

OLD EAST VILLAGE COMMERCIAL CORRIDOR URBAN DESIGN MANUAL

DRAFT - November 23, 2015

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Introduction

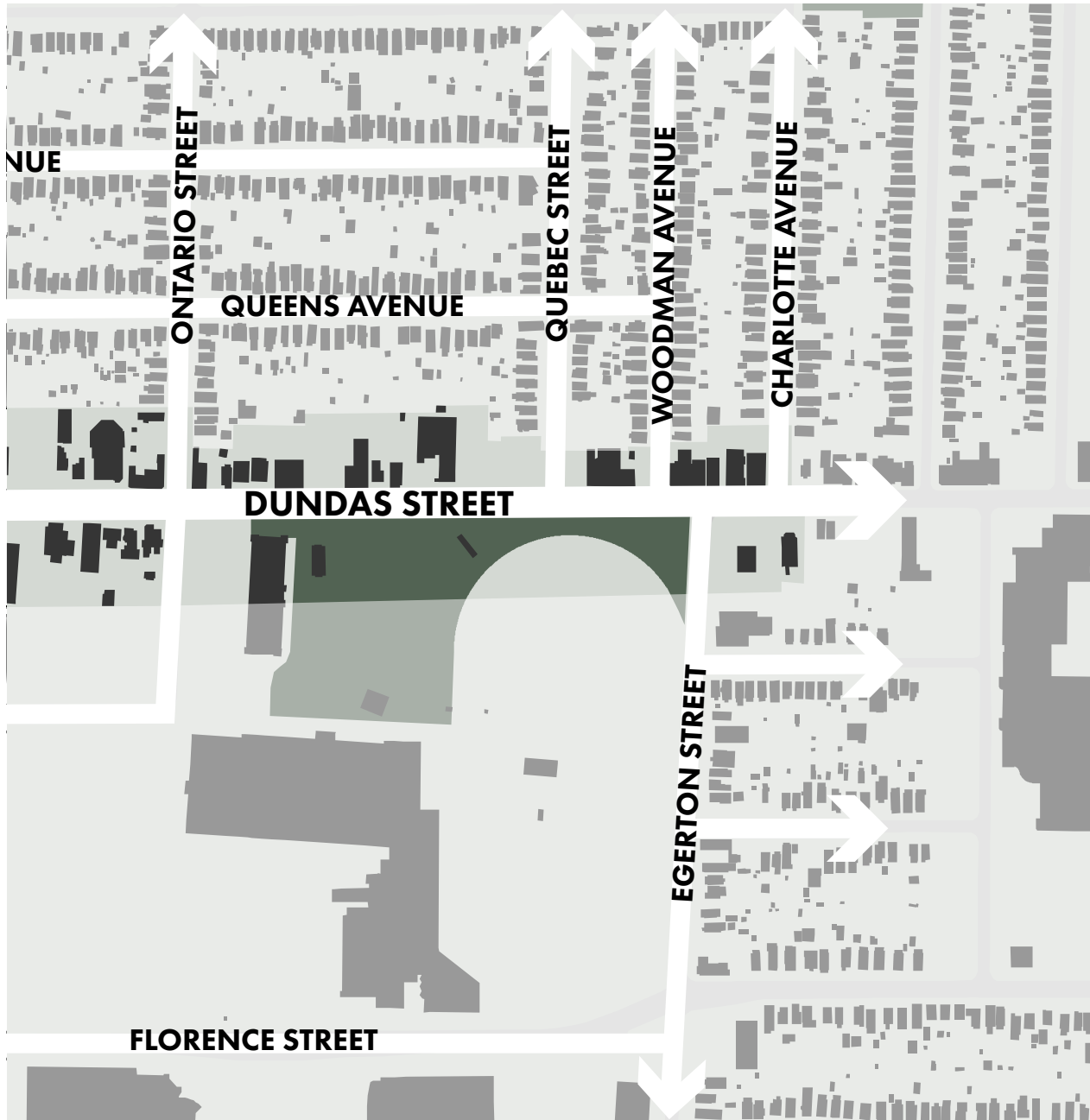
Old East Village is an important area in London's history and future. Over the past decade, the Old East Village BIA, the Old East Village Community Association and the City of London have been active in partnering together to revitalize the historic commercial corridor. The Regeneration initiative began in 2003 with a report from the Ontario Professional Planners Institute's Planners Action Team (aka PACT). Since then new developments and renovations have already begun in the Old East Village and this Design Manual will provide recommendations to guide future developments.

It is important for the revitalization of the community that the guidelines for the area closely reflect the vision of local residents. This manual was developed in consultation with local residents, business owners and property owners in the Old East Village during a number of sessions in 2011. This began through a discussion with the BIA board of Directors of 'What makes great streets?' led by Dr. Jason Gilliland, Director of Western University's Urban Development Program.

The City of London's Official Plan provides policy direction applicable to design and land use, and should be read in conjunction with this design guidance. The intention of this design manual is to steer new development, renovation and restoration efforts in a way that aligns with the vision established for the area and is consistent with the Community Improvement Plan incentives that the City provides.

This document describes preferred features which will be encouraged in new development, renovations and restorations. It will also be used by the City of London in the review of all planning and development applications and By-Law amendments. This manual should be considered as a minimum standard to be achieved with future projects and re-development efforts.





Old East Village Commercial Corridor

This design document applies to The Old East Village Commercial Corridor comprised of all the properties which front onto Dundas St. between Adelaide St. and Charlotte St.

Community Vision

As per the Old East Village Community Improvement Plan the Dundas Street corridor is broken up into three Village Districts. This document provides design guidance for the entire corridor and intends to uphold and realize the visions established for each district.

The Village Core

The Village Core is the heart of the Old East Village and is to serve as the immediate focal point of revitalization efforts. It is the vision of the Community Improvement Plan that within the Village Core a strong and viable pedestrian-oriented commercial district be established. To this end:

- a continuous building streetscape is envisioned;
- the existing heritage stock has been preserved and maintained;
- new development is envisioned to be consistent with, and sensitive to, the scale, massing, vernacular and front yard setbacks of the existing built environment;
- linkages provide for functional pedestrian movement within and between the commercial corridor, abutting parking facilities, and the surrounding residential neighbourhood; and,
- a broad range of commercial, residential, office, cultural,
- recreation and facility type uses are envisioned. To encourage the development of a strong and vibrant pedestrian-oriented district, commercial, recreational and/or cultural type uses are envisioned on the ground floor.

The Village Annex

The Village Annex will act as a pedestrian connector between the Village Core and the Entertainment and Recreation Zone. Within the district, the preservation of key heritage assets is balanced with a more intense order of development – the purpose of which is to assist in the realization of a critical “residential mass” supportive of the corridor within the Village Annex:

- a strong and viable pedestrian-oriented commercial district shall be established;
- key heritage elements shall be preserved and maintained;
- new development shall be encouraged to facilitate a continuous building streetscape;
- new development, effectively integrated and sensitive to the scale and massing of the existing built form, is envisioned. In those instances where such development exceeds the built form, buildings have been “stepped back” in consideration of the sunlight plane and the pedestrian street level environment;
- linkages provide for functional pedestrian movement within and between the commercial corridor, abutting parking facilities, and the surrounding residential neighbourhood; and,
- A broad range of commercial, residential, office, cultural, recreation and facility type uses are envisioned. To encourage the development of a strong and vibrant pedestrian-oriented district, commercial, recreation and/or cultural type uses are envisioned on the ground floor.

Area of Transition

The District is not a viable part of the commercial corridor. While this does not mean that the district will no longer support any commercial uses, it is recommended that the area be encouraged to transition. Possible uses that may develop on the corridor could include: multi-family residential; office; or institutional uses. Light industrial uses and auto-oriented commercial uses may also be supported. New development by the Western Fair should be encouraged within this area – with the key intent of fronting such development onto Dundas Street.

Dundas Street, between Rectory and Charlotte Street contains several key heritage assets. There are, however, long stretches of various land uses which do not support a high quality pedestrian streetscape. Recognizing that there is likely to be an insufficient demand to support a strong corridor both east and west of Rectory Street, the Official Plan and implementing zoning by-law should encourage an area of transition that would include a blend of new and existing land uses. The “Village”: An Integrating Theme from the Commercial Corridor Transition and Revitalization Study

Overview

Document Structure

The Old East Village Commercial Corridor Design Manual is divided into the following sections:

- 1.0 Façade Design
- 2.0 New Development
- 3.0 Patio Design

It is anticipated that other sections may be developed over time and added to this document. For example, Public Realm Guidelines could be developed once the Rapid Transit Environmental Assessment is complete as this portion of Dundas Street is being considered for Rapid Transit.

Urban Design Review

All Official Plan and Zoning Bylaw amendments, as well as all Site Plan applications and where applicable applications for Consent and Minor Variance will require an Urban Design Brief and potential review by the Urban Design Peer Review Panel,

Accessibility for Ontarians with Disabilities Act (AODA)

All projects must be in compliance with the AODA. Where there are conflicts between the contents of this document and AODA, the regulations set out in the AODA will prevail.

Implementation

This Manual will act as guidelines during a number of planning, development and By-Law review processes including, but not limited to, applications made for:

- Official Plan Amendments
- Zoning Bylaw Amendments
- Site Plan Approvals
- Consents
- Minor Variances
- Heritage Alteration/Demolition Permits
- Sign By-Law Amendments
- Incentive Programs (Façade Improvements, etc.)

Glossary of Terms

Awning

A sheet of canvas or other material stretched on a frame and used to keep the sun or rain off a storefront, window, or doorway.

Built line

A line along the street beyond which buildings must not project.

Cornice

A prominent, continuous, horizontally projecting feature, typically made of ornamental moulding, surmounting a wall or sign band, dividing the building horizontally for compositional purposes.

Datum Line

A line, plane or volume on a building façade to which other elements in new developments can relate.

Display Window

A large window or set of windows displaying items for sale.

Keystone

The wedge-shaped stone piece at the apex of a masonry vault or arch, which is the final piece placed during construction and locks all the stones into position.

Materiality

The use of various materials in the design of the building.

Moulding

A strip of decorative wood or other material used to frame elements of the façade including the sign band, windows, doors, etc.

Preservation

To conserve and protect buildings and/or building features of historical or cultural significance

Projecting sign

A pedestrian oriented sign placed perpendicular to the building projecting over the sidewalk.

Quoin

Masonry blocks at the corner of a wall.

Restoration

To repair or renovate a building to return it to its original condition and architectural style.

Sign Band

A flat horizontal band on the building façade, located above the storefront and below the second storey window, where a sign is attached.

Sills

The lower horizontal part of a window frame or window opening.

Streetwall

A wall or portion of a building façade at ground level, facing the street.

Transom Window

A window set above the transom of a door or display window.

Wall Sign

A sign erected on a sign band or onto the wall of a building façade.

Window Base

The lower portion of a façade below the display windows between the bottom of the window and the ground.

Window Header

An architectural detail typically made of stone that sits at the top of a window opening.

Valance

The narrow vertical hanging flap at the front edge of an awning.

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1.0

Façade Design

This section applies to
renovations, restorations and
new development.

1.1 The Building Façade

A façade refers to the front of a building or any of its sides facing a public right-of-way or public space. The most successful façades are:

Local

A façade that fits into the local context by the way of size, materials, and design rhythm.

Human Scaled

A façade that fits to the size and proportion of human beings.

Creative

A façade that displays individual creativity and uniqueness in the details in a manner that complements its surroundings.

Complementary

A façade that is consistent with the rhythm and proportions of surrounding façades without duplicating them.

Defined

A façade whose top, middle, and bottom are clearly definable and visually separated through materials and architectural treatment.

Authentic

A façade that echoes the historical character of the area.

Transparent

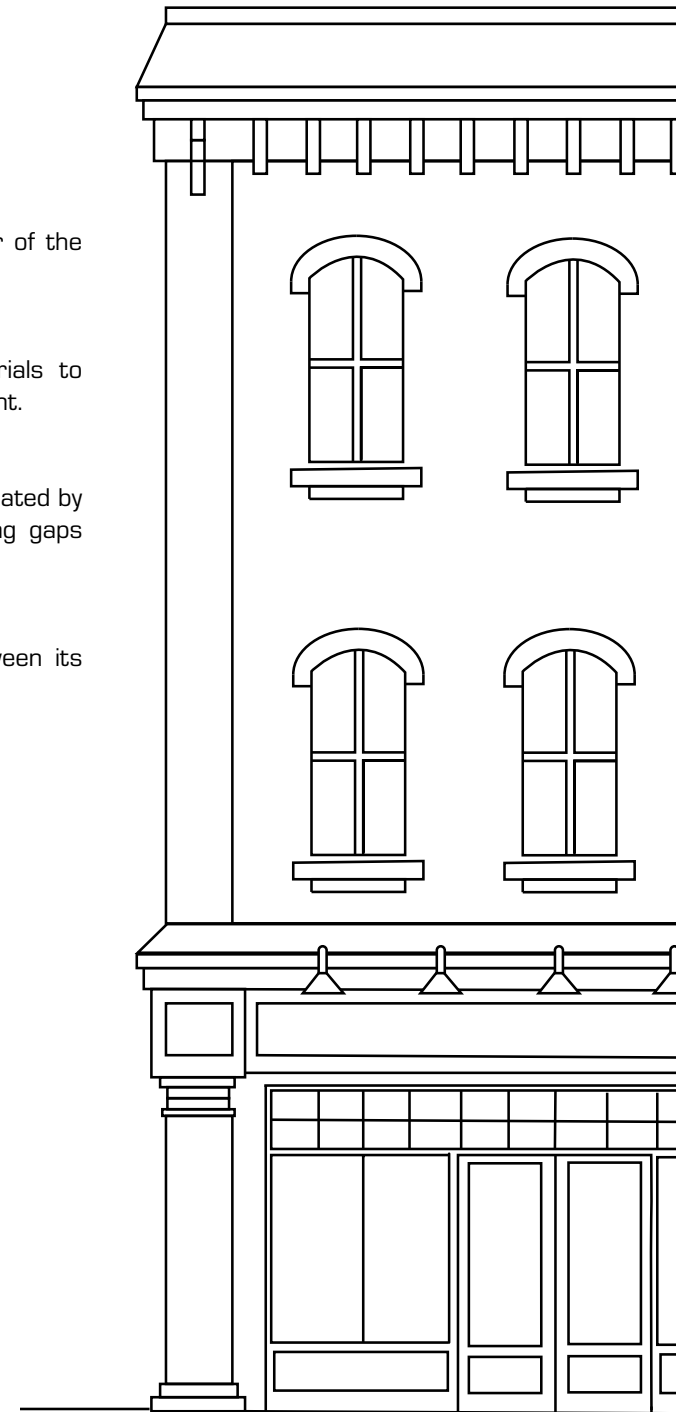
A façade that allows for transparent materials to support and activate the pedestrian environment.

Continuous

A façade that fits within the horizontal lines created by the surrounding buildings and reduces building gaps along the street.

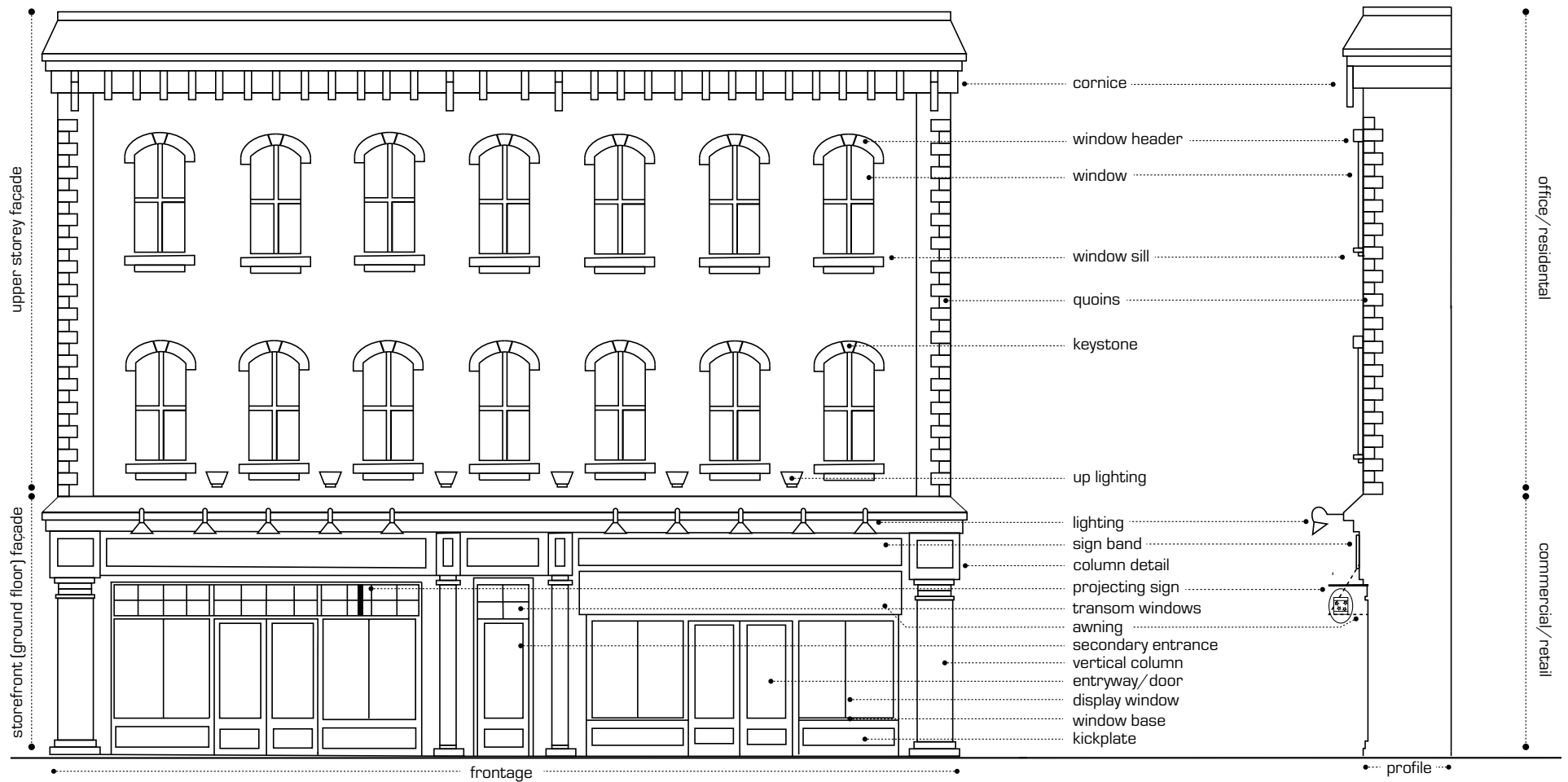
Proportionate

A façade that has an appropriate ratio between its length and height.



1.2 Traditional Façade Elements

This diagram and following guidelines identify key features of the façade to preserve during restoration. During new construction or redevelopment, it is encouraged that these key elements be replicated in the proposed building design, in order to fit with the historical character of the Dundas streetscape.



a. Storefront (Ground Floor) Façade Elements

i. Entryways & Doors

- Maintain/repair/restore existing entryway recesses (up to 3m) in order to promote large display areas. If necessary, explore the use of security measures that do not negatively affect the design of the building and assist in avoidance of loitering in the recessed areas in the overnight hours.
- Minimize the depth of entryway recesses, where applicable. Only use to accommodate outward swing of doors where inward swinging doors cannot be accommodated.
- Maintain/repair/restore existing durable traditional doors if possible; if required, replace with modern, energy efficient commercial doors made of wood or metal containing a significant amount of glass that replicate the traditional character of the corridor and allow additional visibility into a business.
- Use door hardware (handles, hinges, kickplates, etc...) that complements the existing character of the area.
- Illuminate recessed entryways.
- Ensure secondary entrance doors (doors to upper residential or office uses) are similar in design and materiality to the other entry doors on the façade.
- Maintain the continuity of storefronts along the street frontage by locating loading and service entrances on the side or rear of a building where possible.



London Clay Art Centre storefront, Old East Village, London, ON



Colourful doors in Old East Village, London, ON



Old East Village storefronts, London, ON



Entryway in Old East Village, London, ON



Entryway in Old East Village, London, ON

ii. Windows

Display Windows

- Repair rather than replace existing traditional shop windows providing they are in good condition; if replacement is necessary, utilize aluminum or wood windows that enhance the traditional character and improve the energy efficiency of the building.
- Preserve, where possible, historic features such as frames, special glass, and decorative mouldings.
- Maximize the height and width of transparent glass on a storefront.
- Minimize the number of window frames.
- Replace dark tinted or textured glass with transparent glass to increase visibility into the business.
- Align window heights and unify window sizes.
- Paint window frames, if necessary, in order to add visual variety and interest.
- Avoid frosting large portions of display windows.
- Avoid the use of graphics on window film.

Transom Windows

- Incorporate, restore or maintain the original pattern of transom windows.
- Use the same window frame materials and design details as the display windows.
- Restore stained glass panes in transom windows where appropriate and feasible.
- Restore and maintain transom windows even when they will be hidden by awnings as awnings may be removed in the future.



Display windows in Old East Village, London, ON



Display windows in Old East Village, London, ON

iii. Window Base

- Incorporate, restore and/or repair original, window bases.
- Install window bases no higher than 0.61m (24") from the ground.
- Use high quality, appropriate and easy-to-maintain materials for window bases. (High quality materials include stone, brick, concrete, hardwoods, metal panels, ceramic tiles, and other masonry materials.)
- Maintain or design window bases for multiple storefronts in a building such that the height (not topography) of the bases is consistent and of the same material.



Old East Village window base, London, ON



Old East Village window base, London, ON



Old East Village window base, London, ON

iv. Sign band & Signage

Sign Band

- Use high quality materials such as wood and metal within the sign band.
- Locate sign bands between vertical building columns that span the entire height of the building.
- Minimize the height of the sign band to maximize the size of display and transom windows.
- Include a cornice, made of high quality materials, in keeping with a similar level of architectural detail as the rest of the building and surrounding buildings.
- Consider framing the signboard with decorative moulding.

Wall Signs

- Ensure all wall signs conform to regulations in the City of London's Sign and Canopy By-Law.
- Install or replace storefront signage within the original sign band location.
- Use individual lettering made from high quality materials such as metal or wood.
- Utilise contrasting colours between the lettering and backing of signs
- Choose a letter style or graphic treatment that projects an appropriate retail image.
- Ensure lettering accounts for less than 60% of the signboard.
- Avoid large signs that dominate the façade, as they detract from the architectural character of the building.
- Avoid covering up architectural details with signage.
- Avoid box signs that utilize backlighting as the primary method of illumination.
- Avoid covering the sign band with awnings or other additions to the façade.
- Remove air conditioning, ventilation equipment or other obstruction from the sign band.

Projecting Signs & Marquees

- Ensure all projecting signs conform to regulations in the City of London's Sign and Canopy By-Law.
- Avoid projecting signs larger than 1.0m² in total surface area.
- Avoid projecting signs more than 1.0m from the building façade.
- Mount projecting signs above the main entranceway or at the outer edges of storefronts.
- Use fully shielded lighting fixtures to illuminate projecting signs with minimal light pollution, spill over or glare.
- Add interest by shaping projecting signs to allude to the type of business (e.g. a key-shaped sign for a locksmith).
- Explore opportunities to include marquee signs for large entertainment destinations such as, theatres and live music venues.



Minimized height of sign band to maximize the size of display windows, London, ON



Marquee sign in Old East Village, London, ON



Historic wall sign in Old East Village, London, ON



Graphic treatment on a wall sign in Old East Village, London, ON



Projecting wall sign in Downtown London, ON



Projecting wall sign in Downtown London, ON

v. Awnings

- Ensure all awnings conform to regulations in the City of London's Sign and Canopy By-Law.
- Use awnings to accent & provide shelter over main entranceways and windows, avoid spanning the entire frontage.
- Use a consistent size, profile and location for awnings on a single building with multiple storefronts.
- Use high quality materials for awnings to minimize wear and tear.
- Design creative awning shapes that are complementary to the overall building.
- Ensure that the awning's colour scheme is complementary to that of the building.
- Install retractable awnings in an effort to respond to seasonal weather conditions.
- Illuminate storefronts and sidewalks from beneath the awning.
- Locate signage on the valance of the awning. Lettering and/or graphics should be no taller than 0.15m (6").
- Avoid the use of lettering or other graphics on the top of the awning.



Retractable awning in Downtown London, ON



Awnings providing shelter over main entranceways in Downtown London, ON



Consistent size, profile and location of awnings in Old East Village, London, ON



Awnings in Downtown London, ON



Awnings installed in Downtown London, ON

vi. Lighting

- Include façade lighting on storefront façades in order to encourage pedestrian activity at all hours.
- Balance the amount of building lighting with adjacent street lighting.
- Mount lighting on the storefront high enough to not interfere with pedestrian traffic.
- Illuminate interior display areas throughout the night to facilitate window shopping and pedestrian activity after the shop has closed.
- Using exterior mounted light fixtures selectively, i.e. sconces, gooseneck or downlights to enhance overall building image.
- Use fixtures that are appropriate to the overall building design and architectural style.
- Ensure light fixtures are fully shielded, and designed to reduce spill, glare and light pollution.
- Use lighting fixtures, such as gooseneck lights, to illuminate signage.



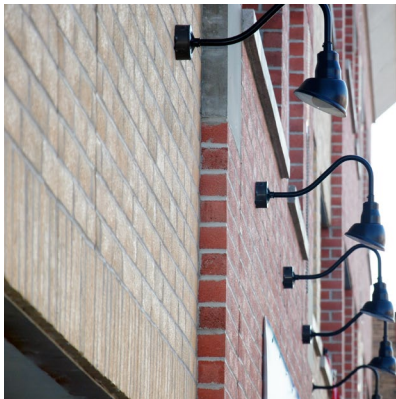
Exterior mounted light fixtures in Old East Village, London, ON



Exterior mounted light fixtures in Old East Village, London, ON



Gooseneck light fixtures used to illuminate signage, Downtown London, ON



Gooseneck light fixtures used to illuminate signage, Old East Village, London, ON



Storefront lighting in Downtown London, ON

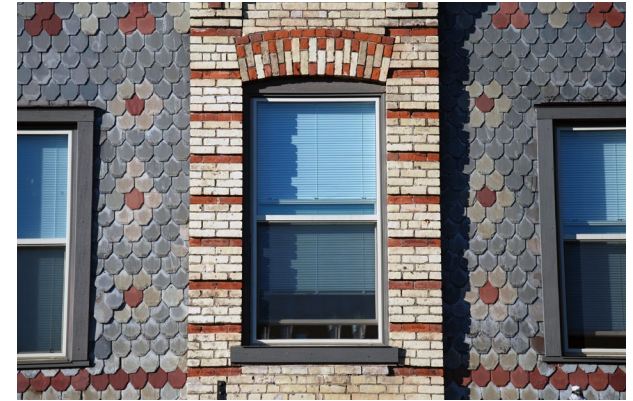
b. Upper Storey Façade Elements

i. Windows

- Add or restore window openings, where possible, maintaining datum lines and matching the rhythm of the window spacing on the rest of the façade and/or on surrounding buildings.
- Replace windows with a similar window style to the original windows.
- Ensure all replacement windows fit and fill the entire window opening. Avoid using filler materials regardless of the shape of the window opening.



Keystone and window details in, London, ON



Window sill and header details in Old East Village, London, ON

ii. Architectural Details

- Introduce architectural elements such as cornices, keystones, quoins, window sills and headers, etc.
- Maintain/repair/restore existing architectural elements such as cornices, keystones, quoins, sills, headers, etc.



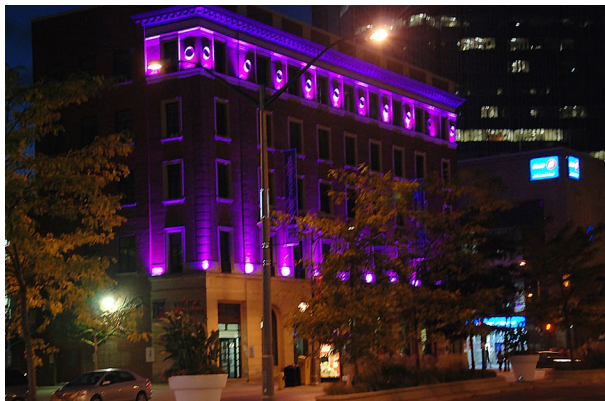
Upper Storey architectural elements, Old East Village, London, ON



Cornice details in Old East Village, London, ON

iii. Up Lighting

- Introduce accent lighting to illuminate columns and/or key architectural elements.
- Conceal lighting sources as much as possible.



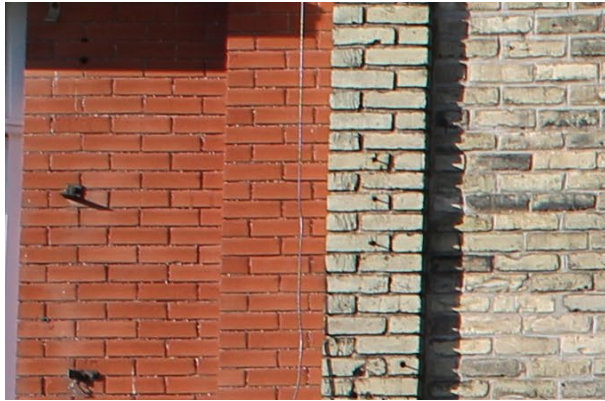
Up-lighting in Downtown London, ON



Up-lighting in Downtown London, ON

1.3 Materials

- Remove, where applicable, metal cladding in order to reveal the original materials and architectural details of façades that have been covered.
- Utilize materials that contribute to the historical character of the corridor.
- Restore existing materials rather than replace in order to maintain the historical integrity of the façade. (Note: Always test small, hidden areas first when cleaning a façade, some cleaners may react with and damage the brick. Power washing or sandblasting are not a recommended method of cleaning as it can weaken the structural integrity of the brick. Instead use non-toxic, biodegradable processes.)
- Ensure materials wrap at corners to give the façade the appearance of structural necessity.
- Avoid the use of materials that are incompatible with the traditional fabric of the commercial corridor such as mirrored, tinted or spandrel glass, chrome, vinyl, stucco, or plastic.
- Explore opportunities to include temporary or permanent artistic expression and/or elements on façades in order to contribute to the artistic nature of the Old East Village.



Façade materials in Old East Village, London, ON



Façade materials in London, ON



Façade materials in Old East Village, London, ON



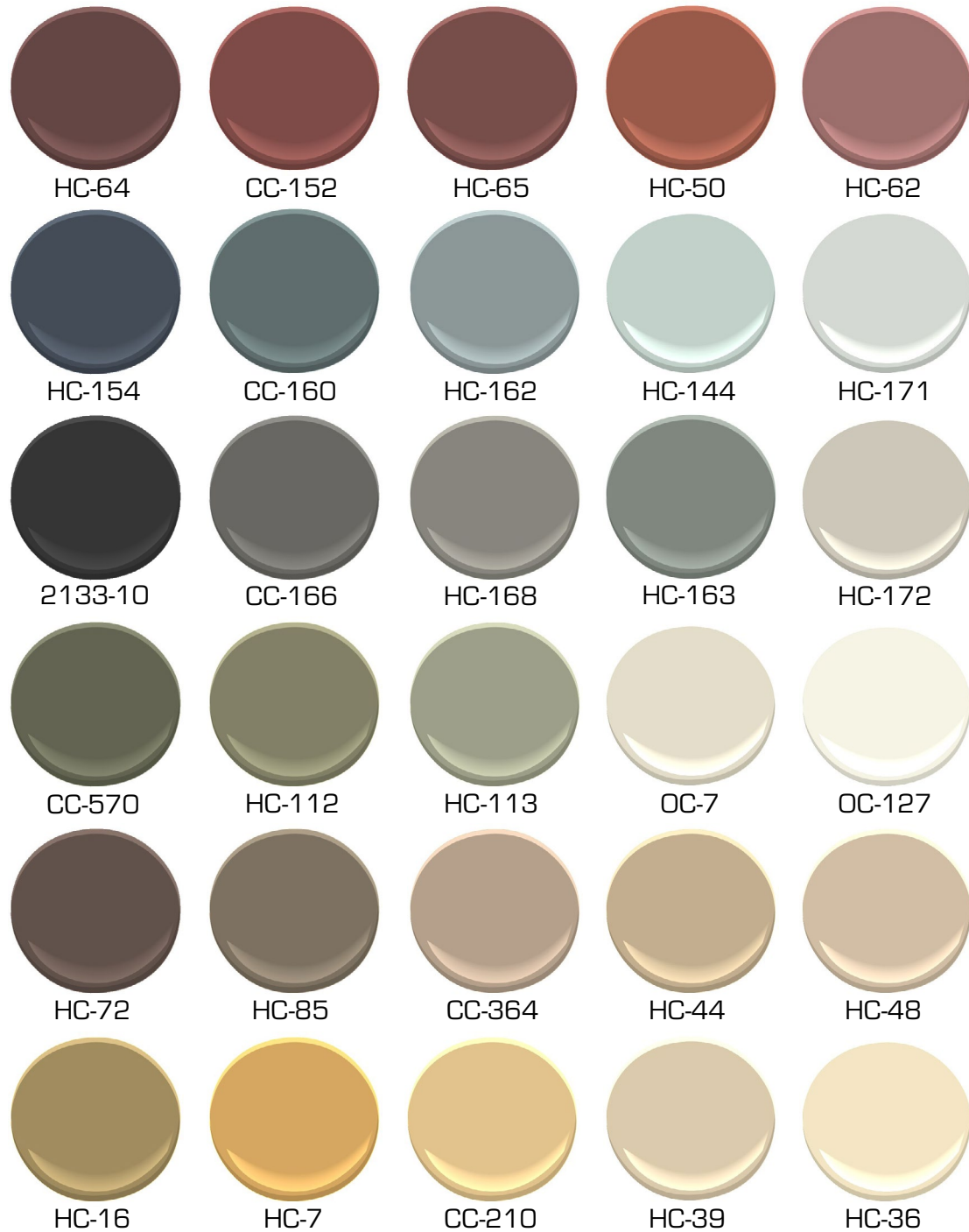
Façade materials in Old East Village, London, ON



Façade materials in Old East Village, London, ON

1.4 Colours

- Consult where appropriate the Old East Village Historical colour palette (see right) to determine an appropriate, historically sensitive, colour scheme.
- Use recommended colours to accent architectural features such as cornice lines, sills, key-stones and other architectural elements.
- When undertaking a restoration or renovation, the building façade should be returned to its original colour if possible.
- Avoid the use of more than 3 individual colours on the façade, this can lead to the façade seeming “busy” and unorganized; making it unattractive to prospective shoppers or patrons.
- Ensure colour schemes are unique to each building and its owner, while maintaining a sense of continuity and cohesiveness along the corridor.



1.5 Additions

- Explore opportunities to remove building addition(s) that are not in keeping with the character of the original building structure.
- Avoid building additions in the front yard beyond the primary façade of the building in order to respect the original building setback.

2.0

New Development

This section applies to all new development.

2.1 Site Layout

a. Building Location

- Locate new buildings in line with the existing built line in order to maintain visual continuity and spatial enclosure of the street.
- Distribute building mass along the street frontage to maximize the built streetwall. Avoid streetwall gaps larger than 5.0m.
- On corner sites, locate buildings at the corner and ensure that both street facing façades include an equal level of architectural detail. In the case of large corner properties, locate the building closer to the higher order street.

b. Parking

- Ensure all parking areas provide a safe, secure and inviting environment for residents and patrons of the commercial corridor.
- Locate all parking areas in the rear yard or within underground parking facilities.
- Locate vehicular entrances to parking areas from side streets in order to avoid any pedestrian and vehicle conflicts along the Dundas Street frontage.
- Screen surface parking areas from the street using a combination of low masonry walls (max 0.92m (36") in height) and landscaping in order to establish a streetline. Construct masonry walls using materials consistent with the building materials of surrounding buildings.
- Provide planted medians in parking lots, to control storm-water flow and provide shade cover for cars and pedestrians.

- Pedestrian access to parking areas should be provided through clearly signed, well lit, unobstructed paths to ensure user safety.

c. Service and Loading

- Locate all loading and service areas away from the Dundas Street frontage in order to avoid conflicts with pedestrians.
- Waste disposal facilities should be properly screened and secured, and whenever possible, not be visible from the the commercial corridor forecourts and plazas

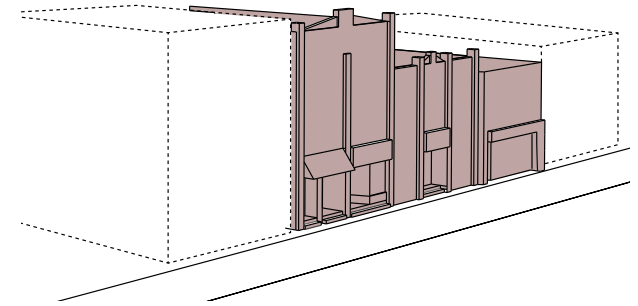


Diagram showing new buildings located in line with the existing built line of the street.

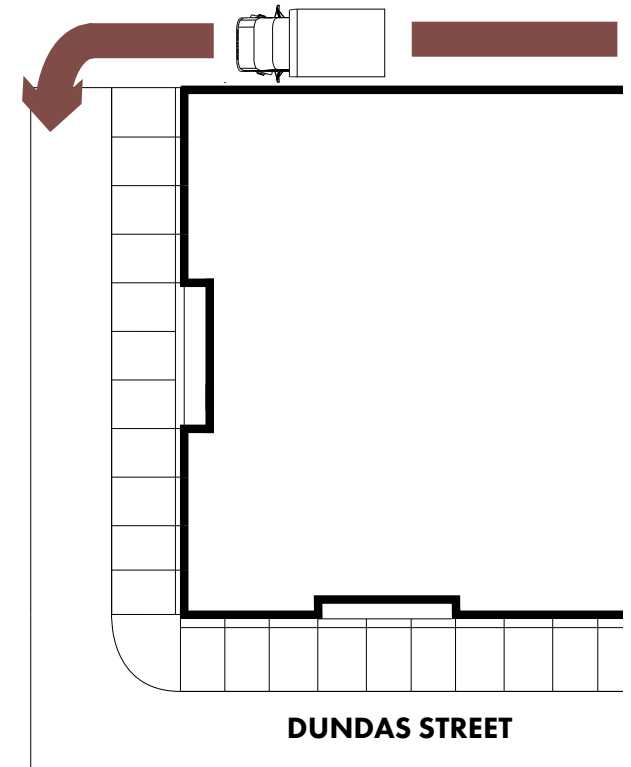


Diagram showing the locations of all loading and service areas away from Dundas Street.

2.2 Built Form

a. Building Height Guidelines

- Design buildings that are a minimum of two storeys along the commercial corridor; include additional storeys at prominent gateways and intersections.
- Step back, a minimum of 3.0m, all storeys above the third storey in order to reduce any overpowering or overshadowing effects on the street or adjacent properties.

- Ensure the massing of new buildings does not negatively affect adjacent buildings, particularly with respect to impact on air flow, sunlight, and sky views, as per The City of London Site Plan Control By-Law.

b. Orientation

- Locate primary building entrances to front the Dundas Street corridor.

c. Massing and Rhythm

- Provide a smooth transition in height between new and existing adjacent buildings. Ensure that the height differential between adjacent buildings is one storey, unless the existing neighbouring building is one storey in height.
- Ensure parapet heights are proportionate to the overall building design, avoid parapets heights that create the appearance of an additional half storey.
- Follow the established façade rhythm of the street when designing a new building by dividing the proposed building into bays that are proportionate to the surrounding buildings.
- Continue the horizontal and vertical proportions established by surrounding existing buildings.

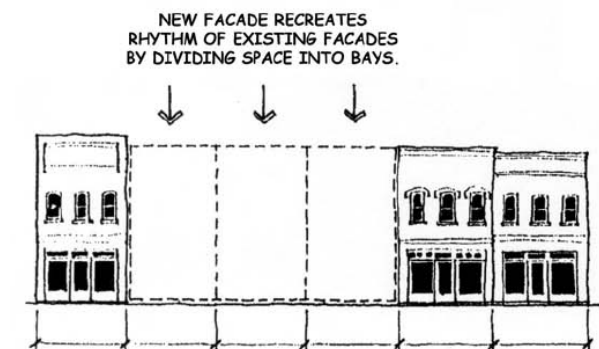
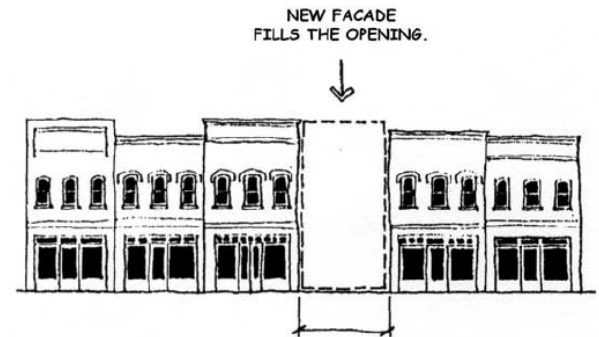
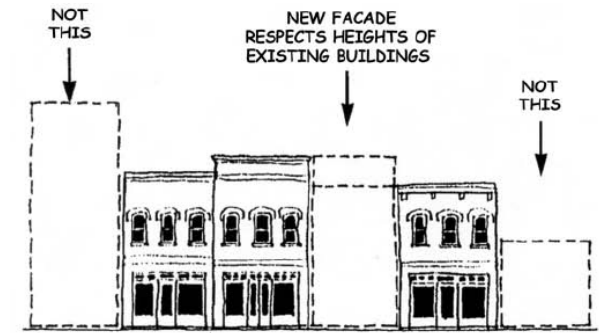


Diagram showing how infill development can seek to match and maintain existing building massing.

2.3 Façade Design

- All new buildings should be designed so that they have a clearly defined base, middle and top. This should be achieved using unique details in street level windows and doors, a signboard for the business name dividing the first and second floor, and features like upper floor windows and roofline detail.
- Follow the Façade Design guidelines found in Section 1.0 of this document.



Diagram detailing how infill development can seek to match and maintain the existing rhythm set out by existing buildings.

3.0 Patio Design

This section applies to patios
proposed along the village
corridor.

3.1 Purpose

The following guidelines illustrate the design requirements for patios along the village corridor.

The intention is to ensure that universal access, public safety and the streetscape experience are enhanced and not negatively impacted by the introduction of a patio.

Patios can bring activity to the street and create a more vibrant urban atmosphere for those who experience the space. By providing opportunities for outdoor dining, the City, and establishments within it, can encourage use and enjoyment of the outdoor environment.

For the purpose of this document there are two types of patios:

Sidewalk Adjacent Patios - these patios are located fully on private property adjacent to the City sidewalk. Skip to section 3.4 for guidelines related to sidewalk adjacent patios. These guidelines will be taken into consideration for the detailed design of patios through the Site Plan Approvals and Minor Variance processes.

Sidewalk Patios - these patios are located within the Public Right-of-Way and can be classified into 6 sidewalk patio classifications. In order to establish a sidewalk patio, an applicant must consult with city staff and follow this illustrated step by step guide to determine the location, features and materials. All sections of 3.0 apply to sidewalk patios.

3.2 Application Process

The process to developing a sidewalk patio consists of eight steps, to ensure the use of City property is in compliance with the guidelines and requirements set out by the City to protect the public.

Steps in the Application Process

1. Consult

Meet with staff to discuss your desire to develop a sidewalk cafe within the Public Right of Way.

2. Select Patio Location

Use this document to determine which patio location is best suited for your situation.

3. Plan & Elevation Drawings

Provide a plan (overhead view) that shows the design and layout for your patio, including compliance with the requirements and location of specific features, such as furniture and lighting.

Provide an elevation (street level view) drawing of your proposed cafe that shows all proposed features and compliance with design guidelines.

4. Photographs & Material Samples

Provide at least four images:

- View from the front,
- View from the right
- View from the left
- View in context of surroundings, including neighbouring properties and the streetscape.

If available, provide any samples, photographs, or drawings of design features such as furniture, plantings, awnings etc. to be used.

5. Comply with Design Guidelines

Follow the design guidelines to ensure your patio complies to the minimum standards and where standards are enhanced, meet the desired outcomes of these guidelines.

6. Complete Form

Complete the form, found at Realty Services.

7. Submit for Staff Review

Submit your application package to Realty Services.

Staff from various City of London departments will review your application and consider it for approval or recommend modifications. A licencing agreement will be entered into and a new application is required each year.

8. Construct & Operate

Once your patio has been approved, you can construct and operate your sidewalk patio in compliance with your approved submission package.

Annual licensing is required to operate a Sidewalk Patio. The license can be obtained through Realty Services.



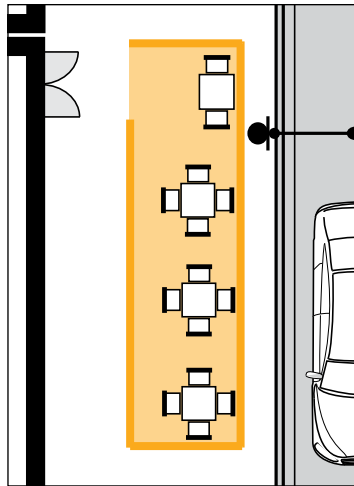
3.3 Classifications

There are several potential sidewalk patio locations within the public Right of Way. Each location is suitable in different scenarios and choosing the right location for your situation will ensure the streetscape is enhanced and the safety of patrons and members of the public is secured.

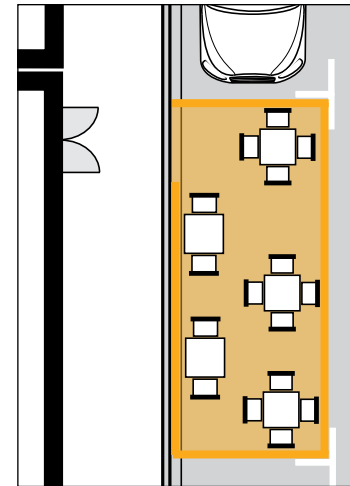
When choosing the location of a patio, key considerations include the existing streetscape, surrounding uses, and availability of space.

Patios are to respect their adjacent establishments and considerations must be made to the flow of pedestrian traffic. Proposed patios are to operate within the available Right of Way without interfering with pedestrian traffic movements.

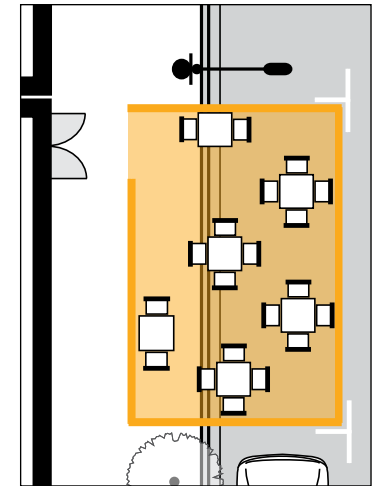
The following pages explain in detail each of the six potential patio locations and include minimum and maximum measurements related to each situation.



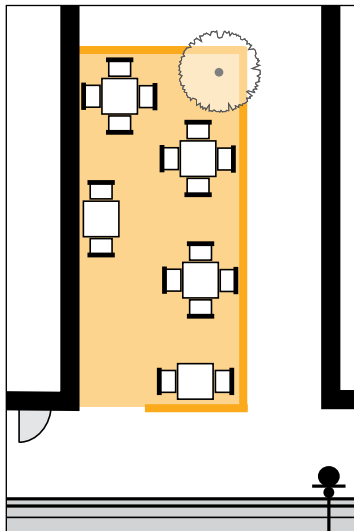
Along the Curb



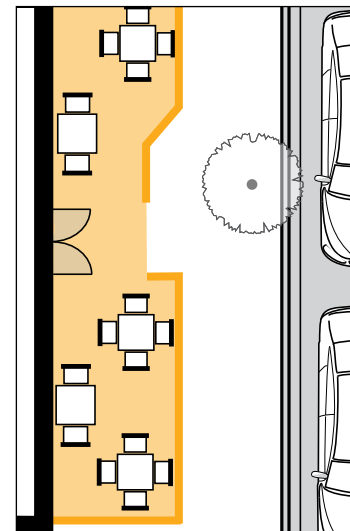
On-Street Parking



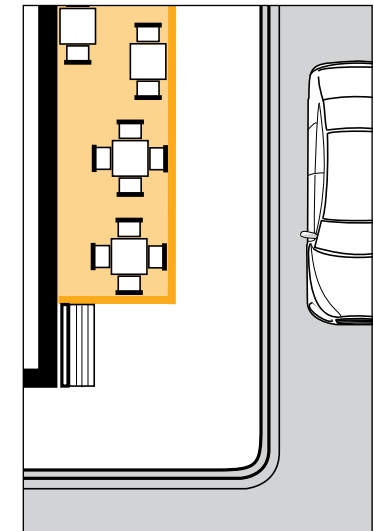
Combination



Alleyway



Along Building



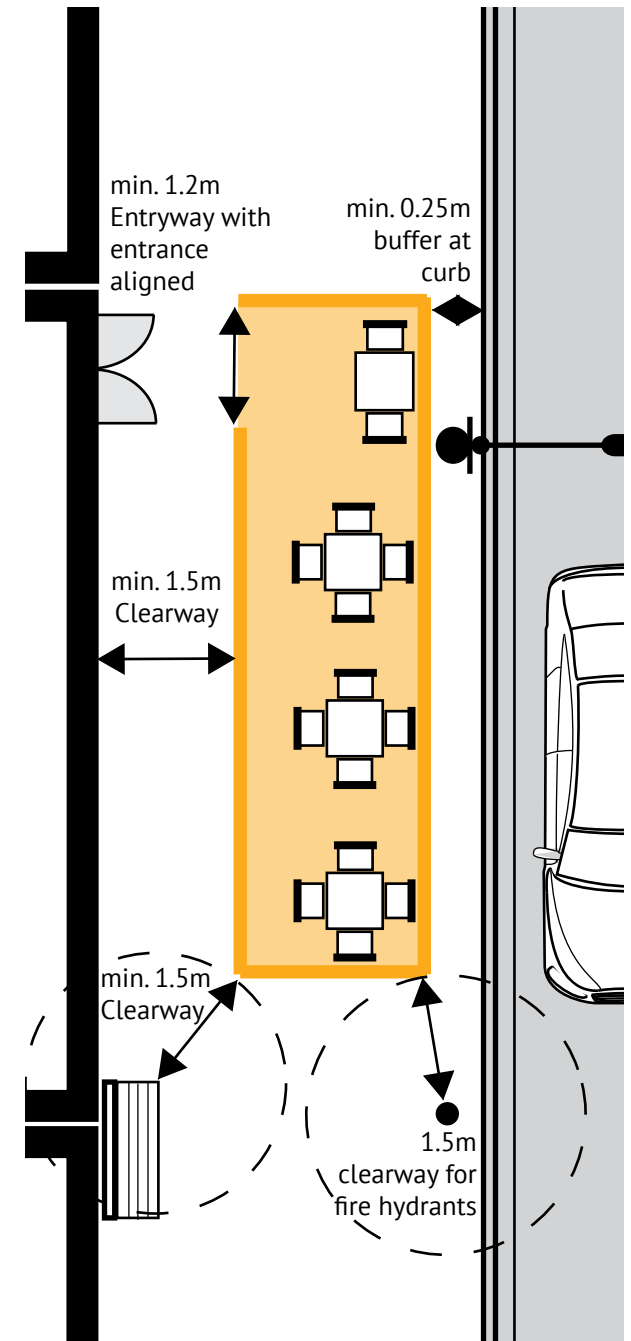
At A Corner

Along the Curb

1. Patios along the curb are located on the exterior edge of the public Right of Way with the clearway located between the building and the patio.
2. Between the boundary of the patio and the curb, a minimum buffer of 0.25m must be provided.
3. This location is most preferred as it maintains a consistent flow of pedestrian traffic along the fronts of shops and businesses, while still providing the patio.

Summary of Required Distances

Clearway	1.5m (min)
Distance from Curb	0.25m (min)
Entrance	1.2m (min)
Distance from Streetscape Objects	1.5m (min)

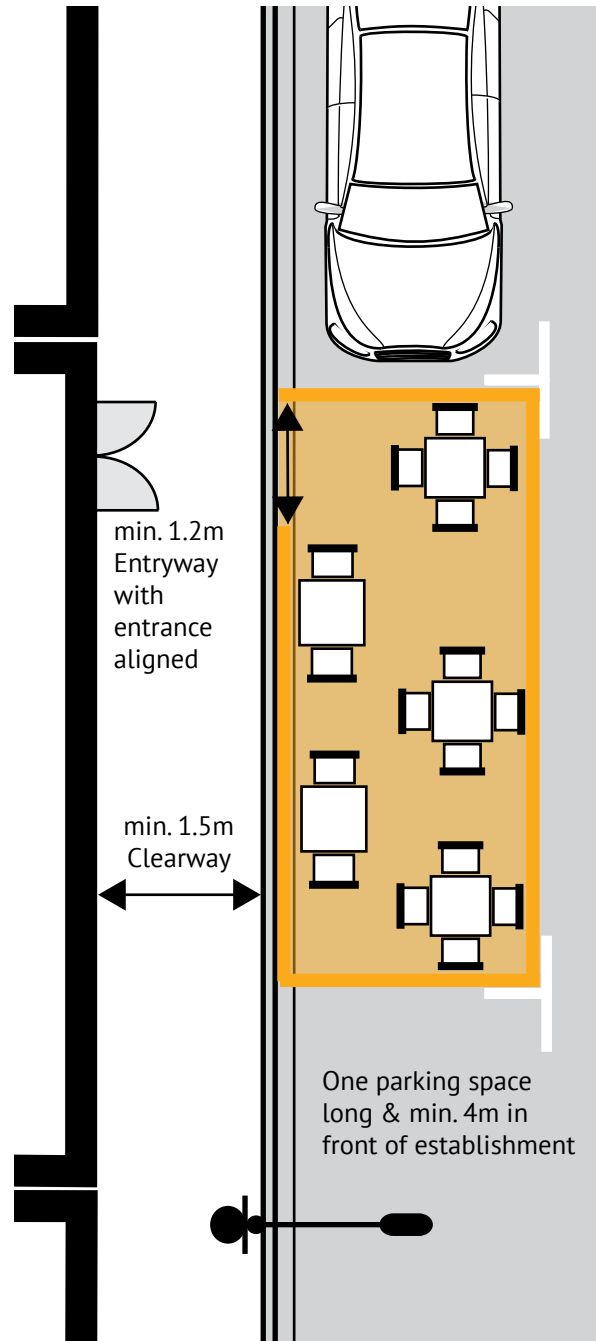


In On-Street Parking Space

1. Where the public right-of-way is not large enough to support a patio on the sidewalk, patios may be located within an on-street parking space subject to an agreement with the City.
2. The clearway shall be located between the curb and the associated building.
3. Patios located within an on-street parking space must be brought to the same height as the sidewalk.
4. Patios in on-street parking spaces may only occupy complete spaces and shall have a minimum of 4m of the parking space located directly in front of the associated establishment.
5. This location is also preferred for its minimal effect on the flow of traffic within the public right-of-way.

Summary of Required Distances

Clearway	1.5m (min)
Length	8m (min) [1 parking space]
Entrance	1.2m (min)
Distance from Streetscape Objects	1.5m (min)

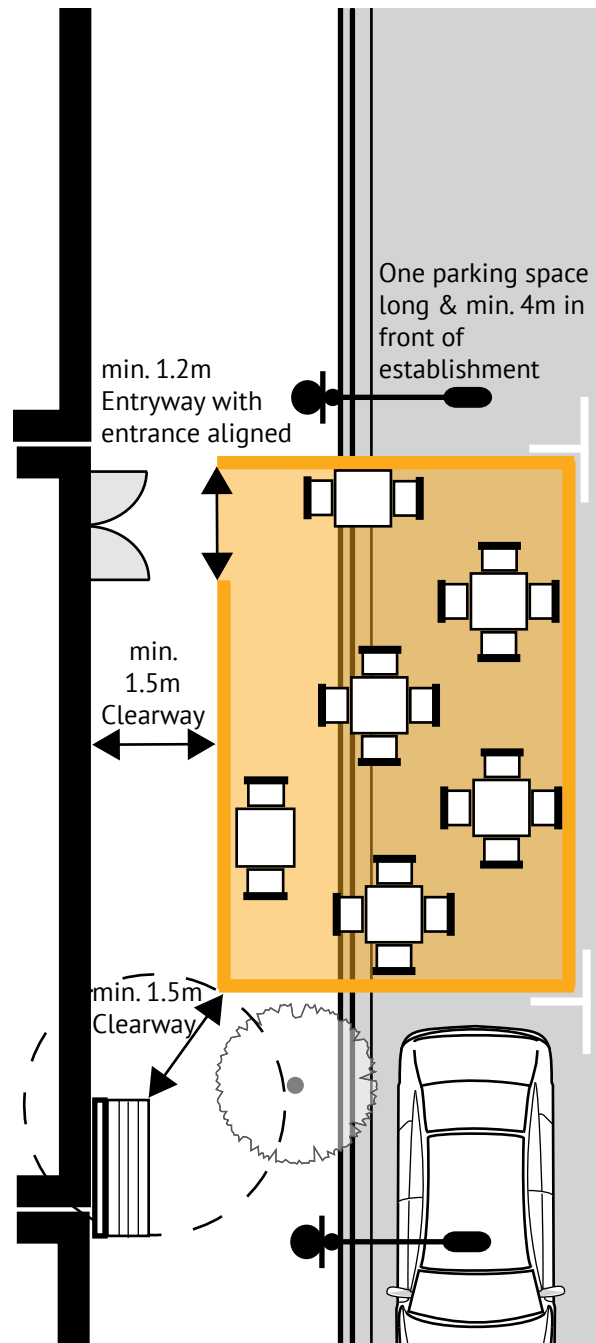


Boulevard & On-Street Combination

1. In order to create a larger patio, it may be suitable in some cases to combine a patio in the boulevard with a patio in an on-street parking space. The combined, enlarged space will act as one patio.
2. The clearway shall be located between the interior boundary of the patio and the associated building.
3. The use of an on-street parking space is subject to an agreement with the City.
4. The portion within the on-street parking space must be brought to the same height as the public Right of Way. A level transition between the two portions shall be provided.
5. Like options A and B, this is also preferred for its ability to accommodate more patrons while maintaining a clearway for consistent flow of pedestrian traffic along storefronts.

Summary of Required Distances

Clearway	1.5m (min)
Length	8m (min) [1 parking space] 1m (max) [beyond property]
Entrance	1.2m (min)
Distance from Streetscape Objects	1.5m (min)

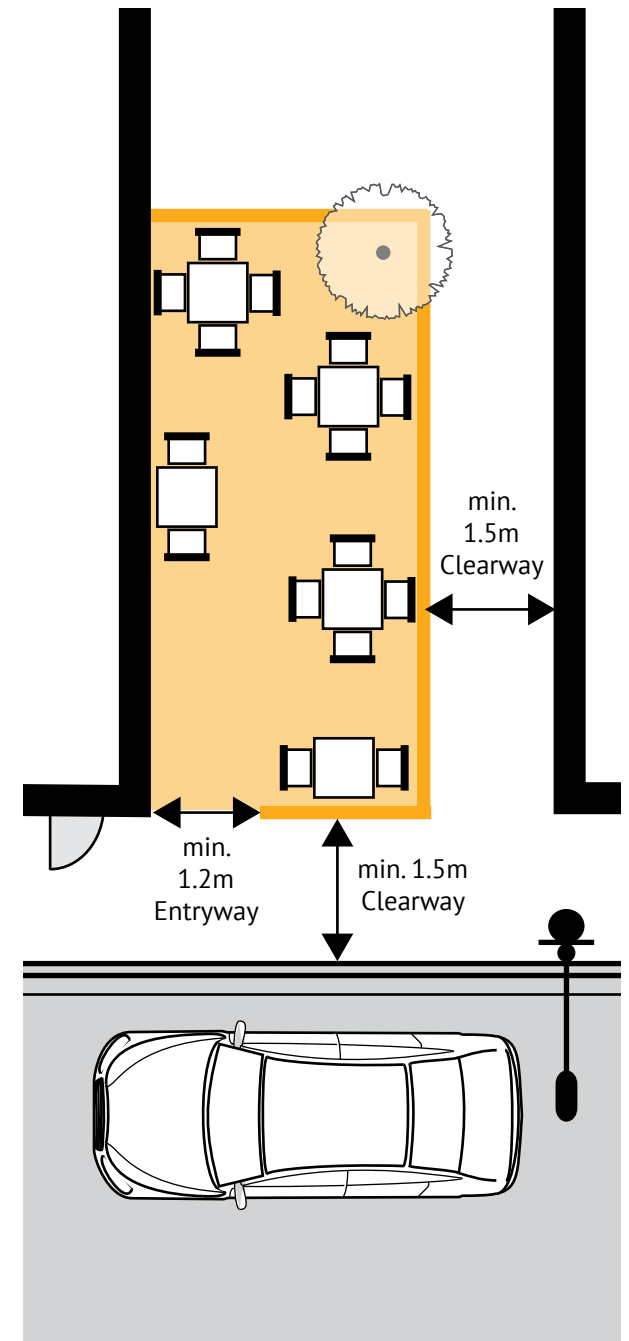


Alleyways

1. Where there is a public alley between two buildings, a patio may be located in the space adjacent to the establishment provided the proposed patio does not prevent vehicular access.
2. Where vehicular traffic has an alternate route available or if vehicular access is not required, the patio may still be located within the alley, but shall provide a clearway for pedestrian access.
3. The clearway shall be located between the outer edge of the patio and any neighbouring buildings and/or the curb.
4. The entrance to the patio should be located as close as possible to the entry of the associated establishment. This will provide ease of access for the patio to serve patrons.

Summary of Required Distances

Clearway	1.5m (min)
Entrance	1.2m (min)
Distance from Streetscape Objects	1.5m (min)

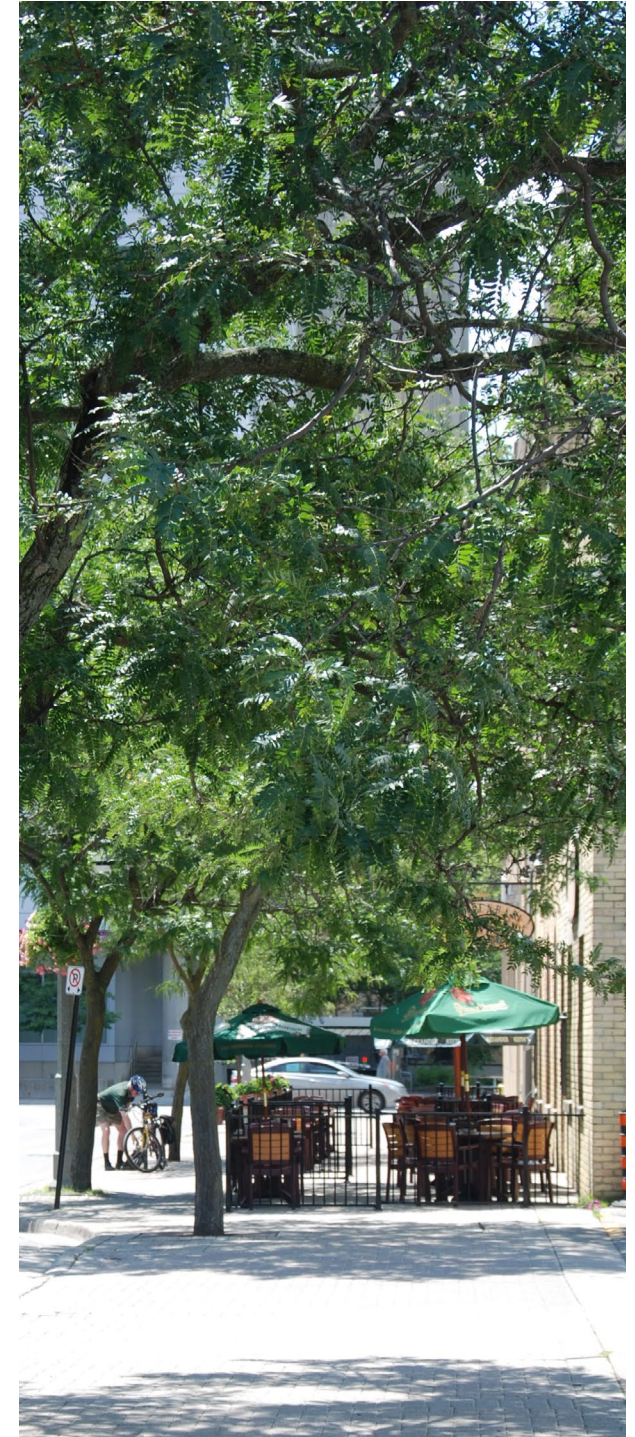
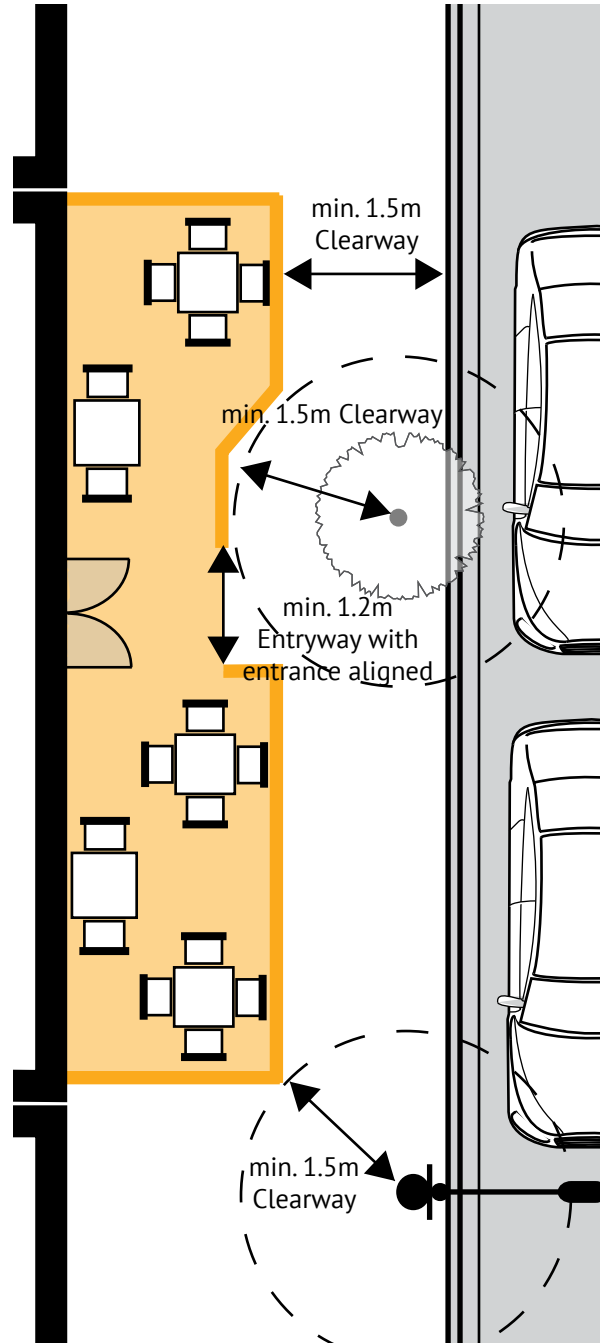


Along the Building

1. This classification includes patios located immediately adjacent to the building, but extending beyond the front property line into the public Right of Way.
2. The clearway shall be located between the outer edge of the patio and the curb.
3. This patio location is the least preferred as it causes a zig zag effect for pedestrian traffic. This location is particularly unsuitable where the existing streetscape consists of primarily retail shops that would not provide patios in the Right of Way. Should this patio location be the only viable option, it will be permitted provided these guidelines are followed and implemented.
4. Where patios can be located elsewhere, this location should not be considered.

Summary of Required Distances

Clearway	1.5m (min)
Entrance	1.2m (min)
Distance from Streetscape Objects	1.5m (min)

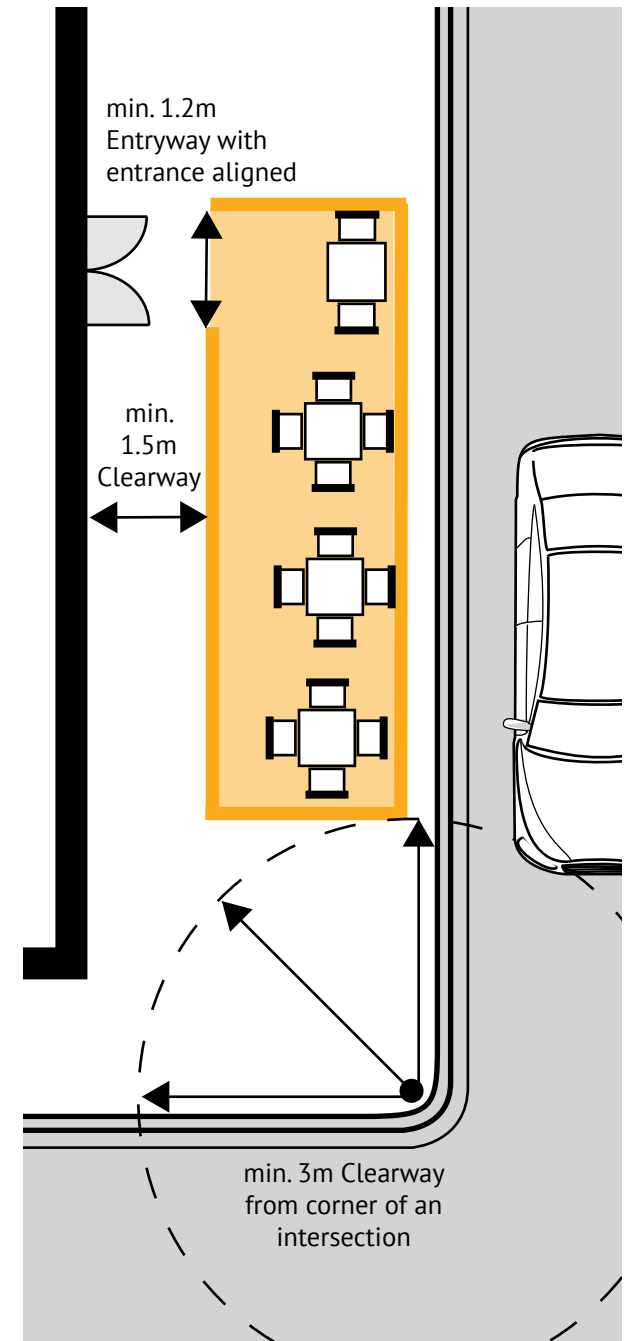
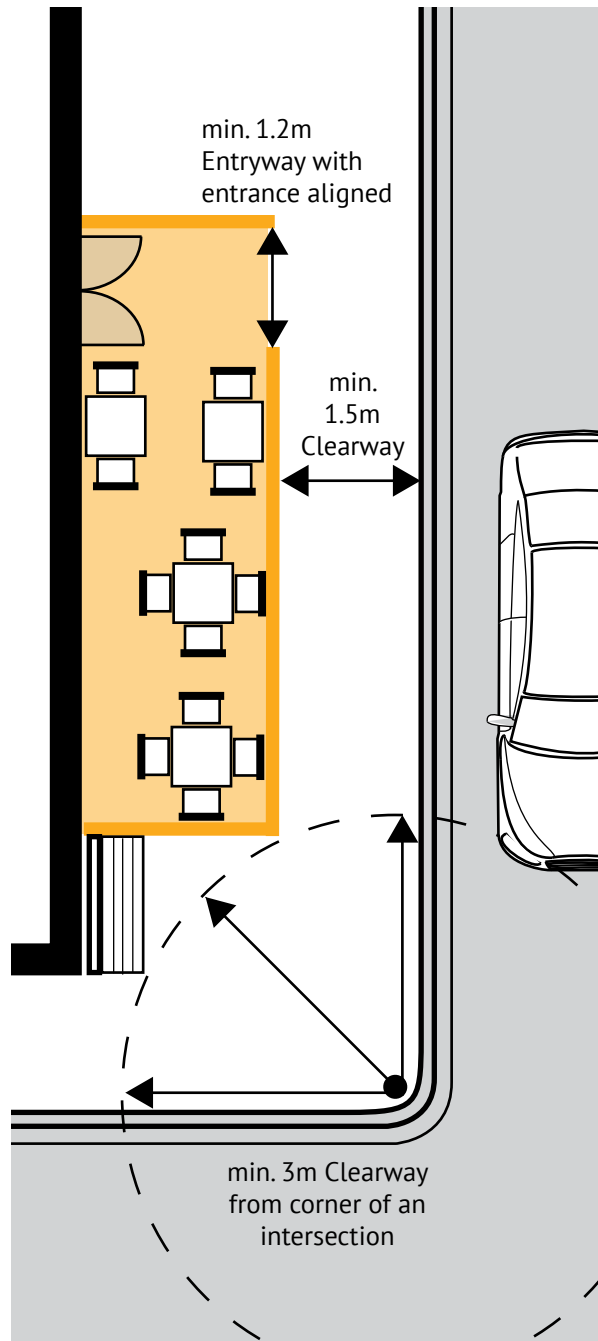


Patio At A Corner

1. Corners and intersections require special treatment to ensure the increased pedestrian volumes and general activity can be accommodated without interference.
2. Where a patio is in close proximity to an intersection, an addition to the clearway is required.
3. From the corner of the intersection, a minimum clearway of 3 metres is required.
4. This clearway distance is required for patios located along the building at a corner and in the boulevard at a corner.

Summary of Required Distances

Clearway	1.5m (min)
Clearway from Corner	3.0m (min)
Entrance	1.2m (min)
Distance from Streetscape Objects	1.5m (min)



3.4 Design Details

Sidewalk and sidewalk adjacent patios will be comprised of structural, functional, and decorative features. To ensure public safety and general aesthetic continuity, the following design details provide the minimum requirements for various features within a sidewalk patio.

These design details include dimensions, locations, and materials for features such as furniture, fencing, lights, and plant materials.

The City encourages creativity and the development of unique outdoor dining spaces within the requirements provided.

Functionality

1. Clearway

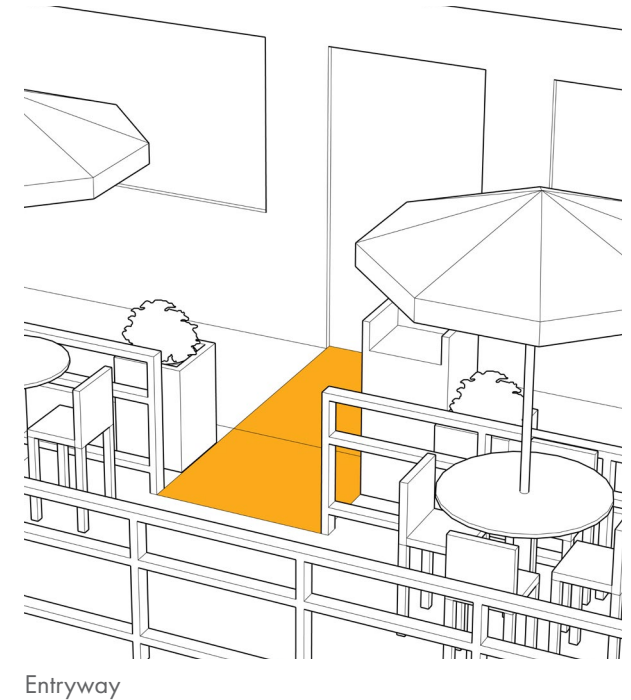
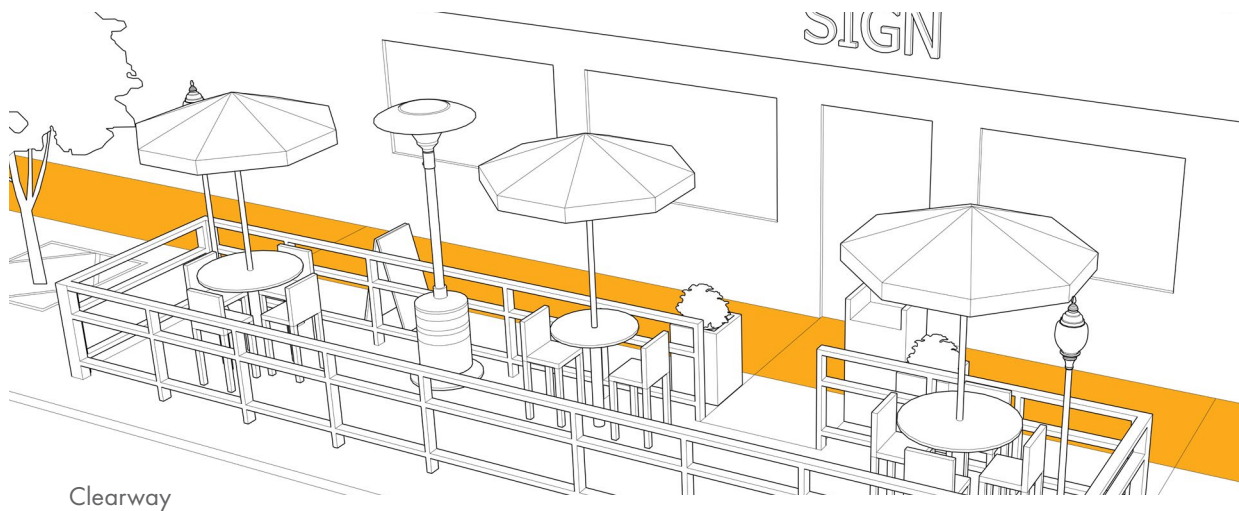
An unobstructed pedestrian pathway of at least 1.5m must be maintained at all times. The location of the clearway relative to the patio will depend on the location of the patio.

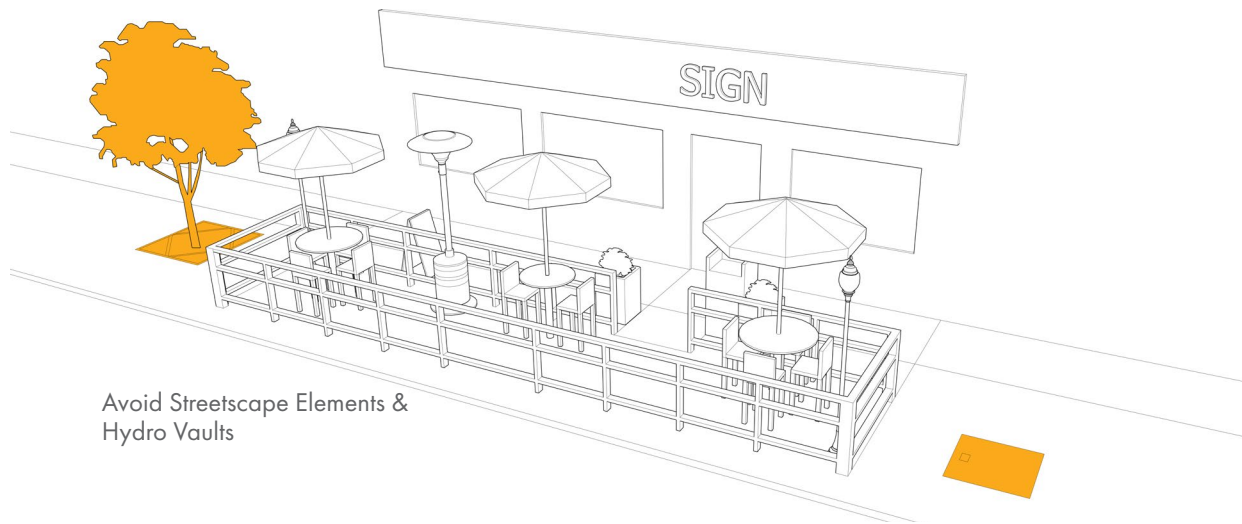
Patios located at a corner will require a clearway of 3m from the corner of the intersection.

2. Entryway

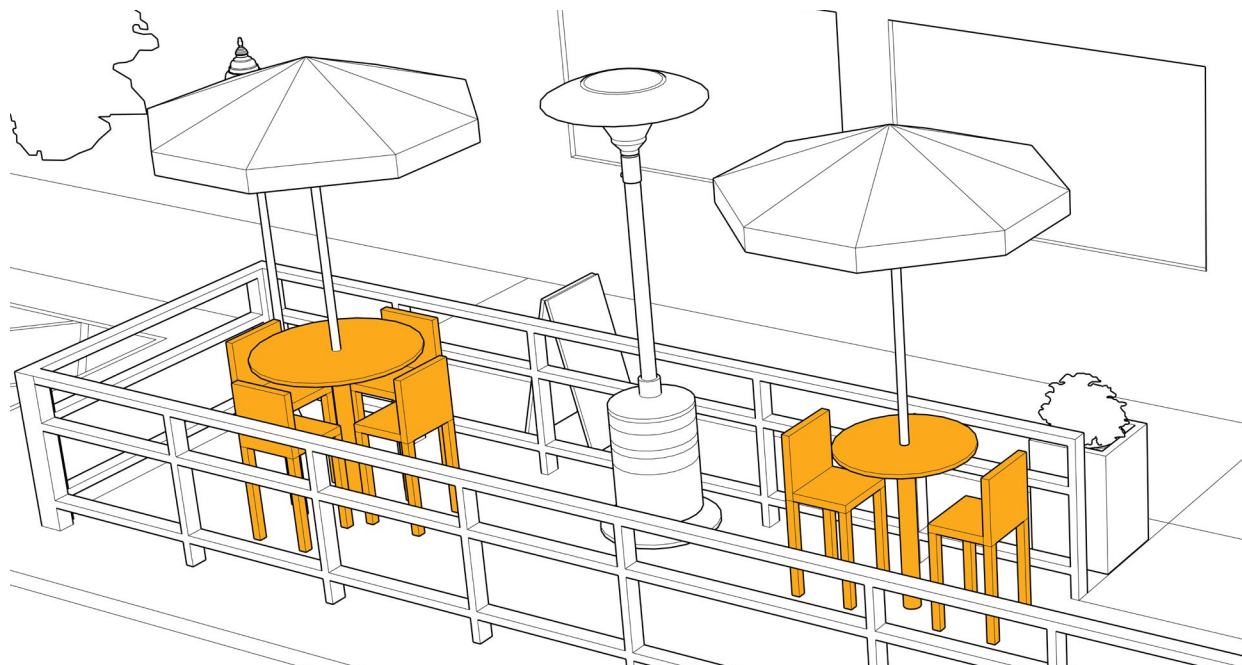
An entryway of at least 1.2m must be provided to the patio, and where possible, should be aligned with the entrance to the corresponding establishment.

When entrances cannot be aligned, they should be provided in close proximity to each other to ensure ease of movement and service between the establishment and the patio.





Avoid Streetscape Elements & Hydro Vaults



Consistency of Furniture

3. Streetscape Elements

Streetscape elements shall not be located in the clearway. These include, garbage receptacles, tree grates, fire hydrants, street furniture, and any other item that poses an obstruction within the clearway.

Fire hydrants require a 1.5m buffer at all times.

All other streetscape elements, outside of the clearway do not require a buffer.

Street trees, hydro poles and streetlights may be incorporated into the patio as long as they are not within the clearway.

4. Hydro Vault

No patio can be situated on top of, or within 1m of an underground hydro vault.

5. Seasonal Use

Sidewalk patios, in their entirety, may only operate as seasonal features. All elements must be removable and disassembled at the end of the season.

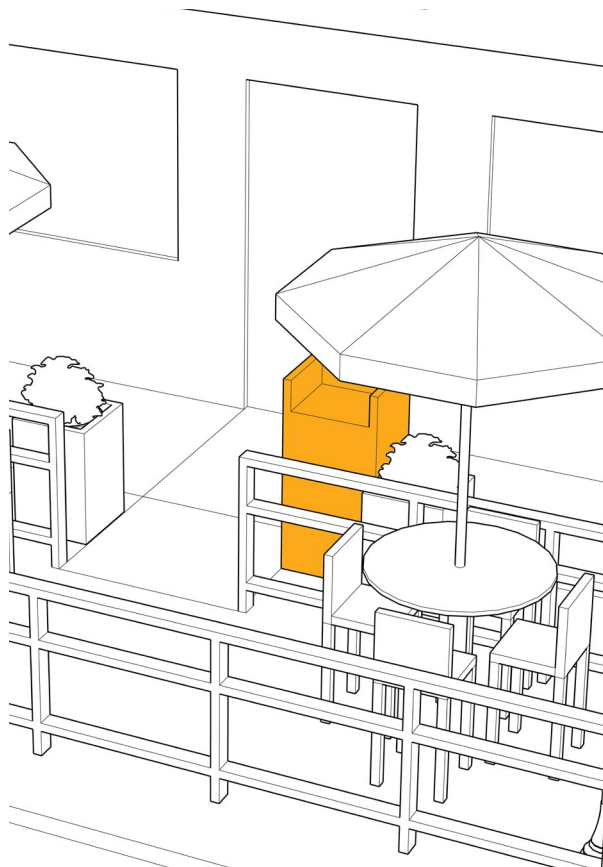
6. Consistency

Tables and chairs should be made of matching sets and should be consistent throughout the patio.

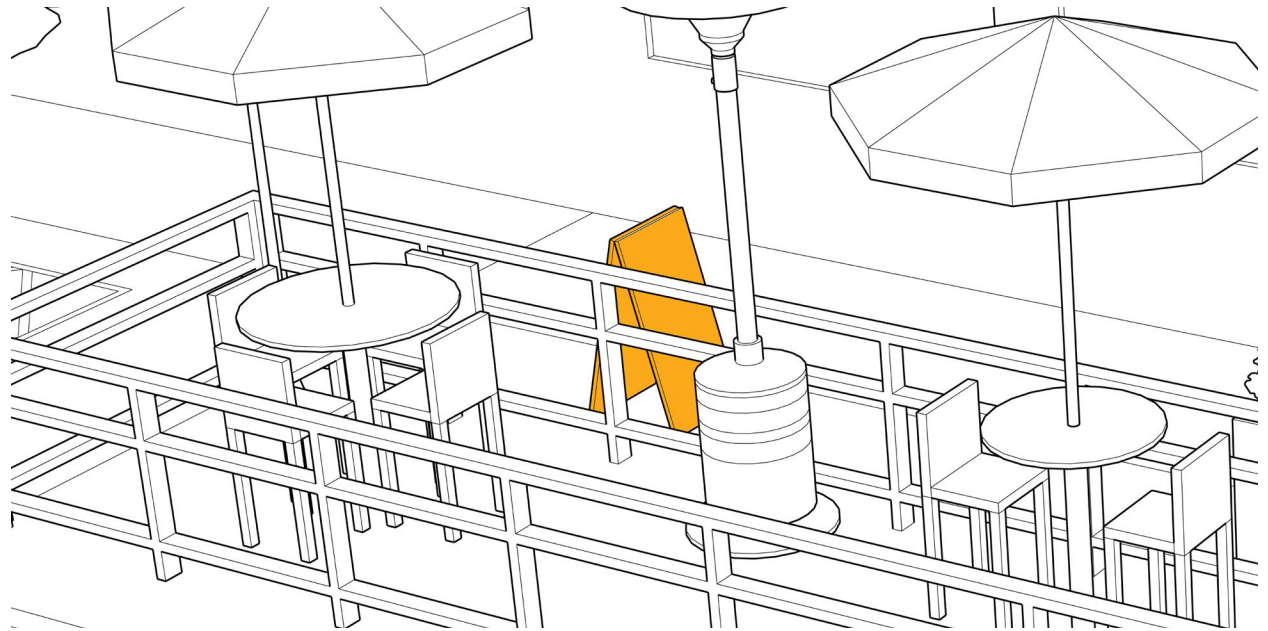
7. Materials

All furniture, including fencing, should be made of durable, weather resistant materials, that are easily cleaned.

Composite, metal, or painted & stained wood is preferred. Pressure treated wood and plastic are strongly discouraged.



Host Stands



Menus & Sandwich Boards

Furniture

1. Host Stands

Host stands are permitted within the patio provided they are consistent with the furniture in the patio and do not enter the clearway.

2. Garbage Receptacles

Garbage receptacles are permitted within the patio provided they are located with host stands and cannot be seen as a prominent feature within the space.

3. Menus & Sandwich Boards

Menus and sandwich boards are permitted, provided they compliment the furniture within the patio and they do not enter the clearway.

Menus and sandwich boards may not obstruct views within or into a sidewalk patio. Therefore, menus and sandwich boards may not extend beyond 1 metre from the ground.

Fence and Plantings

1. Fences

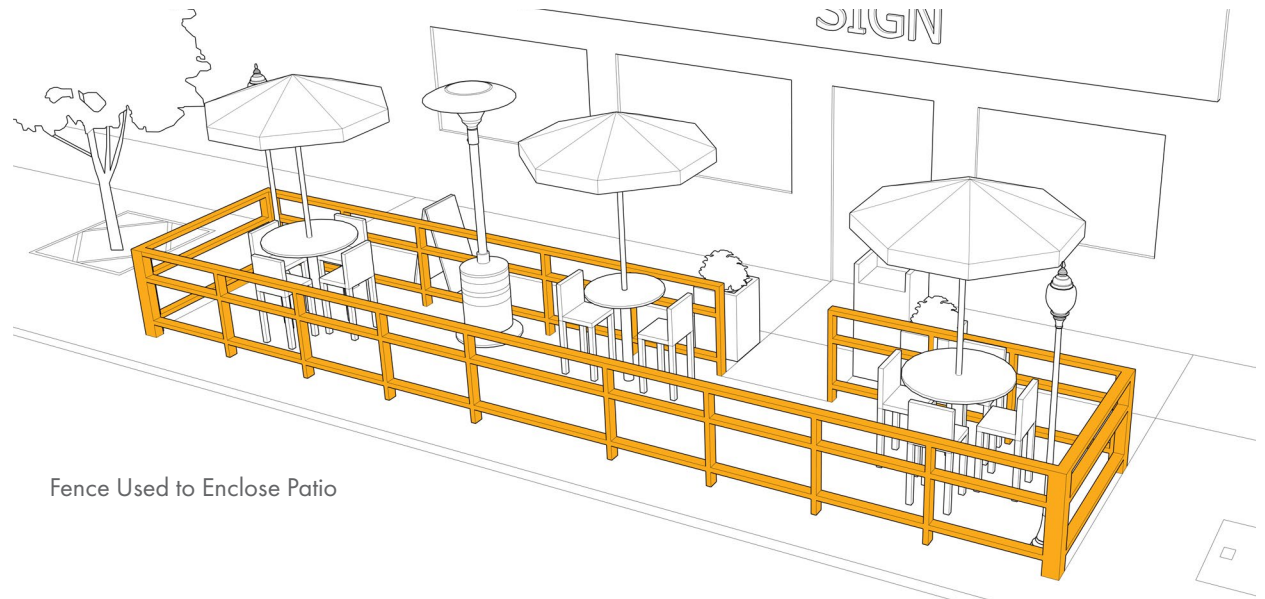
Fencing is required when a business is licensed and serves alcohol on the patio. Patio fencing is optional for unlicensed establishments.

Regardless of a license, where a patio is located in an on-street parking space, fencing is required at all times.

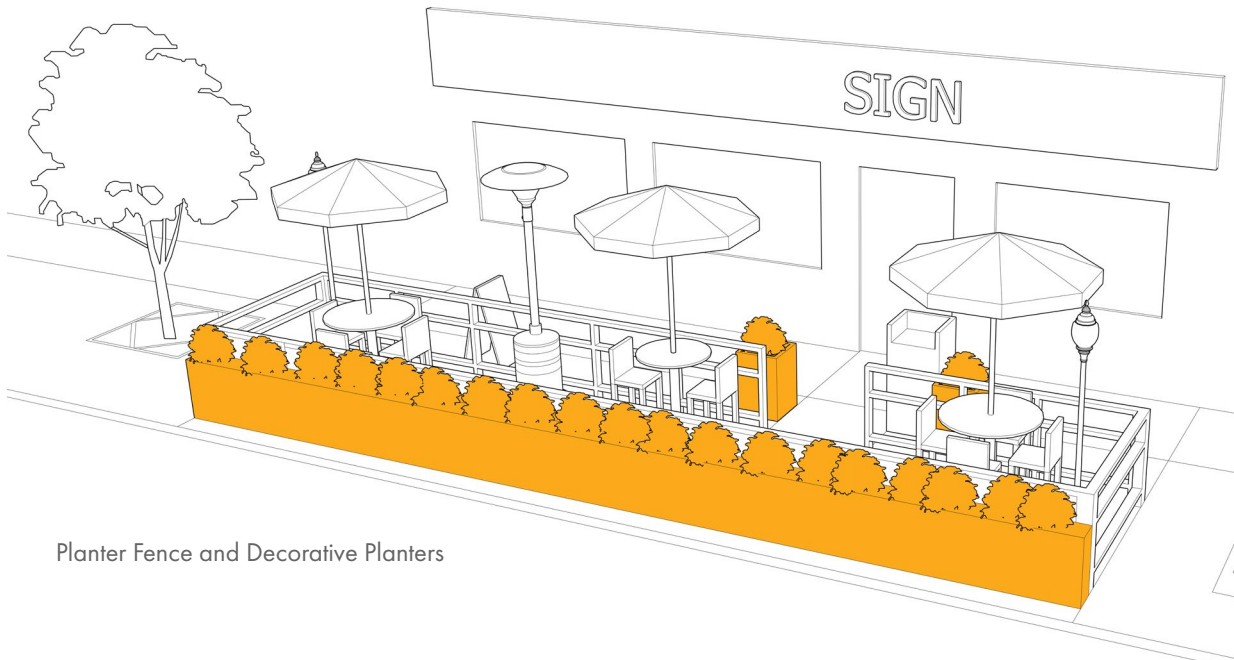
Patio fencing must be 0.75-1m in height, and have a low barrier bar 0.15-0.3m high.

2. Plant Materials

Plants must be healthy, living and maintained throughout the season.



Fence Used to Enclose Patio



Planter Fence and Decorative Planters

3. Planter Fence

Planters can be used in lieu of a fence, but must be adequately sized to define the patio space.

The planter, with plants, must be 0.75-1m in height and must be a continuous length to delineate the patio space.

A 0.15-0.3m low barrier bar is required.

4. Decorative Planters

Ground planters may be used within the patio for decoration. The planters may not exceed 0.5m in width and 1m in height. Planters with plant material, may not exceed 1.5m in height.

Hanging planters may also be used. Plant material may extend a maximum of 0.5m from the hanging planter box.

Additional Features

1. Awnings & Umbrellas

Awnings and umbrellas must have a minimum height of 2.4m. Awnings must be installed on the first storey of the building.

When fabric is being used for awnings and umbrellas, flame and fade resistant materials are recommended.

2. Heaters

Heaters are permitted within the patio provided they do not exceed 3m in height.

3. Lights

Lighting for the patio is permitted, provided it is located within the boundaries of the patio and does not infringe upon the clearway.

Lights may not exceed 3m in height. The brightness of the lights should be sensitive to the uses surrounding the patio and should be directed onto the patio and away from neighbouring properties and the street.

4. Paving

Site specific paving or surface treatment is not permitted in the public right-of-way.

Where paving surface is required, such as to level an on street parking space to the sidewalk, the material should be strong, durable, complimentary to the existing paving materials, and removable at the end of the season.

5. Third Party Advertisements

No third party advertisements shall be permitted on umbrellas, awnings, furniture or any element in the public right-of-way.

All other signs are subject to the City of London Sign and Canopy By-law.

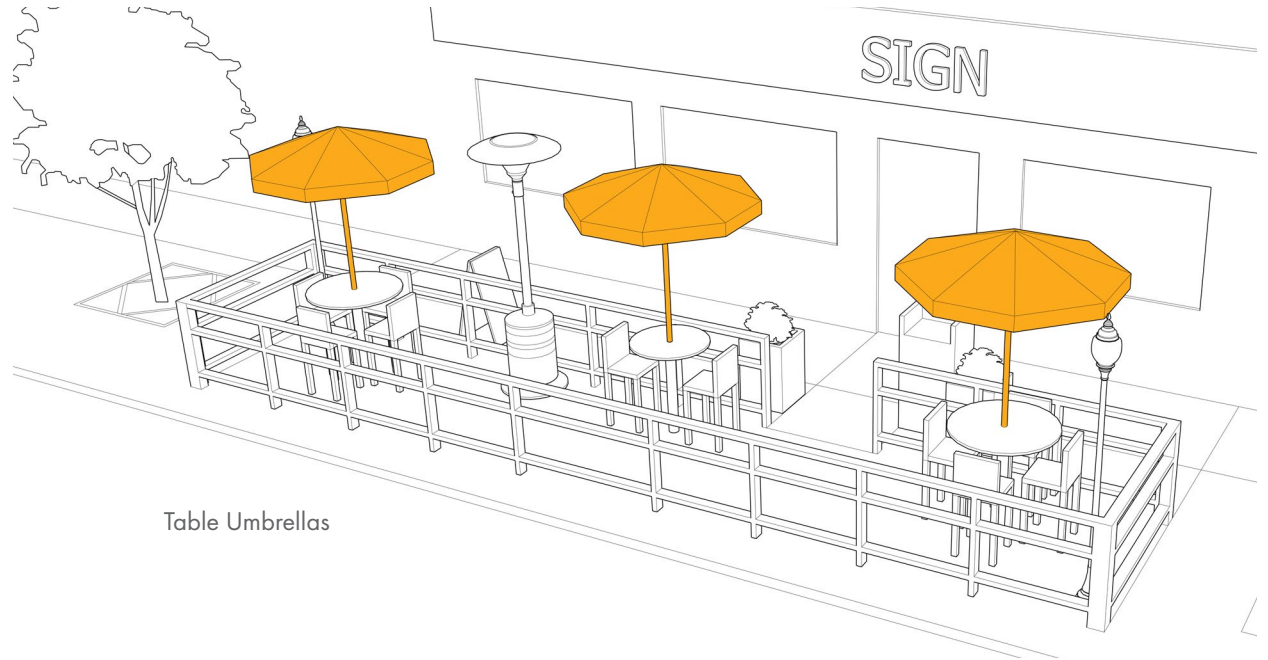
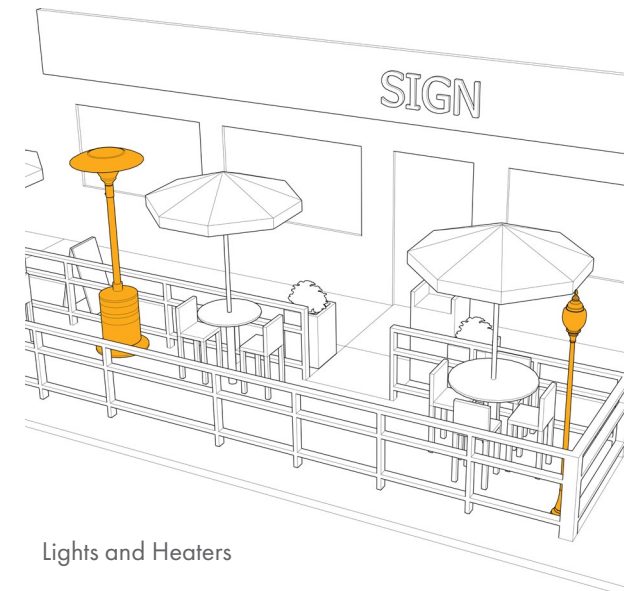


Table Umbrellas



Lights and Heaters