

City of London

**Heritage Impact Assessment  
78, 80, 82, 84, 86, 88 Oxford Street West  
London, Ontario**

**Prepared by:**

AECOM

410 – 250 York Street, Citi Plaza  
London, ON, Canada N6A 6K2  
[www.aecom.com](http://www.aecom.com)

519 673 0510 tel  
519 673 5975 fax

**Project Number:**

60314856

**Date:**

March 2016

## Statement of Qualifications and Limitations

The attached Report (the "Report") has been prepared by AECOM Canada Ltd. ("Consultant") for the benefit of the client ("Client") in accordance with the agreement between Consultant and Client, including the scope of work detailed therein (the "Agreement").

The information, data, recommendations and conclusions contained in the Report (collectively, the "Information"):

- is subject to the scope, schedule, and other constraints and limitations in the Agreement and the qualifications contained in the Report (the "Limitations");
- represents Consultant's professional judgement in light of the Limitations and industry standards for the preparation of similar reports;
- may be based on information provided to Consultant which has not been independently verified;
- has not been updated since the date of issuance of the Report and its accuracy is limited to the time period and circumstances in which it was collected, processed, made or issued;
- must be read as a whole and sections thereof should not be read out of such context;
- was prepared for the specific purposes described in the Report and the Agreement; and
- in the case of subsurface, environmental or geotechnical conditions, may be based on limited testing and on the assumption that such conditions are uniform and not variable either geographically or over time.

Consultant shall be entitled to rely upon the accuracy and completeness of information that was provided to it and has no obligation to update such information. Consultant accepts no responsibility for any events or circumstances that may have occurred since the date on which the Report was prepared and, in the case of subsurface, environmental or geotechnical conditions, is not responsible for any variability in such conditions, geographically or over time.

Consultant agrees that the Report represents its professional judgement as described above and that the Information has been prepared for the specific purpose and use described in the Report and the Agreement, but Consultant makes no other representations, or any guarantees or warranties whatsoever, whether express or implied, with respect to the Report, the Information or any part thereof.

Without in any way limiting the generality of the foregoing, any estimates or opinions regarding probable construction costs or construction schedule provided by Consultant represent Consultant's professional judgement in light of its experience and the knowledge and information available to it at the time of preparation. Since Consultant has no control over market or economic conditions, prices for construction labour, equipment or materials or bidding procedures, Consultant, its directors, officers and employees are not able to, nor do they, make any representations, warranties or guarantees whatsoever, whether express or implied, with respect to such estimates or opinions, or their variance from actual construction costs or schedules, and accept no responsibility for any loss or damage arising therefrom or in any way related thereto. Persons relying on such estimates or opinions do so at their own risk.

Except (1) as agreed to in writing by Consultant and Client; (2) as required by-law; or (3) to the extent used by governmental reviewing agencies for the purpose of obtaining permits or approvals, the Report and the Information may be used and relied upon only by Client.

Consultant accepts no responsibility, and denies any liability whatsoever, to parties other than Client who may obtain access to the Report or the Information for any injury, loss or damage suffered by such parties arising from their use of, reliance upon, or decisions or actions based on the Report or any of the Information ("improper use of the Report"), except to the extent those parties have obtained the prior written consent of Consultant to use and rely upon the Report and the Information. Any injury, loss or damages arising from improper use of the Report shall be borne by the party making such use.

This Statement of Qualifications and Limitations is attached to and forms part of the Report and any use of the Report is subject to the terms hereof.

## Distribution List

# of Hard Copies	PDF Required	Association / Company Name
0	Yes	City of London
0	Yes	AECOM

## Revision Log

Revision #	Revised By	Date	Issue / Revision Description
1	M. Greguol	March 1, 2016	Terminology clarification

## AECOM Signatures



Report Prepared By:

\_\_\_\_\_  
Michael Greguol, MA, CAHP Intern  
Cultural Heritage Specialist



Report Reviewed By:

\_\_\_\_\_  
Christopher Andreae, Ph.D., CAHP  
Senior Architectural Historian

## Executive Summary

AECOM was retained by the City of London to prepare a Heritage Impact Assessment (HIA) for the six properties located at 78, 80, 82, 84, 86, and 88 Oxford Street West (hereafter 78-88 Oxford Street West) in London Ontario as a part of the Environmental Assessment for the Widening of Western Road between Platts Lane and Oxford and the northern limits of the Wharncliffe Road North and Oxford Street intersection. All six properties are currently listed on the City of London *Inventory of Heritage Resources* (2006). In June 2009, the London Advisory Committee on Heritage (LACH) approved a statement of heritage significance for the six properties.

The objective of the HIA is to assess the potential impacts of the proposed road widening, and to recommend mitigation options for the conservation of the cultural heritage value identified in the Cultural Heritage Evaluation Report (CHER) conducted by AECOM in August 2015 (AECOM 2015). The CHER assessed the cultural heritage value of the properties and determined that the six properties collectively demonstrate cultural heritage value as a result of their design/physical, historic/associative, and contextual values.

The Environmental Assessment for the proposed widening of Western Road is located primarily along Western Road from Platt's Lane to Oxford Street West. However, the intersection of Oxford Street West and Wharncliffe Road will require intersection improvements that will adversely impact the houses at 78-88 Oxford Street West. Strictly from the perspective of best practice for heritage conservation, the preferred option is one that conserves a property's cultural heritage value. However, given site restrictions and transit and transportation requirements identified in this report *in situ* conservation of the houses at 78-88 Oxford Street West presents a series of challenges.

Section 5 of this HIA identifies five mitigation options:

- Relocate Houses on Existing Lots;
- Detailed Documentation Program;
- Retain Portions of Building Facades as Commemorative Elements;
- Interpretive Signs, Plaques, and/or Public Art Installations; and/or
- Footprint Location of Buildings.

This HIA recommends that a detailed documentation program be undertaken to the minimum standards identified in Section 5.3.2 of this report. A documentation report should be prepared and filed with the City of London and deposited with the London Public Library for a publically available record of the properties. In addition, the City should consider the use of interpretive signs, plaques, or a public art installation to commemorate/preserve the six properties. A commemorative form of mitigation such as this would likely need to be undertaken in a different area of London such as the West London Dyke or an existing nearby park.

# Table of Contents

## Statement of Qualifications and Limitations

### Letter of Transmittal

### Distribution List

### Executive Summary

	Page
<b>Project Personnel .....</b>	<b>i</b>
<b>1. Introduction .....</b>	<b>1</b>
1.1 Study Purpose .....	1
1.2 Study Method.....	1
<b>2. Land Use History .....</b>	<b>2</b>
2.1 Oxford Street West and Wharncliffe Road .....	2
2.2 78-88 Oxford Street West.....	2
<b>3. Property Descriptions.....</b>	<b>12</b>
3.1 Context.....	12
3.2 Building Descriptions .....	13
3.2.1 Common Features .....	13
3.2.2 78 Oxford Street West .....	13
3.2.3 80 Oxford Street West .....	14
3.2.4 82 Oxford Street West .....	15
3.2.5 84 Oxford Street West .....	16
3.2.6 86 Oxford Street West .....	17
3.2.7 88 Oxford Street West .....	18
<b>4. Summary of Cultural Heritage Evaluations.....</b>	<b>20</b>
4.1 Previous Heritage Evaluations .....	20
4.2 CHER.....	20
4.2.1 O.Reg 9/06 Evaluation of 78-88 Oxford Street.....	21
Design/Physical Value .....	22
Historic/Associative Value .....	22
Contextual Value .....	22
4.3 Statement of Cultural Heritage Value or Interest.....	22
4.3.1 Heritage Attributes .....	22
<b>5. Proposed Undertaking, Impacts, and Mitigation .....</b>	<b>24</b>
5.1 Proposed Undertaking .....	24
5.2 Potential Impacts .....	24
5.2.1 Loss/Destruction and Alteration.....	24
5.2.2 Shadows .....	24
5.2.3 Isolation .....	25
5.2.4 Direct or Indirect Obstruction .....	25
5.2.5 Change in Land Use .....	25
5.3 Potential Mitigation .....	25
5.3.1 Relocate Houses on Existing Lots.....	25
5.3.2 Detailed Documentation Program .....	27

5.3.3 Retain Portions of Building Facades as Commemorative Element..... 27

5.3.4 Interpretive Signs, Plaques, and/or Public Art Installation..... 27

5.3.5 Footprint Location of Buildings ..... 28

**6. Recommendations ..... 29**

6.1 Detailed Documentation Program ..... 29

6.2 Interpretive Signs, Plaques, and/or Public Art Installation..... 29

**7. Bibliography ..... 30**

**List of Figures**

Figure 1: Henry Vernon’s Directory for the City of London for 1906, Oxford Street (L.W), South Side ..... 5

Figure 2: Portion of the 1892 Rev. 1907 Insurance Plans for the City of London ..... 6

Figure 3: Henry Vernon’s Directory for the City of London for 1907-1908, Oxford Street (L.W), South Side ..... 7

Figure 4: Portion of the 1912 Rev. 1915 Insurance Plans for the City of London ..... 8

Figure 5: 1926 Plan of the City of London (Department of the Interior, Canada)..... 9

Figure 6: "A Booming Section of a Booming City", *London Free Press*, March 28, 1914..... 10

**List of Tables**

Table 1: Ontario Regulation 9/06 Evaluation for 78-88 Oxford Street West ..... 21

**Appendices**

Appendix A. Western Road Widening Alternatives

## Project Personnel

Project Manager	Peter McAllister, PEng
Technical Lead	Adria Grant, BA, CAHP
Report Production	Michael Greguol, MA, Jennifer Morgan, PhD
Technical Review	Christopher Andreae, PhD, CAHP
GIS Technician	Ben Clark, BAA
Office Assistance	Jennifer Deline

## Acknowledgements

Kyle Gonyou, Heritage Planner, Urban Regeneration, City of London

Don Menard, Heritage Planner, Urban Regeneration, City of London

Ted Koza, P. Eng., Transportation Design Engineer, Transportation Planning & Design, City of London

# 1. Introduction

## 1.1 Study Purpose

AECOM was retained by the City of London to prepare a Heritage Impact Assessment (HIA) for the six properties located at 78, 80, 82, 84, 86, and 88 Oxford Street West (hereafter 78-88 Oxford Street West) in London, Ontario as a part of the Environmental Assessment for the Widening of Western Road between Platt's Lane and Oxford and the northern limits of the Wharncliffe Road and Oxford Street intersection. All six properties are currently listed on the City of London Inventory of Heritage Resources. In June 2009, the London Advisory Committee on Heritage (LACH) approved a Statement of Significance for the six properties.

The objective of the HIA is to assess the potential impacts of the proposed road widening, and to recommend mitigation options for the conservation of the cultural heritage value identified in the Cultural Heritage Evaluation Report (CHER) conducted by AECOM in August 2015 (AECOM 2015). The CHER evaluated the cultural heritage value of the properties along Oxford Street and determined that the six properties collectively demonstrate cultural heritage value as a result of their design/physical value, historic/associative value, and contextual value.

## 1.2 Study Method

The Study Area consisted of six properties located at 78-88 Oxford Street West in the City of London. The study was undertaken according to the guidelines set out in the Ontario Ministry of Tourism, Culture, and Sport's (MTCS) *Ontario Heritage Toolkit: Heritage Resources in the Land Use Planning Process*. The following three components were completed in the AECOM CHER:

- Section 2: Historical background research of the subject properties and surrounding area;
- Section 3: Property descriptions based on fieldwork to visually assess describe and photograph the six subject properties 3);
- Section 4: Summary of the existing heritage evaluations undertaken for the properties, and a summary of the CHER for the properties; and
- Section 5: Assessment of Proposed undertaking, potential impacts, and proposed mitigation options.

## 2. Land Use History

### 2.1 Oxford Street West and Wharncliffe Road

The subject properties are located on the south side of Oxford Street, west of the intersection of Wharncliffe Road. Oxford Street was originally known as the Second Concession Line used in the original survey of London Township in 1810, and offered early access for residents of London Township to the Town of London. Prior to the construction of a bridge across the Thames on Oxford Street in 1881, travellers to London from the west proceeded to the intersection of Oxford Street and Wharncliffe, then south through the Blackfriars area to cross into London.

In 1874, the communities on the west side of the Thames River, including the Wharncliffe/Oxford intersection, separated from London Township and incorporated as the village of London West. In 1897 London West was annexed by the City of London. By 1900 the London Street Railway system had been extended along Wharncliffe Road and terminated at the intersection with Oxford Street and the area was well connected to the rest of the City.<sup>1</sup>

Most of the properties along the north and south sides of Oxford Street, west of Wharncliffe Road were developed in the early-20<sup>th</sup> century. However, most of the subdivision and development of the land south of the subject properties did not take place until the circa 1950. As a result of its post-war development, the area has become home to a series of Victory Homes, the 1 story homes that were typically designed and sponsored by the government to provide quick, economical homes for returning soldiers.

### 2.2 78-88 Oxford Street West

The properties located at 78-88 Oxford Street West were constructed between 1906 and 1907. In 1906, the *Vernon's Directory for the City of London* listed seven "unfinished houses" located between 78-88 Oxford Street. The 1892 Rev. 1907 Fire Insurance Plans for the City of London illustrated the structural footprints for these seven houses (Figure 1 Figure 2). A year later, the Directory lists six houses at 78, 80, 82, 84, 86, and 88 that were either occupied or "vacant" (which presumably means not yet rented/sold). No house at 76 Oxford was built at this time and only 6 houses are visible on the 1912 Rev. 1915 Insurance Plans (Figure 3 Figure 4).<sup>2</sup>

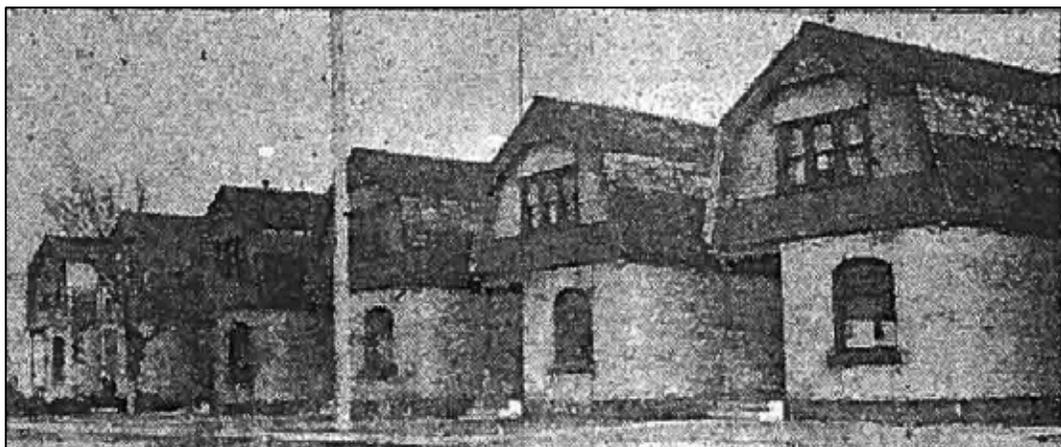


Plate 1: 78-88 Oxford Street West, as they appeared in the *London Free Press*, 1914

<sup>1</sup> Golder Associates, *Blackfriars-Petersville Heritage Conservation District Study*, 2014.

<sup>2</sup> *Vernon's Directory for the City of London, 1906 and 1907; Goad's Fire Insurance Plan, 1892 Rev. 1907, and 1912 Rev. 1915.*

A few houses were also built on the north side of Oxford Street West at the same time, notably the three buildings at 87, 89, and 99 Oxford Street West across from the subject properties. These buildings are architecturally similar to the subject properties and had been built prior to 1906. The structure at 99 Oxford Street West is significantly larger but 89 Oxford Street West is virtually identical in massing to the sixth house on the south side of the street. The house at 87 Oxford Street West differs from 89 Oxford Street West by having a projecting second storey over the ground floor. The architectural treatment of the gable end suggests that this second floor projection is original; however, it is possible that this could have been a later extension to the building. It is possible that these three houses were constructed by the same builder prior to the six subject properties across the street (Plates 2-5).



*Plate 2: 82 Oxford Street West*



*Plate 3: 89 Oxford Street West*



*Plate 4: Property at 87 Oxford Street West*



*Plate 5: Property at 99 Oxford Street West*

The architect/builder of these houses could not be determined. However, the traditional pattern of development seems to be that a builder would build a few homes as a small development. This appears to be a common pattern in London. The construction of the six subject properties (or nine if the houses on the north side were by the same builder) likely constituted a relatively large number to build at one time during the early 20<sup>th</sup> century.

Architecturally, the houses at 78-88 Oxford Street West can be described as an eclectic variant of the Colonial Revival style that was popular from the late 19<sup>th</sup> to mid-20<sup>th</sup> century. The variant of the gambrel roof appears to have had its

main popularity in the early-20<sup>th</sup> century. A continuation of this style into the mid-20<sup>th</sup> century can be seen in other areas of London including along Wharncliffe Road (for example six houses at 136-146 Wharncliffe Road North).

Shortly after their construction, the houses were featured in a newspaper article called “A Booming Section of a Booming City”. The article appeared in the March 28, 1914 evening edition of the *London Free Press* and included a series of photographs showing recent developments in London. The six properties on the south side of the street were depicted, along with the Kensington Bridge that was built in 1914, and a series of homes on Wharncliffe Road. The caption that appeared with the three photographs read “Scenes snapped in West London by The Free Press camera man. The top and bottom pictures show residences on Oxford and Wharncliffe Road and the centre the new bridge which will soon join West and South London. West London is going ahead at a rapid rate and it is expected that this summer will find more building done than ever before.”<sup>3</sup>

---

<sup>3</sup> “A Booming Section of a Booming City” *London Free Press*, March 28, 1914.

Figure 1: Henry Vernon's Directory for the City of London for 1906, Oxford Street (L.W), South Side

THE EMPIRE ACCIDENT AND SURETY CO.	
Is the only Accident Company which has its head office in London and its business interests centred in London. A London company. Head Office, Masonic Temple, London, Ont.	
112 Oxford (L.W.)	Pall Mall
27 Woodward Miss Emma draper at commencement	WEST SIDE 13 Lalley Isabella (wid Michael)
31 Robinson George	14 Allister John
37 Ware Henry	17 Walsh Alice (wid Thos F)
41 Edwards Mary (wid Charles)	19 Aristocrate Miss Maudie
43 Murray Joseph	21 Howard Sophia (wid Chas)
45 Wade Jonathan	23 Thomas David
47 Jeffries Arthur H	25 Howard George
51 Mason George	31 Connor James F
53 Lawson Benjamin, upholsterer Wharncliffe rd intersects	33 Heyman Mrs Elizabeth
57 David Irene	35 Davies David W
63 Chubb John	41 McVillan Stuart A
73 Pettiford John A Pernley av. commences	43 Green Benjamin Green Fanny (wid Thomas)
79 Hobbs John, broom mfr	45 Gray James L
81 Hobbs John H	51 Stanton George
83 Hetherington Miss Ann	53 Newman William F
85 Dickson Richard	
87 Thomas John	
89 Horn Harry	
99 Fowler Herbert J	
139 Cowan Mrs Helen F	
151 Poole Thomas	
157 Gibson Samuel	
161 Andrews Frederick A Platt Miss Alice	
SOUTH SIDE	
2 Fowler William I	
3 Storey Joseph	
11 Layton John	
16 Stevens Charles	
St Andrew st ends	
24 Bendish Abraham contractor	
28 Gutseloff Thomas Wharncliffe rd intersects	
Unfinished houses (7)	
146 McCarthy Miss Margaret	
164 Howe George A	
PALACE, north from Princess av to Central av bet Malland and William.	
EAST SIDE	
14 Dean Charles F	
18 Taylor William	
20 Fitzgerald Thomas J, broom mfr Fitzgerald Mrs Thos J, grocer	
22 Mann Samuel W	
24 Dempsey Jeremiah M	
24 Bruce Mary A (wid John)	
26 Pyping William	
	PALL MALL, east from 858 Rich- mond to Adelaide, 1st south C.P.M. bldg 4.
	SOUTH SIDE
	The Frost & Wood Co., Ltd, Water fronts
	23 Houston James E C.P.M. freight office and sheds Dunlop Transport Co Wellington st intersects O.P.M. crossing Waterloo st intersects
	350 Heatman Mrs Martha, dressmaker Culborne st intersects
	401-403 Edworthy Simon H, grocer
	418 Donohue Bridget (wid Daniel)
	420 Dickinson James A
	421 Gordon Joseph H
	423 Clarke Charles
	424 Stevens John G
	425 Bell John A D
	426 Unfinished
	429 Palmer Albert
	431 Taylor Albert E
	432 McCowan William
	433 Pratt Henry
	434 Jury Herbert W
	435 Bullard Samuel J
	436 Foxworthy Adella (wid Samuel)
	437 Guinness Mrs Jane Manness Charles G Malland st intersects
	439 Insell Charles

Vernon, H.(1906)

Figure 2: Portion of the 1892 Rev. 1907 Insurance Plans for the City of London



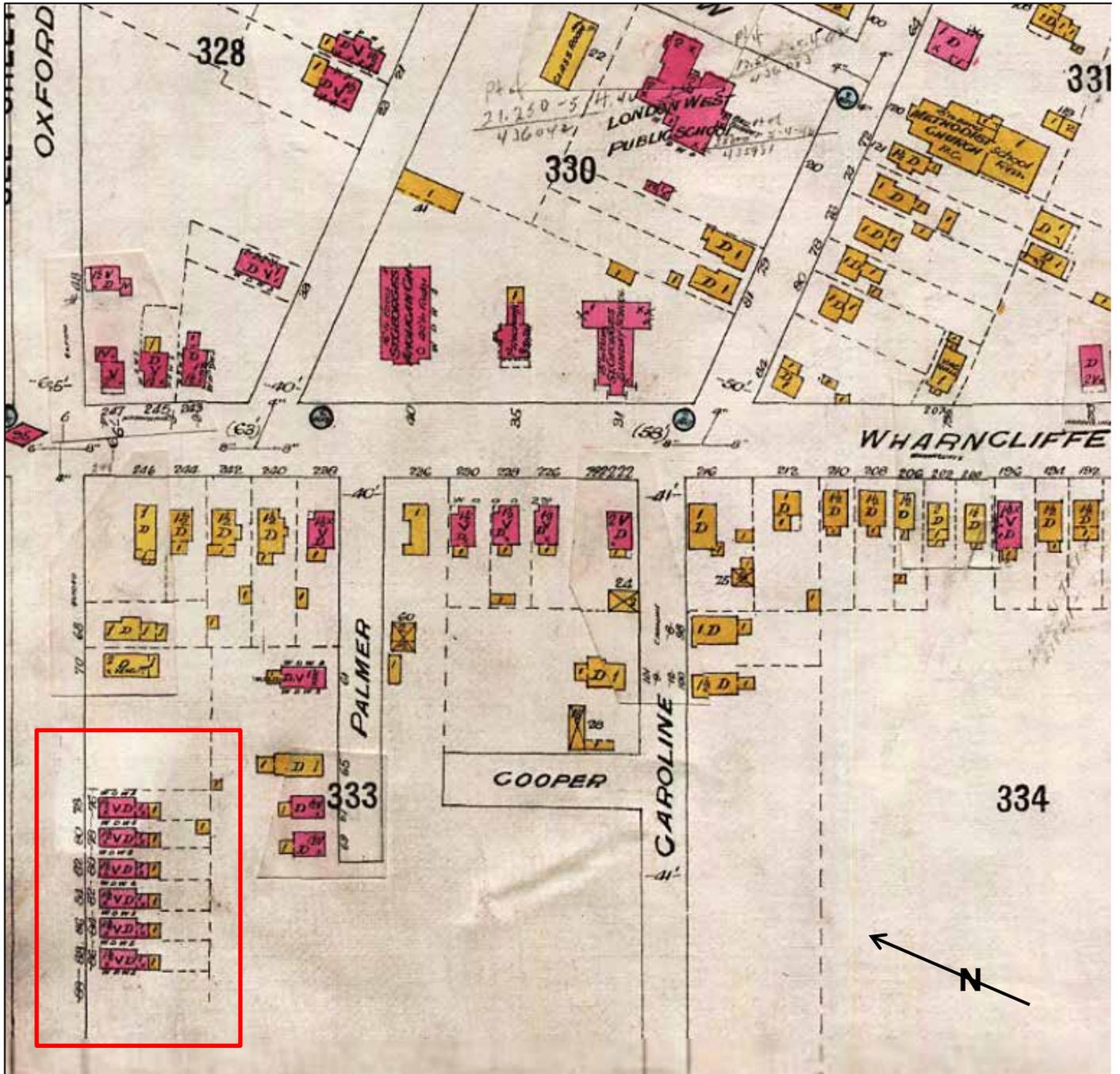
Charles E. Goad Co. 1892 Rev. 1907

Figure 3: Henry Vernon's Directory for the City of London for 1907-1908, Oxford Street (L.W), South Side

	<b>OXFORD st (L.W), north side, from river to limits</b>		<b>Palace</b>	
	5 T W Nichol		New house	45 Mrs
	↑ Gunn st begins		↑ Wharncliffe rd	Mrs
	11 Thos Young		crosses	49 L
	19 Wm Moore		68 J Smuck	51 Peter
	23 Thos Bailey		78 Jy Gauthier	57 J H
	27 Emma Woodward		80 Arthur Kitchen	
	↑ Grace st begins		82 Mrs M Irvine	<b>PALACE st</b>
	31 Geo Robinson		84 Rev W M Nay	648 Rich
	37 Henry Ware		86 Wm Bathurst	Address
	41 Jno O'Brien		88 Jno Sinclair	Frost
	43 Jos Murray		140 Miss M McCarty	Co
	45 J Wade		104 Geo A Rowe	238 J Hor
	47 A H Jeffries		<b>PALACE st, east side,</b>	C P E
	51 Mrs N Johnson		from 498 Princess av	office
	53 B Lawton, uphol		14 G H Roulledge	Dom
	↑ Wharncliffe rd crosses		18 Geo L Smith	← West
	61 O S Wootton		20 Wm Newman	Warrick
	63 Jno Clubb		22 Vacant	330 Jas M
	73 J A Petbell		24 Vacant	new
	↑ Fernley av begins		24 Mrs M A Bruce	← Collins
	79 John Hobbs		26 Thos Orum	604-8 S S
	81 J H Hobbs		28 Elon Olinier	570
	83 Ann Hetherington		32 J R Hasslet	412 West
	85 R Packham		34 J L McLenn	412 Chas
	87 W H Brown		38 R J Hasslet	412
	89 Frank Cotton		42 Wm Sandford	412
	91 Harry Thorn		44 Jas Harris	412
	99 H J Fowler		46 S C Walsh	412
	129 Mrs H Gower		52 J G Martyn	412
	131 Thos Foulds		54 S J Probyn	412
	157 Saml Gibson		56 G Gayme	412
	161 F A Andrews		60 Mrs R Anderson	412
	Alice Platt		62 R A Roberts	412
			64 Chas Beale	412
	<b>OXFORD st (L.W), south side</b>		<b>PALACE st, east side</b>	
	2 W R Fowler		13 J G Berry	
	12 Jos Storey		15 Jno Allister	
	14 Jno Luxton		17 Mrs A Wash	
	16 Chas Stevens		19 Jno Beany	
	↑ St Andrew st ends		21 Jas Gaddy	
	24 A Bendjag		23 David Beany	
	28 T Gatecliffe		25 Mrs E Beany	
			27 A H	
			29 D	
			31 A	

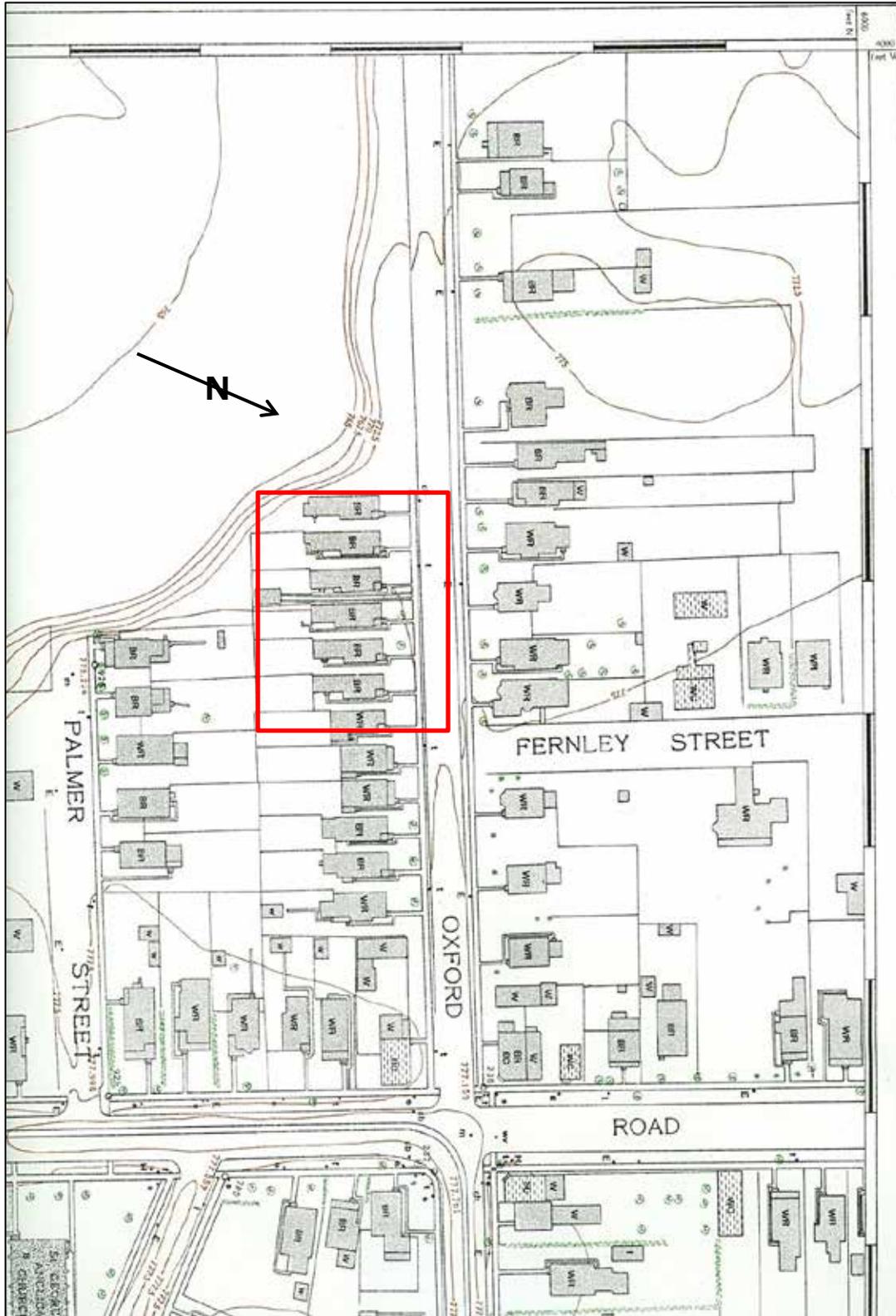
Vernon, H (1907)

Figure 4: Portion of the 1912 Rev. 1915 Insurance Plans for the City of London



Charles E. Goad Co. 1912 Rev. 1915

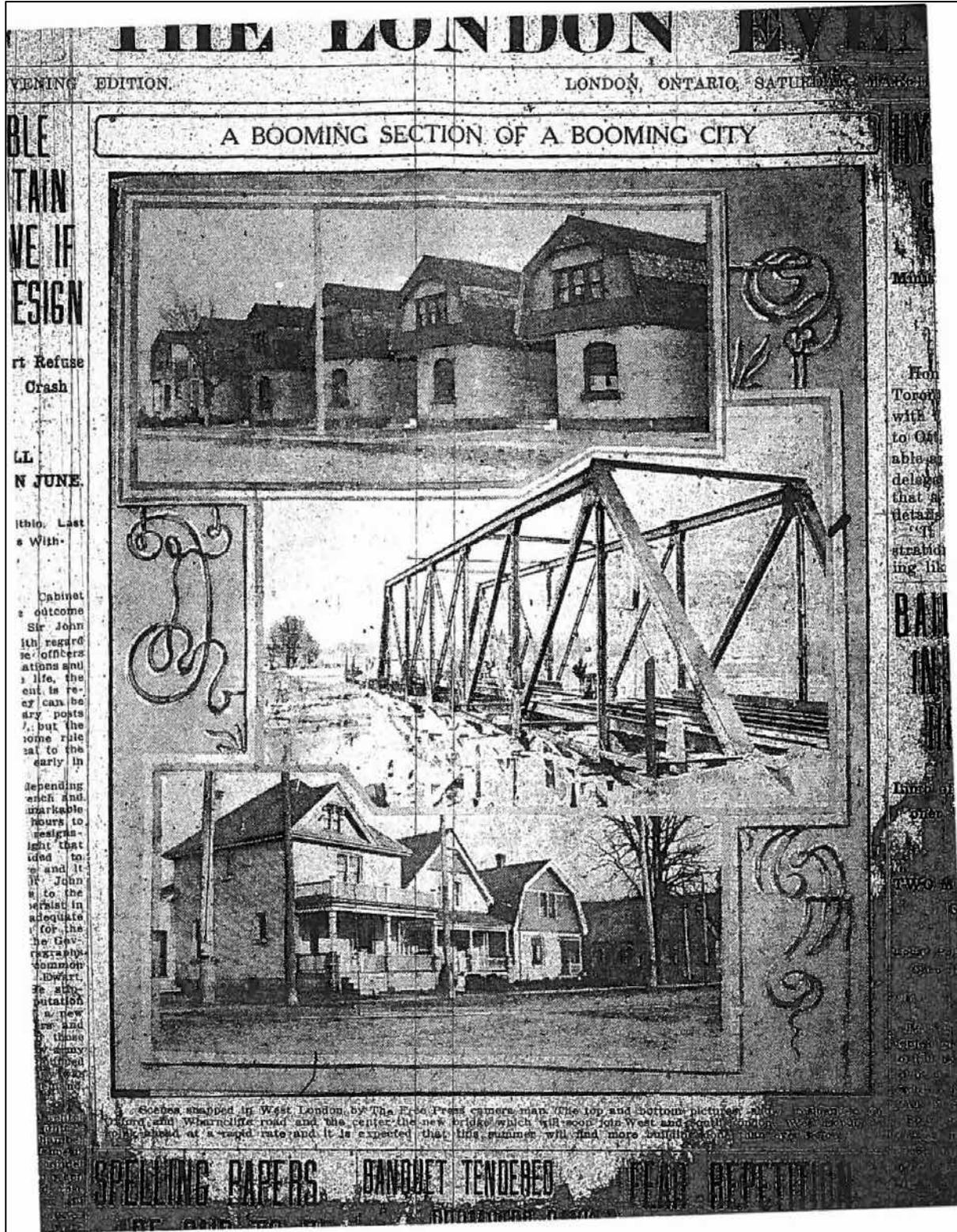
Figure 5: 1926 Geodetic Survey of Canada – City of London (Department of the Interior, Canada)



Stewart et al. 1926



Figure 7: "A Booming Section of a Booming City", *London Free Press*, March 28, 1914, featuring the 6 houses at 78-88 Oxford Street West (top), the Wharncliffe Road Bridge constructed in 1914 (middle), and a series of unidentified houses (bottom).



### 3. Property Descriptions

#### 3.1 Context

The six buildings at 78-88 Oxford Street West were built with a common foot print and orientation to create a streetscape of identical looking houses (Plate 6). The houses are located on deep, narrow lots. South and west of 88 Oxford Street West the land slopes steeply. The change in grade is particularly evident at the end of Palmer Street (Plate 7). The lot setbacks for the subject properties have been significantly reduced since the early 20<sup>th</sup> century due to the widening of Oxford Street which first began in 1973 (Figure 5). It appears that all of the road widenings have occurred on the south side. The north side of the street retains, what appear to be, the original house setbacks (Plates 7 and 8). The streetscape east of the subject properties and at the intersection with Wharncliffe has developed into a commercial and business area and is comprised of parking lots, professional buildings, and restaurant businesses.



Plate 6: 78-88 Oxford Street West looking southwest



Plate 7: Original grade change at the end of Palmer Street, south of the subject properties



Plate 8: Original lot setbacks along the north side of Oxford Street



Plate 9: View looking southeast to the subject properties showing reduced setbacks.

## 3.2 Building Descriptions

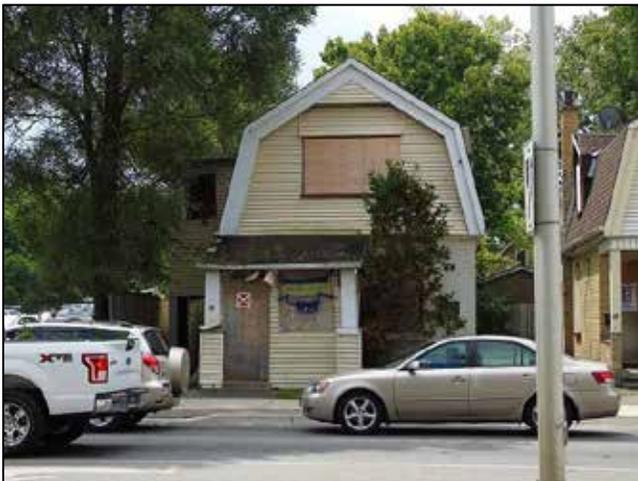
### 3.2.1 Common Features

The six subject properties were all originally built as yellow brick, 1½ storey, gambrel-roof structures with a one storey brick addition at the rear. The houses appear to have been built on poured concrete foundations that have since been parged. Small gable dormers were built on both the east and west sides of the roof on each building. The existing roofing materials consist of asphalt shingles. Initially, the gable end of each front façade was clad with decorative wood shingles, and wood pilaster mouldings that surrounded a grouping of three windows. However, the shingles and moulding details are only still visible on 82 Oxford Street West today. The remaining five buildings are all clad with vinyl or aluminum siding. In addition, 82 Oxford Street is the only house remaining with its elegant bargeboard detailing that lines the roofline, as well as its wood posts and wood entablature above the front door entrance. These details have also been covered, altered, or removed on the other five buildings.

Many of the original heritage attributes of the subject properties have been removed or covered as a result of subsequent renovations. A description of each property is provided below.

### 3.2.2 78 Oxford Street West

The exterior of this structure has been heavily modified with vinyl siding. The east (side) facade has been modified by the construction of a two-storey addition, clad with vinyl siding which covers the original roof dormer and part of the chimney. The original recessed front entrance porch façade appears to have been modified with the construction of a shed roof that extends out further than the neighbouring buildings. The gable end has been covered with vinyl and the remaining visible brick has been painted white. The grouping of second storey windows on the gable end has been boarded over but the lower level window retains its original attributes, including its arched brick voussoirs (Plates 10-12).



*Plate 10: Front façade of 78 Oxford Street West*



*Plate 11: East facade of 78 Oxford Street West showing modern addition*



Plate 12: West side of 78 Oxford Street West showing side dormer

### 3.2.3 80 Oxford Street West

This structure has also undergone a series of modifications and currently appears to be vacant. The one-storey, rear brick addition has been rebuilt as a two-storey vinyl clad structure. The original pillar supporting the second storey over the recessed porch has been replaced or covered with a square aluminum clad pillar. The front gable end has been covered with vinyl siding and the second storey grouping of windows on the gable end has been boarded over. The original chimney has been rebuilt above the roofline. The first story window is also boarded over; however, the elliptical transom portion of the window opening and the brick arched lintel is still visible (Plates 13-15).

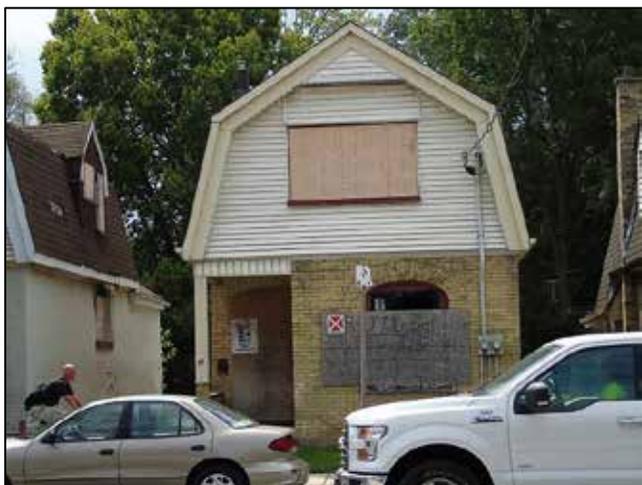


Plate 13: Front façade of 80 Oxford Street West

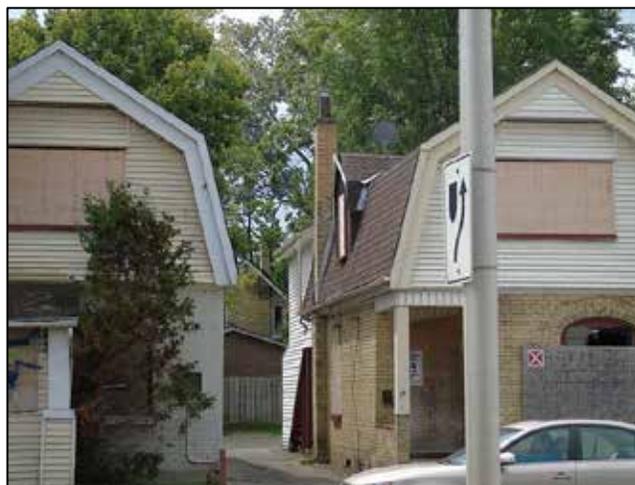


Plate 14: East facade of 80 Oxford Street West showing rear two-storey addition



*Plate 15: West facade of 80 Oxford Street West showing dormer*

### 3.2.4 82 Oxford Street West

The building at 82 Oxford Street West is the least modified house of the six properties. The front façade is the least altered retaining its wood shingles in the gable end, detailed decorative bargeboards, wood mouldings around its second storey windows, and its porch post. The exception is a new front door and a small one storey vinyl sided addition at the rear that can be seen along the west side of the house (Plates 16-18).



*Plate 16: Front façade of 82 Oxford Street West*



*Plate 17: East facade of 82 Oxford Street West*



*Plate 18: West facade of 82 Oxford Street West showing portion of later rear addition*

3.2.5 84 Oxford Street West

The buildings at 84 and 86 Oxford Street West have been significantly modified in similar manner by recent exterior renovations. The rear one-storey addition has been extended east into the laneway area and the original recessed porch has been filled in to create a consistent front façade depth. The house has been covered by with vinyl siding representative of board-and-batten wood siding on both first and second storeys. The second storey grouping of windows remains on the front facade, but its wood mouldings/pilasters and bargeboard have been replaced by vinyl. The elliptical transom of the ground floor window has been replaced with a vinyl one-over-one rectangular sash window with vinyl framing and the house’s chimney has been removed (Plates 19-21).



*Plate 19: Front facade of 84 Oxford Street West*



*Plate 20: East facade of 84 Oxford Street showing later addition at rear.*



Plate 21: West facade of 84 Oxford Street West

### 3.2.6 86 Oxford Street West

The buildings at 86 and 84 Oxford Street West have been significantly modified in similar manner by modern renovation. The original rear one-storey addition at the rear has been rebuilt as a two storey vinyl clad structure. The original recessed porch remains with the original pillar having been replaced with a square pillar. The front facade has been covered by vinyl siding representative of board-and-batten wood siding on both the first and second storeys. The east and west walls still retain the original, unpainted brick. The second storey grouping of windows remains in the front facade, but the original wood mouldings/pilasters and bargeboard have been replaced with vinyl. The chimney has been removed. The elliptical arch of the first storey window has been replaced with a sliding rectangular window with vinyl framing (Plates 22-24).



Plate 22: Front facade of 86 Oxford Street West



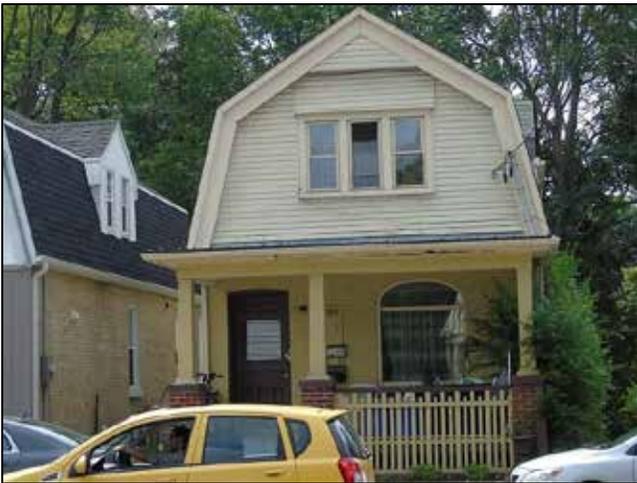
Plate 23: East facade of 86 Oxford Street West



*Plate 24: West facade of 86 Oxford Street West showing unpainted brick*

### 3.2.7 88 Oxford Street West

Architecturally, the property at 88 Oxford Street West is slightly different from the other five subject properties. The front façade no longer includes a recessed porch and the reconstruction of the brick on the front façade has hid any remnants hint of its reconstruction. In addition, a side entrance door was constructed on the east façade. The rear addition has been replaced with a two-storey, vinyl clad addition. A covered porch spans across the front of the building and appears to date from the mid-20<sup>th</sup> century based on its style and building materials, namely the brick posts. The brick on the first storey of the front façade has been painted, and the gable end covered with aluminum siding. The second storey grouping of windows remains on the front facade, but the original wood mouldings/pilasters and bargeboard have been replaced or covered by the siding (Plates 25-27).



*Plate 25: Front façade of 88 Oxford Street West*



*Plate 26: East facade of 88 Oxford Street West showing side door and brick-work where recessed front entrance may have been*



*Plate 27: West facade of 88 Oxford Street West showing roof line of rear addition.*

## 4. Summary of Cultural Heritage Evaluations

### 4.1 Previous Heritage Evaluations

As of 2008, the properties located at 78, 84, and 86 Oxford Street West were listed as Priority 3 properties within the City of London's *Inventory of Heritage Resources*. The properties located at 80, 82, and 88 were listed as Priority 2 properties.

In May 2009, the London Advisory Committee on Heritage (LACH) approved the following Draft Statement of Cultural Heritage Value for five of the six properties.<sup>4</sup>

*These houses are recommended for designation under Part IV of the Ontario Heritage Act as a streetscape of cultural heritage value. They form, along with 82 Oxford, a row of six homes which were built in 1907 to a common floor plan and common elevations to create a row of identical looking houses. It is this streetscape that is considered worthy of preservation as being fairly unique in the city. A newspaper article in 1914 referred to the area of Oxford and Whamcliffe as "A booming section of a booming city". These houses were originally home to labourers, drivers, carpenters and a widow, many of whom rented the properties from a single owner who may have been the builder. Several of them were employed at the leather and shoe factories in the area. This demographic suggests that the area was populated by working-class families with sufficient income to afford a house.*

*These homes are all built in London white brick, one-and-a-half storey, with gambrel roof and a gambrel-roofed dormer on each side. The gambrel roof style became popular at the time of these homes as it allowed greater interior space on the upper storey without losing the perceived tax advantages of not being a full two-storey. The roof style appears to be quite popular in this area of the city.*

The six properties were also reviewed in the Blackfriars-Petersville Conservation District Study (2014). The properties were not recommended for inclusion in the Part V designation of the Heritage Conservation District, however, they were included within a Technical Memorandum that addressed the heritage value of the properties. Related to the subject properties, the report stated:

*A 1914 edition of the London Free Press used a photograph of the eastern five houses shown here to illustrate "A Booming Section of a Booming City." With the gambrel roofs so typical of the booming London West, the six houses illustrated here still have a striking presence along Oxford Street, though only one of the houses, at 82 Oxford, has its Edwardian ornamentation intact. The buildings at 82 and 88 Oxford are listed in the Inventory of Heritage Resources, both with a priority 2, but the entire row has tentatively been recommended for designation by LACH. Recommended that remaining houses be listed with a priority 3.*

### 4.2 CHER

In 2015, the six properties were formally evaluated as part of a Cultural Heritage Evaluation Report (CHER) conducted for the proposed road widening project. The CHER evaluated the properties collectively according to *Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest* and determined that the properties had heritage value. Collectively the properties were determined to form a row of architecturally identical houses which were built in 1907 and it was the streetscape of the houses form that was considered significant. On

---

<sup>4</sup> 82 Oxford Street West was not included in the statement as it was already a listed property

the basis of the evaluation, the CHER agreed with previous LACH recommendations to designate the properties under Section 29 of the *Ontario Heritage Act*.

#### 4.2.1 O.Reg 9/06 Evaluation of 78-88 Oxford Street

The six properties were evaluated collectively rather than on an individual basis. The results of the Ontario Regulation 9/06 as presented in the CHER evaluation are presented in Table 1 below, and are described in the following subsections.

**Table 1: Ontario Regulation 9/06 Evaluation for 78-88 Oxford Street West**

O. Reg 9/06 Criteria	Site Specific Evaluation
<b>1) The property has design value or physical value because it:</b>	
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method;	Representative in scale, design, and materials of early 20 <sup>th</sup> century gambrel-roof, Colonial Revival style architecture. Distinctive characteristics such as wood shingling on the front façade, the recessed porch and pillar, elliptical window, and side roof gable dormers were popular stylistic features in the early 20 <sup>th</sup> century.
ii) Displays a high degree of craftsmanship or artistic merit; or	Not applicable
iii) Demonstrates a high degree of technical or scientific achievement.	Not applicable
<b>2) The property has historic value or associative value because it:</b>	
i) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;	Not applicable
ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or	Not applicable
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	Representative of early 20 <sup>th</sup> century, developer-built housing.
<b>3) The property has contextual value because it:</b>	
i) Is important in defining, maintaining or supporting the character of an area;	Not applicable
ii) Is physically, functionally, visually or historically linked to its surroundings; or	Remnant of suburban development in expanding city at beginning of 20 <sup>th</sup> century; three similar buildings are located on north side of road
iii) Is a landmark.	Not applicable

### *Design/Physical Value*

The properties at 78-88 Oxford Street West are representative in their scale, design, and material use of the architectural style known commonly in North America as Colonial Revival architecture. More specifically, the style can be referred to as Dutch Colonial. The Dutch Colonial style became widely popular in North America in the early-20<sup>th</sup> century and was revival of the architectural styles that were used commonly in the English and Dutch colonies in the Hudson Valley. The gambrel roof, gable end, shingle details, and porch entries were common characteristics of the style.

### *Historic/Associative Value*

The properties at 78-88 Oxford Street West reflect the trend of early-20<sup>th</sup> century developer-built housing. As urban centres began to grow outwards at the turn of the century it was not uncommon for a single developer or builder to subdivide a property and build a row of similar houses. The row of six houses represents the subdivision and creation of Park Lots on the outskirts of London at the turn of the 20<sup>th</sup> century.

### *Contextual Value*

The properties at 78-88 Oxford Street West are a remnant of the suburban development and expansion of the city of London in the early-20<sup>th</sup> century. Historically, the six buildings are linked to their surroundings, and were at one time considered a symbol of the growing, or “booming city” that was expanding. Although the properties have now become surrounded with more recent developments, the properties and their three similar counterparts on the north side of Oxford Street were once located on the edge of a growing city.

## **4.3 Statement of Cultural Heritage Value or Interest**

In May 2009, London Advisory Committee on Heritage approved a Draft Statement of Heritage Interest for the properties. For the purposes of this HIA, and consistency with the O.Reg. 9/06 evaluation conducted for the properties as a part of the CHER, a Statement of Cultural Heritage Value has been prepared:

The properties located at 78-88 Oxford Street West, in the City of London consist of a row of six one-and-a-half storey houses that are representative examples of Dutch Colonial Revival architecture that became popular in the early-20<sup>th</sup> century. The houses were constructed at the same time, and appear to have been constructed by the same builder given the similarities of the buildings’ one-and-a-half storey scale and massing, as well as the gambrel roofs and side dormers. The houses individually vary, based on design details including recessed porches, decorative bargeboards, and groupings of second storey windows that are surrounded by wood mouldings. The homes are representative of the early-20<sup>th</sup> century growth and expansion of London, and were identified in a 1914 newspaper article as symbols of a growing city. Today, the houses are located in the centre of a city that has vastly grown outwards and they are no longer located on the edges of the city, however, they represent a snapshot in the growth of London in the early-20<sup>th</sup> century. Together, the six properties contribute a visual pattern and consistency that contributes to the streetscape character of Oxford Street West.

### **4.3.1 Heritage Attributes**

The defining heritage attributes of the properties, as identified in this report include:

- Colonial Revival (Dutch Colonial) style as demonstrated by:

- 1 ½ storey scale and massing;
- Buff brick material (where remaining);
- Gambrel roof forms;
- Street facing end gables;
- End gable wood shingles (where remaining);
- Recessed front porches including posts (where remaining);
- Decorative wood bargeboards (where remaining);
- Grouping of three windows on front façade with wood moulding/pilasters; and
- Side gable dormers.

## 5. Proposed Undertaking, Impacts, and Mitigation

### 5.1 Proposed Undertaking

The Environmental Assessment for the proposed widening of Western Road is located primarily along Western Road from Platt's Lane to Oxford Street West. However, at the intersection of Oxford Street West and Wharncliffe Road the project will include intersection improvements primarily to accommodate transit priority queue jump lanes in each direction. The preferred alternative for this project includes the widening of Oxford Street generally between Gunn Street and Rathowen Street. Existing lane configuration and widths would be maintained, with the provision of a new 3.5m wide queue jump/right turn lane, and relocation of the existing 1.8m curb face sidewalk. Varying boulevard widths would be provided to accommodate street lighting (See Appendix A for alternatives and property requirements).

### 5.2 Potential Impacts

Widening Oxford Street West as a part of the Western Road Widening Environmental Assessment is anticipated to result in the loss of the buildings located at 78-88 Oxford Street West. The potential impacts of the proposed undertaking were evaluated according to the MTCS document, *Ontario Heritage Toolkit: Heritage Resources in the Land Use Planning Process*. The document identifies seven potential impacts to consider when evaluating a site development or alteration. Impacts may include:

- **Loss/Destruction** of any, or part of any, significant heritage attributes, or features;
- **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
- **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- **Isolation** of a heritage attribute from its surrounding environment, context or significant relationship;
- **Direct or indirect obstruction** of significant views or vistas within, from, or of built and natural features; or
- **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.

It is understood that the road widening on Oxford Street West is preferred to take place on the south side of the street to avoid significant impacts to municipal services, utilities, and commercial properties. In addition, construction on the south side of the street will permit boulevards to have sufficient width to ensure pedestrian safety and proper snow storage during the winter season. Further, the widening on the south side of Oxford Street will achieve an effective transit priority road design.

#### 5.2.1 Loss/Destruction and Alteration

The proposed widening of Western Road and Oxford Street West may result in the loss/destruction and/or alteration of the six properties and the demolition of the six houses. Demolition of the houses will result in the loss of the heritage attributes and cultural heritage value identified in this report and by LACH in previous consideration of the properties.

#### 5.2.2 Shadows

The proposed widening of Western Road and Oxford Street West is not anticipated to result in shadows.

### 5.2.3 Isolation

The proposed widening of Western Road and Oxford Street West may result in the isolation of the six houses if the properties are not conserved collectively. The cultural heritage value of the properties, as identified in this report and in the Draft Statement of Cultural Heritage Value as adopted by LACH in 2009, identify that the properties demonstrate heritage value collectively. In order to mitigate any impacts that may result from isolation of a heritage attribute, mitigation option should be considered that conserves the six properties or a portion of the six properties together. Isolating a single property would result in a loss of the cultural heritage value of the six properties as they have been evaluated collectively and recognized as containing cultural heritage value or interest together.

### 5.2.4 Direct or Indirect Obstruction

The proposed widening of Western Road and Oxford Street West is not anticipated to result in direct or indirect obstruction.

### 5.2.5 Change in Land Use

The proposed widening of Western Road and Oxford Street West will result in a change in land use, as a portion of the existing lots will now become a part of the road allowance and will no longer function as residential properties. Depending on the preferred mitigation option, a conservation strategy could be identified in order to maintain a residential land use of the property.

## 5.3 Potential Mitigation

There is no, one, correct way to mitigate the adverse impacts of new construction on or adjacent to heritage properties. Strictly from the perspective of best practice for heritage conservation, the preferred option is one that conserves a property's cultural heritage value. The Provincial Policy Statement, 2014, identifies the requirement to conserve cultural heritage, specifically in Section 2.6.1 stating "Significant built heritage resources and significant cultural heritage landscapes shall be conserved."<sup>5</sup> Typically this involves maintaining a heritage resource *in situ*. In reality, economic, technical, and/or environmental site considerations may require some form of compromise and/or alternate means of heritage conservation.

In order to mitigate the impacts of the demolition of the six houses, AECOM has considered a series of mitigation options for the consideration of the City. The mitigation options may be read and carried out individually, or could be paired in order to achieve the desired level of heritage conservation for these properties. The potential mitigation options and any potential advantages or disadvantages of the options are described below:

### 5.3.1 Relocate Houses on Existing Lots

The houses on the properties could be relocated to a new location on the property. This would require pulling the houses southward and their placement on new foundations to avoid the widened road. Given the size of the lots, the houses would likely be located close to the rear portion of the lots. As a result of their location within the West London Special Policy Area, consultation with the Upper Thames Conservation Authority will likely be required in order to determine an acceptable level of floodproofing for the relocated dwellings.

---

<sup>5</sup> Provincial Policy Statement, 2014.

In addition, as part of the City of London's Rapid Transit initiative, Oxford Street has been identified as a Potential Rapid Transit Corridor.<sup>6</sup> Although the Environmental Assessment for this project is ongoing, and corridors and routes have not been confirmed, if Oxford Street is in fact a corridor for the transportation network, further impacts to Oxford Street may be anticipated. The extent of the anticipated impacts – and a finalized corridor system – are not known at this time, however, it can be assumed that the six properties that are the subject of this report may experience impacts in the future as a result of The Shift EA.

Further to the short-term and long-term planning challenges identified above, it was also confirmed that doing relocation would present some significant technical and financial challenges. It is assumed that the intent would be to relocate the existing homes further back on each of the existing lots. As a result, the following items present themselves as technical challenges, ranging in complexity, in order to complete the work:

- **Condition and structural integrity of the existing homes.** At this time, the conditions of each house is unknown, as is whether they can be physically lifted and relocated without significant damage to the interior and exteriors of the building.
- **Narrow width of the existing lots.** There is very limited space between each of the homes, restricting the work area and ability for equipment to operate. This would result in requiring access to the rear yards from each subsequent adjacent back yard.
- **Site access.** As above, the narrow lots create the requirement to access the rear yard from the adjacent neighbouring lot, all of which are private lands. Each rear yard also has trees, sheds, gardens, patios, etc., that would be impacted by the construction access, and construction itself. In addition, all of the site access and staging of construction equipment would be occurring on Oxford Street, which is a high volume road, resulting in potential road closures or lane restrictions.
- **Temporary living arrangements.** For each building relocation, the existing residents would need to be temporarily relocated to allow the relocation and construction to be completed. This work could take months to complete for each house.
- **Available lot depth.** In a number of instances, the existing house depth may be too long in order to fit within the rear yard of the existing lot. This is due to the presence of other buildings, additions to the existing homes, trees, etc. Further review would be required to determine if a new basement footing could be constructed in the remaining lot depth. In addition, this would result in essentially no useable rear yard space for the residents, affecting the enjoyment of their house and the value.
- **Zoning and setback requirements.** As above, with limited rear yard space, the required building setbacks may not be achievable. Further review would be required to determine what setbacks would be available.

Based on the above, it was estimated that the construction cost to relocate each house would be between \$100,000 to \$150,000. This is a high level estimate that does not take in to account engineering, permits, interior/exterior restoration, temporary living arrangements, etc. Therefore, the estimate could fluctuate from 50 to 100%, all subject to the final design and implementation.

As indicated above, one of the large uncertainties is the condition of the building structure, and whether they can be physically relocated without causing additional damage. This, along with the limited access, could have significant impacts on the cost and ability to relocate the homes. In addition, it is unknown at this time what impacts will result from the current Rapid Transit EA, which affect the Oxford Street corridor. Subject to the preferred alternative and ultimate detailed design of that project, there is a strong potential that additional road widenings will be required, potentially creating further conflicts with any relocated houses.

**Pros:** The buildings will be retained in full and on their existing lots

**Cons:** As demonstrated above, the nature of the buildings and the lots will present significant economic and technical challenges that will likely not make the relocation of the buildings feasible.

---

<sup>6</sup> *The Shift*, [www.shiftlondon.ca](http://www.shiftlondon.ca).

### 5.3.2 Detailed Documentation Program

Prior to demolition, the houses should be documented to high graphic standards that would include, as a minimum, a historical narrative, high-resolution photography of the building's exterior features under optimal environmental conditions and/or measured architectural drawings of the building elevations. A documentation report should be compiled and deposited in public archives or libraries as a record of the properties. A documentation program for these houses should include digital photography undertaken in optimal weather conditions using digital photography with the following minimum standards:

- A minimum pixel depth of 3000 x 2000;
- Resolution of 300 ppi (pixels per inch); and
- Photographs should be saved in .tif or .jpeg image file format.

Architectural drawings as a form of mitigation should be measured and should be scalable, including details such as existing materials, and major alterations and/or additions to the existing structures. A heritage documentation report should be assembled into a formal narrative report including relevant background history pertaining to the properties. The report should be filed with the City of London, and deposited with the London Public Library for addition to the City's local history resources.

**Pros:** The existing conditions of the buildings will be recorded according to professional standards and their cultural heritage value or interest will be documented for archival purposes.

**Cons:** The buildings on the properties would ultimately be demolished, and the physical presence of the buildings will be removed from the streetscape.

### 5.3.3 Retain Portions of Building Facades as Commemorative Element

Depending on the future uses of the properties following the road widening and demolition, the front facades of the properties could be retained on Oxford Street West and integrated into a new development on the properties, or retained as free-standing structures as a symbolic form of commemoration of the properties. This option would result in a continued presence of the streetscape character on this portion of Oxford Street West.

**Pros:** Several of the physical heritage attributes of the properties will be retained on the properties. In addition, this presents an opportunity for an artistic use of the properties.

**Cons:** This would likely require demolishing the buildings and retaining or rebuilding free-standing facades on the lots. The result may not be an appropriate representation of the heritage value of the buildings and may require considerations regarding public safety or future use. Although, this approach may conserve a portion of the buildings, façade retention otherwise known simply as "facadism" is typically discouraged as it preserves very little of the physical heritage value of a property. Façade retention is most successfully undertaken in urban cores where significant building facades can be integrated into proposed towers in order to maintain a particular streetscape character. In this instance, it may not be the most appropriate approach.

### 5.3.4 Interpretive Signs, Plaques, and/or Public Art Installation

Following demolition of the buildings, interpretive signs, plaques or an art installation could be prepared for placement on the edge of the new lot(s) or in a different location in order to mitigate the loss of the heritage value of the properties and contribute to alternate form of commemorative/preservation. Interpretive signage could include historic and/or contemporary images, historic information, and other text. On the contrary, a plaque or a series of plaques would be fairly limited in graphics and would merely include text. This is often used to identify designated or listed properties while they are still present.

Lastly, the properties could be reinterpreted in the form of an art installation elsewhere in the city. For example, a portion of the West London Dyke has recently been replaced and includes a series of panels that appear separate from the others. This may present a viable space for an opportunity such as public art that can commemorate the properties. In addition, existing parks, parkettes, or other open spaces elsewhere in the City that may be suitable for public art or an art installation may provide an opportunity to commemorate the properties.

**Pros:** The installation of interpretive plaques or signage would commemorate the cultural heritage value of the properties, although the built heritage resources would no longer be present.

**Cons:** Interpretive plaques or signage may not convey the streetscape character of the existing houses. In addition, given that the heritage value of the properties is closely tied with their streetscape character, plaques/signage may not be the most appropriate form of heritage conservation.

### 5.3.5 Footprint Location of Buildings

Following completion of the road widening construction, the location of the former houses could be outlined in the street/sidewalk by means of pavers, concrete colouring, or other markers. This method would commemorate the existence of the former buildings and the streetscape they created.

**Pros:** Commemorating the footprint of the buildings offers an opportunity for an artistic connection to the heritage value of the properties and may be a visible commemoration for the properties.

**Cons:** Depending on materials considered for this form of commemoration, the future use of the properties may be restricted as a result of the footprint designs. In addition, the design of the road allowance and sidewalk/boulevards may need to conform to specific design requirements and will ultimately have limited effectiveness in conveying the cultural heritage value of the properties.

## 6. Recommendations

It is understood that the preferred alternative for the widening of Oxford Street West is to widen the south side of the road in order to avoid significant impacts to municipal services and utilities as well as to achieve effective transit priority road design. As a result, the six houses located at 78-88 Oxford Street West may be demolished in order to accommodate the widening of the road. The mitigation options presented in Section 5.3 have identified various forms of mitigation that may be appropriate for the six properties. Given the constraints identified for the mitigation approaches identified above, this HIA makes the following recommendations that are the most appropriate for the conservation of the six properties.

### 6.1 Detailed Documentation Program

A detailed documentation program for the six properties has been identified as the most appropriate level of conservation for the properties at 78-88 Oxford Street West. Given the anticipated impacts to the properties and potential future impacts that may result from planning initiatives for rapid transit in London, the properties should be documented using the photography and architectural measured drawings, to the standards described in Section 5.3.2 of this report. A documentation report should be prepared and filed with the City of London and deposited with the London Public Library for a publically available record of the properties.

### 6.2 Interpretive Signs, Plaques, and/or Public Art Installation

Interpretive signs, plaques, or a public art installation to commemorate/preserve the properties six could properties should be considered. Although it is unlikely that the properties will be the most appropriate location for this form of conservation, other areas within London including the West London Dyke, or existing nearby parks may provide an opportunity for interpretive panels, or a form of public art.

## 7. Bibliography

Blumenson, John.

1990 *Ontario Architecture: A Guide to Styles and Building Terms, 1784 to the Present*. Fitzhenry and Whiteside.

Charles E. Goad Co.

1892 *Insurance Plan for the City of London, Ontario, Canada*. 1892 Revised 1907. Toronto.

Charles E. Goad Co.

1912 *Insurance Plan for the City of London, Ontario, Canada*. 1912 Revised 1915. Toronto.

City of London

2006 *City of London Inventory of Heritage Resources*. The London Advisory Committee on Heritage. Department of Planning and Development.

Golder Associates Ltd.

2014 *Blackfriars/Petersville Heritage Conservation District Study, City of London, Ontario*.

2014 *Blackfriars/Petersville West Guidelines, City of London, Ontario*.

Government of Ontario

1990b *Ontario Heritage Act*. R.S.O. 1990, CHAPTER O.18, Last amendment: 2009, c. 33, Sched. 11, s. 6.

Electronic document: [http://www.e-laws.gov.on.ca/html/statutes/english/elaws\\_statutes\\_90o18\\_e.htm](http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_90o18_e.htm).

Lutman, J.

1977 *The Historic Heart of London*. London, Ontario: London Public Library

Mikel, Robert.

2004 *Ontario House Styles: The Distinctive Architecture of the Province's 18<sup>th</sup> and 19<sup>th</sup> Century Homes*. James Lorimer & Company Ltd., Publishers.

Noble, Allen G.

1984 *Wood, Brick, & Stone: The North American Settlement Landscape*. The University of Massachusetts Press.

Stewart, C., Cory, W.W., and Craig, J.D.

1926 *Map of the City of London*. Department of the Interior, Canada.

Stott, Gregory K.R.

1999 *The Maintenance of Suburban Autonomy: The Story of the Village of Petersville-London West, Ontario 1874-1897*. Thesis, Master of Arts, University of Western Ontario.

Vernon, H.

1906 *Vernon's City of London Street, Alphabetical, Business and Miscellaneous Directory for the year 1906*.

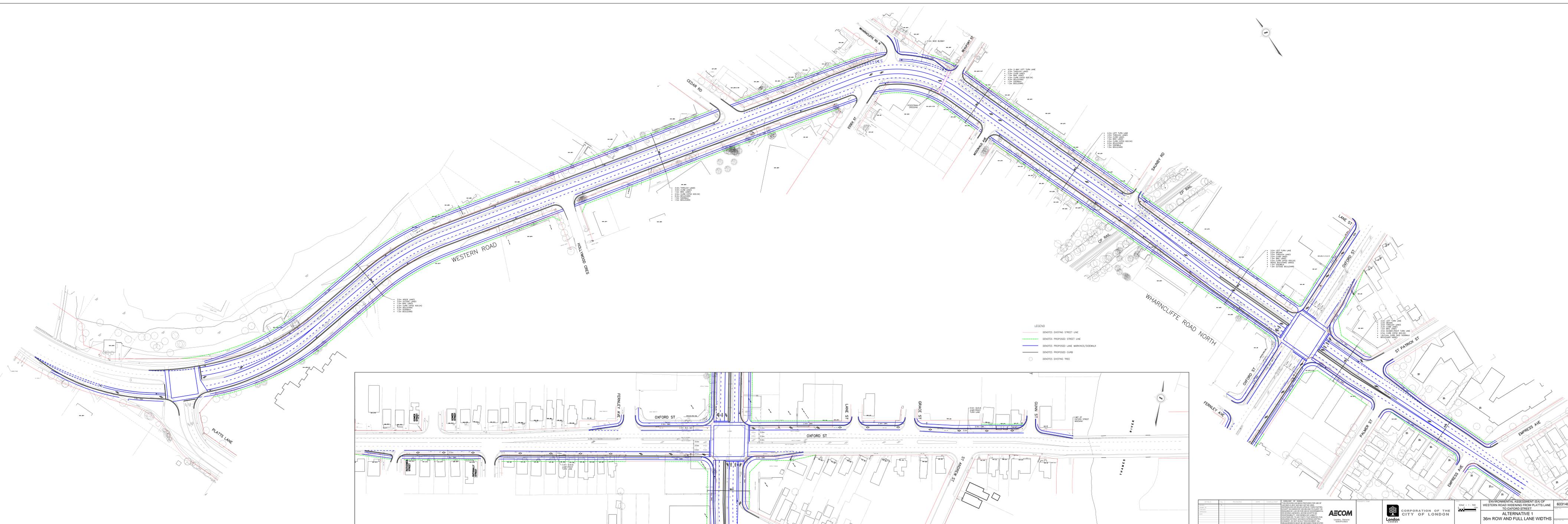
Vernon, H.

1907 *Vernon's City of London Street, Alphabetical, Business and Miscellaneous Directory for the years 1907-1908, First Edition*. Corrected to October 1, 1907.

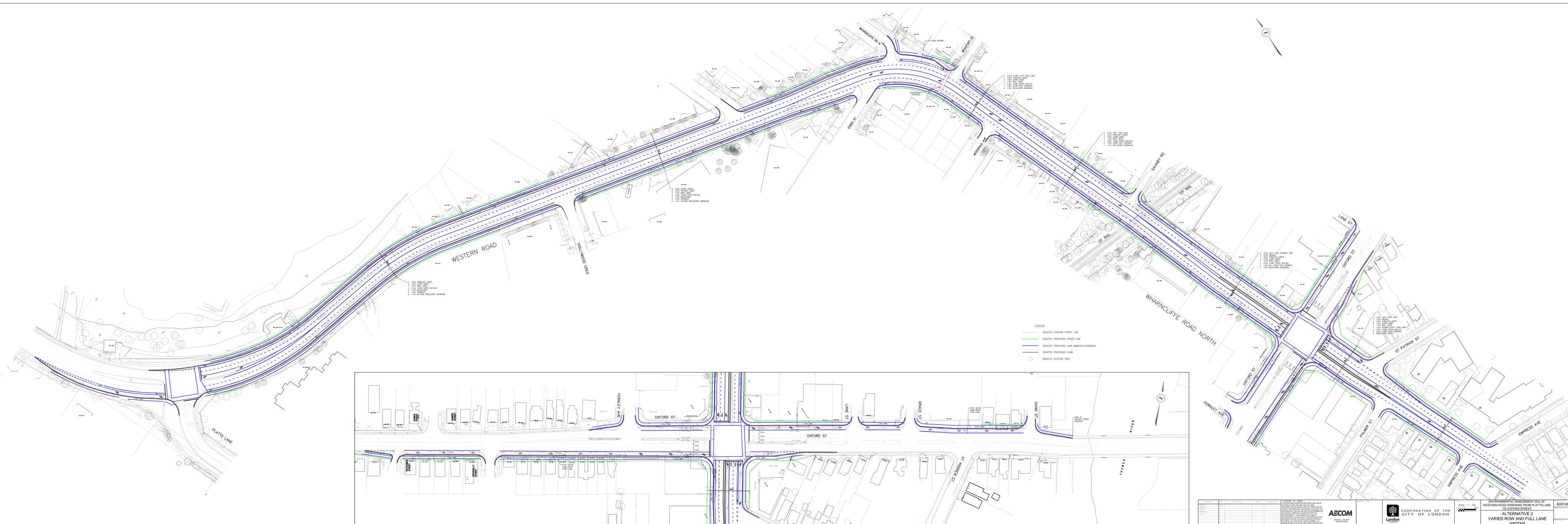
# Appendix A

## Western Road Widening Alternatives

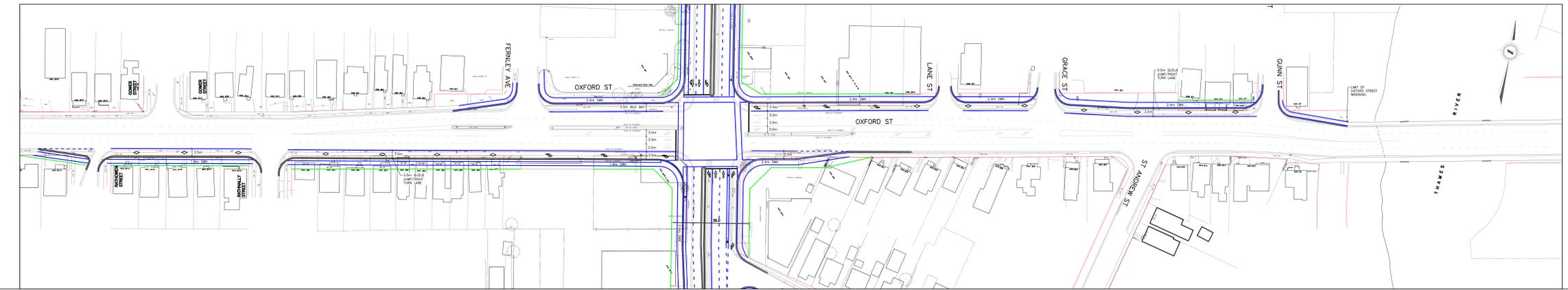
### Western Road Environmental Assessment Western Road Widening from Platt's Lane to Oxford Street

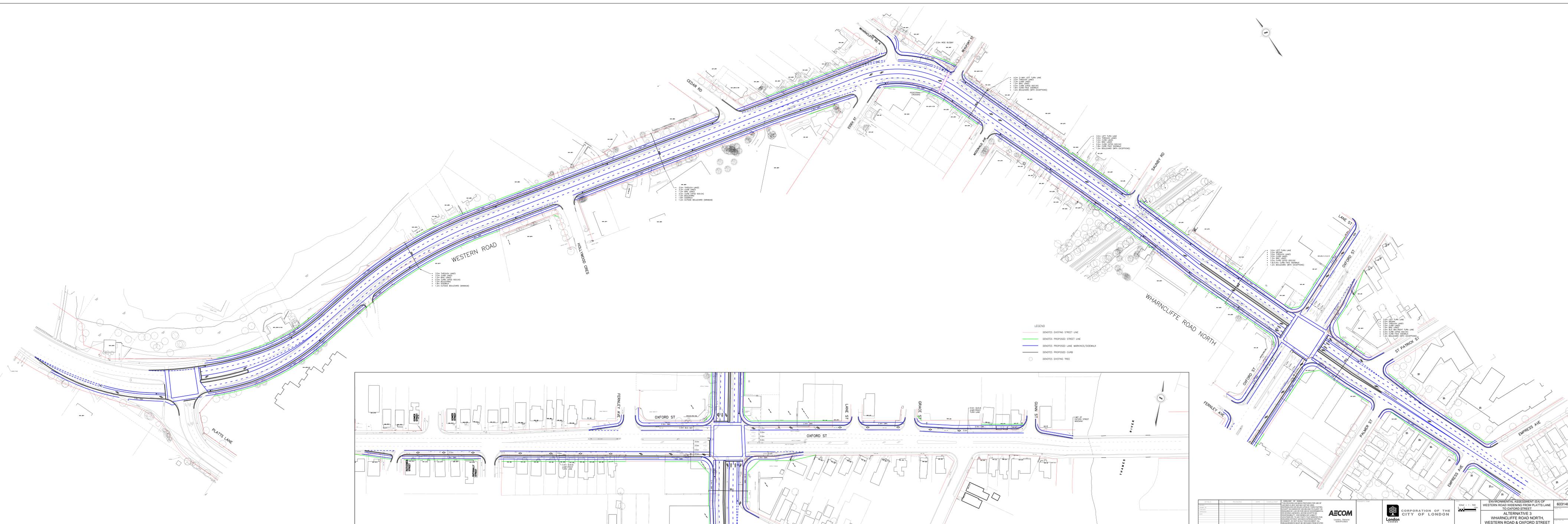


- LEGEND
- DENOTES EXISTING STREET LINE
  - - - DENOTES PROPOSED STREET LINE
  - DENOTES PROPOSED LANE MARKINGS/ROADWALK
  - DENOTES PROPOSED CURB
  - DENOTES EXISTING TREE



- LEGEND
- DENOTES EXISTING STREET LINE
  - DENOTES PROPOSED STREET LINE
  - DENOTES PROPOSED LANE MARKINGS/FOOTWALK
  - DENOTES PROPOSED CURB
  - DENOTES EXISTING TREE





3.0m THROUGH LANES  
 2.0m CYCLE LANE  
 2.0m CYCLE LANE (WITH 0.5m GRASS)  
 2.0m CYCLE LANE (WITH 0.5m GRASS)  
 1.5m FOOTWAY  
 1.5m OUTSIDE BOLLARD (WITHIN)

2.0m THROUGH LANES  
 2.0m CYCLE LANE  
 2.0m CYCLE LANE (WITH 0.5m GRASS)  
 1.5m FOOTWAY  
 1.5m OUTSIDE BOLLARD (WITHIN)

2.0m LEFT TURN LANE  
 1.5m THROUGH LANES  
 2.0m CYCLE LANE  
 2.0m CYCLE LANE (WITH 0.5m GRASS)  
 1.5m FOOTWAY  
 1.5m OUTSIDE BOLLARD (WITHIN)

2.0m LEFT TURN LANE  
 1.5m THROUGH LANES  
 2.0m CYCLE LANE  
 2.0m CYCLE LANE (WITH 0.5m GRASS)  
 1.5m FOOTWAY  
 1.5m OUTSIDE BOLLARD (WITHIN)

2.0m LEFT TURN LANE  
 1.5m THROUGH LANES  
 2.0m CYCLE LANE  
 2.0m CYCLE LANE (WITH 0.5m GRASS)  
 1.5m FOOTWAY  
 1.5m OUTSIDE BOLLARD (WITHIN)

2.0m LEFT TURN LANE  
 1.5m THROUGH LANES  
 2.0m CYCLE LANE  
 2.0m CYCLE LANE (WITH 0.5m GRASS)  
 1.5m FOOTWAY  
 1.5m OUTSIDE BOLLARD (WITHIN)

LEGEND  
 — DENOTES EXISTING STREET LINE  
 — DENOTES PROPOSED STREET LINE  
 - - - DENOTES PROPOSED LANE MARKINGS/FOOTWALK  
 — DENOTES PROPOSED CURB  
 ○ DENOTES EXISTING TREE



- LEGEND
- DENOTES EXISTING STREET LINE
  - DENOTES PROPOSED STREET LINE
  - DENOTES PROPOSED LANE MARKINGS/LOOKALK
  - DENOTES PROPOSED CURB
  - DENOTES EXISTING TREE

3.0m THROUGH LANES  
 2.0m DRIVE LANES  
 2.0m DRIVE (WITH 800.00)  
 2.0m BOLLARD  
 1.0m BOLLARD  
 1.0m OUTSIDE BOLLARD SWIMMING

3.0m THROUGH LANES  
 2.0m DRIVE LANES  
 2.0m DRIVE (WITH 800.00)  
 2.0m BOLLARD  
 1.0m BOLLARD  
 1.0m OUTSIDE BOLLARD SWIMMING

2.0m LEFT TURN LANE  
 1.5m THROUGH LANES  
 2.0m DRIVE LANES  
 2.0m DRIVE  
 1.5m CURB (WITH 800.00)  
 1.0m CURB FACE SIDEWALK  
 1.0m BOLLARD (WITH EXCEPTION)

2.0m LEFT TURN LANE  
 1.5m THROUGH LANES  
 2.0m DRIVE LANES  
 2.0m DRIVE  
 1.5m CURB (WITH 800.00)  
 1.0m CURB FACE SIDEWALK  
 1.0m BOLLARD (WITH EXCEPTION)

2.0m LEFT TURN LANE  
 1.5m THROUGH LANES  
 2.0m DRIVE LANES  
 2.0m DRIVE  
 1.5m CURB (WITH 800.00)  
 1.0m CURB FACE SIDEWALK  
 1.0m BOLLARD (WITH EXCEPTION)

2.0m LEFT TURN LANE  
 1.5m THROUGH LANES  
 2.0m DRIVE LANES  
 2.0m DRIVE  
 1.5m CURB (WITH 800.00)  
 1.0m CURB FACE SIDEWALK  
 1.0m BOLLARD (WITH EXCEPTION)