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HAP 16-043-L  
K. Gonyou

TO:	CHAIR AND MEMBERS LONDON ADVISORY COMMITTEE ON HERITAGE MEETING ON WEDNESDAY OCTOBER 12, 2016
FROM:	JOHN M. FLEMING MANAGING DIRECTOR, PLANNING AND CITY PLANNER
SUBJECT:	HERITAGE ALTERATION PERMIT APPLICATION AT 293 CENTRAL AVENUE, WEST WOODFIELD HCD BY: K. HOGDKINSON

RECOMMENDATION
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That, on the recommendation of the Managing Director, Planning & City Planner, with the advice of the Heritage Planner, the application under section 42 of the *Ontario Heritage Act* to alter the porch, stain the brick, and alter the gable window of the building located at 293 Central Avenue, within the West Woodfield Heritage Conservation District, **BE PERMITTED** as submitted with the following terms and conditions:

- a. Painted wood balustrade, composed of wood spindles set with traditional spacing between wood top and bottom rails be affixed to the existing square piers;
- b. Painted wood lattice be used as the porch apron/skirting;
- c. The existing limestone piers of the porch not be clad in new limestone veneer;
- d. All necessary repointing and repair work to the brick be completed prior to the application of the proposed stain product;
- e. Two 24" by 24" (maximum) sash windows separated by a mullion replace the existing single window in the gable with trim detail restored; and,
- f. The Heritage Alteration Permit be displayed in a location visible from the street until the work is completed.

PURPOSE AND EFFECT OF RECOMMENDED ACTION
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The purpose of the recommended action is to permit the alteration of a property located within the West Woodfield Heritage Conservation District (HCD), in accordance with Section 42(2.1) of the *Ontario Heritage Act* and the classes of alterations identified in the *West Woodfield HCD Plan & Guidelines*.

PREVIOUS REPORTS PERTINENT TO THIS MATTER
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None.

BACKGROUND
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### **Location**

The property at 293 Central Avenue is located on the south side of Central Avenue between Wellington Street and Waterloo Street (Appendix A).

### **Property**

The property was designated under Part V of the *Ontario Heritage Act* on March 9, 2009 as part of the West Woodfield HCD. 293 Central Avenue is an A-ranked property by the *West Woodfield HCD Plan & Guidelines*, based on its historical reference and architectural quality.

### **Description**

The building located at 293 Central Avenue is a two-and-a-half storey residential dwelling (Appendix B). The building was the former home of the Pi Beta Phi Sorority (1941-2015).

It was built in 1908 with elements of Edwardian Classicism, as well as Queen Anne Revival influences. Edwardian Classicism can be found in the red brick construction, which contrasts to earlier buff (or London) brick buildings as a symbol of affluence from imported brick, as well as the Classically-inspired details of the porch particularly its pediment. Elements of Queen Anne Revival, an earlier architectural style prominent in London, can be found in the massing of the building with the bay and turret at the northwest corner of the building, oriel windows on the east and west facades, as well as the lozenge window on the north façade. Notations on the *Fire Insurance Plan* indicate that the historic roofing material was slate; the slate remains on the turret with its finial, however the remainder of the roof has been replaced with asphalt shingles.

The building has been subject to previous alterations which have not received Heritage Alteration Permit approval (see Appendix B). These alterations include: front door replacement (prior to April 2015), replacement of some windows (prior to December 2015), removal of the porch balustrade (prior to March 2016), replacement of some windows (June-July 2016), and capping of round Tuscan columns with square piers (June-July 2016).

## **HERITAGE ALTERATION PERMIT APPLICATION**

As required by the *Ontario Heritage Act*, the *West Woodfield HCD Plan & Guidelines* identifies classes of alterations that require, or do not require, Heritage Alteration Permit approval. Porch alteration, alteration to the brick, and window replacement require Heritage Alteration Permit approval.

A Heritage Alteration Permit application was submitted by the property owner and received on September 19, 2016. The applicant has applied for a Heritage Alteration Permit to:

- Add a railing to the porch;
- Change the porch ceiling from vinyl/plastic to tongue and groove cedar;
- Brick “rejuvenation”;
- Window replacement in gable;
- Cover existing limestone at porch base with limestone veneer and add limestone veneer to areas of the porch skirting presently clad by lattice.

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Other work not requiring Heritage Alteration Permit approval has been proposed by the property owner. This includes:

- Restoration of the soffit, fascia, and frieze board with wood;
- Removal of paint from limestone window sills (using pumice to remove paint);
- Restoration and repainting of side “push-out windows” (oriel windows);
- Restoration of the hand-painted glass windows;
- Preservation of the turret and finial ornament; and,
- No alteration to existing slate roof.

<b>ANALYSIS</b>
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One of the goals of the designation of West Woodfield as an HCD is to avoid the destruction and/or inappropriate alteration of the existing building stock, materials, and details by:

- Establishing policies and design guidelines to ensure new development and alterations are sensitive to the heritage attributes and details of the District and are based on appropriate research and examination of archival and/or contextual information;
- Strongly discouraging the demolition of heritage buildings and the removal or alteration of distinctive architectural details;
- Encouraging individual building owners to understand the broader context of heritage preservation, and recognize that building should outlive their individual owners and each owner or tenant should consider themselves stewards of the building for future owners and users;
- Encouraging sensitive restoration practices that make gentle and reversible changes, when necessary, to significant heritage buildings;
- Encouraging improvements or renovations to modern era buildings that are complementary to, or will enhance, the District’s overall character and streetscape;
- Providing homeowners with conservation and maintenance guidelines and best practices so that appropriate building and repair activities are undertaken.

Many of the above objectives are achieved through the policies and guidelines of the *West Woodfield HCD Plan & Guidelines*; however their success is contingent on their implementation and enforcement.

The proposed alterations to the porch, brick, and gable window are evaluated below.

**Porch**

The following guidelines (Section 10.5) are used in the review of the proposed porch alterations:

Conservation and Maintenance Guidelines	Heritage Alteration Permit Analysis for 293 Central Avenue
Removal or substantial alteration to the size, shape, and design of the existing porch is strongly discouraged.	No removal or substantial alteration of the size, shape, or general design of the existing porch is proposed.
Do not remove or cover original porches or porch details, except for the purpose of quality	Information provided by the property owner suggests the round

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restoration. Prior to executing any repairs or restoration, photograph the existing conditions and research to determine whether the existing is original or an appropriate model for restoration. Use annotated photographs or drawings or sketches to represent the intended repairs.	Tuscan columns were a polyvinyl chloride (PVC) or medium-density fibreboard (MDF) material, which were believed to have been installed in the 1980s.  Where there are questions regarding original details or attributes, compatibility should be achieved by the alteration. See Appendix B for photographs showing the previous columns and existing piers.
When restoring a porch that is either intact or completely demolished, some research should be undertaken to determine the original design which may have been much different from its current condition and decide whether to restore to the original.	The new railings should seek precedence from the railings previously on the porch; painted square spindles set between top and bottom rails with a traditional spacing (estimated to be approximately 1" square spindles set 2" apart on centre).
For structural elements of the porch, use the best of current technology including secure footings extending below frost and pressure treated wood for wood framing.	The best available technology should be use for structural elements of the porch, provided those do not compromise the heritage attributes of the porch.
For decorative elements such as gingerbread fretwork and other trim, wood is still the best choice to recreate the original appearance, but using improved technology such as waterproof glues and biscuit joiners and liquid preservatives and best quality paints to protect the finished products.	The current piers are constructed of MDF, which has encapsulated the round columns.  No alterations are proposed to the pediment of the porch, excluding painting.
Fibreglass and plastic versions of decorative trims should be avoided. Poor interpretations of the scale or design of applied decoration detract from the visual appearance and architectural coherence of porches and verandahs.	Painted wood is the recommended material for the porch alterations.
Where there are no other reasonable options, fiberglass and plastic version of these decorative trims may be considered if the appropriate shape and size is available and they are kept in good condition with adequate maintenance of the paint.	Painted wood is the recommended material for the porch alterations.
Install and maintain a porch apron on all exterior sides below the porch floor level that permit good ventilation and prevent animals and debris from entering. Research some of the attractive and functional trellis designs that	The enclosure of the porch with limestone veneer, and cladding of the existing limestone piers, is proposed. This approach is not recommended. Wood lattice work

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are used in the neighbourhood to fulfil this purpose. Include a hinged or removable section for occasional access for maintenance and inspection. Smooth and grade the ground under the porch to slope away from the basement and cover the exposed ground with a thick polyethylene sheet and a layer of gravel or precast paving stones. This will reduce the dampness and growth of mould and provide more comfortable access for maintenance.	of porches has strong historic precedence in the West Woodfield HCD and should be maintained. The proposed limestone veneer should not be used, and a painted wooden lattice should be used as the appropriate porch apron/skirting. The wood lattice could take a variety of forms that could be appropriate: perpendicular lattice, diagonal lattice.
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Brick Cleaning/Staining

The red brick of the building at 293 Central Avenue is an Edwardian-era hard red clay brick, which is noted for its smooth finish. The joints are tight and dressed, and the mortar appears to have a red-tint. The brick has varying degrees of accumulations on its surface, which are believed to have been absorbed into the masonry.

Patina is the physical evidence of aging and communicates authenticity of cultural heritage resources. While patina may be revered by some, other may perceive evidence of aging differently. Working in a values-based heritage conservation framework, this difference can sometimes be challenging.

Cleaning masonry is a process that can start with the best of intentions, but can result in harmful damage to a building and its historic fabric. “Cleaning that totally reverse the aging process may not result in an appearance that is an improvement for the building” (*West Woodfield HCD Plan & Guidelines*, Section 10.1). In general, the gentlest means possible for cleaning is recommended.

Mark London (1988) identifies three types of methods for cleaning masonry: water-based, chemical-based, and abrasive or mechanical-based (abrasive). Choosing a cleaning technique is generally dependent on the type of masonry and the type of dirt. Testing of a variety of methods if often recommended to identify the most suitable cleaning method, beginning from the least harmful to the material.

The property owners of 293 Central Avenue have tried a variety of methods to clean the brick. These test methods were undertaken in summer 2016, to avoid the adverse effects of undertaking these methods in seasons subject to frost or freezing. The following cleaning methods were used and covering methods considered:

	Method	Product	Outcome
Cleaning	Water-based	Hand scrubbing	Gentlest means possible, but produced no results
		Water washing (low pressure washer)	No results
		Steam Canada – hot steam + wire brush	Identified as suitable approach to remove built-up soil deposits, but produced no results
	Chemical-based	Swish Maintenance - Pressure washer + chemical solutions	No results

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	Mechanical-based (abrasive)	Blasting (sand, soda, glass, dry ice etc.)	Not recommended. Could deteriorate or etch the exterior surface of the brick, leaving the softer inner core exposed and susceptible to accelerate weathering
		Surface grinder	

	Method	Product	Outcome
Covering	Recladding	Stucco, siding, etc.	Not recommended. Would irreversibly alter and clad historic brick
	Coating	Paint	Painting could obscure bonding patterns of individual brick units
	Coating (Penetrate masonry)	Stain	Stain could better allows the texture of the bricks and mortar to remain apparent

The results of the tested cleaning methods demonstrate that the dirt accumulated on the brick of the building at 293 Central Avenue is deeply ingrained into the masonry units. Recommended cleaning methods did not produce the desired results. Therefore, methods to cover the existing brick were next considered. Staining the brick was identified as the least invasive product which could correct the stains on the brick, compared to complete recladding (e.g. stucco, siding) or painting. Unlike paint, a stain will penetrate the masonry unit. This treatment can help to mitigate the loss of the historic texture of masonry, with its brick units and mortar joints, whereas painting can obscure these details particularly after repeated applications.

The applicant provided information on the proposed stain, “Perma-Crete Vertical Concrete Stain” (Appendix C). This product is promoted as an efflorescence-resistant, breathable, and water repellent material. These qualities make this product a suitable candidate to be considered for application on historic masonry. This product has been used at another property in London; however that property has no status under the *Ontario Heritage Act* (see Appendix C). The applicant has also stated a desire to use a red tone to match the colour of the historic masonry.

Applying coverings, such as paint or stain, to historically unpainted or uncoated masonry is not recommended. Patina is evidence of the aging of a building and can contribute to an understanding of the cultural heritage value or interest of a place. Should staining be supported as an outcome of the unsuccessful cleaning attempts, the product should be breathable and maintain the texture of the historic masonry. The proposed stain, “Perma-Crete Vertical Concrete Stain,” appears to meet these criteria.

A small test area in a discrete area (e.g. side façade) of the masonry should be stained this fall to test the product and allow it to weather for the winter (at minimum) to better determine how it will age on the brick of the building. Any repointing or repairs to the masonry must be completed in advance of applying the stain.

Gable Window

Windows and doors are noted as functional and visual contributions to the heritage

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character of buildings in the West Woodfield HCD. “Retaining the shape, size, and proportion of the original doors and windows is an important aspect of preserving the heritage character of the district” (*West Woodfield HCD Plan & Guidelines*, Section 10.6).

The Heritage Alteration Permit application includes a proposed replacement of the existing third floor gable window (24” by 24” sash window) with a larger vinyl window (24” by 48”) to accommodate a bedroom in the third floor. It is recommended that two 24” by 24” sash windows be installed in this location as opposed to one larger window (Appendix D). This will help to maintain the shape, size, and proportion of the existing window while accommodating a new use. The paired window would also complement the paired windows now found on the lower levels of the building. It would be preferable to reuse the existing window and produce a copy to match it in the pair. The surrounding trim detail should be restored as well.

<b>CONCLUSION</b>
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The proposed alterations collectively represent the alterations that are often required to allow and promote the continued life of our cultural heritage resources. These require a balancing of priorities and working within the guidelines of the *West Woodfield HCD Plan & Guidelines*. The alterations, with terms and conditions, should be permitted to ensure long term viability with this resource.

<b>PREPARED BY:</b>	<b>SUBMITTED BY:</b>
<b>KYLE GONYOU HERITAGE PLANNER URBAN REGENERATION</b>	<b>JIM YANCHULA, MCIP, RPP MANAGER URBAN REGENERATION</b>
<b>RECOMMENDED BY:</b>	
<b>JOHN M. FLEMING, MCIP, RPP MANAGING DIRECTOR, PLANNING AND CITY PLANNER</b>	

2016-10-03  
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Attach:  
Appendix A – Map

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- Appendix B – Images
- Appendix C – Proposed Stain Product
- Appendix D – Gable Window

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<b>REFERENCES</b>
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- Fram, Mark. *Well-Preserved.* Ontario Heritage Foundation. Third Revised Edition. 2003.
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- London, Mark. *Masonry: How to Care for Old and Historic Brick and Stone.* National Trust for Historic Preservation. 1988.
- Mack, Robert C. and Anne E. Grimmer. *Preservation Brief 1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings.* Technical Preservation Services, National Parks Service. November 2000.
- Parks Canada. *Standards and Guidelines for the Conservation of Historic Places in Canada.* Second Edition. 2010.



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APPENDIX A — Map



Map 1: Property location of 293 Central Avenue.

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APPENDIX B — Images



Image 1: Building at 293 Central Avenue (June 2014, courtesy Google).



Image 2: Building at 293 Central Avenue. Note replacement of front door (December 1, 2015).



Image 3: Building at 293 Central Avenue. Note removal of porch railing (March 24, 2016).



Image 4: Building at 293 Central Avenue. Note replacement of some windows (June 6, 2016).





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Image 5: Building at 293 Central Avenue. Note encapsulation of columns with piers (July 12, 2016).



Image 6: Building at 293 Central Avenue. Note further replacement of windows (September 8, 2016).



Image 7: Detail of soffit, fascia, and frieze (September 8, 2016).



Image 8: Detail of porch piers with limestone bases (September 8, 2016).



Image 9: Detail of brick showing stains (September 8, 2016).

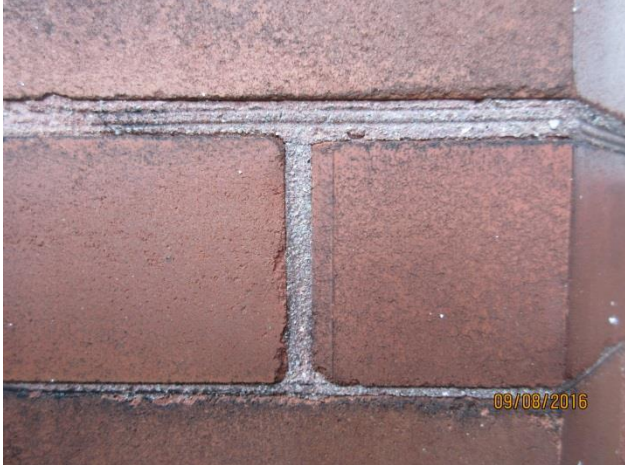


Image 10: Detail of replacement window, limestone sill, and brick (September 8, 2016).



Image 11: Close up detail of brick and mortar joints (September 8, 2016).



Image 12: Additional detail of brick showing stains (September 8, 2016).



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# 293 Central Avenue

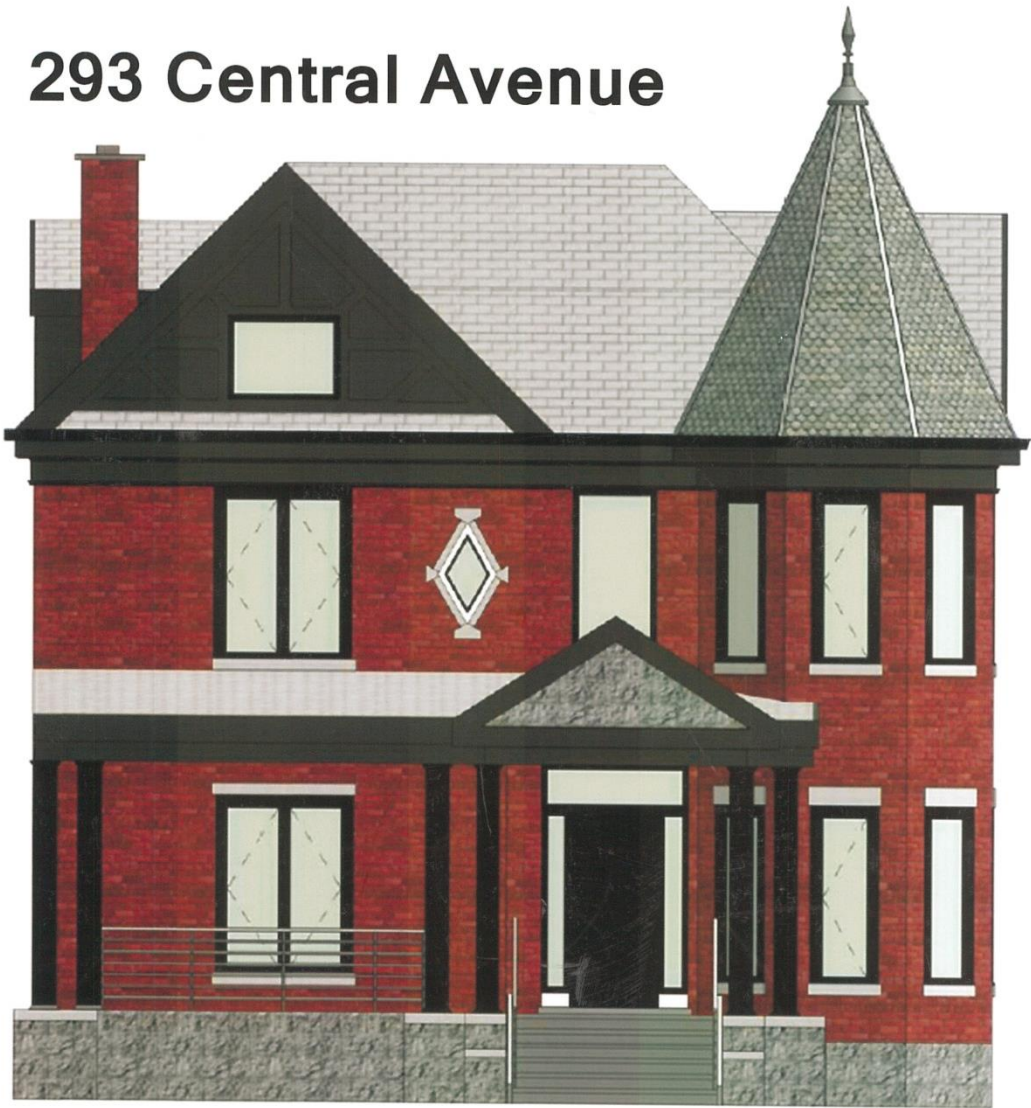


Image 13: Proposed façade drawing (included within the Heritage Alteration Permit application).



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## APPENDIX C — Stain

PPG PAINTS / PRODUCTS / PAINTS, STAINS & DATA SHEETS / PERMA-CRETE® VERTICAL CONCRETE STAIN VCS

# PERMA-CRETE® VERTICAL CONCRETE STAIN VCS

**PERMA-CRETE** Vertical Concrete Stain VCS is an opaque water repellent designed primarily for spray application to exterior, above grade, pre-cast and tilt-up masonry substrates. It is alkali and efflorescence resistant and can be applied to a substrate with a pH of 6 to 13. **PERMA-CRETE** VCS provides resistance against water, UV light, staining, is breathable, and is a quick drying product which allows for a second coat application, typically in fifteen minutes. **PERMA-CRETE** VCS will not peel, crack or blister from a properly prepared masonry or previously painted substrate. **PERMA-CRETE** VCS is ideal for use on the walls and support structures of commercial buildings, concrete highway barriers, and bridge abutments. **PERMA-CRETE** VCS is not designed to waterproof concrete block or other porous substrates.



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Quick Drying Time	Turns jobs quickly
Alkali / Efflorescence Resistance	Applies to fresh concrete at 7 days and/or less than 13pH. Blocks salt deposits
Protects Against Environmental Contamination	Resists salt spray & dirt
Application to 35°F (2°C)	Extends painting season
Water Vapor Permeance	Breathability
Excellent Application Properties	Reduces application time and provides a natural uniform appearance
Provides a Mildew Resistant Coating	Mildew and fungal growth resistance on paint film
UV Resistance	Extends new look of painted surface
Water Repellent	Reduces water penetration

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Product information for “Perma-Crete Vertical Concrete Stain” retrieved from <http://www.ppgpaints.com/products/permacrete-vertical-concrete-stain-vcs>.

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<p>Image 1: Stained brick building at 434 Maitland Street (not a listed or designated heritage property). The building was stained in 2004 by Heritage Painters using the proposed “Perma-Crete Vertical Concrete Stain” product.</p>	
<p>Image 2: Detail of the south façade, which shows the articulation of the individual brick and tactile qualities of the mortar.</p>	
<p>Image 3: West and south façades of the building at 434 Maitland Street. Note the unstained finish of the chimney (original brick colour which is comparable to the brick of the building at 293 Central Avenue).</p>	



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APPENDIX C — Gable Window

<p>Image 1: Existing gable window (24" by 24" sash window) as of June 7, 2016.</p>	
<p>Image 2: Proposed single gable window (24" by 48" window) (note: approximate size).</p>	

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Image 3:  
Recommended pair of  
24” by 24” windows in  
the gable separated by  
a mullion (note:  
approximate size).

