	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-7.8	Concrete sidewalk coping
OPSD-402.59	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-7.9	Concrete sidewalk coping
OPSD-402.60	Maintenance hole, cast iron, rectangular cover and square frame	DWG 52M-8.0	Concrete sidewalk coping



- Notes**
- All work shall be done in accordance with the minimum standards and specifications of the City of London Environmental Services Department including proper finishing off and paving of pipes in manholes and catchbasins and proper bedding and manhole blocks. All manhole, services and appurtenances shall be installed in accordance with the specifications of the City Engineer's Department. The Engineer will conduct periodic inspections to ensure that the proper standards are being met.
  - All precast storm and sanitary sewer manholes shall be constructed in accordance with the current O.P.S.D. standard 1001.01. Catchbasin manholes (CBM) shall be 1200 mm inside diameter precast concrete with 600 mm square standard catchbasin frames and grates and 600 mm square below the lowest inverts on 300mm x 600mm. Catchbasins (CB) shall be 800mm square precast concrete with 500mm standard catchbasin frames and grates and 600mm square below the lowest inverts (OPSD-700.01).
  - The rate of infiltration into storm and sanitary sewers shall not be greater than 34 litres per millimetre of internal diameter per kilometre of the length per day. All exceptions for proposed services shall be justified with a note indicating that it is, in the opinion of the Geotechnical Engineer, suitable as backfill material, and compressed to 90% Standard Proctor Maximum Dry Density. Otherwise, backfill material shall be imported granular 'C' compacted to the same specification.
  - Prior to commencing any work on the installation of services, an approved set of plans and specifications must be available on the job and shall remain there while work is being done.
  - All storm and sanitary sewers and catchbasin connections shall have approved rubber gasket joints.
  - Prior to commencing construction, all existing underground utilities within the limits of the construction site shall be located and marked. Any utilities, uncovered or disturbed during construction, shall be reported or repaired to the satisfaction of the governing body of the contractor's expense.
  - Prior to commencing any construction, all sewer outlet information, benchmarks, elevations, dimensions and grades must be checked by the contractor and verified and any discrepancies reported reported to the Engineer.
  - The structural design of the sewer pipe to be installed in trench with and, therefore, there shall be no maximum trench width.
  - All existing underground plant (telephone duct, gas mains, sewer, watermain) that will be crossed under during the installation of services for the development shall be supported by a support beam or by other methods as may be required by the owner of the plant being crossed under.
  - Survey information has been obtained from Murray Fraser Limited Plan of Survey dated May 5, 1987.
  - Topographic information was obtained in the field by Development Engineering (London) Limited.
  - Surveying information was obtained from as constructed drawings provided by the City of London.
  - The watermain shall be PVC C900 Class 150 (DR 18) with ductile iron outside diameter dimensions installed to a minimum depth of cover of 1.7 metres unless shown otherwise on the plans.
  - All concrete shall be O.P.S. Min. 30 MPa (300 kg/cm<sup>2</sup>) in 28 days unless otherwise specified.
  - The contractor is responsible for:
    - connecting any existing sewer or drain encountered during construction to a new sewer or into another existing sewer;
    - ensuring that there is no interruption of any surface or subsurface drainage flow that would adversely affect neighbouring properties.
  - For geotechnical information see Soils Report No. 991-3011 by Geotec Associates dated November 1999 and supplemental report No. 991-3011-5000-001 dated January 2002.
  - All storm and sanitary sewers between 200 mm and 450mm shall be PVC pipe with Type 1 bedding under 4.0m of cover and Type 2 bedding over 4.0m cover. All sewer bedding MUST be compacted to 90% Standard Proctor Maximum Dry Density (minimum).
  - Stair blocks shall be installed around all CDB & CBM's immediately upon installation in accordance with detail. Stair blocks to remain in place until paving on/ or adding.
  - In accordance with standard City of London specifications, the contractor is responsible for the control of surface and subsurface water.
  - Concrete curb shall be OPSD 600.11 and 800.01.
  - Upon completion of sewer installation, the contractor is responsible for flushing and cleaning the sewers, manholes, catchbasins and catchbasin manholes and for successfully pulling the "750" through the PVC pipe sizes 200 mm to 450 mm. Recommended minimum pavement structure for site (from Geotec report):
    - 40mm HLB sheet asphalt compacted to 97% Marshall
    - 50mm HLB binder asphalt compacted to 97% Marshall
    - 200mm granular 'A' base compacted to 100% Proctor
    - subgrade to consist of native on-site soils proof rolled to 90% SPAD0 (min)
  - For complete building information and architectural details, see drawings by Wilcox Hoce Consultants Inc.
  - Refer to application for sewer trenches across the boulevard portion of Springbank Drive:
    - approved native material or granular C backfill compacted to 90% SPAD0
    - 300mm granular 'B' compacted to 100% SPAD0
    - 150 mm granular 'A' base compacted to 100% SPAD0
    - 150mm HLB binder asphalt compacted to 97% Marshall
    - 50mm HLB sheet asphalt compacted to 97% Marshall
    - overlay according to detail, see overlay on plan
    - in boulevard, backfill trench with native material compacted to 90% SPAD0
  - For external roadwork details and notes refer to sheets 0-9.
- Geodetic Benchmarks**
- W10588904 1.5m iron bar with bronze cap, at the intersection of Commissioners Road and Springbank Drive, 15.8m northwest of the centreline of Commissioners Road, 7.2m northwest of the centreline of Springbank Drive. Elevation: 265.954m
  - On top of the spindle of the fire hydrant on the south side of Springbank Drive approximately 270m west of Commissioners Road in front of the site. Elevation: 261.763m
  - On top of the spindle of the fire hydrant at the northeast corner of Commissioners Road and Springbank Drive at M.N. 998 Commissioners Road. Elevation: 264.757m
- Note: At least two benchmarks must be used and referred to at all times during construction. Add 200 to all proposed elevations to obtain geodetic datum in metric measurement.
- PRINTED**  
 MAR 12 2012

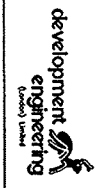
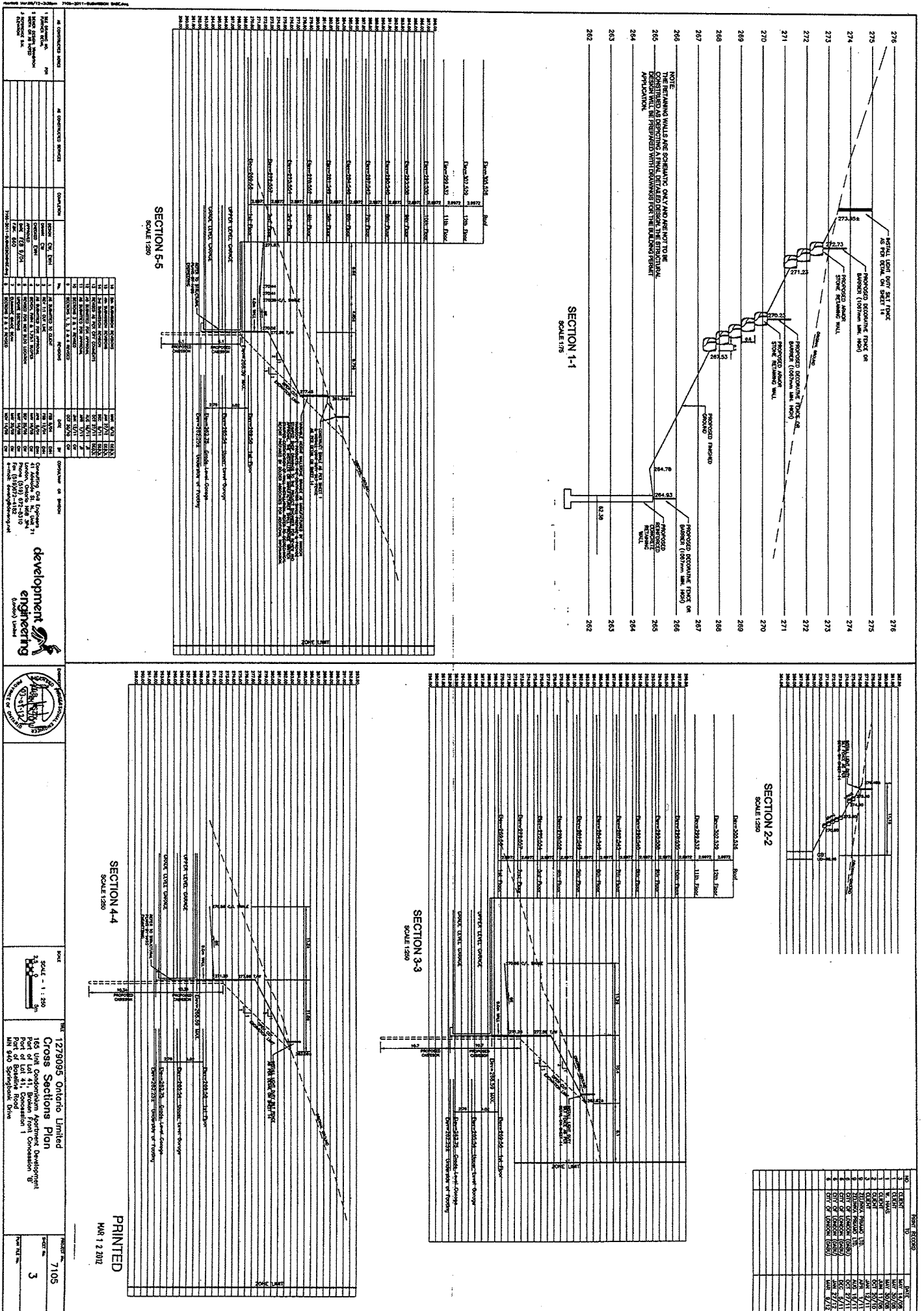
AS CONTRACTED NOTES	AS CONTRACTED SERVICES	COMPLETION	DATE	BY	DATE	BY	DATE	BY
1. SEE DRAWING NO. 1 FOR	CONCRETE CURB	1	APR 8/04	EM	APR 8/04	EM	APR 8/04	EM
2. BINDER BEHIND SIDEWALK	CONCRETE CURB	2	APR 8/04	EM	APR 8/04	EM	APR 8/04	EM
3. SIDEWALK	CONCRETE CURB	3	APR 8/04	EM	APR 8/04	EM	APR 8/04	EM
4. APPROVAL	CONCRETE CURB	4	APR 8/04	EM	APR 8/04	EM	APR 8/04	EM
5. APPROVED BY	CONCRETE CURB	5	APR 8/04	EM	APR 8/04	EM	APR 8/04	EM
6. APPROVED BY	CONCRETE CURB	6	APR 8/04	EM	APR 8/04	EM	APR 8/04	EM
7. APPROVED BY	CONCRETE CURB	7	APR 8/04	EM	APR 8/04	EM	APR 8/04	EM
8. APPROVED BY	CONCRETE CURB	8	APR 8/04	EM	APR 8/04	EM	APR 8/04	EM
9. APPROVED BY	CONCRETE CURB	9	APR 8/04	EM	APR 8/04	EM	APR 8/04	EM
10. APPROVED BY	CONCRETE CURB	10	APR 8/04	EM	APR 8/04	EM	APR 8/04	EM

Consulting Civil Engineers  
 development engineering  
 (London) Limited  
 41 Adelaide St. N., Unit 71  
 London, Ontario, N6A 3P4  
 Phone (519) 872-8310  
 Fax (519) 872-4176  
 e-mail: deveng@deveng.net

PROJECT NO. 7105  
 SHEET NO. 2  
 PLAN FILE NO.



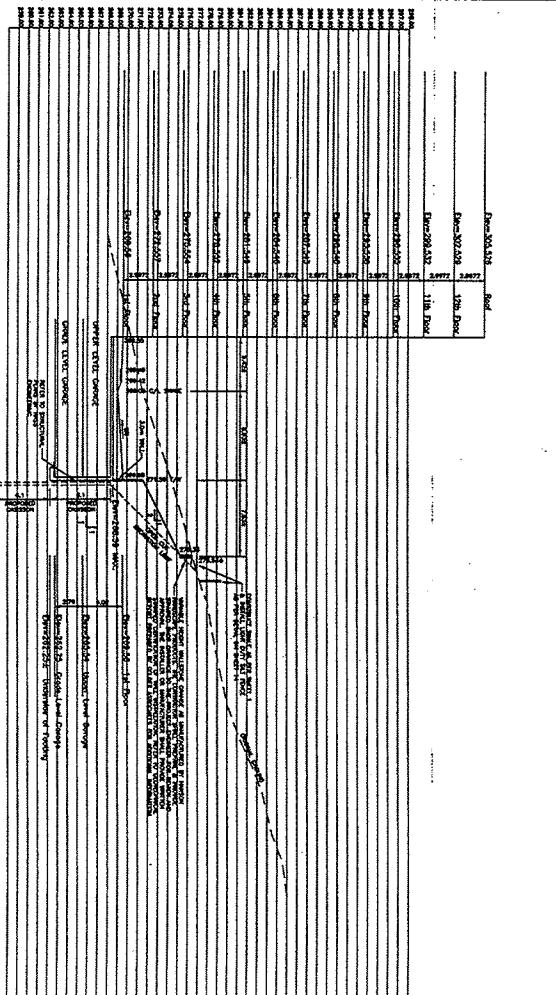
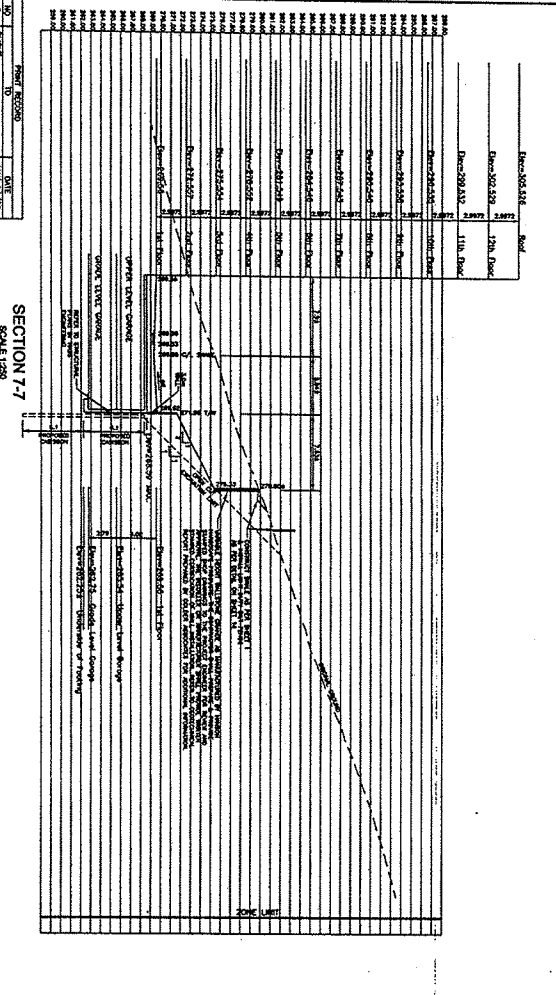
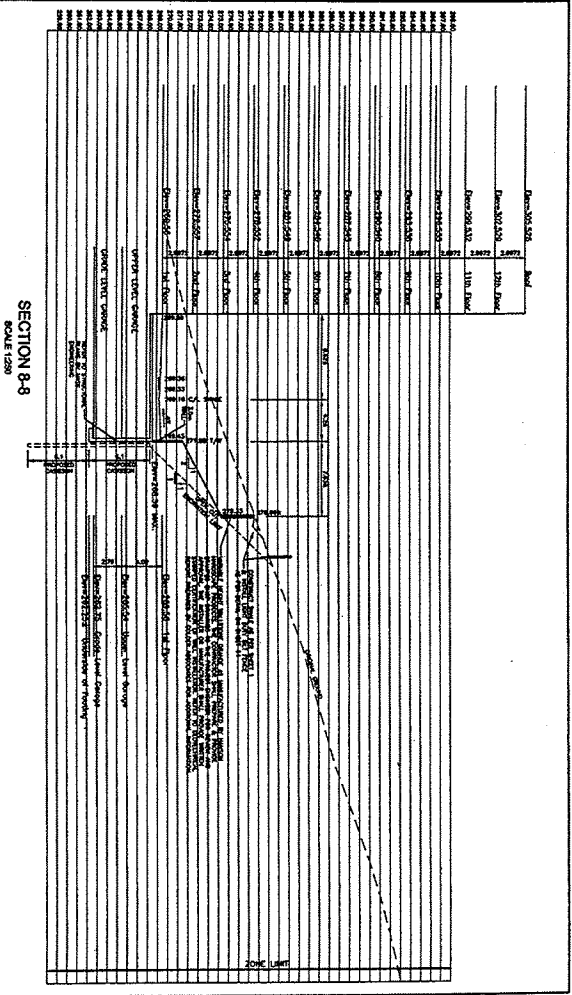
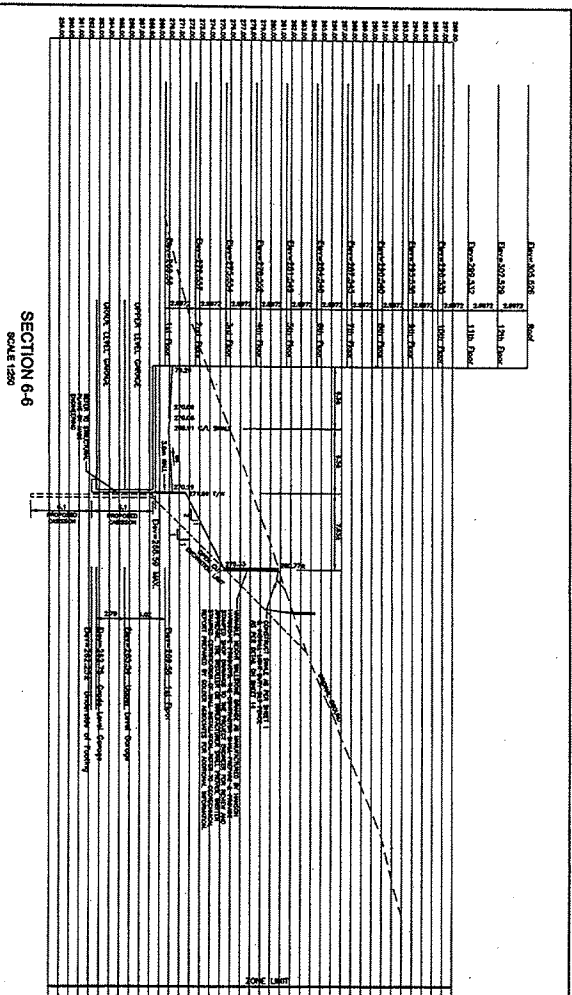
Drawing Title: Cross Sections Plan  
 Drawing Author: Development Engineering  
 Drawing Number: 3  
 Date of Drawing: February 9, 2004  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305



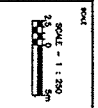
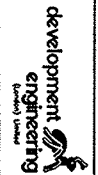
1279095 Ontario Limited  
 Cross Sections Plan  
 165 Unit Condominium Apartment Development  
 Port of Bessville Road  
 Port of Bessville  
 4M 940 Springbank Drive

PRINTED  
 MAR 12 2012  
 7105  
 3

Drawing Title: Cross Sections Plan  
 Drawing Author: Development Engineering  
 Drawing Number: 4  
 Date of Drawing: April 8, 2004  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305



NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	04/08/04	E.B. Wszol	
2	REVISED	04/08/04	E.B. Wszol	
3	REVISED	04/08/04	E.B. Wszol	
4	REVISED	04/08/04	E.B. Wszol	
5	REVISED	04/08/04	E.B. Wszol	
6	REVISED	04/08/04	E.B. Wszol	
7	REVISED	04/08/04	E.B. Wszol	
8	REVISED	04/08/04	E.B. Wszol	
9	REVISED	04/08/04	E.B. Wszol	
10	REVISED	04/08/04	E.B. Wszol	
11	REVISED	04/08/04	E.B. Wszol	
12	REVISED	04/08/04	E.B. Wszol	
13	REVISED	04/08/04	E.B. Wszol	
14	REVISED	04/08/04	E.B. Wszol	
15	REVISED	04/08/04	E.B. Wszol	
16	REVISED	04/08/04	E.B. Wszol	
17	REVISED	04/08/04	E.B. Wszol	
18	REVISED	04/08/04	E.B. Wszol	
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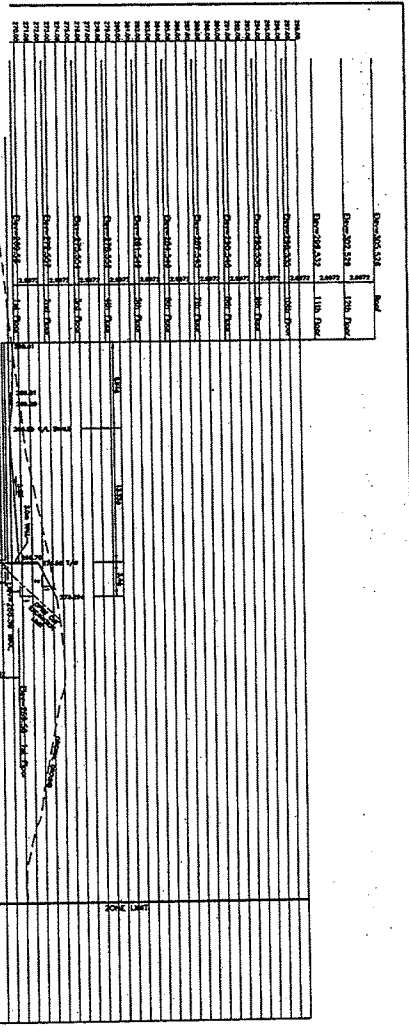


1279095 Ontario Limited  
 Cross Sections Plan  
 165 Unit Condominium Apartment Development  
 Part of Lot 41, Concession 1  
 of Section 17, Township of Fenwick  
 MN 300 Springbank Drive

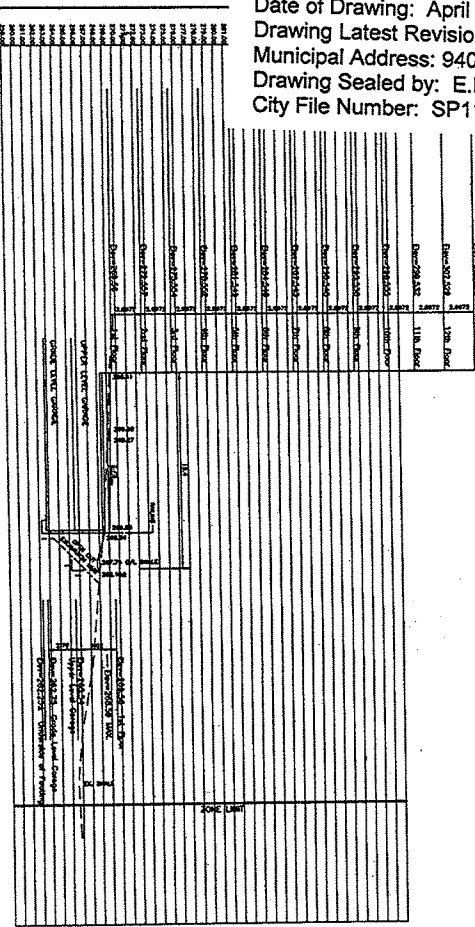
PRINTED  
 MAR 12 2012

7105  
 SHEET NO. 4  
 OF 4

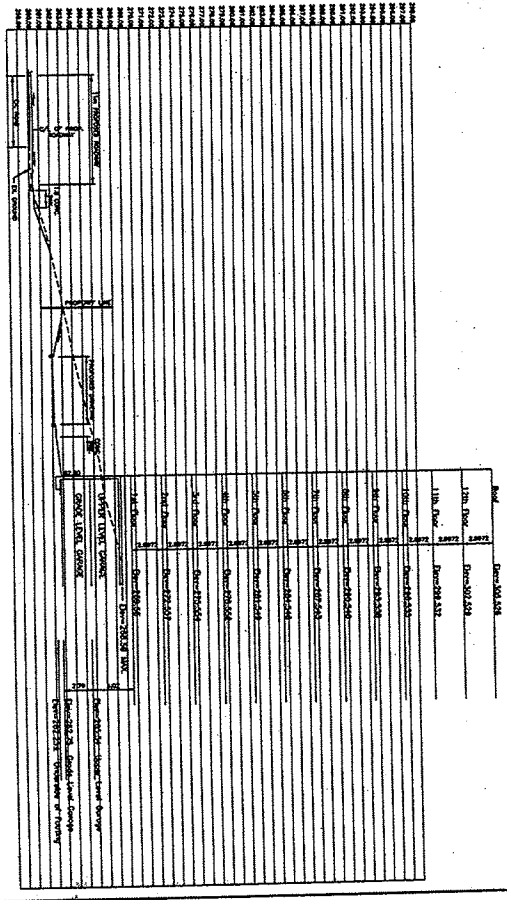
Drawing Title: Cross Sections Plan  
 Drawing Author: Development Engineering  
 Drawing Number: 5  
 Date of Drawing: April 8, 2004  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305



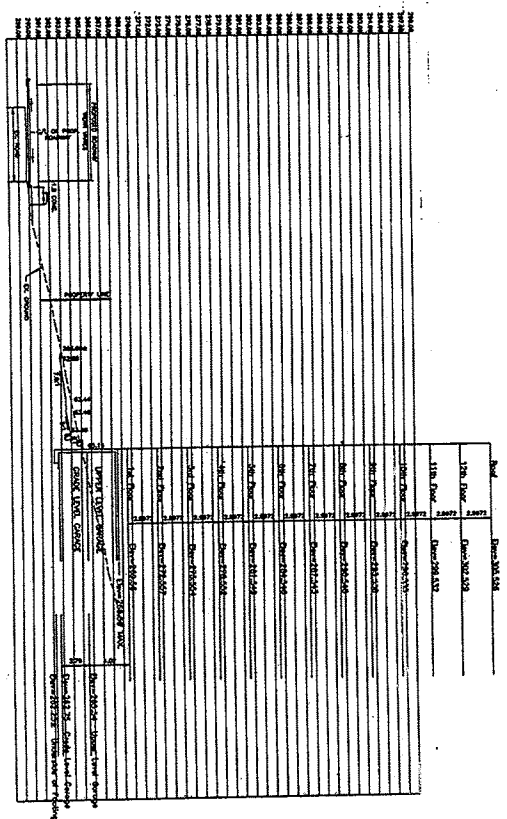
SECTION 10-10  
SCALE 1:250



SECTION 11-11  
SCALE 1:250



SECTION 12-12  
SCALE 1:250



SECTION 13-13  
SCALE 1:250

1. CONTRACTOR'S NAME DEVELOPMENT ENGINEERING LTD. 1100 SPRINGBANK DRIVE MISSISSAUGA, ONT. L4X 1L3		2. PROJECT NAME CROSS SECTIONS PLAN	
3. CLIENT'S NAME 1279095 ONTARIO LIMITED 411 BROADVIEW AVE. TORONTO, ONT. M5X 1B4		4. DRAWING NUMBER 5	
5. DATE OF DRAWING APRIL 8, 2004		6. LATEST REVISION DATE MARCH 9, 2012	
7. MUNICIPAL ADDRESS 940 SPRINGBANK DRIVE		8. CITY FILE NUMBER SP11-011305	
9. DRAWING AUTHOR DEVELOPMENT ENGINEERING LTD.		10. DRAWING NUMBER 5	
11. DATE OF DRAWING APRIL 8, 2004		12. LATEST REVISION DATE MARCH 9, 2012	
13. MUNICIPAL ADDRESS 940 SPRINGBANK DRIVE		14. CITY FILE NUMBER SP11-011305	

development engineering  
 CONSULTANTS  
 1100 SPRINGBANK DRIVE  
 MISSISSAUGA, ONT. L4X 1L3  
 TEL: (905) 270-8888  
 FAX: (905) 270-8889  
 WWW.DEVELOPMENTENGINEERING.COM

PRINTED  
 MAR 12 2012

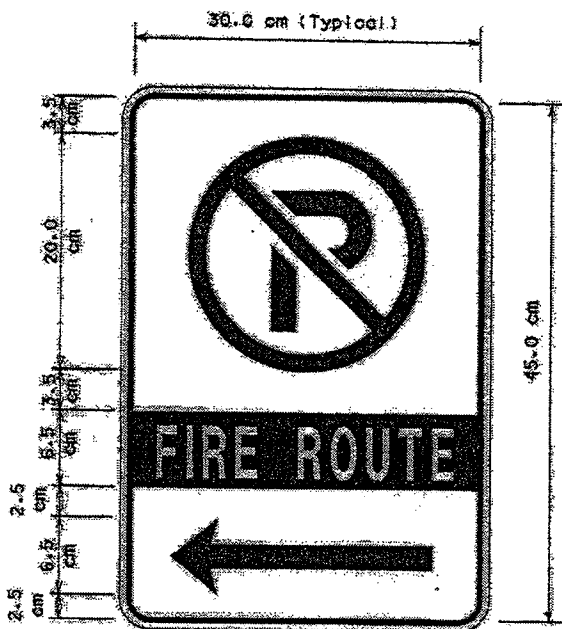


Drawing Title: Fire Route Sign Detail  
 Drawing Author: City of London  
 Drawing Number: Figure 6.2  
 Date of Drawing: July 19, 2005  
 Municipal Address: 940 Springbank Drive  
 City File Number: SP11-011305

# FIRE ROUTE SIGN DETAILS



FIRE ROUTE SIGN  
 PLATE DETAIL (FIG. 6.2)



F.R. 1 Indicates direction of prohibited parking.  
 Defines the end zones of a fire route.

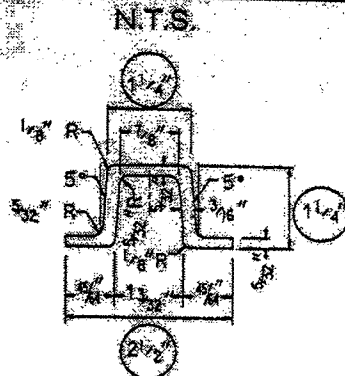


F.R. 2 Indicates direction of prohibited parking.  
 Defines the end zones of a fire route.



F.R. 3 Indicates direction of prohibited parking  
 between the end zones of a fire route.

SIGN POST DETAIL (FIGURE 6.3)



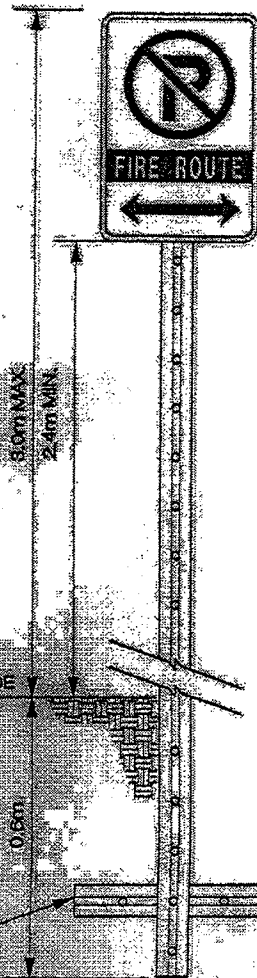
(DISTANCES ARE IN INCHES)

TOLERANCES

- CIRCLED DIMENSIONS  $\pm 0.005"$
- THICKNESS  $\pm 0.015"$
- ALL OTHER DIMENSIONS  $\pm 0.005"$

SIGN MOUNTING DETAIL (FIG. 6.4)

N.T.S.

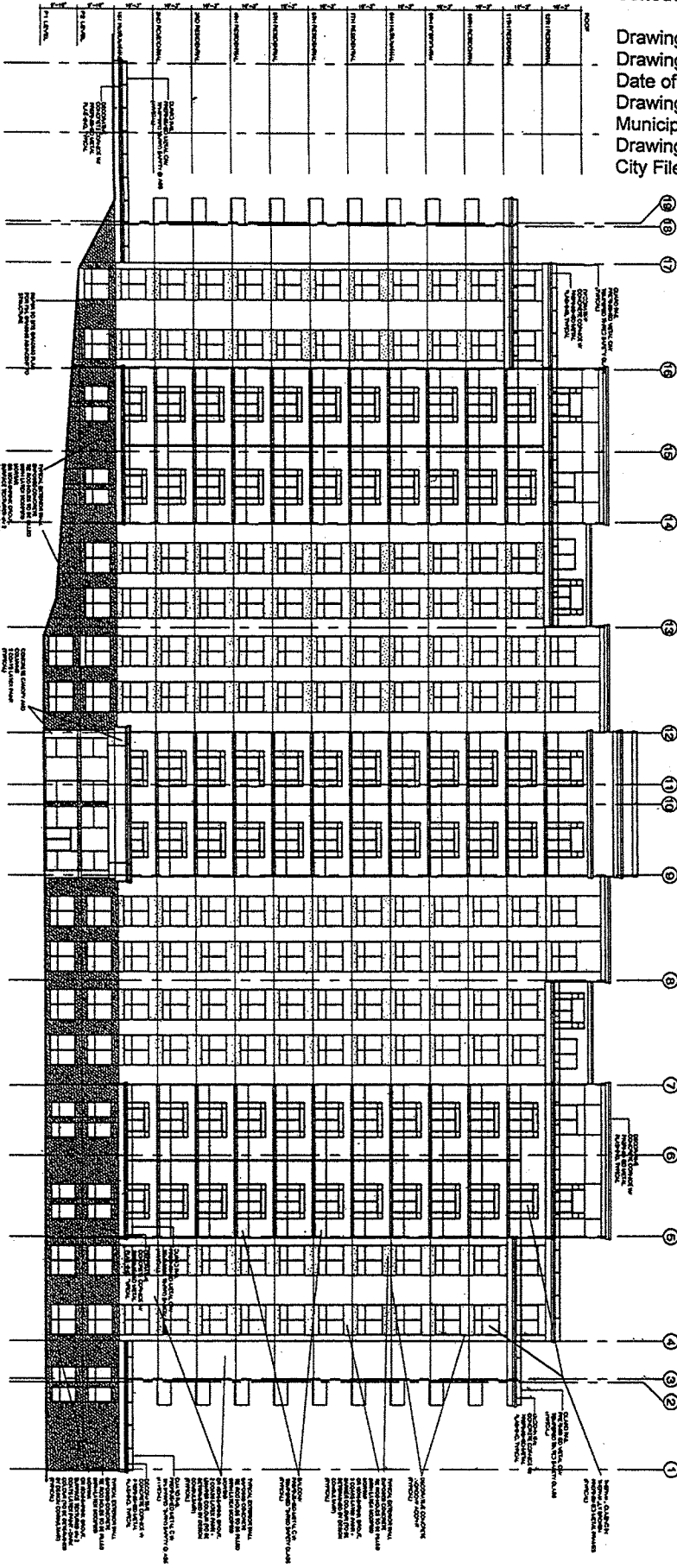


COLOUR		BLANK		SUPPORTS	
Circle, Slash And "P"	Red	Number	Aluminum Blank	Size and Type	City Standard
Border, Bar And Arrow			6		
Background and Message	Reflective Silver	Colour of Back	Aluminum	Colour	Aluminum

NOTE:  
 These details are prepared for easy reference and  
 information purposes only. Copies of the City's  
 Traffic and Parking By-Law P.S. - 100 and  
 the City Sign Plan Control By-Law C.P. - 1213 - 840  
 are available from the City Clerk office at Room 308  
 at London City Hall.

8" BOOT  
 -FOR ANCHORING  
 PURPOSES

Drawing Title: North Elevation  
 Drawing Author: William Haas Consultants Incorporated  
 Date of Drawing: April 7, 2011  
 Drawing Latest Revision Date: Oct. 27, 2011  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: William Haas OAA  
 City File Number: SP11-011305



**NORTH ELEVATION**

REFER TO MECHANICAL DRAWINGS FOR LOCATION OF ALL GRILLES, VENTS, LOUVERES INTAKES, ETC.  
 REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF ALL LIGHT FIXTURES.  
 REFER TO EXTERIOR FINISH SCHEDULE FOR ALL EXTERIOR COLOR TREATMENT.  
 REFER TO SITE GRADING PLAN FOR FINISHED GRADES AT BUILDING.

**NOTES**  
 CONSULTANT HAS CONTROL AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CONSULTANT SHALL BE PROTECTED BY THE PROFESSIONAL LIABILITY INSURANCE POLICY AND SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

REVISION	DATE	BY	DATE
1	NOV 17 2011	SH	
2	NOV 17 2011	SH	
3	NOV 17 2011	SH	
4	OCT 27 2011	SH	

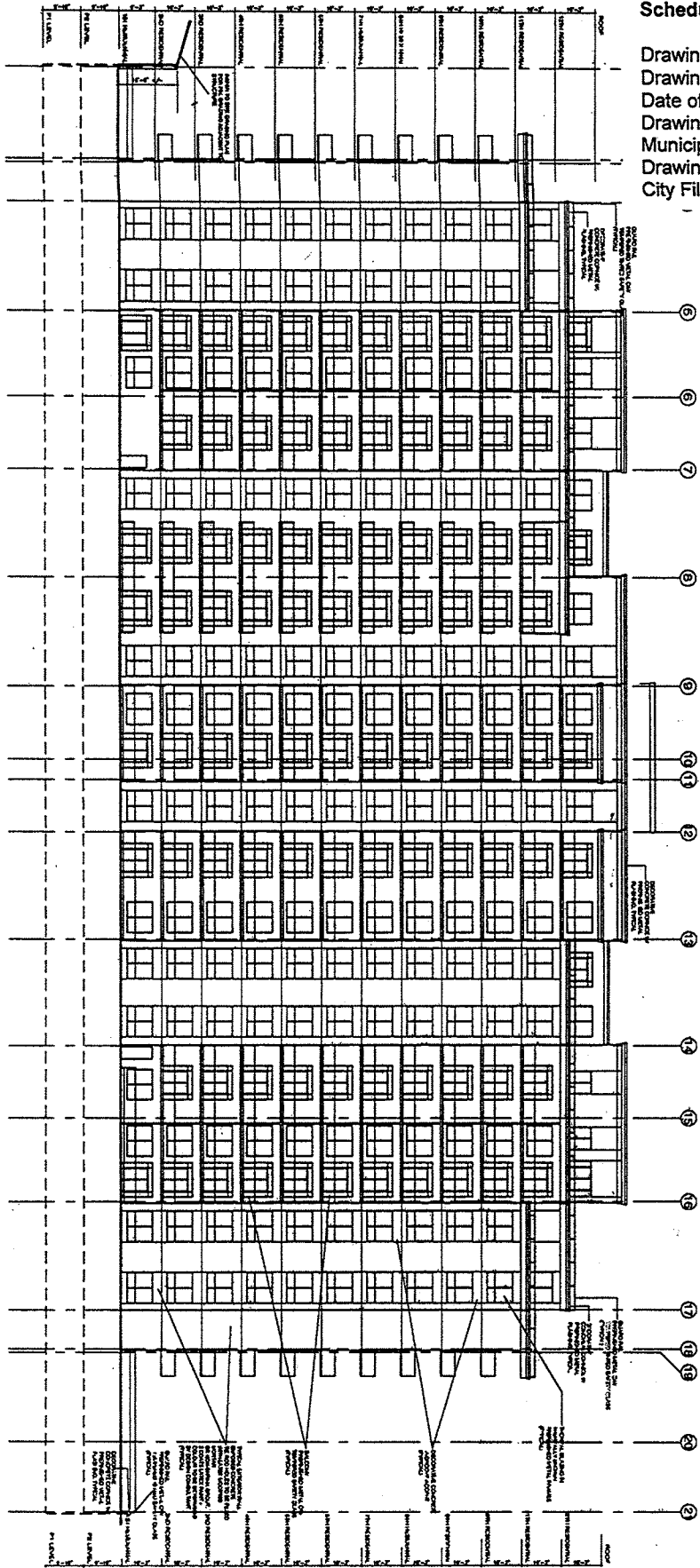
DRAWING NUMBER/REVISION: A-101/4  
 DATE OF DRAWING: APRIL 7, 2011  
 DRAWING LATEST REVISION DATE: OCTOBER 27, 2011  
 DRAWING AUTHOR: WILLIAM HAAS CONSULTANTS INCORPORATED  
 DRAWING CHECKED: WILLIAM HAAS  
 DRAWING APPROVED: WILLIAM HAAS  
 DRAWING SCALE: AS SHOWN  
 DRAWING SHEET: 1 OF 1  
 DRAWING TITLE: NORTH ELEVATION

NOT FOR CONSTRUCTION. INTL. SOUND AND STALL

NOT FOR CONSTRUCTION. INTL. SOUND AND STALL

**WILLIAM HAAS CONSULTANTS INC.**  
 ARCHITECT / ENGINEER  
 LONDON, ONTARIO  
 TEL: (519) 371-1338 FAX: (519) 371-4618  
 AVERSWOOD DEVELOPMENTS

Drawing Title: South Elevation  
 Drawing Author: William Haas Consultants Incorporated  
 Date of Drawing: April 7, 2011  
 Drawing Latest Revision Date: May 27, 2011  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: William Haas OAA  
 City File Number: SP11-011305



**SOUTH ELEVATION**

REFER TO MECHANICAL DRAWINGS FOR LOCATION OF ALL GRILLES, VENTS, LOUVRES INTAKES, ETC.  
 REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF ALL LIGHT FIXTURES.  
 REFER TO EXTERIOR FINISH SCHEDULE FOR ALL EXTERIOR COLOUR TREATMENT.  
 REFER TO SITE GRADING PLAN FOR FINISHED GRADES AT BUILDING.

**NOTES**  
 CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA AND ALL APPLICABLE REGULATIONS.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

NO.	DATE	BY	DESCRIPTION
1	APR 7 2011	WHA	ISSUED FOR PERMITS
2	MAY 27 2011	WHA	REVISED FOR REVISIONS
3	MAY 27 2011	WHA	REVISED FOR REVISIONS
4	MAY 27 2011	WHA	REVISED FOR REVISIONS

*WHA*  
 WILLIAM HAAS  
 ARCHITECT / ENGINEER  
 VICE PRESIDENT

NOT FOR CONSTRUCTION USE, SIGNED AND SEALED

NOT FOR CONSTRUCTION USE, SIGNED AND SEALED

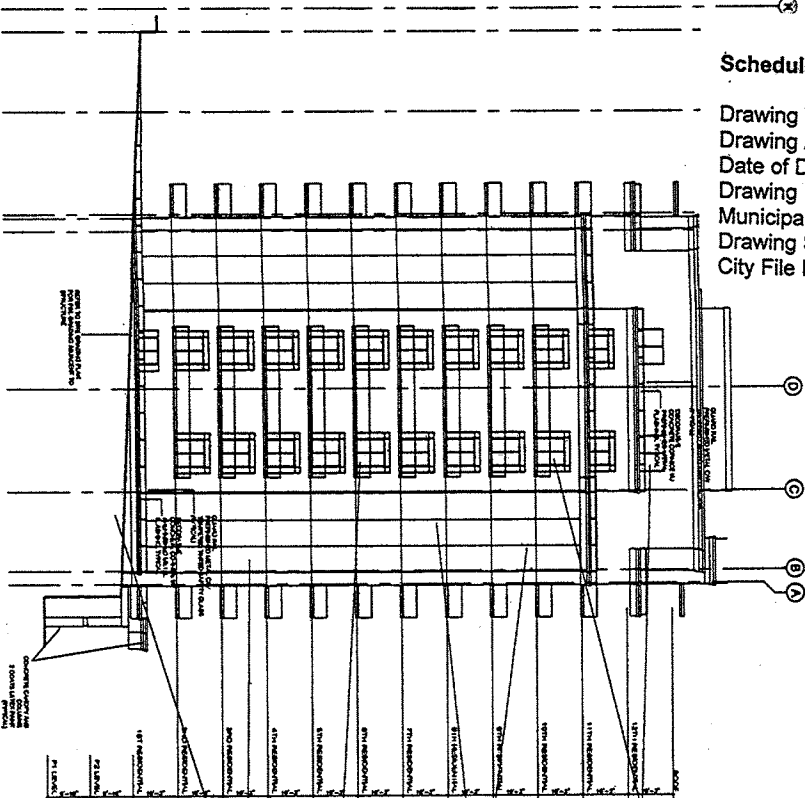
**WILLIAM HAAS  
 CONSULTANTS INC.**  
 ARCHITECT / ENGINEER  
 LONDON, ONTARIO  
 TEL. (519) 471-1338 FAX. (519) 471-4618

PROJECT:  
**AYERSWOOD DEVELOPMENTS**

Drawing Title: East / West Elevations  
 Drawing Author: William Haas Consultants Incorporated  
 Date of Drawing: April 7, 2011  
 Drawing Latest Revision Date: May 27, 2011  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: William Haas OAA  
 City File Number: SP11-011305

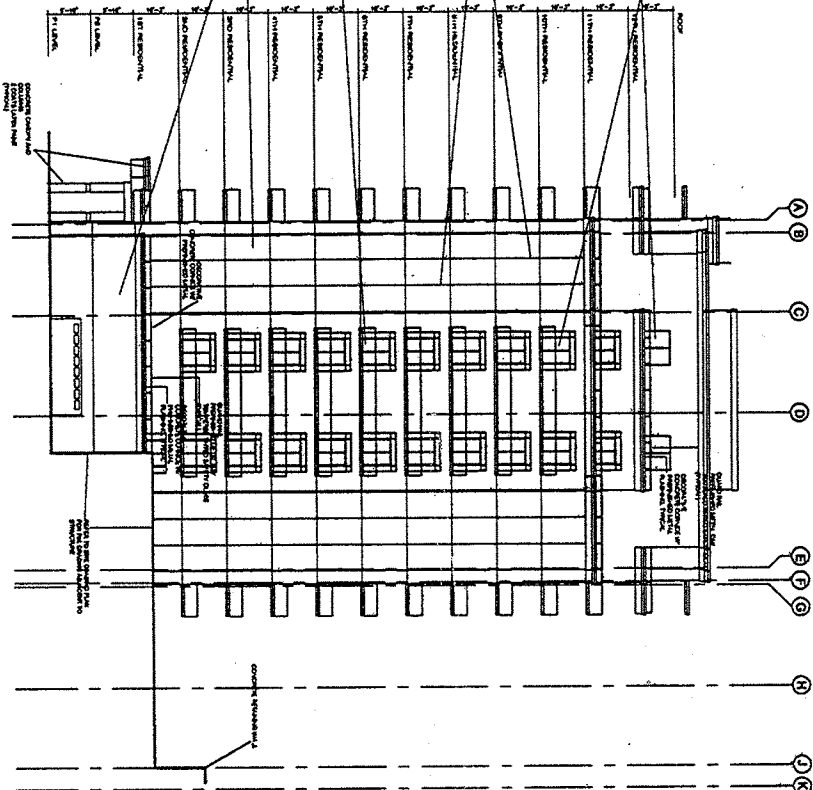
**EAST ELEVATION**

REFER TO MECHANICAL DRAWINGS FOR LOCATION OF ALL GRILLES, VENTS, LOUVERES INTAKES, ETC.  
 REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF ALL LIGHT FIXTURES.  
 REFER TO EXTERIOR FINISH SCHEDULE FOR ALL EXTERIOR COLOUR TREATMENT.  
 REFER TO SITE GRADING PLAN FOR FINISHED GRADES AT BUILDING.



**WEST ELEVATION**

REFER TO MECHANICAL DRAWINGS FOR LOCATION OF ALL GRILLES, VENTS, LOUVERES INTAKES, ETC.  
 REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF ALL LIGHT FIXTURES.  
 REFER TO EXTERIOR FINISH SCHEDULE FOR ALL EXTERIOR COLOUR TREATMENT.  
 REFER TO SITE GRADING PLAN FOR FINISHED GRADES AT BUILDING.



**NOTES**

CONSTRUCTION SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXTERIOR FINISHES AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

NO.	DATE	BY	DESCRIPTION
1	APR 21 2011	WH	ISSUED FOR PERMIT
2	APR 27 2011	WH	ISSUED FOR CONSTRUCTION
3	MAY 27 2011	WH	ISSUED FOR CONSTRUCTION

PROJECT: AVERSWOOD DEVELOPMENTS  
 DRAWING NO.: 11-011305-03  
 DATE: APR 21 2011  
 DRAWN BY: WH  
 CHECKED BY: WH  
 SCALE: AS SHOWN  
 SHEET NO.: 3 OF 3

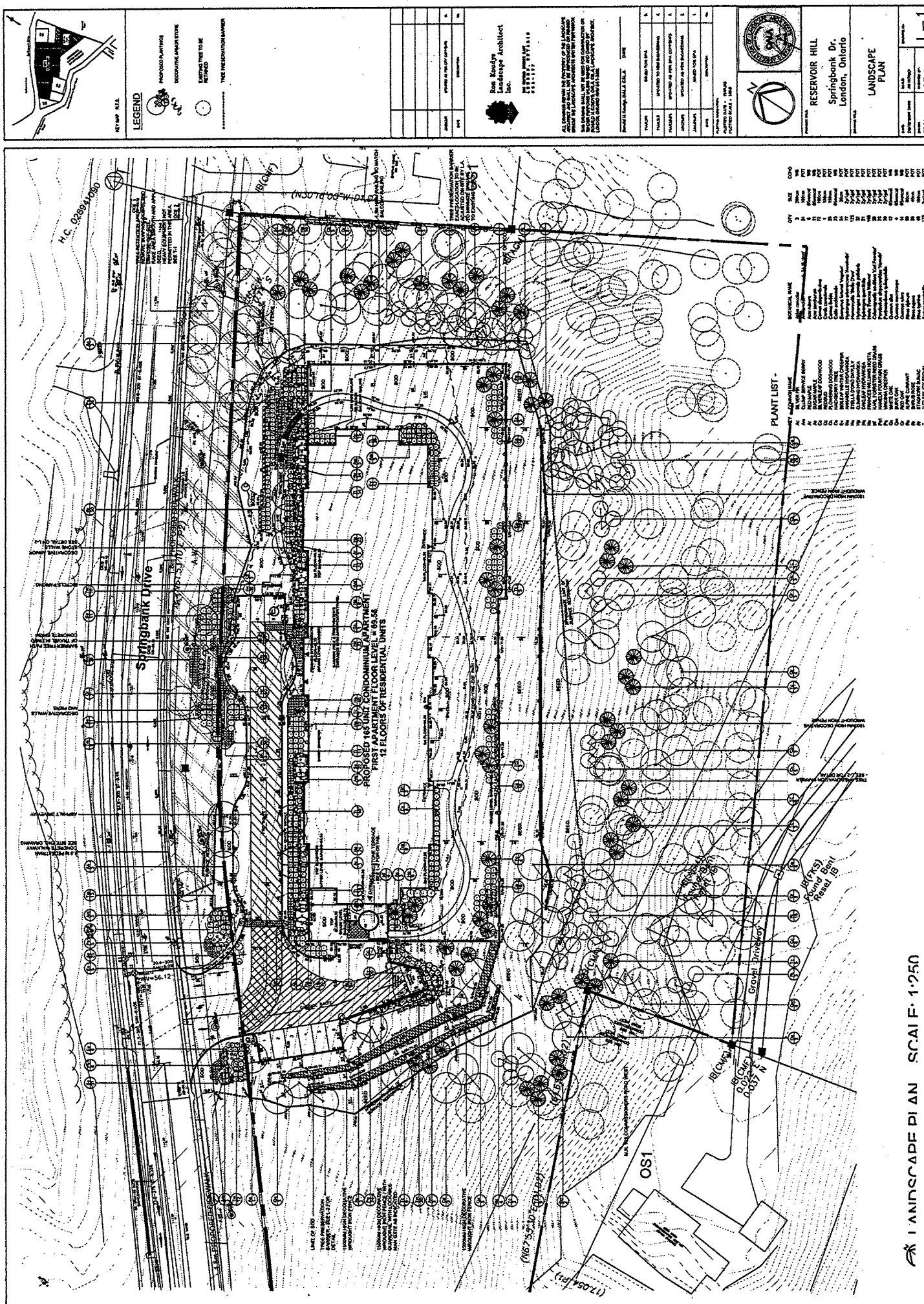
W. HAAS  
 ARCHITECT  
 WILLIAM HAAS CONSULTANTS INC.  
 LONDON, ONTARIO

NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED  
 NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED

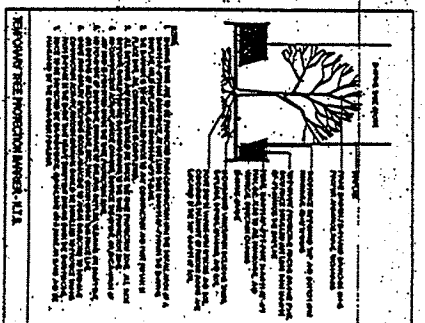
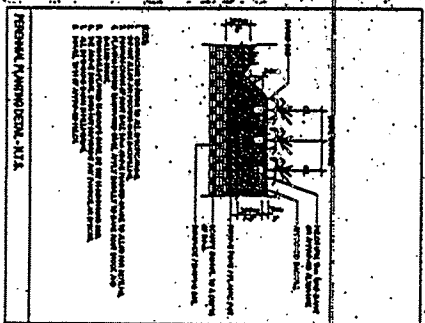
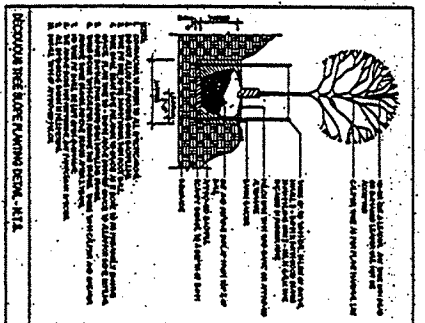
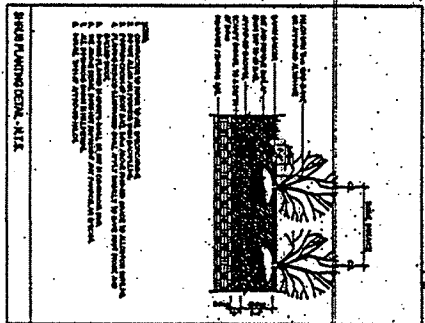
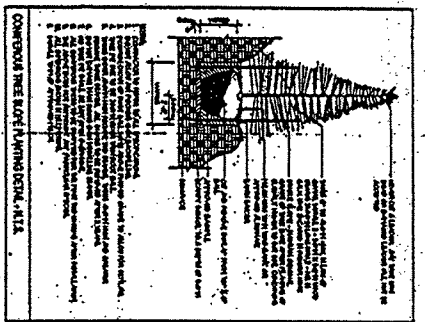
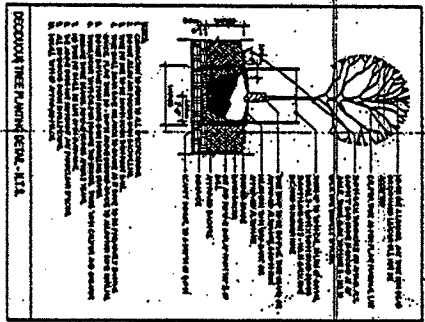
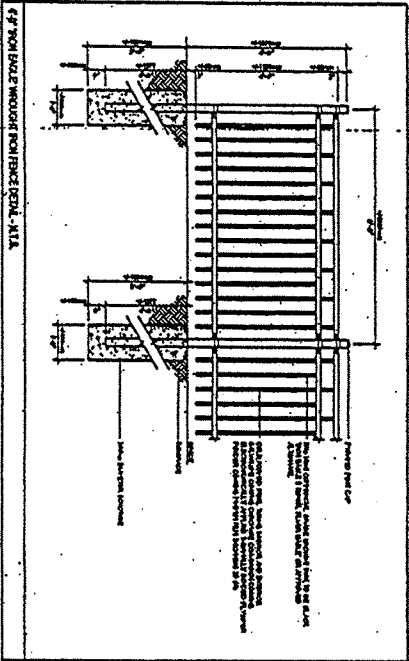
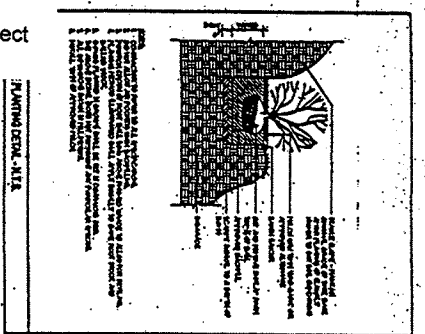
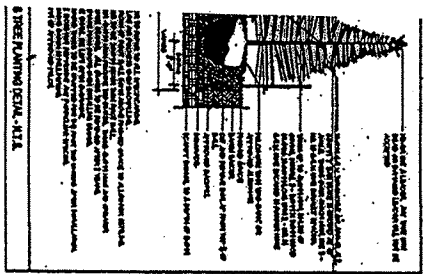
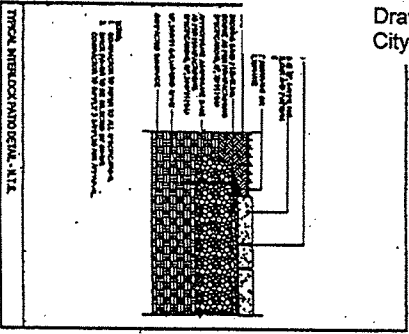
WILLIAM HAAS  
 CONSULTANTS INC.  
 ARCHITECT / ENGINEER  
 LONDON, ONTARIO  
 TEL (519) 771-1336 FAX (519) 771-6818

PROJECT: AVERSWOOD DEVELOPMENTS

Drawing Title: Landscape Plan  
 Drawing Author: Ron Koudys Landscape Architect  
 Drawing Number: L-1  
 Date of Drawing: April 7, 2004  
 Drawing Latest Revision Date: August 17, 2011  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: Ron Koudys Landscape Architect  
 City File Number: SP11-011305



Drawing Title: Landscape Details  
 Drawing Author: Ron Koudys Landscape Architect  
 Drawing Number: L-2  
 Date of Drawing: April 7, 2004  
 Drawing Latest Revision Date: August 17, 2011  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: Ron Koudys Landscape Architect  
 City File Number: SP11-011305



**GENERAL PLANTING SPECIFICATIONS**

1. All trees shall be planted in accordance with the Ontario Planting Standards (OPS) and the National Planting Standards (NPS).

2. All trees shall be planted in a planting bed that is 1500mm wide and 150mm deep.

3. All trees shall be planted in a planting bed that is 1500mm wide and 150mm deep.

4. All trees shall be planted in a planting bed that is 1500mm wide and 150mm deep.

5. All trees shall be planted in a planting bed that is 1500mm wide and 150mm deep.

6. All trees shall be planted in a planting bed that is 1500mm wide and 150mm deep.

7. All trees shall be planted in a planting bed that is 1500mm wide and 150mm deep.

8. All trees shall be planted in a planting bed that is 1500mm wide and 150mm deep.

9. All trees shall be planted in a planting bed that is 1500mm wide and 150mm deep.

10. All trees shall be planted in a planting bed that is 1500mm wide and 150mm deep.

**RESEVOIR HILL**  
 Springbank Dr.  
 London, Ontario

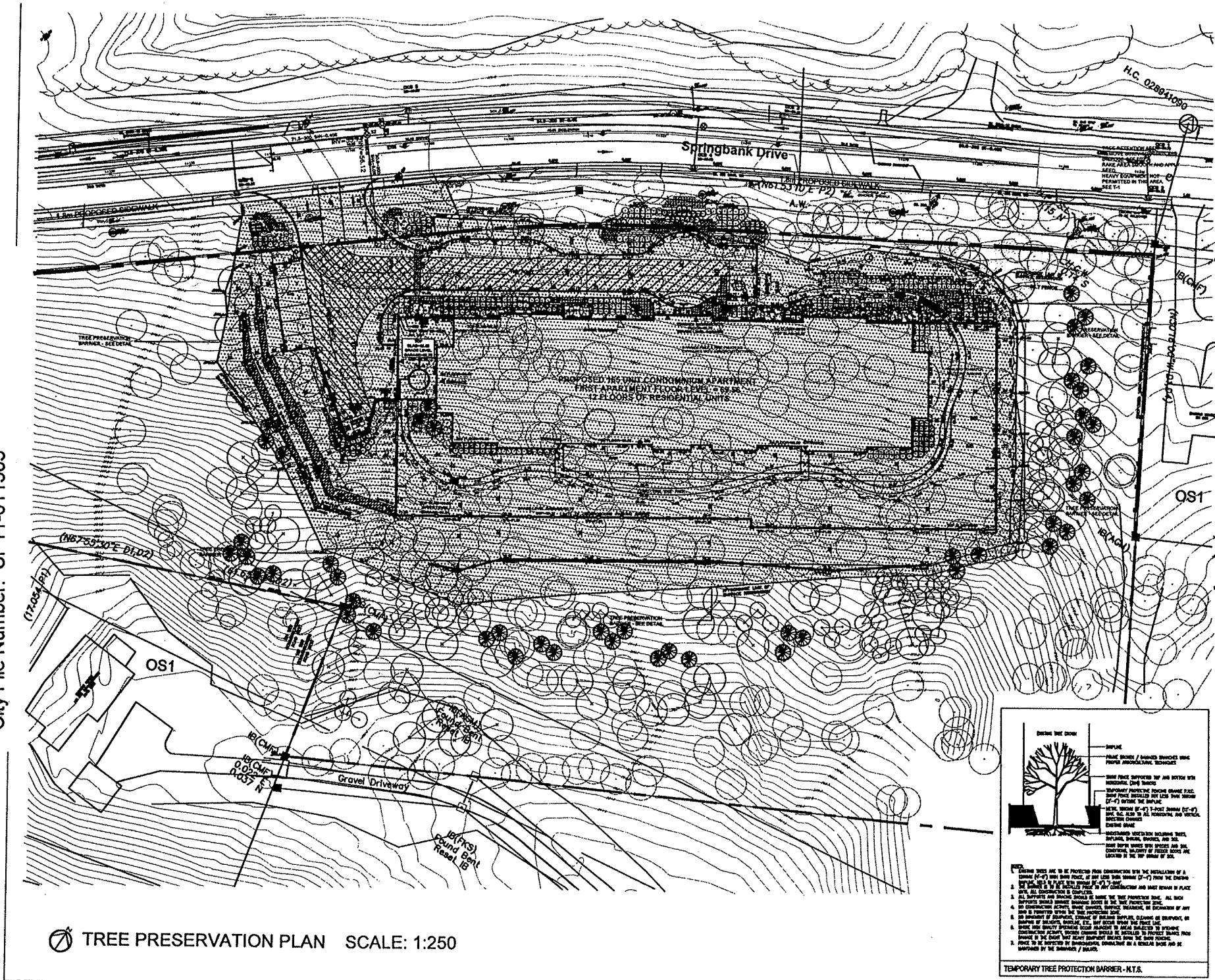
**DETAILS & GENERAL SPECIFICATIONS**

11-011305  
 RECEIVED BY  
 MFL/SM  
 OFFICE OF LANDSCAPE ARCHITECTURE

Ron Koudys  
 Landscape Architect  
 940 Springbank Drive  
 London, Ontario  
 N6G 1S5  
 (519) 833-0700



Drawing Title: Tree Preservation Plan  
 Drawing Author: Ron Koudys Landscape Architect  
 Drawing Number: T-1  
 Date of Drawing: January 9, 2009  
 Drawing Latest Revision Date: August 17, 2011  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: Ron Koudys Landscape Architect  
 City File Number: SP11-011305



TREE PRESERVATION PLAN SCALE: 1:250

**EXISTING TREE CROWN**

**IMPLINE**  
 FRAMED BRANCHES / BRANCHED BRANCHES WITH  
 THIN BRANCHES AND TWIGS TO BE REMOVED  
 BRANCHES TO BE REMOVED BY AND BOTTOM WITH  
 HORIZONTAL CROWN TRIMMING  
 TEMPORARY PROTECTIVE FENCING SHALL BE  
 INSTALLED WITHIN AND AROUND THE CROWN  
 (2'-2') OUTSIDE THE IMPLINE  
 BRANCHES TO BE CUT SUBJECT TO THE  
 TREE SURVIVAL AND HEALTH  
 CROWN TRIMMING

**RECOMMENDED PROTECTION INCLUDING TRUNK  
 WRAP, BRANCH BRACING, AND SOIL  
 MOISTURE RETENTION WITH SPACES AND SOIL  
 MULCH TO BE MAINTAINED THROUGHOUT THE  
 LIFE OF THE TREE AT ALL TIMES**

**REVISIONS:**

1. DESIGN THESE ARE TO BE PROTECTED FROM CONSTRUCTION WITH THE INSTALLATION OF A  
 1.5M (5'-0") TALL BARRIER, AT THE TREE TRUNK NUMBER (2'-2") FROM THE EXISTING  
 IMPLINE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE TREE.
2. ALL SUPPORTS AND BRACING SHALL BE MADE OF WOOD OR METAL. ALL SUCH  
 SUPPORTS SHALL BE INSTALLED WITHIN THE TREE PROTECTION ZONE.  
 ALL CONSTRUCTION ACTIVITY, BRANCH REMOVAL, BRANCH BRACING, OR PRUNING OF ANY  
 KIND IS PROHIBITED WITHIN THE TREE PROTECTION ZONE.
3. NO BRANCHES OR TWIGS SHALL BE REMOVED OR BRANCHED OFF UNLESS AS  
 ORDERED BY THE ARBORIST. (I.E. NOT FROM WITHIN THE PROTECTIVE  
 ZONE)
4. BRANCHES SHALL BE CUT AT AN ANGLE TO PREVENT DAMAGE TO THE  
 REMAINING CROWN. BRANCHES SHALL BE CUT AT AN ANGLE TO PREVENT DAMAGE TO  
 THE REMAINING CROWN. BRANCHES SHALL BE CUT AT AN ANGLE TO PREVENT DAMAGE TO  
 THE REMAINING CROWN.
5. BRANCHES TO BE CUT SHALL BE CUT AT AN ANGLE TO PREVENT DAMAGE TO  
 THE REMAINING CROWN.
6. BRANCHES TO BE CUT SHALL BE CUT AT AN ANGLE TO PREVENT DAMAGE TO  
 THE REMAINING CROWN.

**TEMPORARY TREE PROTECTION BARRIER - N.T.S.**

KEY MAP N.T.S.

**LEGEND**

- PROPOSED PLANTINGS
- DECORATIVE ANTI-CRACK STONE
- EXISTING TREE TO BE RETAINED
- EXISTING TREES TO BE PROTECTED
- EXISTING TREES TO BE REMOVED
- TREE PRESERVATION BARRIER

NO.	DESCRIPTION	DATE
001	ISSUED FOR SPA	01/09
002	REVISED AS PER NEW ENGINEERING	08/11
003	REVISED AS PER SPA COMMENTS	08/11
004	REVISED AS PER ENGINEERING	08/11
005	ISSUED FOR SPA	01/09
006	REVISED	01/09

**Ron Koudys Landscape Architect Inc.**  
 1000 SHEPPARD AVENUE EAST  
 SUITE 1000 SCARBOROUGH, ONTARIO M1S 1T7  
 TEL: (416) 291-1111 FAX: (416) 291-1112

**RESERVOIR HILL**  
 Springbank Dr.  
 London, Ontario

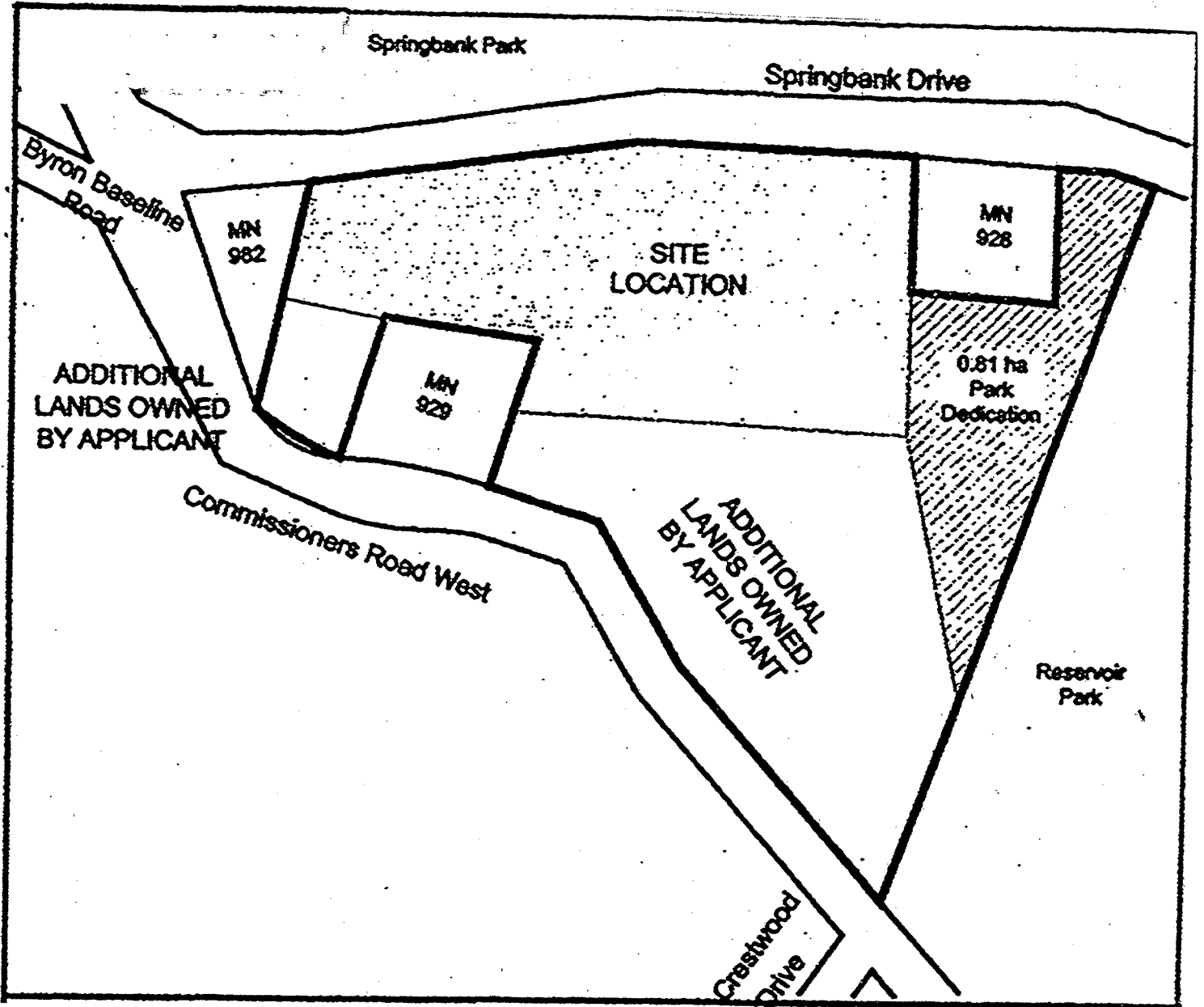
**TREE PRESERVATION PLAN**

DATE: 08/17/11	BY: R.K.	SCALE: 1:250
PROJECT NO: 08-212(08-212T-1H)	DRAWING NO: T-1	

Schedule F

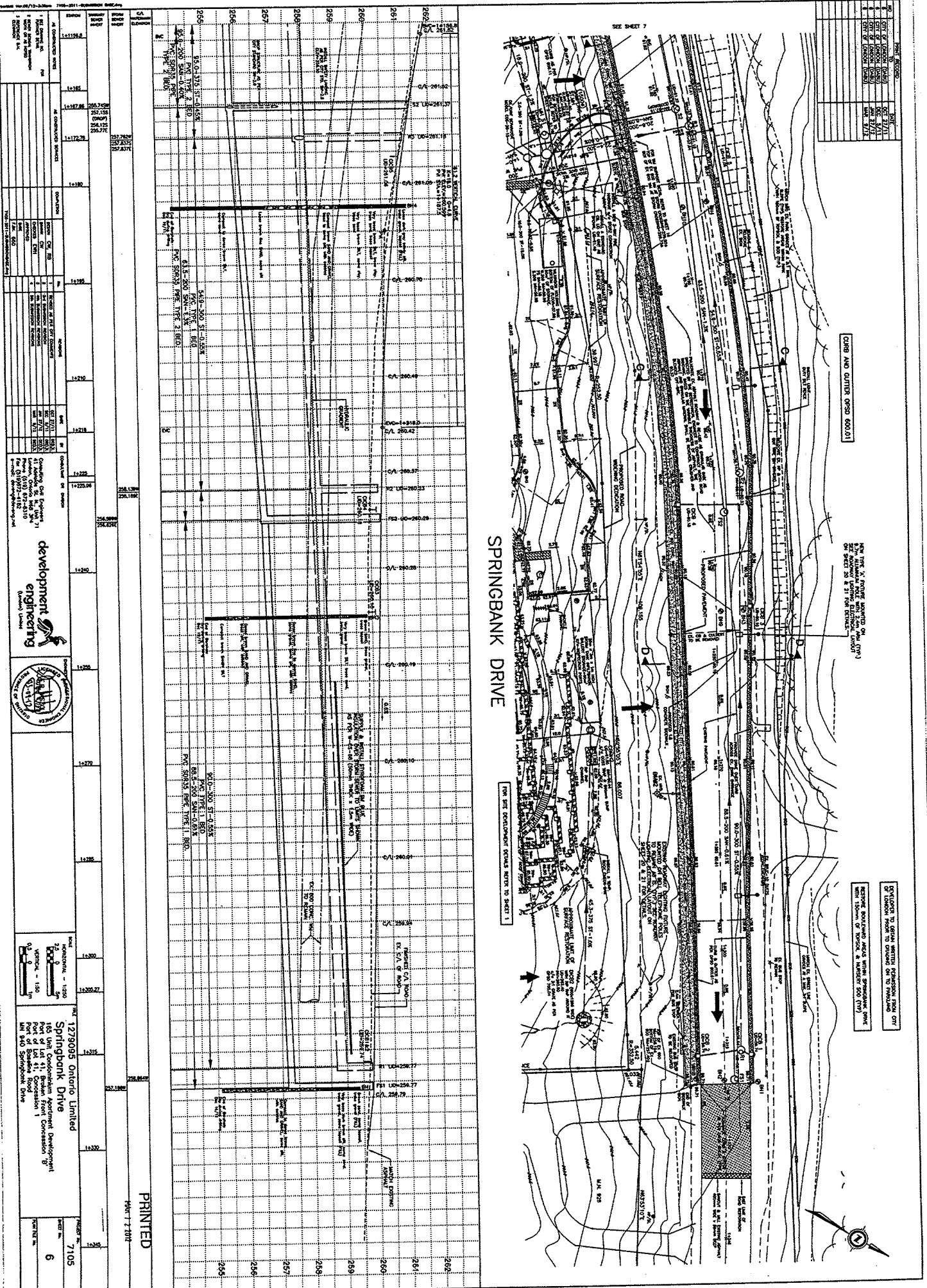
Drawing Title: Park Block Dedication Illustration.  
City File Number: SP11-011305

Proposed Parkland Location ( 2 acres )





Drawing Title: Springbank Drive  
 Drawing Author: Development Engineering  
 Drawing Number: 6  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305



NO.	DATE	DESCRIPTION
1	10/27/11	ISSUED FOR PERMIT
2	03/09/12	REVISED TO REFLECT PERMIT COMMENTS
3	03/09/12	REVISED TO REFLECT PERMIT COMMENTS
4	03/09/12	REVISED TO REFLECT PERMIT COMMENTS
5	03/09/12	REVISED TO REFLECT PERMIT COMMENTS

NO.	DATE	DESCRIPTION
1	10/27/11	ISSUED FOR PERMIT
2	03/09/12	REVISED TO REFLECT PERMIT COMMENTS
3	03/09/12	REVISED TO REFLECT PERMIT COMMENTS
4	03/09/12	REVISED TO REFLECT PERMIT COMMENTS
5	03/09/12	REVISED TO REFLECT PERMIT COMMENTS

1279035 Ontario Limited	1279035
Springbank Drive	1279035
165 Unit Condominium Apartment Development	1279035
Part of Lot 11, Section 17, Township of Springbank, District of Springbank	1279035
Part of Springbank Drive	1279035
Part of Springbank Drive	1279035

1279035 Ontario Limited	1279035
Springbank Drive	1279035
165 Unit Condominium Apartment Development	1279035
Part of Lot 11, Section 17, Township of Springbank, District of Springbank	1279035
Part of Springbank Drive	1279035
Part of Springbank Drive	1279035

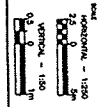
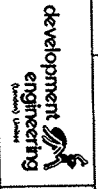
  

1279035 Ontario Limited	1279035
Springbank Drive	1279035
165 Unit Condominium Apartment Development	1279035
Part of Lot 11, Section 17, Township of Springbank, District of Springbank	1279035
Part of Springbank Drive	1279035
Part of Springbank Drive	1279035

1279035 Ontario Limited	1279035
Springbank Drive	1279035
165 Unit Condominium Apartment Development	1279035
Part of Lot 11, Section 17, Township of Springbank, District of Springbank	1279035
Part of Springbank Drive	1279035
Part of Springbank Drive	1279035

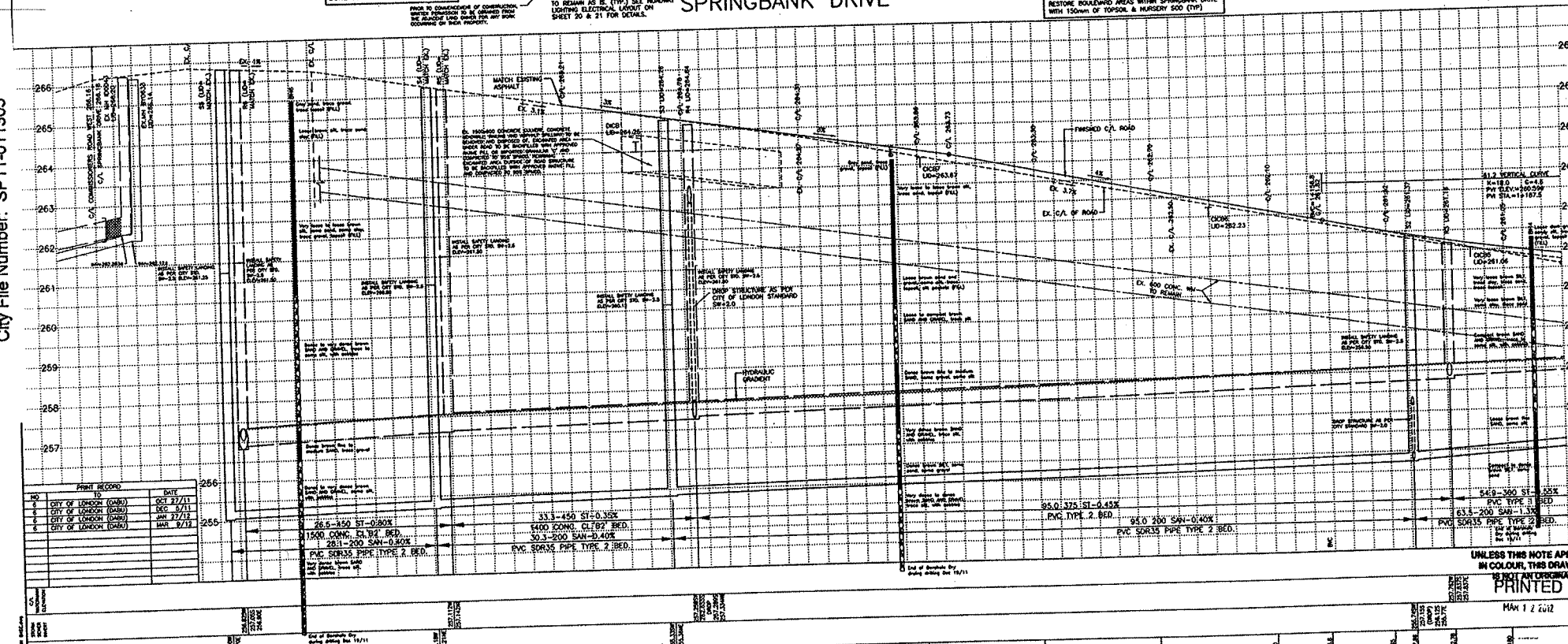
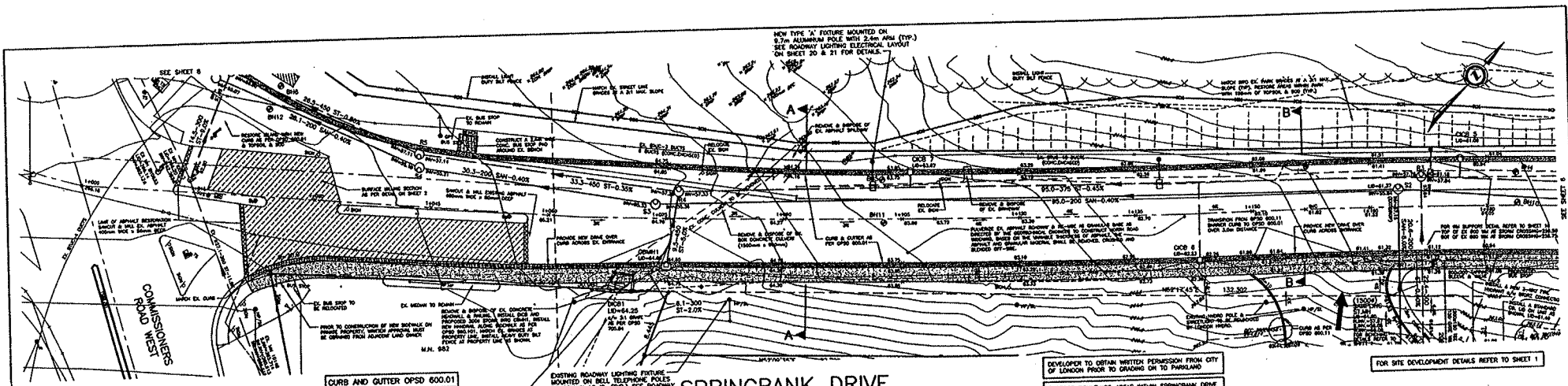
PRINTED  
 March 7, 2012



1279035 Ontario Limited  
 Springbank Drive  
 165 Unit Condominium Apartment Development  
 Part of Lot 11, Section 17, Township of Springbank, District of Springbank  
 Part of Springbank Drive  
 Part of Springbank Drive

7105  
 6

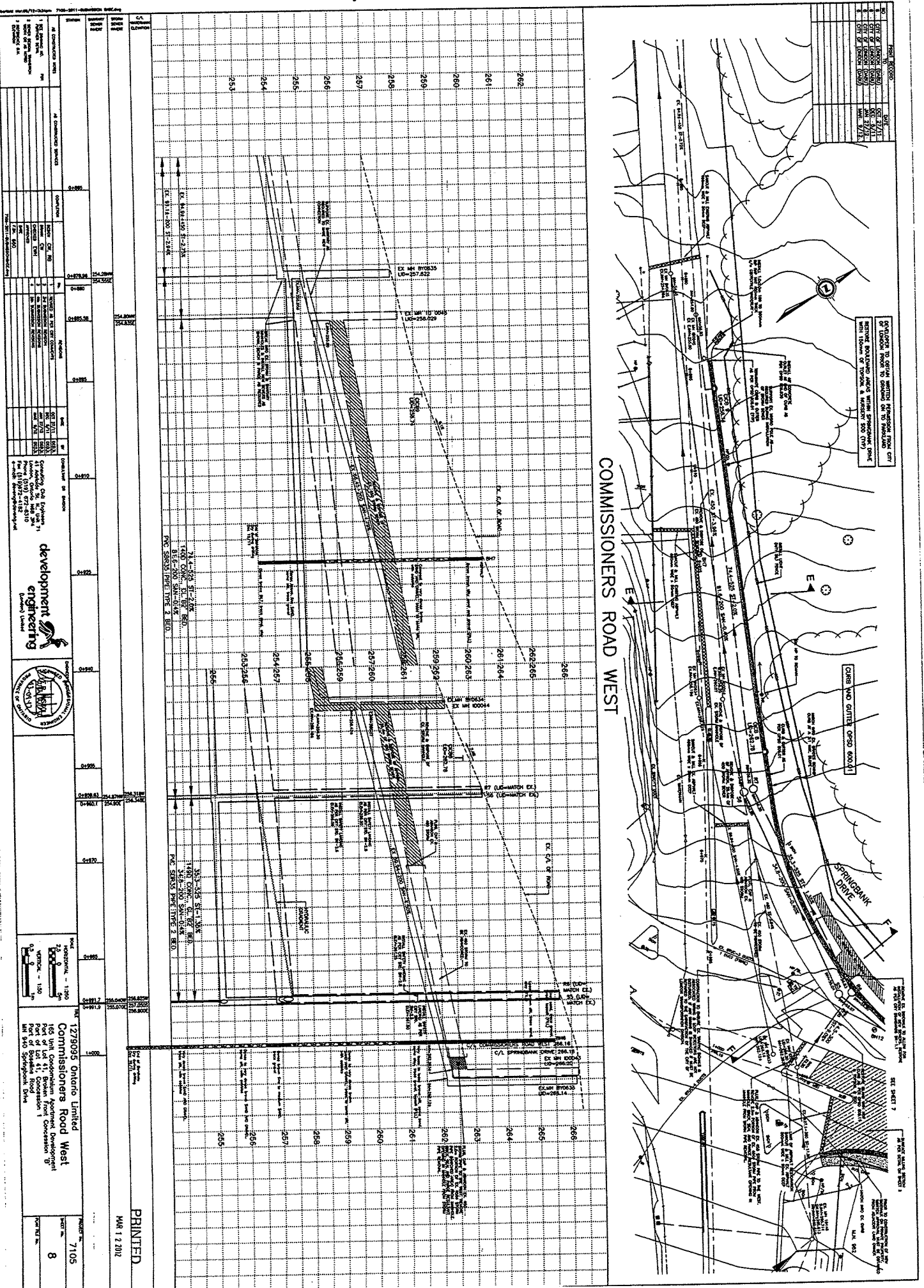
Drawing Title: Springbank Drive  
 Drawing Author: Development Engineering  
 Drawing Number: 7  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305



NO.	DESCRIPTION	DATE
1	CITY OF LONDON (CWB)	OCT 27/11
2	CITY OF LONDON (CWB)	NOV 2/11
3	CITY OF LONDON (CWB)	MAR 27/12
4	CITY OF LONDON (CWB)	MAR 9/12

<p>UNLESS THIS NOTE APPEARS IN COLOUR, THIS DRAWING IS NOT AN ORIGINAL PRINTED</p> <p>MAR 12 2012</p>		<p>1279095 Ontario Limited                  Springbank Drive                  165 Unit Condominium Apartment Development                  Part of Lot 41, Broken Front Concession 'B'                  Part of Lot 41, Concession 1                  Port of Baseline Road                  Mt 940 Springbank Drive</p>		<p>7105</p>	
<p>PRINTED                  MAR 12 2012</p>		<p>SCALE                  HORIZONTAL - 1:250                  25 0 50                  VERTICAL - 1:50                  0.5 0 1.0</p>		<p>7</p>	
<p>development engineering                  (London) Limited</p>		<p>CONSULTING CIVIL ENGINEERS                  41 Adelaide St. W., Unit 11                  41 Adelaide St. W., Unit 11                  London, Ontario N6B 3P4                  Phone (519) 872-8310                  Fax (519) 872-8182                  e-mail: deveng@deveng.net</p>		<p>PROPERTY No. 7105                  SHEET No. 7                  PLAN FILE No.</p>	

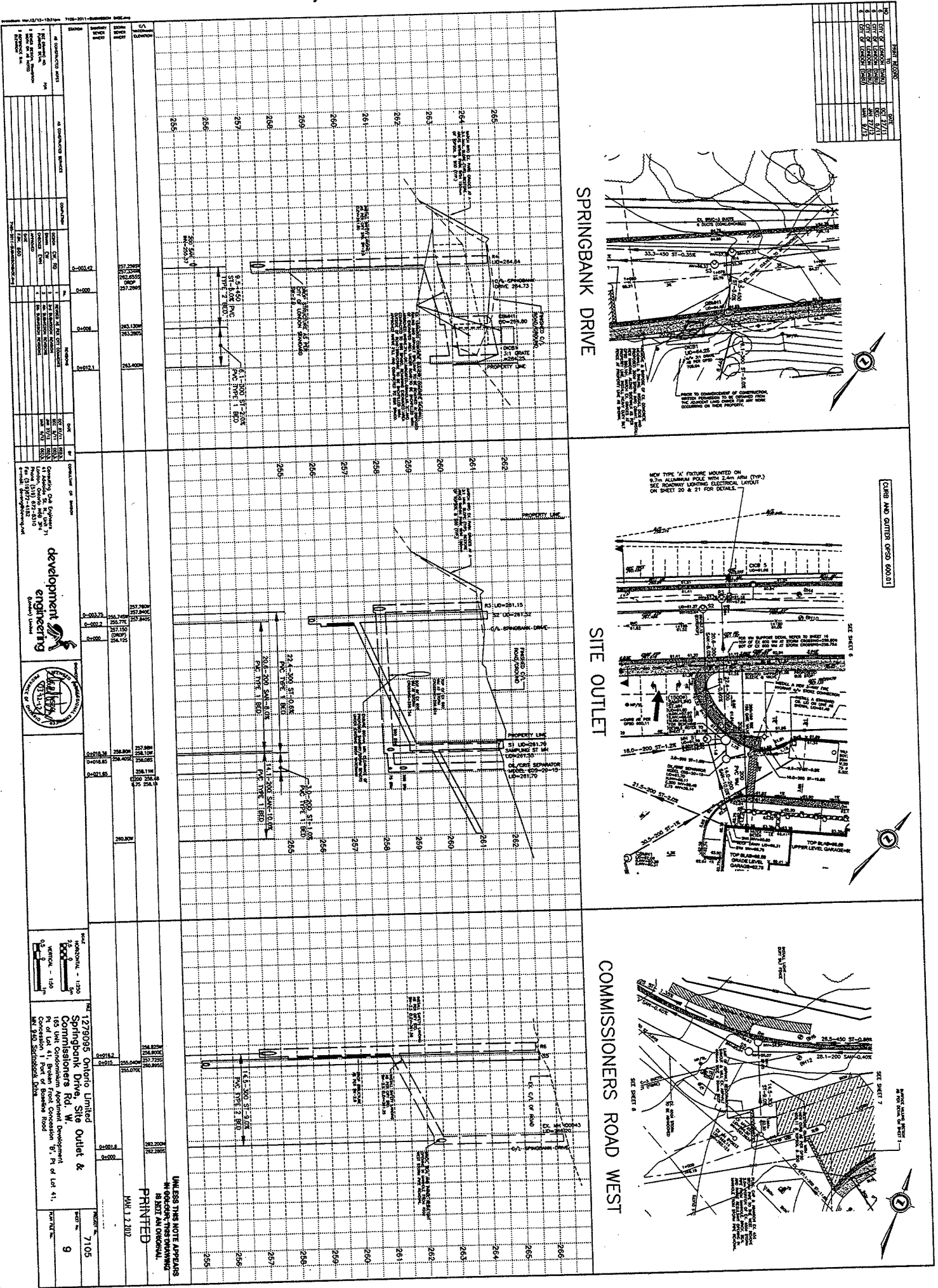
Drawing Title: Commissioners Rd W  
 Drawing Author: Development Engineering  
 Drawing Number: 8  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305



PRINTED  
 MAR 12 2012

1273095 Ontario Limited Commissioners Road West 165 Unit Condominium Apartment Development Part of Lot 41 Concession 1 Part of Section 9 940 Springbank Drive		PROJECT NO. 7105
SHEET NO. 8		DATE MAR 12 2012
SCALE HORIZONTAL - 1:200 VERTICAL - 1:50		DRAWN BY E.B. Wszol
CHECKED BY E.B. Wszol		PROJECT MANAGER E.B. Wszol
DEVELOPMENT ENGINEERING Ontario Limited		CITY OF TORONTO 100 Queen St. W. Toronto, Ontario, M5H 2N2 Tel: (416) 392-3111 Fax: (416) 392-3112
1. CONTRACTOR'S RESPONSIBILITY 2. DESIGNER'S RESPONSIBILITY 3. CITY OF TORONTO'S RESPONSIBILITY 4. MUNICIPAL ENGINEER'S RESPONSIBILITY 5. PROFESSIONAL ENGINEER'S RESPONSIBILITY		6. CONTRACTOR'S RESPONSIBILITY 7. DESIGNER'S RESPONSIBILITY 8. CITY OF TORONTO'S RESPONSIBILITY 9. MUNICIPAL ENGINEER'S RESPONSIBILITY 10. PROFESSIONAL ENGINEER'S RESPONSIBILITY

Drawing Title: Springbank Dr, Site Outlet and Commissioners Rd W  
 Drawing Author: Development Engineering  
 Drawing Number: 9  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305



NO.	DATE	BY	DESCRIPTION
1	10/27/11	E.B. Wszol	ISSUED FOR PERMIT
2	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS
3	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS
4	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS
5	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS
6	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS
7	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS
8	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS
9	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS

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3	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS
4	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS
5	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS
6	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS
7	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS
8	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS
9	03/09/12	E.B. Wszol	REVISED TO REFLECT PERMIT COMMENTS

UNLESS THIS NOTE APPEARS IN RED LETTERS, IT IS NOT TO BE CONSIDERED A PART OF THIS DRAWING.  
 PRINTED  
 MAR 12 2012

1273005 Ontario Limited  
 Springbank Drive, Site Outlet &  
 Commissioners Rd. W.  
 Part of Lot 41, Buxton Farm Concession B, Pt of Lot 41,  
 Concession 1 Part of Buxton Road  
 NW 340, Simcoe District, ON

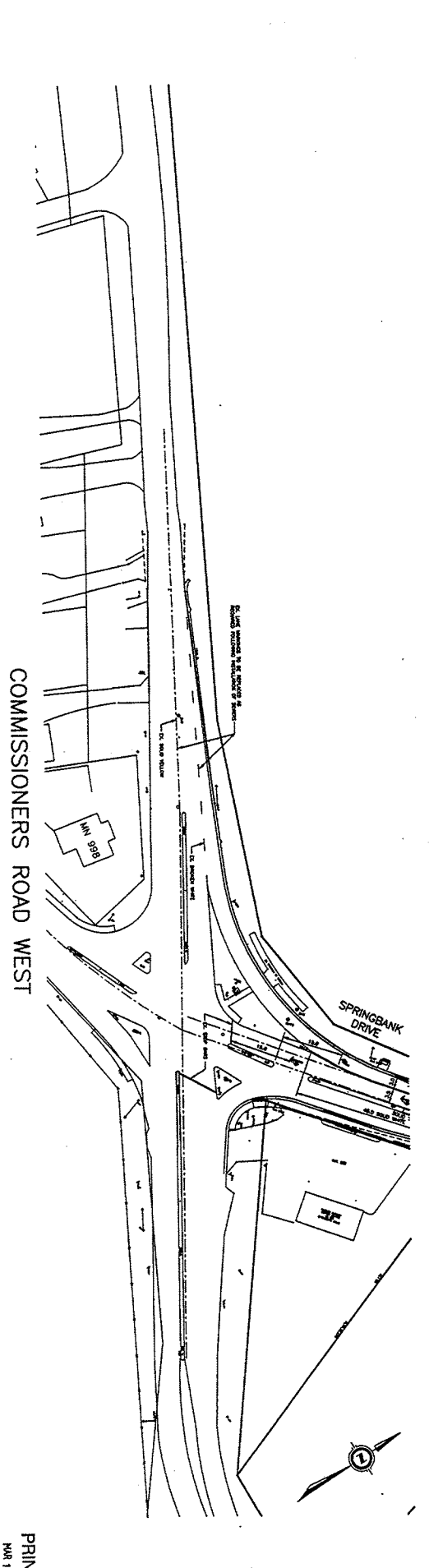
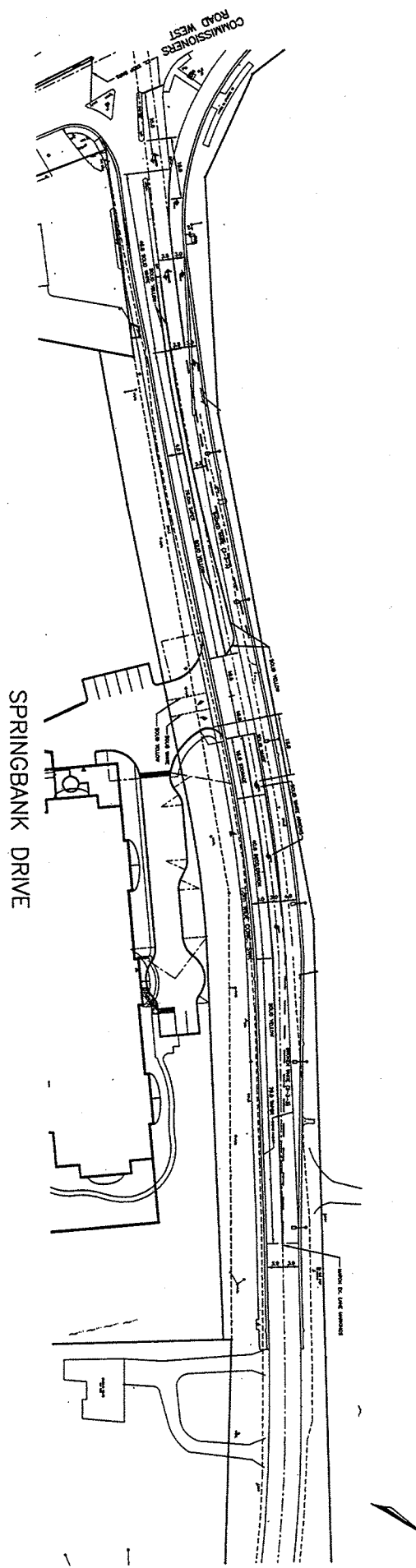
development engineering  
 940 Springbank Drive  
 Simcoe, Ontario N4B 3K1  
 Phone: (519) 871-2810  
 Fax: (519) 871-2811  
 Email: info@developmenteng.com

Scale: 1" = 100'  
 Vertical: 1" = 10'

Sheet No. 9  
 Project No. 7105

Drawing Title: Lane Markings Plan  
 Drawing Author: Development Engineering  
 Drawing Number: 10  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305

1	DATE	BY	DESCRIPTION
1	08/27/11	E.B. Wszol	ISSUED FOR PERMIT
2	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
3	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
4	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
5	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
6	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
7	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
8	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
9	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
10	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS



1	DATE	BY	DESCRIPTION
1	08/27/11	E.B. Wszol	ISSUED FOR PERMIT
2	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
3	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
4	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
5	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
6	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
7	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
8	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
9	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS
10	09/11/11	E.B. Wszol	REVISED PER CITY COMMENTS

1278085 Ontario Limited  
 165 York Condominium Apartment Development  
 Part of Lot 41, Concession 1  
 Part of Roselle Road  
 MN 340 Springbank Drive

development engineering

Scale: 1:500

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 MAR 12 2012

7105  
 10

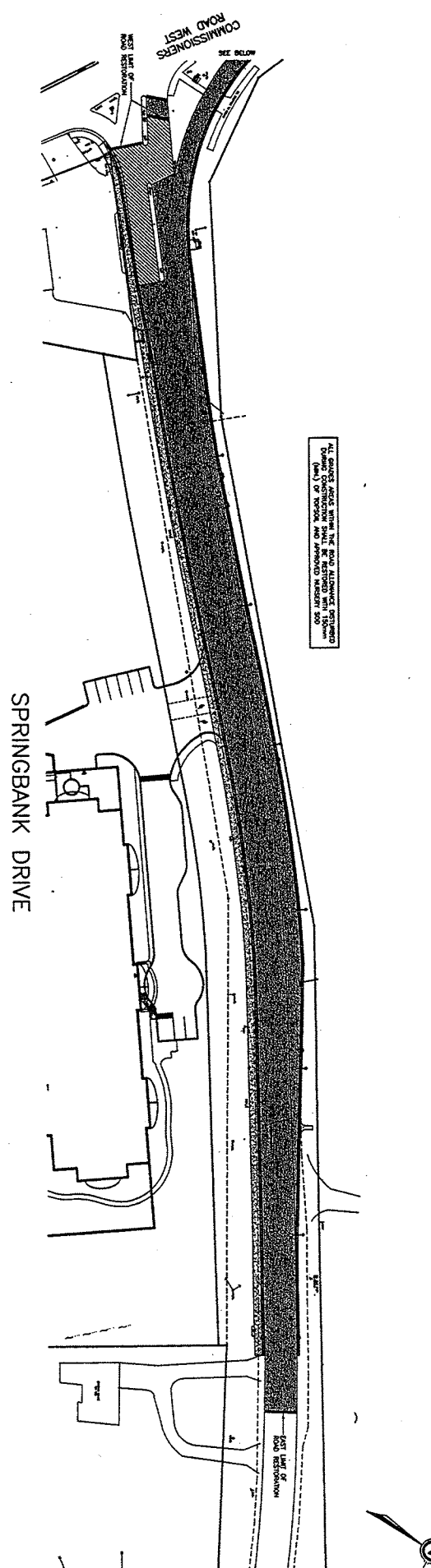


Drawing Title: Restoration Plan  
 Drawing Author: Development Engineering  
 Drawing Number: 11  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305

NO.	DATE	DESCRIPTION
1	10/27/11	ISSUED FOR PERMIT
2	11/11/11	REVISED PER COMMENTS
3	03/09/12	REVISED PER COMMENTS
4	03/09/12	REVISED PER COMMENTS
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7	03/09/12	REVISED PER COMMENTS
8	03/09/12	REVISED PER COMMENTS
9	03/09/12	REVISED PER COMMENTS
10	03/09/12	REVISED PER COMMENTS

ALL CHANGES MADE SINCE THE ROAD ALIGNMENT ESTABLISHED BY THE ORIGINAL CONSTRUCTION SHALL BE RESTORED WITH 150mm (6") OF ASPHALT AND APPROVED WEAR AND TEAR SURF.

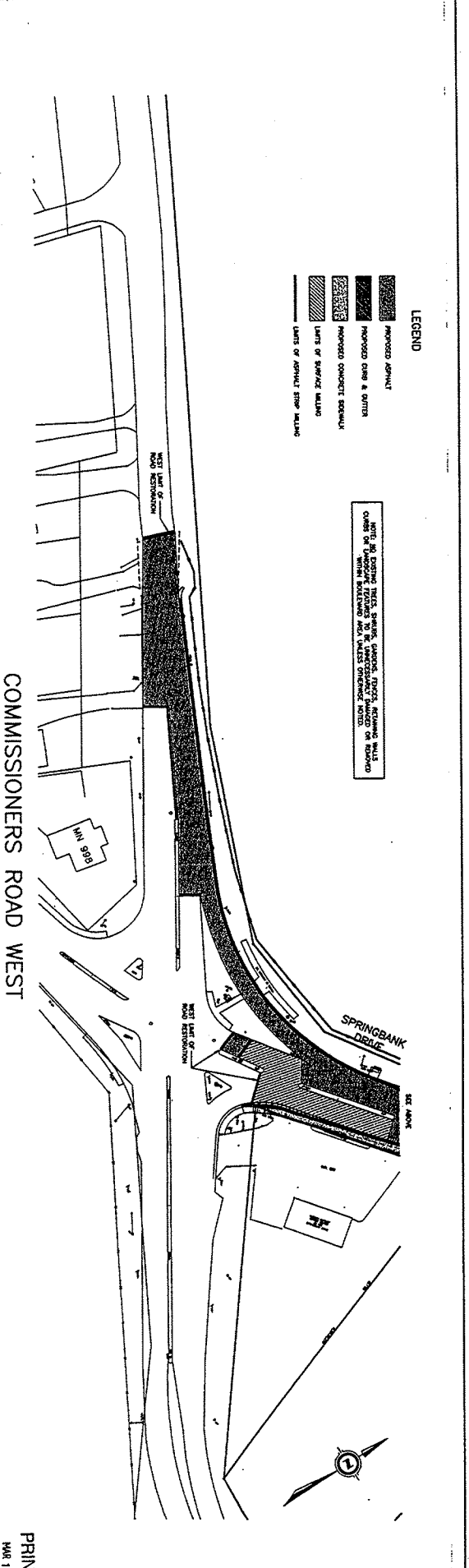
RECOMMENDED SUPPORT STRUCTURE FOR SPRINGBANK DRIVE AND COMMISSIONERS ROAD WEST IS 100% GRADE. ALL EXISTING UTILITY STRUCTURES SHALL BE RESTORED TO ORIGINAL GRADE. ALL EXISTING UTILITY STRUCTURES SHALL BE RESTORED TO ORIGINAL GRADE. ALL EXISTING UTILITY STRUCTURES SHALL BE RESTORED TO ORIGINAL GRADE. ALL EXISTING UTILITY STRUCTURES SHALL BE RESTORED TO ORIGINAL GRADE.



**LEGEND**

- PROPOSED ASPHALT
- PROPOSED CURB & GUTTER
- PROPOSED CONCRETE SIDEWALK
- LIMITS OF SURFACE MAINTENANCE
- LIMITS OF ASPHALT STRENGTH MAINTENANCE

NOTE: ALL EXISTING UTILITIES, STRUCTURES, AND/OR OBSTRUCTIONS SHALL BE RESTORED TO ORIGINAL GRADE WITHIN THE 150mm (6") WEAR AND APPROVED WEAR SURF.



NO.	DATE	DESCRIPTION
1	10/27/11	ISSUED FOR PERMIT
2	11/11/11	REVISED PER COMMENTS
3	03/09/12	REVISED PER COMMENTS
4	03/09/12	REVISED PER COMMENTS
5	03/09/12	REVISED PER COMMENTS
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7	03/09/12	REVISED PER COMMENTS
8	03/09/12	REVISED PER COMMENTS
9	03/09/12	REVISED PER COMMENTS
10	03/09/12	REVISED PER COMMENTS

1279095 Ontario Limited  
 Restoration Plan  
 Part of Lot 41, Concession 1  
 Part of Springbank Drive

7105  
 11

PRINTED  
 MAR 12 2012

Drawing Title: Storm Area Plan West and Design Sheet  
 Drawing Author: Development Engineering  
 Drawing Number: 12  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305

NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
1	ISSUED FOR PERMIT	10/27/11	E.B. Wszol		
2	REVISED	03/09/12	E.B. Wszol		

NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
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2	REVISED	03/09/12	E.B. Wszol		

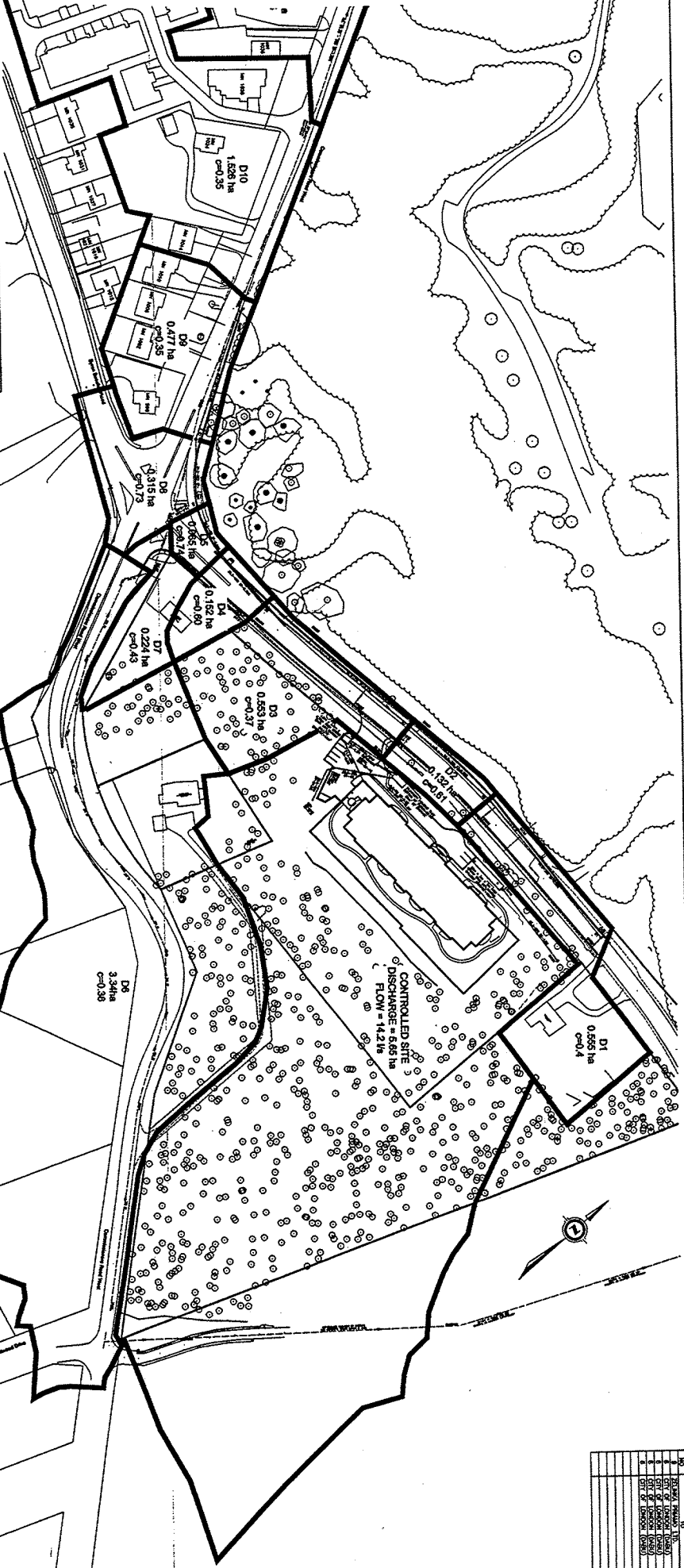
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1	ISSUED FOR PERMIT	10/27/11	E.B. Wszol		
2	REVISED	03/09/12	E.B. Wszol		

NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
1	ISSUED FOR PERMIT	10/27/11	E.B. Wszol		
2	REVISED	03/09/12	E.B. Wszol		

NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
1	ISSUED FOR PERMIT	10/27/11	E.B. Wszol		
2	REVISED	03/09/12	E.B. Wszol		

NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
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2	REVISED	03/09/12	E.B. Wszol		

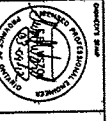
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2	REVISED	03/09/12	E.B. Wszol		



NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
1	ISSUED FOR PERMIT	10/27/11	E.B. Wszol		
2	REVISED	03/09/12	E.B. Wszol		

NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
1	ISSUED FOR PERMIT	10/27/11	E.B. Wszol		
2	REVISED	03/09/12	E.B. Wszol		

development engineering  
 CONSULTANTS



SCALE - 1:1,100

1278095 Ontario Limited  
 Storm Area Plan West and Design Sheet  
 Part of Lot 41, Block Front Concession B, MAP 12 2011  
 Part of Township of Springbank, W.M. 240 Springbank Drive, ONT.

PRINTED  
 MAR 12 2012

7105  
 12

Drawing Title: Sanitary Area Plan West and Design Sheet  
 Drawing Author: Development Engineering  
 Drawing Number: 13  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305

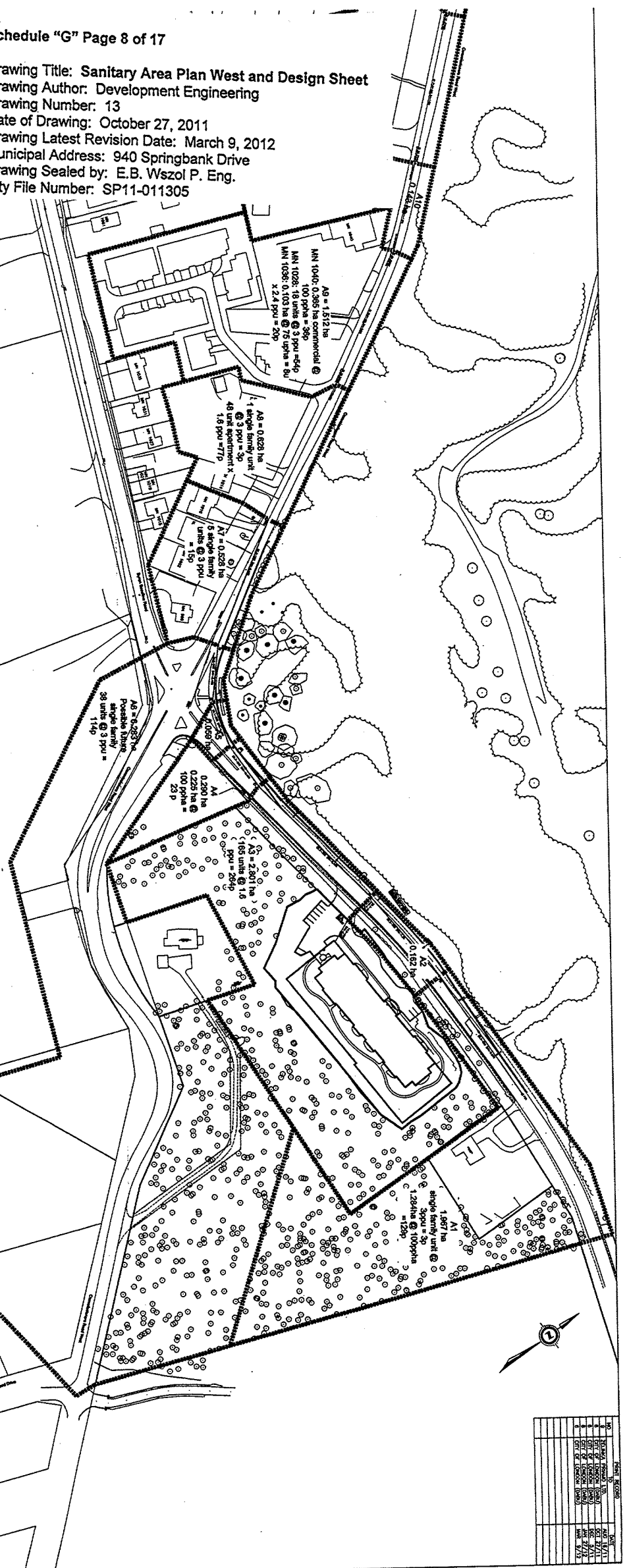
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2	REVISED	03/09/12	EW	EW	REVISED

NO.	REVISION	DATE	BY	CHKD.	DESCRIPTION
1	ISSUED FOR PERMIT	10/27/11	EW	EW	ISSUED FOR PERMIT
2	REVISED	03/09/12	EW	EW	REVISED

NO.	REVISION	DATE	BY	CHKD.	DESCRIPTION
1	ISSUED FOR PERMIT	10/27/11	EW	EW	ISSUED FOR PERMIT
2	REVISED	03/09/12	EW	EW	REVISED



NO.	REVISION	DATE	BY	CHKD.	DESCRIPTION
1	ISSUED FOR PERMIT	10/27/11	EW	EW	ISSUED FOR PERMIT
2	REVISED	03/09/12	EW	EW	REVISED

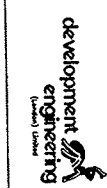
  

Scale: 1:1,000

1279095 Ontario Limited  
 Sanitary Area Plan West and Design Sheet  
 Part of Lot 41, Broken Front Concession 'B'  
 Part of Lot 41, Concession 'B'  
 Part of Lot 41, Concession 'B'  
 Part of Lot 41, Concession 'B'

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 MAR 12 2012

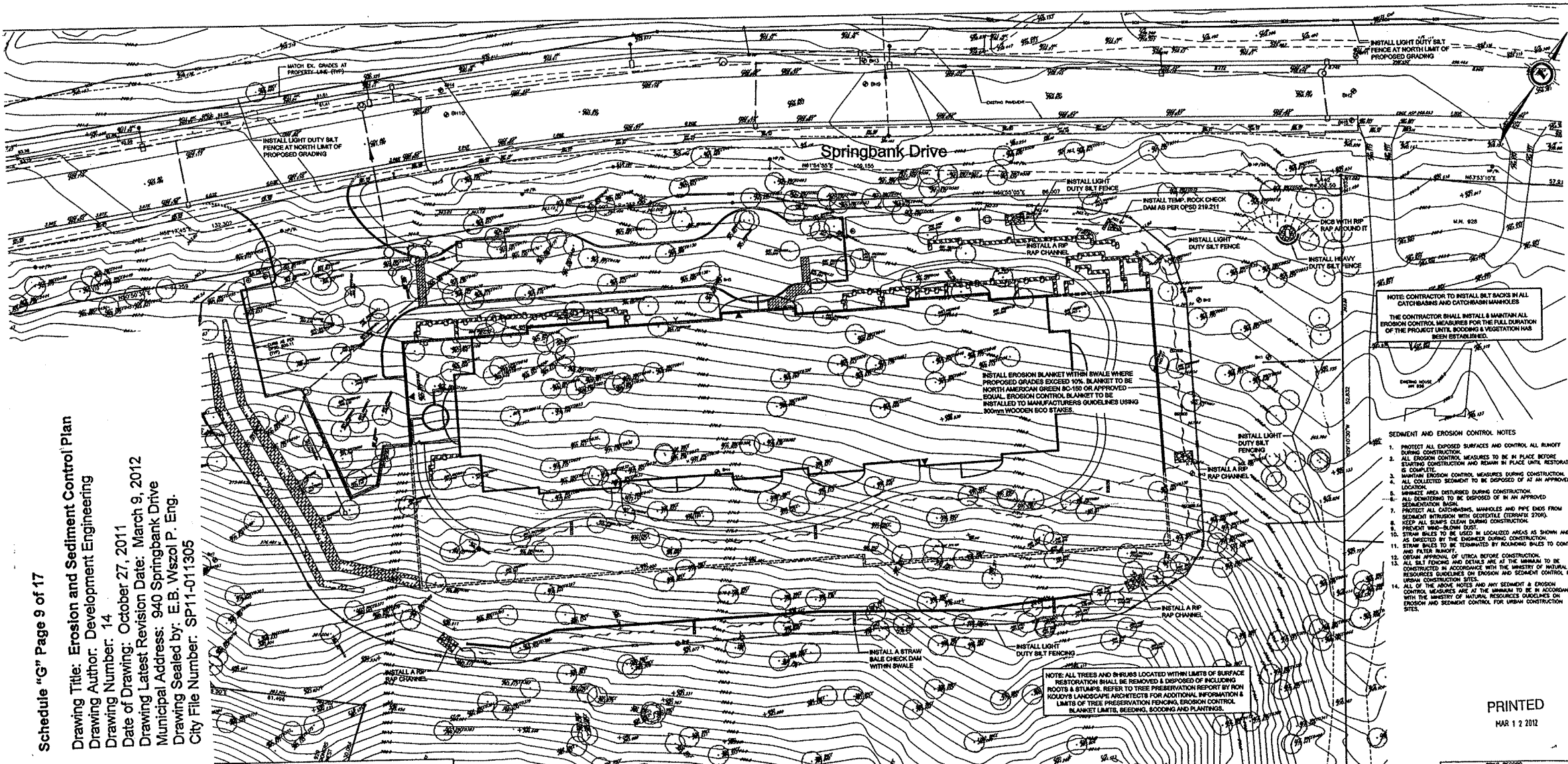
7105  
 13



NO.	REVISION	DATE	BY	CHKD.	DESCRIPTION
1	ISSUED FOR PERMIT	10/27/11	EW	EW	ISSUED FOR PERMIT
2	REVISED	03/09/12	EW	EW	REVISED



**Drawing Title: Erosion and Sediment Control Plan**  
**Drawing Author: Development Engineering**  
**Drawing Number: 14**  
**Date of Drawing: October 27, 2011**  
**Drawing Latest Revision Date: March 9, 2012**  
**Municipal Address: 940 Springbank Drive**  
**Drawing Sealed by: E.B. Wazol P. Eng.**  
**City File Number: SP11-011305**



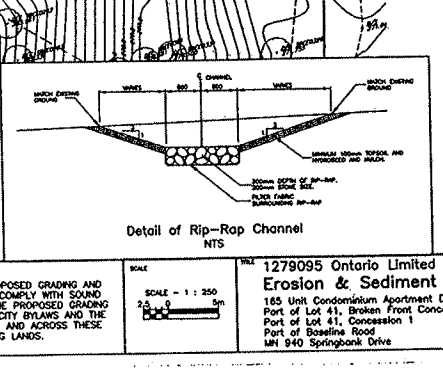
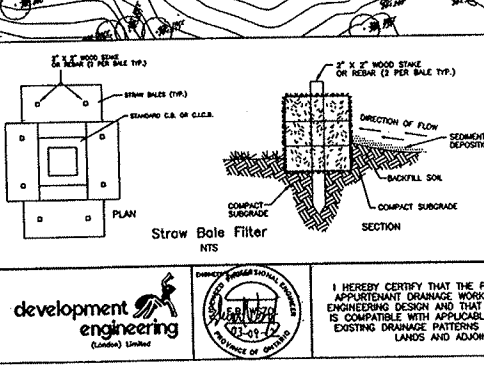
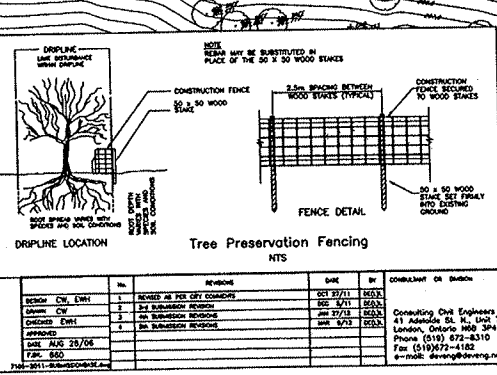
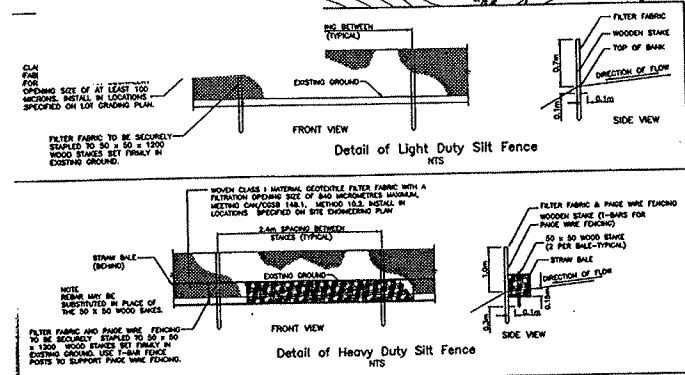
NOTE: CONTRACTOR TO INSTALL SILT BACKS IN ALL CATCHBASINS AND CATCH-BASH MANHOLES  
 THE CONTRACTOR SHALL INSTALL & MAINTAIN ALL EROSION CONTROL MEASURES FOR THE FULL DURATION OF THE PROJECT UNTIL SEEDING & VEGETATION HAS BEEN ESTABLISHED.

**SEDIMENT AND EROSION CONTROL NOTES**

1. PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
2. ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETE.
3. MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION. ALL COLLECTED SEDIMENT TO BE DISPOSED OF AT AN APPROVED LOCATION.
4. MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
5. PROTECT ALL CATCHBASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INTRUSION WITH GEOTEXTILE (CLEARLY MARKED).
6. KEEP ALL SLOPES CLEAN DURING CONSTRUCTION.
7. PREVENT WIND-BLOWN DUST.
8. STRAW BALES TO BE USED IN LOCALIZED AREAS AS SHOWN AND AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION.
9. STRAW BALES TO BE TERMINATED BY ROUNDING BALES TO CONTAIN AND FILTER BRANCHED.
10. OBTAIN APPROVAL OF UTICA BEFORE CONSTRUCTION.
11. ALL SILT FENCING AND DETAILS ARE AT THE MINIMUM TO BE CONSTRUCTED IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
12. ALL OF THE ABOVE NOTES AND ANY SEDIMENT & EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.

NOTE: ALL TREES AND SHRUBS LOCATED WITHIN LIMITS OF SURFACE RESTORATION SHALL BE REMOVED & DISPOSED OF INCLUDING ROOTS & STUMPS. REFER TO TREE PRESERVATION REPORT BY IRON ROADS LANDSCAPE ARCHITECTS FOR ADDITIONAL INFORMATION & LIMITS OF TREE PRESERVATION FENCING, EROSION CONTROL, BLANKET LIMITS, BEDDING, SOODING AND PLANTINGS.

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MAR 1 2 2012

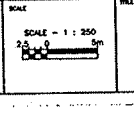


NO	PRINT RECORD	DATE
1	CITY OF LONDON (DRSU)	DEC 27/11
2	CITY OF LONDON (DRSU)	DEC 9/11
3	CITY OF LONDON (DRSU)	DEC 27/11
4	CITY OF LONDON (DRSU)	MAR 9/12

REVISION	DATE	COMPLIMENT OR DASH
1	DEC 27/11	15623
2	DEC 27/11	15623
3	JAN 27/12	15623
4	JAN 27/12	15623
5	AUG 28/12	15623
6	MAR 9/12	15623

development engineering  
London Limited

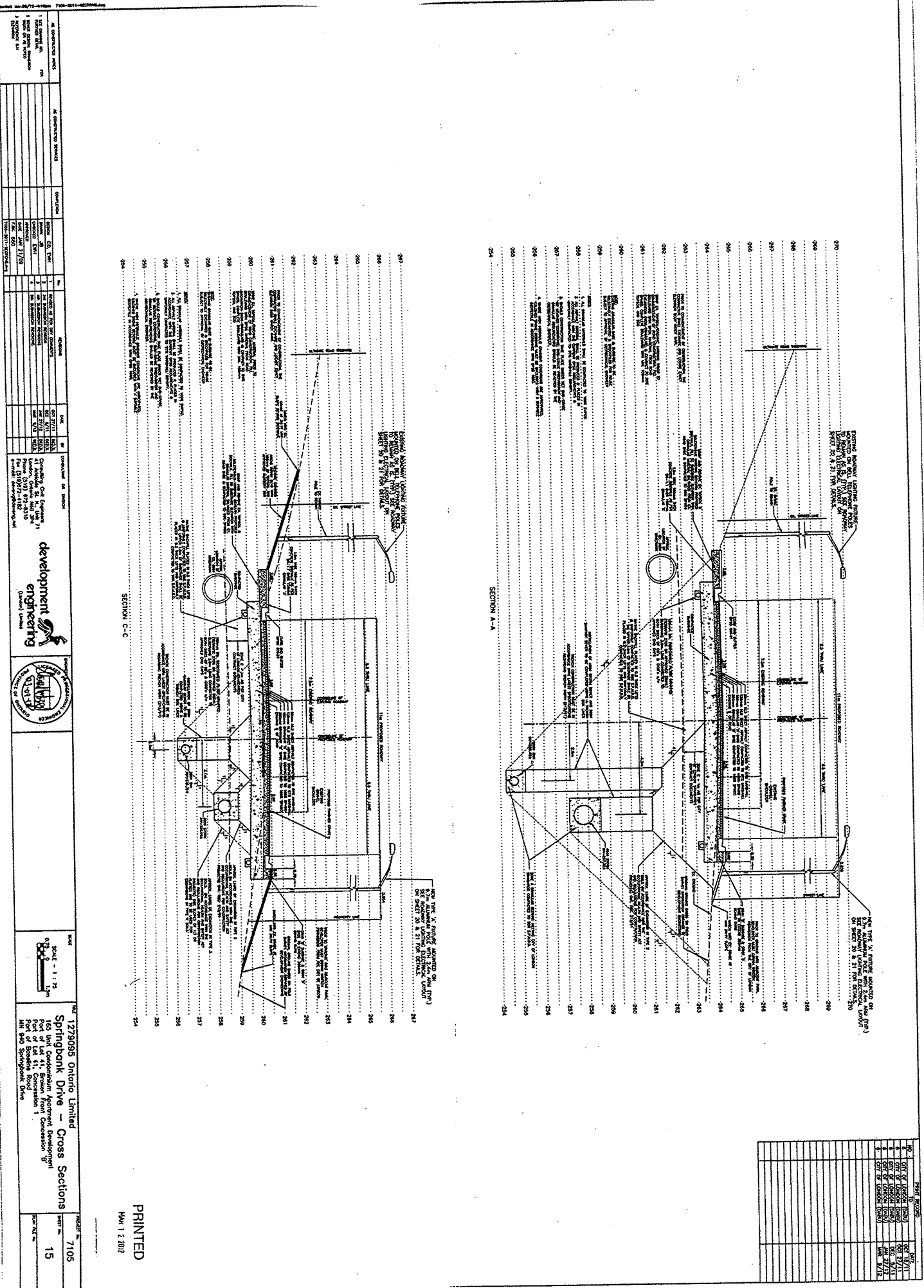
I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS COMPATIBLE WITH APPLICABLE CITY BYLAWS AND THE EXISTING DRAINAGE PATTERNS ON AND ACROSS THESE LANDS AND ADJOINING LANDS.



1279095 Ontario Limited  
Erosion & Sediment Control Plan  
185 Unit Condominium Apartment Development  
Part of Lot 41, Concession 1  
Part of Beamline Road  
LN 940 Springbank Drive

7105  
14  
PLAN FILE NO.

Drawing Title: Springbank Drive – Cross Section  
 Drawing Author: Development Engineering  
 Drawing Number: 15  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305



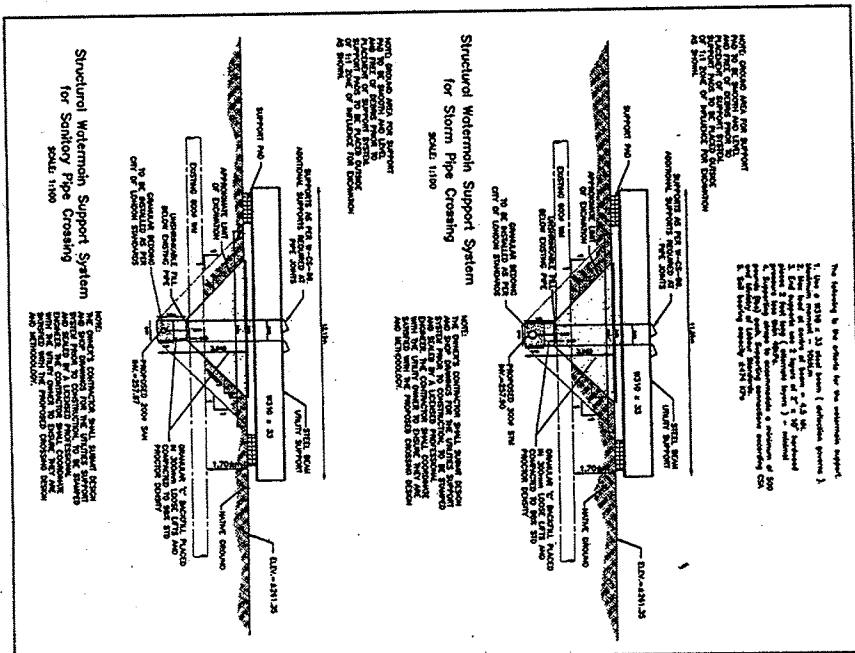
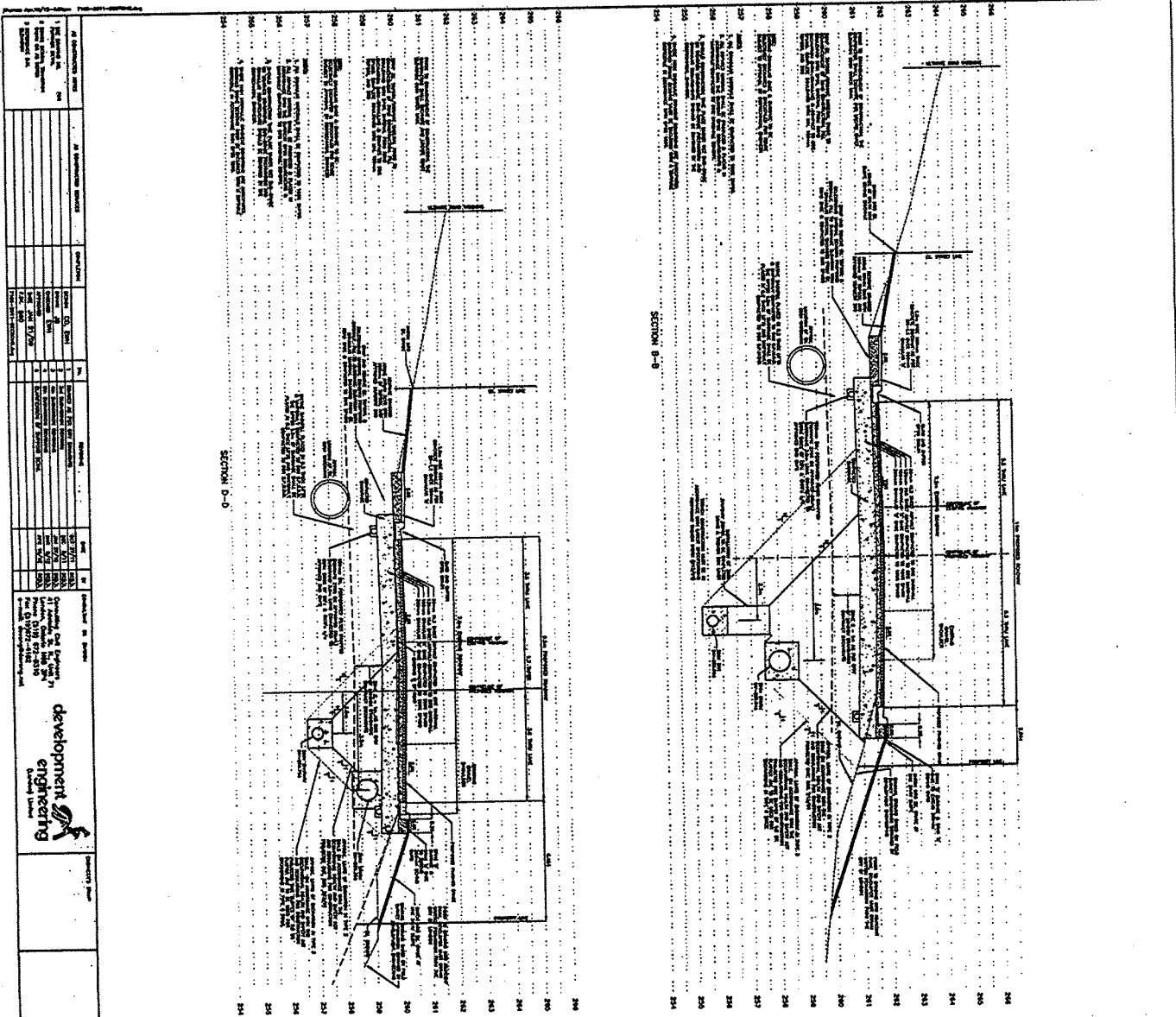
PRINTED  
 MAR 12 2012

1. CONSULTING ENGINEER E.B. Wszol P. Eng. 1000 Lakeshore Blvd. W. Toronto, Ontario M6K 3L1 Tel: (416) 778-1100 Fax: (416) 778-1101	2. CLIENT 1279095 Ontario Limited Springbank Drive – Cross Sections 160 Unit Condominium Apartment Development Part of Building Footprint 940 Springbank Drive	3. PROJECT NO. 7105	4. DRAWING NO. 15
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development engineering  
 CONSULTING ENGINEERS  
 1000 Lakeshore Blvd. W.  
 Toronto, Ontario M6K 3L1  
 Tel: (416) 778-1100  
 Fax: (416) 778-1101

1279095 Ontario Limited  
 Springbank Drive – Cross Sections  
 160 Unit Condominium Apartment Development  
 Part of Building Footprint  
 940 Springbank Drive

Drawing Title: Springbank Drive – Cross Section  
 Drawing Author: Development Engineering  
 Drawing Number: 16  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: April 16, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305



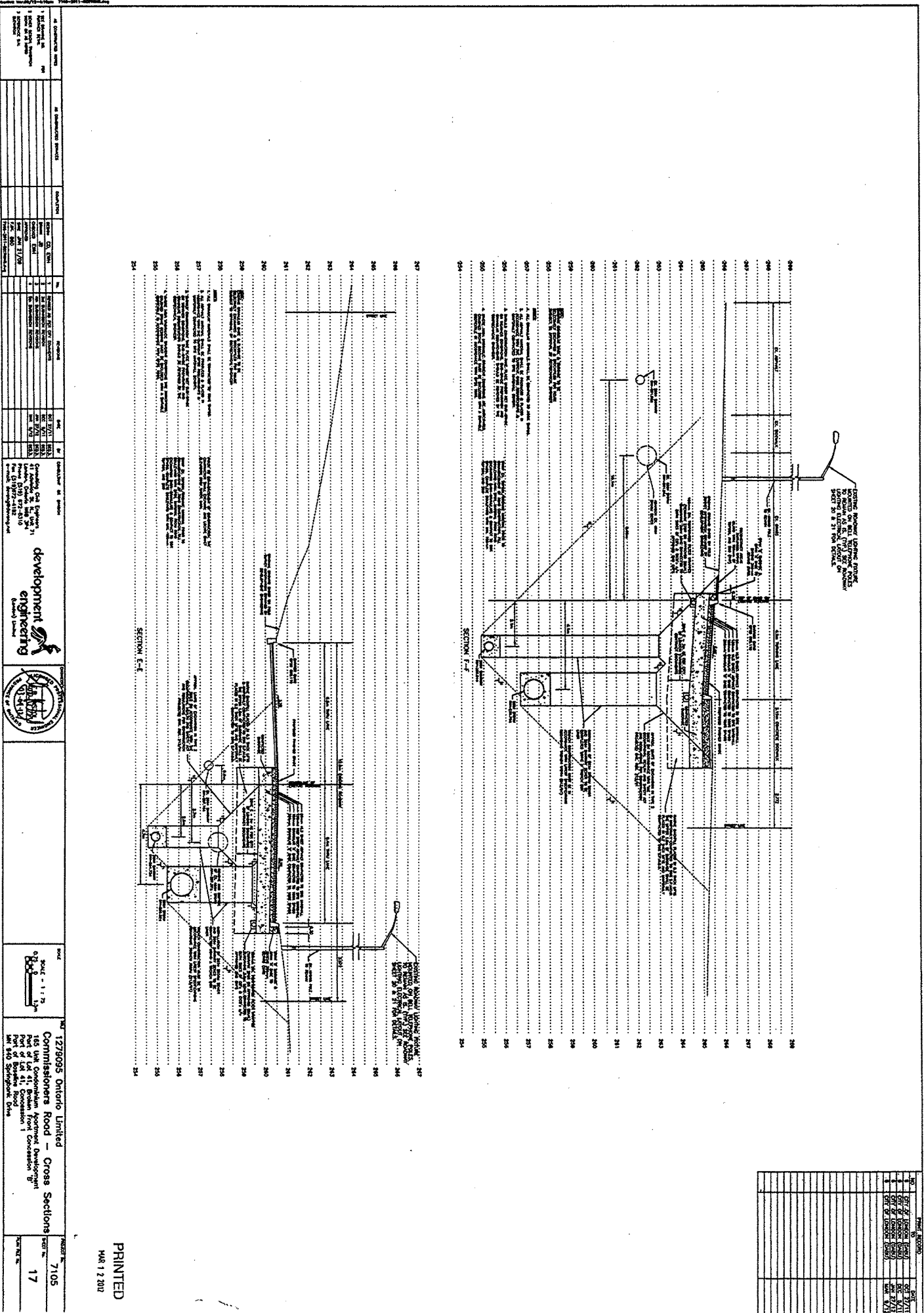
development  
 engineering

1270935 Ontario Limited  
 Springbank Drive – Cross Sections

7105  
 16

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	10/27/11
2	REVISED PER COMMENTS	11/15/11
3	REVISED PER COMMENTS	12/15/11
4	REVISED PER COMMENTS	01/15/12
5	REVISED PER COMMENTS	02/15/12
6	REVISED PER COMMENTS	03/15/12
7	REVISED PER COMMENTS	04/16/12

Drawing Title: Commissioners Road – Cross Section  
 Drawing Author: Development Engineering  
 Drawing Number: 17  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305



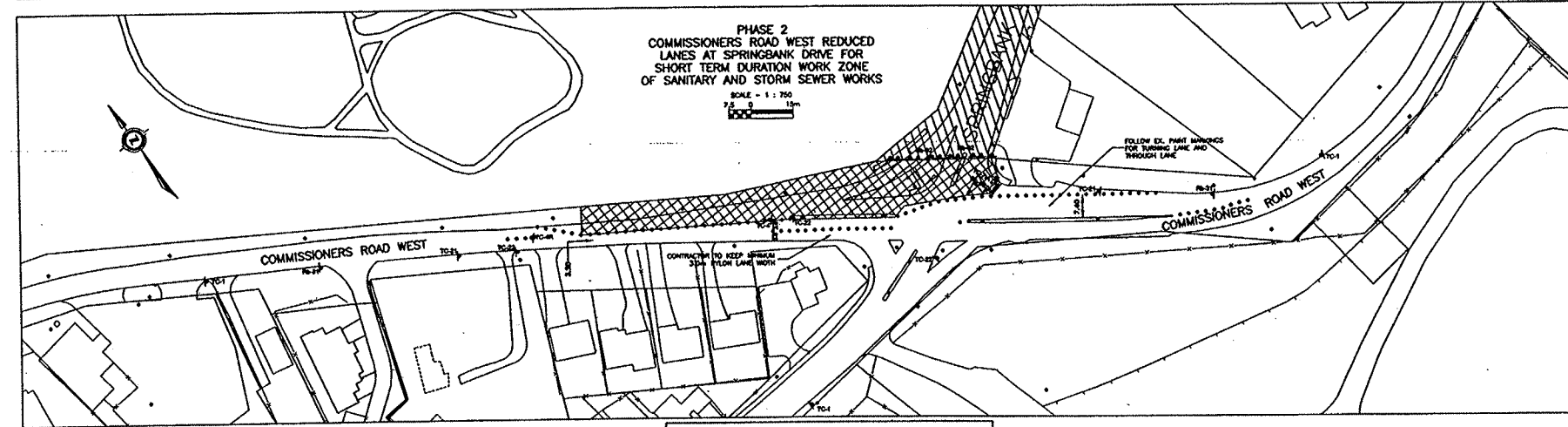
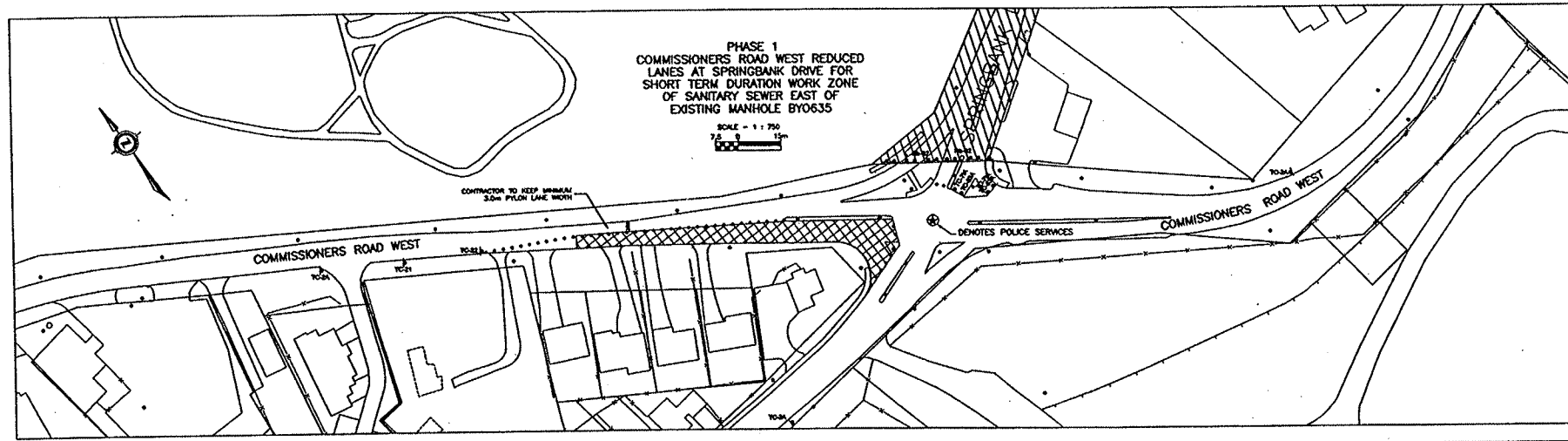
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 MAR 12 2012

NO.	DATE	BY	DESCRIPTION
1	10/27/11	E.B. Wszol	ISSUED FOR PERMIT
2	03/09/12	E.B. Wszol	REVISION TO PERMIT
3	03/09/12	E.B. Wszol	REVISION TO PERMIT
4	03/09/12	E.B. Wszol	REVISION TO PERMIT
5	03/09/12	E.B. Wszol	REVISION TO PERMIT
6	03/09/12	E.B. Wszol	REVISION TO PERMIT
7	03/09/12	E.B. Wszol	REVISION TO PERMIT
8	03/09/12	E.B. Wszol	REVISION TO PERMIT
9	03/09/12	E.B. Wszol	REVISION TO PERMIT
10	03/09/12	E.B. Wszol	REVISION TO PERMIT

1278095 Ontario Limited Commissioners Road – Cross Sections Part of Lot 41, Concession 1 940 Springbank Drive Mississauga, Ontario L4V 1V3	development engineering 11 Ambler Ave. Unit 11 Mississauga, Ontario L4V 1V3 Phone: (905) 871-2310 Fax: (905) 871-2311 www.development-engineering.com	SCALE = 1:12.5 PROJECT NO. 7105 DRAWING NO. 17
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Drawing Title: Traffic Management Plan  
 Drawing Author: Development Engineering  
 Drawing Number: 19  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305



NOTES:  
 - CONTRACTOR TO COMPLY WITH MINISTRY OF LABOUR DIRECTIVES AND ONTARIO TRAFFIC MANUAL BOOK 7 AS A MINIMUM FOR SITE SPECIFIC TRAFFIC CONTROL.  
 - ALL WORKS WILL BE CONDUCTED WITHIN THE MINISTRY OF LABOUR, OPS AND MINISTRY OF TRANSPORTATION STANDARDS.  
 - CONTRACTOR TO MAINTAIN PRIVATE DRIVEWAY ACCESS AT ALL TIMES.  
 - SPOTTER/FLAGMAN SHALL BE USED FOR HEAVY EQUIPMENT ACTIVITY SUCH AS MATERIAL AND MACHINERY DELIVERY, LOADING AND UNLOADING, ETC., OR ANY OTHER ACTIVITY WITHIN ANY CITY STREET R.O.W. THAT WILL INTERRUPT OR IMPEDE NORMAL TRAFFIC FLOW.  
 - LONDON POLICE SERVICES SHALL BE RETAINED AT NO COST TO CITY OF LONDON TO TEMPORARILY DIRECT TRAFFIC THROUGH INTERSECTION DUE TO SHIFT IN LANE ALIGNMENT.

- TC-2A - DENOTES ROAD WORK SIGN
- TC-2 - DENOTES LANE CLOSURE SIGN
- TC-22 - DENOTES TRAFFIC CONTROL SIGN/PERSON (STOP/ROW)
- TC-25A - DENOTES CONSTRUCTION BARRICADE
- TC-42 - DENOTES ROAD CLOSED SIGN
- TC-21 - DENOTES TRAFFIC CONTROL PERSON AHEAD SIGN
- TC-21 - DENOTES NO PARKING SIGN
- TC-1 - DENOTES CONSTRUCTION AHEAD SIGN
- TC-10 - DENOTES DETOUR DESIGNATION
- TC-10AL - DENOTES DETOUR TURN LEFT AHEAD ARROW
- TC-10AR - DENOTES DETOUR TURN RIGHT AHEAD ARROW
- TC-10BL - DENOTES DETOUR TURN LEFT ARROW
- TC-10BR - DENOTES DETOUR TURN RIGHT ARROW
- TC-10C - DENOTES DETOUR CONTINUE STRAIGHT ARROW
- TC-4 - DENOTES DETOUR AHEAD SIGN
- TC-4 - DENOTES ROAD CLOSED SIGN
- TC-7A - DENOTES LOCAL TRAFFIC ONLY SIGN
- TC-7B - DENOTES SIGN
- (FACING SIDE OF SIGN)

- DENOTES LONG DURATION WORK ZONE  
 - DENOTES SHORT DURATION WORK ZONE

NOTE: THE CONTRACTOR HAS THE OPTION TO EITHER MAINTAIN TRAFFIC AS PER ABOVE PLANS OR THEY SHALL CLOSE COMMISSIONERS ROAD WEST FOR A SHORT DURATION, NOT TO EXCEED 5 DAYS, TO FULLY COMPLETE THE WORK INCLUDING FULL RESTORATION AS PER THE KEY PLAN ON SHEET 22.

NOTE: CONTRACTOR TO MAINTAIN PRIVATE DRIVEWAY ACCESS AT ALL TIMES. SPOTTER/FLAGMAN SHALL BE USED FOR HEAVY EQUIPMENT ACTIVITY SUCH AS MATERIAL AND MACHINERY DELIVERY, LOADING AND UNLOADING, ETC., OR ANY OTHER ACTIVITY WITHIN ANY CITY STREET R.O.W. THAT WILL INTERRUPT OR IMPEDE NORMAL TRAFFIC FLOW.

NOTE: IF CONTRACTOR CHOOSES OPTION TO CLOSE COMMISSIONERS ROAD WEST, SPRINGBANK DRIVE MUST REMAIN OPEN WHILE WORK IS PERFORMED ON COMMISSIONERS ROAD WEST.

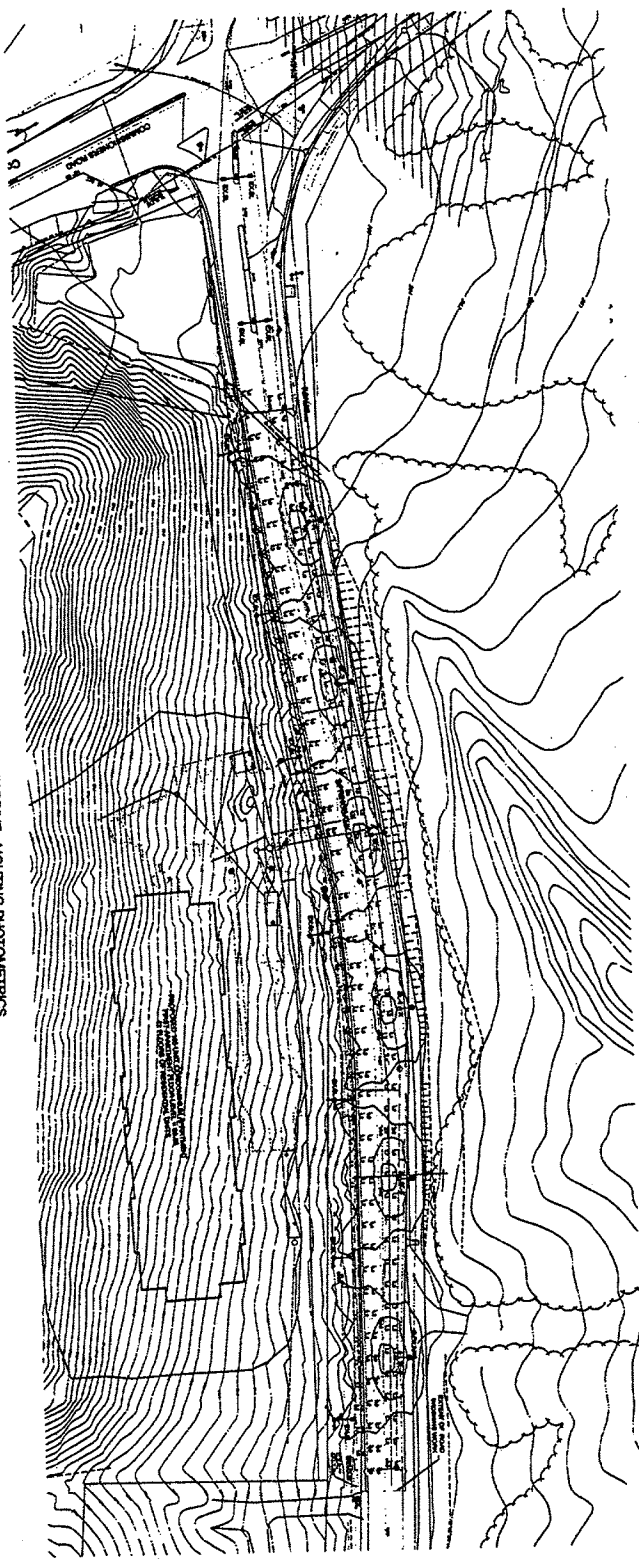
PRINTED  
 MAR 12 2012

NO.	FROM RECORD	DATE
1	CITY OF LONDON (LONDON)	DEC 5/11
2	CITY OF LONDON (LONDON)	JAN 27/12
3	CITY OF LONDON (LONDON)	MAR 9/12

1. REVISIONS 2. APPROVED BY 3. APPROVED BY 4. APPROVED BY	1. CONTRACTED SERVICES 2. COMPLETION 3. DATE 4. DATE	1. NO. 2. NO. 3. NO. 4. NO.	1. DATE 2. DATE 3. DATE 4. DATE	1. REVISIONS 2. REVISIONS 3. REVISIONS 4. REVISIONS	CONSULTING CIVIL ENGINEER 41 Adelaide St. W. (4th Fl.) London, Ontario N6A 3P4 Phone: (519) 872-8310 Fax: (519) 872-4182 e-mail: deveng@deveng.net	 (London) Limited	 CITY OF LONDON	1279095 Ontario Limited Traffic Management Plan 185 Unit Condominium Apartment Development Part of Lot 41, Broken Front Concession 'B' Part of Lot 41, Concession 1 Part of Baseline Road MN 940 Springbank Drive	PROJECT NO. 7105 DRAWING NO. 19
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Drawing Title: Roadway Lighting Photo Metrics  
 Drawing Author: Development Engineering  
 Drawing Number: 20  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305



SPRINGBANK DRIVE - LIGHTING PHOTO METRICS  
 PLAN 1:500



**LEGEND**

1. NEW STREET LIGHT FIXTURES  
 2. EXISTING STREET LIGHT FIXTURES  
 3. EXISTING STREET LIGHT FIXTURES TO BE REMOVED

**GENERAL NOTES**

1. REFER TO DRAWING 15 FOR THE PROPOSED LIGHTING FIXTURE SCHEDULE AND THE LIGHTING FIXTURE SCHEDULE FOR THE EXISTING LIGHTING FIXTURES.
2. REFER TO DRAWING 15 FOR THE PROPOSED LIGHTING FIXTURE SCHEDULE AND THE LIGHTING FIXTURE SCHEDULE FOR THE EXISTING LIGHTING FIXTURES.
3. REFER TO DRAWING 15 FOR THE PROPOSED LIGHTING FIXTURE SCHEDULE AND THE LIGHTING FIXTURE SCHEDULE FOR THE EXISTING LIGHTING FIXTURES.
4. REFER TO DRAWING 15 FOR THE PROPOSED LIGHTING FIXTURE SCHEDULE AND THE LIGHTING FIXTURE SCHEDULE FOR THE EXISTING LIGHTING FIXTURES.

**LEGEND**

1. NEW STREET LIGHT FIXTURES  
 2. EXISTING STREET LIGHT FIXTURES  
 3. EXISTING STREET LIGHT FIXTURES TO BE REMOVED

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 MAR 12 2012

THE RED THIS NOTE APPLIES  
 IN COLOUR, THIS DRAWING  
 IS NOT AN ORIGINAL.

**LUMINAIRE CALCULATION SUMMARY (TABLE 2 - 2011)**

DESCRIPTION	NO.	POWER (W)	BEAM ANGLE (°)	MOUNTING HEIGHT (M)	SPACING (M)	SPACING (M)	SPACING (M)
STREET LIGHTING (EXISTING)	12	150	120	10	10	10	10
STREET LIGHTING (NEW)	12	150	120	10	10	10	10
TOTAL	24	3000	120	10	10	10	10

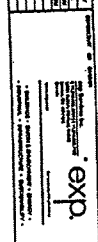
**WARRANTY ILLUMINANCE CALCULATION SUMMARY (TABLE 3 - 2011)**

DESCRIPTION	NO.	POWER (W)	BEAM ANGLE (°)	MOUNTING HEIGHT (M)	SPACING (M)	SPACING (M)	SPACING (M)
STREET LIGHTING (EXISTING)	12	150	120	10	10	10	10
STREET LIGHTING (NEW)	12	150	120	10	10	10	10
TOTAL	24	3000	120	10	10	10	10

**LIGHTING FIXTURE SCHEDULE**

TYPE	MANUFACTURER	MODEL	WARRANTY	WARRANTY PERIOD	WARRANTY TERMS	WARRANTY CONTACT
STREET LIGHTING	OSRAM	OSRAM	5 YEAR	5 YEAR	5 YEAR	OSRAM
STREET LIGHTING	OSRAM	OSRAM	5 YEAR	5 YEAR	5 YEAR	OSRAM

NO.	DATE	DESCRIPTION	BY	CHECKED
1	10/27/11	ISSUED FOR PERMIT	EDW	EDW
2	11/15/11	ISSUED FOR CONSTRUCTION	EDW	EDW



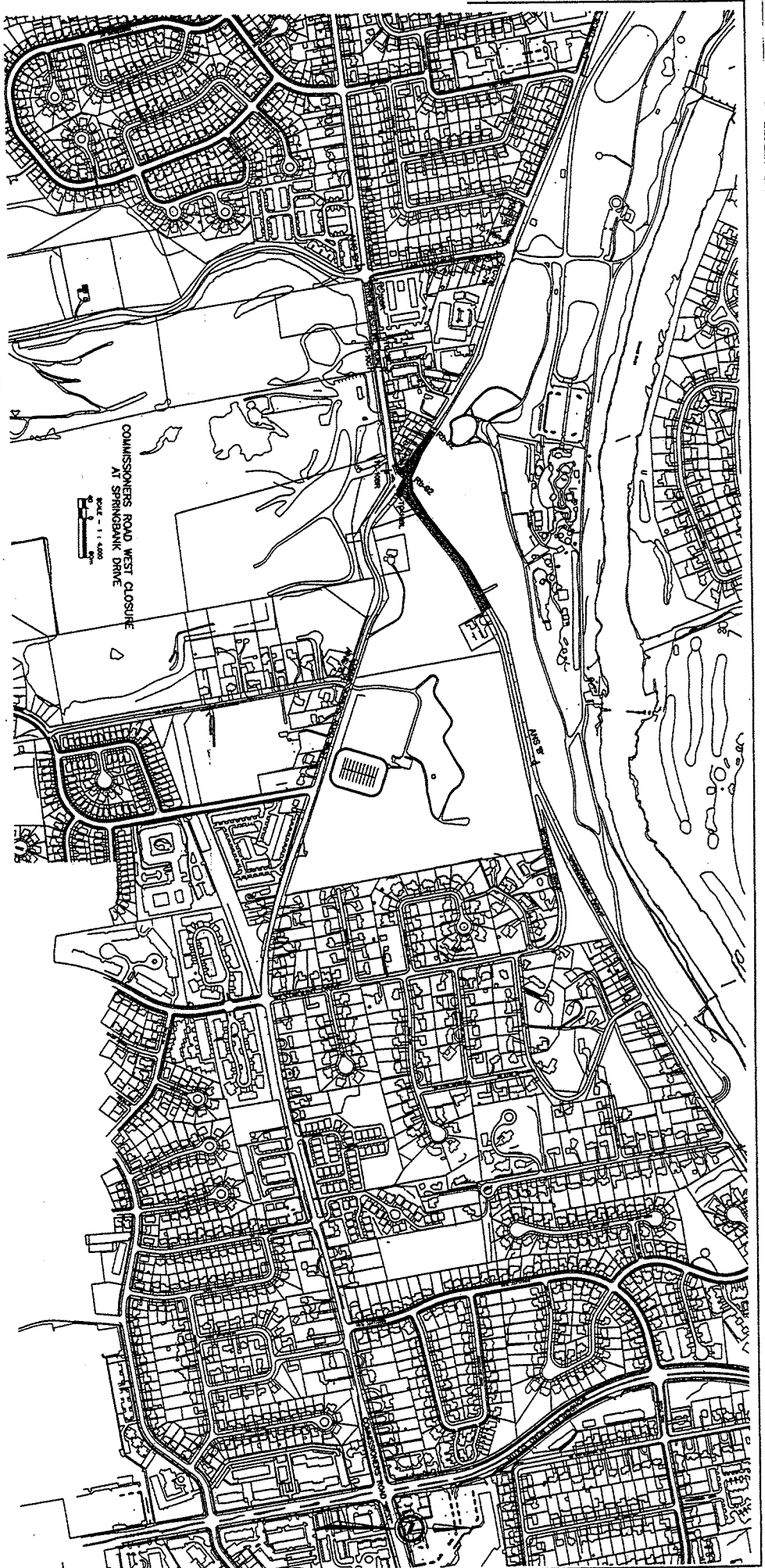
1278995 Ontario Limited  
 Roadway Lighting Photometrics  
 18 York Corporation Development  
 18 York Corporation Development  
 18 York Corporation Development  
 18 York Corporation Development

7105  
 20





Drawing Title: Alternate Traffic Management Plan  
 Drawing Author: Development Engineering  
 Drawing Number: 22  
 Date of Drawing: October 27, 2011  
 Drawing Latest Revision Date: March 9, 2012  
 Municipal Address: 940 Springbank Drive  
 Drawing Sealed by: E.B. Wszol P. Eng.  
 City File Number: SP11-011305



**NOTES:**

- CONTRACTOR TO COORDINATE WITH LAURENCE OF LAND AND FORESTRY AND OTHER AGENCIES FOR THE PROPOSED TRAFFIC CONTROL.
- CONTRACTOR TO MAINTAIN PRIVATE DRIVEWAY ACCESS AT ALL TIMES.
- ALL WORKS SHALL BE CONDUCTED WITHIN THE LIMITS OF LAURENCE, ORES AND LAURENCE OF TRANSPORTATION BYLAWS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HEAVY EQUIPMENT ACTIVITY WITHIN ANY OTHER ACTIVITY WITHIN ANY CITY STREET ROW, THAT WILL INTERRUPT OR IMPERE NORMAL TRAFFIC FLOW.
- LONDON POLICE SERVICES SHALL BE RETAINED AT NO COST TO CITY OF LONDON TO MAINTAIN TRAFFIC THROUGH INTERSECTION DUE TO SHORT IN LAURENCE.

**ADVANCE NOTICE SIGNS (A.N.S.)**

POINT HELIOTIC ROAD  
 MAIN LETTERING ON RIGHT INTERSECT  
 CLOSURE TO BE FROM 1000mm (width)  
 EXCEPT FOR THE WORD "CLOSED" WHICH  
 SHOULD BE FROM 100mm (width)

NOTE: CONTRACTOR TO MAINTAIN PRIVATE DRIVEWAY ACCESS AT ALL TIMES. SPOTTER/HEAVY EQUIPMENT ACTIVITY SUCH AS MATERIALS HANDLING, UNLOADING AND LOADING ETC. OR ANY OTHER ACTIVITY WITHIN ANY CITY STREET R.O.W. THAT WILL INTERRUPT OR IMPERE NORMAL TRAFFIC FLOW.

**LEGEND:**

- DENOTES LONG DURATION WORK ZONE
- DENOTES SHORT DURATION WORK ZONE

**PLYLON DETAIL**

3.0m

**TABLE:**

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	10/27/11	EB	EB
2	REVISED FOR PERMIT	10/27/11	EB	EB
3	REVISED FOR PERMIT	10/27/11	EB	EB
4	REVISED FOR PERMIT	10/27/11	EB	EB
5	REVISED FOR PERMIT	10/27/11	EB	EB
6	REVISED FOR PERMIT	10/27/11	EB	EB
7	REVISED FOR PERMIT	10/27/11	EB	EB
8	REVISED FOR PERMIT	10/27/11	EB	EB
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49	REVISED FOR PERMIT	10/27/11	EB	EB
50	REVISED FOR PERMIT	10/27/11	EB	EB

**development engineering**

**AS NOTED**

1278095 Ontario Limited  
 Alternate Traffic Management Plan  
 103 Unit Corporation, 10300 Springbank Drive  
 10300 Springbank Drive, Unit 103, Mississauga, ON L4V 1V7  
 Tel: 905-276-1111 Fax: 905-276-1112

DATE: 7/05  
 DRAWING NO: 22

**PRINTED**  
 MAY 12 2012

**SCHEDULE "H"**

This is Schedule "H" to the Development Agreement dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_, between The Corporation of the City of London and \_\_\_\_\_ to which it is attached and forms a part.

TO: The Corporation of the City of London

**Certificate of Completion of Works**

For Good and Valuable Consideration now paid by The Corporation of the City of London hereinafter called the "City", the receipt and sufficiency of which I hereby acknowledge, I hereby certify that the municipal services constructed pursuant to the Development Agreement registered as Number \_\_\_\_\_ relating to Plan Number \_\_\_\_\_ have been -

- (a) inspected during installation in accordance with standard engineering practice; and
- (b) constructed and installed in accordance with the plans and specifications approved by the City Engineer.

Certified and delivered under my/our hand and professional seal at the City of London, Ontario this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

Registered Professional Engineer

## SCHEDULE "I"

### Lot and Block Grading Restrictions

The Transferee covenants with the Transferor to observe and comply with the following lot and block grading restrictions, the burden which shall run with these Lands. This covenant shall be binding upon and ensure to the benefit of the respective heirs, executors, administrators, successors and assigns of the parties.

(i) Obligation to Grade According to Accepted Plan: These lands shall not be graded except in general conformity with the grades and elevations shown on the approved site servicing plan attached to the development agreement or filed with the City Engineer of the City of London.

(ii) Certified Lot Grading Plan: No building shall be constructed on these lands until a Certified Lot Grading Plan has been filed with the Chief Building Official of the City of London showing:

the proposed finished elevation of these lands at each corner of the lot or block;

the proposed finished elevation of these lands at the front of and rear of the building;

the proposed finished elevations of the underside of the footings and the proposed finished height of the foundation of the building;

the proposed finished elevation of any retaining walls, the proposed elevation of any walk-out onto these lands from the basement of the building, and the proposed elevation for any basement window openings;

the proposed finished elevation and slope of any driveway and the proposed location of any swale or rear yard catch basin; and,

any abrupt changes in the proposed finished elevation of these lands.

The plan shall bear the signature and seal of an Ontario Professional Engineer who certifies thereon that the Plan generally conforms with the approved site servicing plan attached to the development agreement or filed with the City Engineer.

(iii) Owner's Interim Grading Certificate: No building shall be constructed beyond the readiness to construct structural framing until has been filed with the CBO an Owner's Interim Grading Certificate bearing the signature and seal of either an Ontario Professional Engineer or an Ontario Land Surveyor that the elevations and footings or the foundations generally conform with the Certified Lot Grading Plan.

(iv) Owner's Final Grading Certificate: No newly constructed building shall be occupied or used unless there is filed:

a) prior to occupancy , in the case of substantial completion on or between June 1 and October 31, or;

b) by the following June 1, in the case of substantial completion on or between November 1, and May 31:

with the CBO an Owner's Final Grading Certificate bearing the signature and seal of an Ontario Professional Engineer that the actual finished elevation and grading of these lands generally conform with the approved site servicing plan and the Certified Lot Grading Plan, either:

(v) Obligation to Maintain Grading: After the Land is graded in accordance with Clause (i) of these restrictions, no change shall be made to the actual finished elevation and grading of the Lands in any way that results in a material alteration of drainage on or across the Lands or adjacent lands from that shown on the approved site servicing plan and the Certified Lot Grading Plans for these lands.

(vi) Continuation of Covenant: The Transferee agrees to obtain from any subsequent purchaser or transferee from him a covenant to observe and comply with the restrictions set forth above including this clause.

The Owner further agrees that the existing property line grades abutting developed lands are not to be altered or disturbed, except as approved otherwise by the City Engineer.

The Owner shall construct silt fences or other facilities as required during construction to control overland flows from this development to ensure that mud, silt, construction debris, etc. does not adversely affect abutting properties, all to the specification of the City Engineering.

**Bibliography of Information and Materials- 940 Springbank Drive SP11-011305**

Reference Documents:

- City of London. *Official Plan*, June 19, 1989, as amended.
- City of London. *Zoning By-law No. Z.-1*, May 21, 1991, as amended.
- Provincial Policy Statement, March 1, 2005
- City of London, Notice of Application, April 19, 2011.
- City of London, Notice of Public Meeting, May 27, 2011.
- City of London, Notice of Public Meeting, April 12, 2012.
- City of London, Living in the City – Saturday, April 14, 2012.
- City of London, Site Plan By-law C.P.-1455-451
- Golders Associates-Geotechnical Investigation November 1999
- Golders Hydrogeological Review September 8, 2000
- Golders Geotechnical Review September 2009
- Golders Hydrogeological Review April 1, 2011
- Dillon Peer Review of Golders Hydrogeological Review October 17, 2011
- Golders Hydrogeological Review October 19, 2011
- Golders Hydrogeological Conditions October 27, 2011
- Terraprobe Geotechnical Peer Review-November 28, 2011
- Terraprobe Draft Addendum 1, December 5, 2011
- Golders Response to Peer Review December 21, 2011
- Terraprobe Response to Golder Associates January 10, 2012
- Golder Associates-Geotechnical Investigation January 30, 2012
- Golder Associates-Additional Geotechnical and Hydrogeological Comments March 29, 2012
- Tree Retention Report by Ron Koudys Landscape Architect Inc. August 2011
- Noise Assessment Report by Development Engineering London Ltd. August 16, 2011
- Urban Design Brief by Zelinka Priamo Limited, October 2011
- 
- Letter to A. Patton-February 9, 2012
- Letter from A. Patton February 14, 2012
- Letter from A. Patton January 4, 2012
- Letter from A. Patton February 13, 2012
- Letter to A. Patton February 15, 2012