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C. Smith

FROM:	G. KOTSIFAS, P.ENG. MANAGING DIRECTOR, DEVELOPMENT & COMPLIANCE SERVICES & CHIEF BUILDING OFFICIAL
SUBJECT:	APPLICATION BY: MOTIVITY LAND INC 1235-1249 HYDE PARK ROAD MEETING ON OCTOBER 31, 2016

RECOMMENDATION

That, on the recommendation of the Senior Planner, Development Services and Planning Liaison, based on the application of Motivity Land Inc. c/o James Bennett relating to the property located at 1235-1249 Hyde Park Road, the attached proposed by-law **BE INTRODUCED** at the Municipal Council meeting on November 8, 2016 to amend Zoning By-law No. Z.-1 in conformity with the Official Plan to change the zoning of 1235-1249 Hyde Park Road **FROM** a Holding Restricted Service Commercial (h-17*RSC1/RSC3/RSC5) Zone **TO** an Restricted Service Commercial (RSC1/RSC3/RSC5) Zone to remove the holding “h-17” provision.

PURPOSE AND EFFECT OF RECOMMENDED ACTION

To remove the holding “h-17” provision from 1235-1249 Hyde Park Road to allow for the site to be developed with an automobile sales and service use.

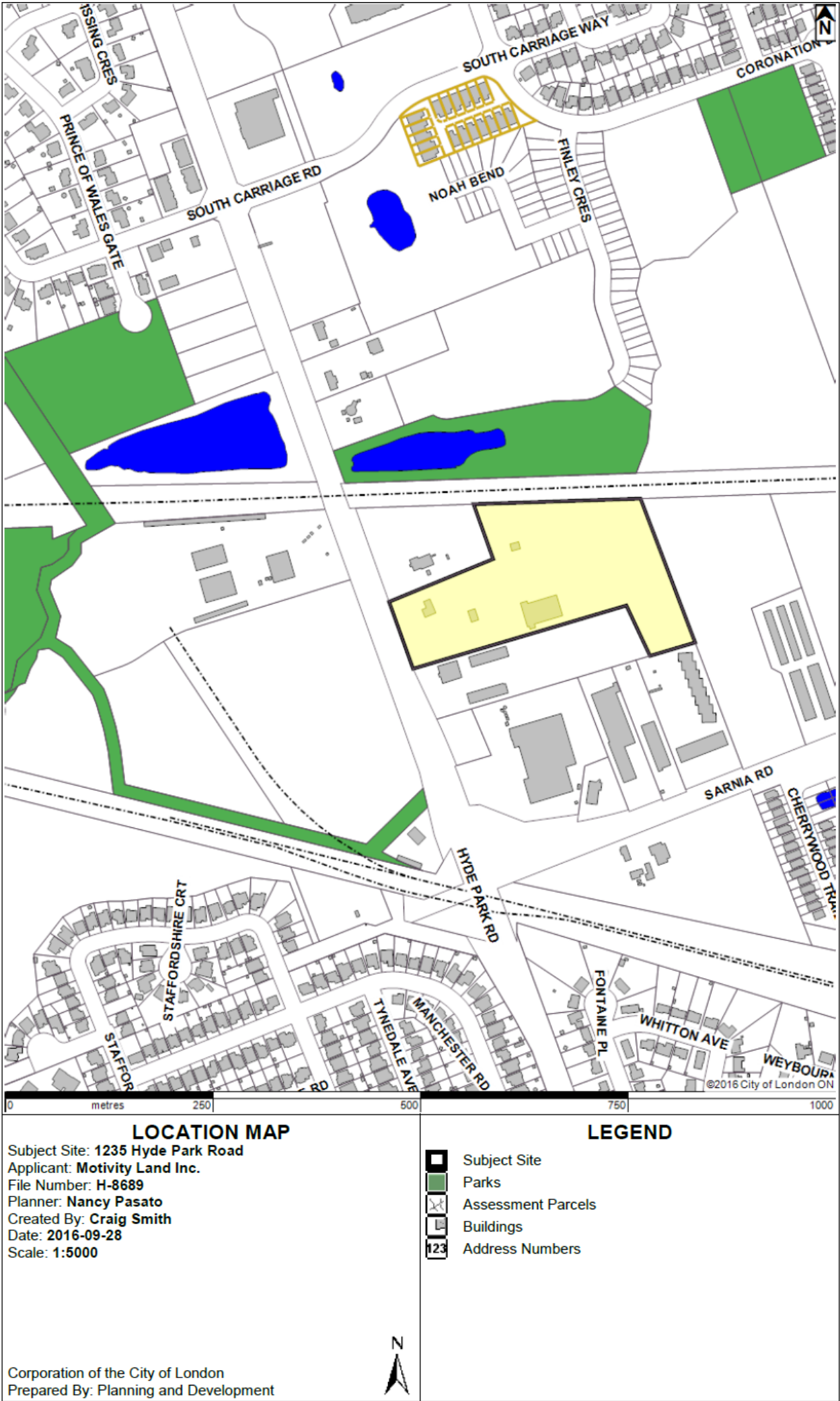
BACKGROUND

On April 19, 2016 the applicant applied for Site Plan Approval (SPA16-032) to allow for the lands to be developed with an automobile sales and service use.

RATIONALE

- 1. This site has the ability to develop on full municipal services.
- 2. The removal of the holding provision will allow for development in conformity with the City of London Official Plan and Zoning By-law Z.-1.

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Date Application Accepted: September 28, 2016	Owner: Motivity Land Inc. c/o James Bennett
REQUESTED ACTION: Removal of the holding “h-17” from the Holding Restricted Service Commercial (h-17*RSC1/RSC3/RSC5) Zone.	

PUBLIC LIAISON:	Notice of Application was published in the <i>Public Notices and Bidding Opportunities</i> section of <i>The Londoner</i> on October 13, 2016.
Nature of Liaison: City Council intends to consider removing the “h-17” holding provision from the lands that ensure that the adequate provision of municipal services, the "h-17" symbol shall not be deleted until full municipal sanitary sewer and water services are available to service the site. Council will consider removing the holding provision as it applies to these lands no earlier than October 31, 2016.	
Responses: None	

ANALYSIS

h-17 Holding Provision

To ensure the orderly development of lands and the adequate provision of municipal services, the "h-17" symbol shall not be deleted until full municipal sanitary sewer and water services are available to service the site.

On April 19, 2016 the applicant applied for Site Plan Approval (SPA-032) to allow for the lands to be developed with an automobile sales and service use. The Site Plan Record of Consultation states:

- *The sanitary sewer available for the subject lands is the 250mm municipal diameter sanitary sewer on Hyde Park Road.*
- *Water is available from the 450 mm PVC watermain on Hyde Park Road*
- *The subject lands are located in the Stanton Drain Subwatershed. The Owner shall be required to comply with the environmental targets and SWM criteria identified in the City of London Subwatershed Studies: Group 1 Subwatershed Medway, Stanton and Mud Creeks and the Hyde Park Community Storm Drainage and the Stormwater Management Servicing Municipal Class Environmental Assessment.*

Since there are full municipal services available for this site, it is appropriate to consider removal of the holding provision.

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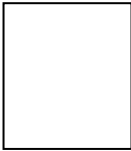
CONCLUSION

All municipal services are available to service the site. It is appropriate at this time to remove the holding provision “h-17” from these lands.

PREPARED BY:	REVIEWED BY:
C. SMITH SENIOR PLANNER, DEVELOPMENT SERVICES	ALLISTER MACLEAN MANAGER, DEVELOPMENT PLANNING
RECOMMENDED BY:	SUBMITTED BY:
JENNIE RAMSAY MANAGER, DEVELOPMENT SERVICES & ENGINEERING LIAISON	G. KOTSIFAS, P.ENG MANAGING DIRECTOR, DEVELOPMENT & COMPLIANCE SERVICES & CHIEF BUILDING OFFICIAL

JCS/

"Attach."



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Bill No. (Number to be inserted by Clerk's Office)
2016

By-law No. Z.-1-_____

A by-law to amend By-law No. Z.-1 to remove holding provisions from the zoning of the lands located at 1235-1249 Hyde Park Road.

WHEREAS Motivity Land Inc. has applied to remove the holding provision from the zoning for the lands located at 1235-1249 Hyde Park Road, as shown on the map attached to this by-law, as set out below;

AND WHEREAS it is deemed appropriate to remove the holding provision from the zoning of the said land;

THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

1. Schedule "A" to By-law No. Z.-1 is amended by changing the zoning applicable to the lands located at 1235-1249 Hyde Park Road, as shown on the attached map to remove the holding provision so that the zoning of the lands as a Restricted Service Commercial (RSC1/RSC3/RSC5) Zone comes into effect.
2. This By-law shall come into force and effect on the date of passage.

PASSED in Open Council on November 8, 2016.

Matt Brown
Mayor

Catharine Saunders
City Clerk

First Reading – November 8, 2016
Second Reading – November 8, 2016
Third Reading – November 8, 2016

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AMENDMENT TO SCHEDULE "A" (BY-LAW NO. Z.-1)

