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**HAP: 26 Elmwood Avenue East
K. Gonyou**

TO:	CHAIR AND MEMBERS LONDON ADVISORY COMMITTEE ON HERITAGE WEDNESDAY DECEMBER 9, 2015
FROM:	JOHN M. FLEMING MANAGING DIRECTOR, PLANNING AND CITY PLANNER
SUBJECT:	HERITAGE ALTERATION PERMIT APPLICATION: O. DURASIN, 26 ELMWOOD AVENUE EAST

RECOMMENDATION

Consistent with the Delegated Authority By-law (By-law No. C.P.-1502-129), and as recommended by the London Advisory Committee on Heritage, the alteration and addition to the house on the heritage designated property located at 26 Elmwood Avenue East, within the Wortley Village-Old South Heritage Conservation District, **BE PERMITTED** by the City Planner with the following terms and conditions:

- a. The wood board and batten cladding wrap the building;
- b. The all exposed wood be painted;
- c. If the concrete structure is exposed through the construction process, the Heritage Planner be consulted to determine the most appropriate conservation and design approach;
- d. Photographic documentation of the alteration and addition be submitted to the Heritage Planner upon completion of the work;
- e. Display of a Heritage Alteration Permit in a location visible from the street until the work is completed.

PREVIOUS REPORTS PERTINENT TO THIS MATTER
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None.

PURPOSE AND EFFECT OF RECOMMENDED ACTION

The purpose of the recommended action is to permit the alteration of a property located within the Wortley Village-Old South Heritage Conservation District (WV-OS HCD), in accordance with Section 42 (2.1) of the *Ontario Heritage Act*.

BACKGROUND

26 Elmwood Avenue East is located within the WV-OS HCD, designated under Part V of the *Ontario Heritage Act* (By-law No. L.S.P.-3439-321). The property is located on the north side of Elmwood Avenue East between Brighton Street and Edward Street (Appendix A).

The building located at 26 Elmwood Avenue East is a detached, one-and-a-half storey building (Appendix B). It was constructed prior to 1907, as indicated by the available Fire Insurance Plan. The building is presently clad in vertical siding with Angelstone applied at the base. There is some imbrication in the gable, although the peak of the gable has been clad in the same vertical siding as the base of the building. A shed dormer is located on the east slope of the roof. The porch appears to have been substantially altered; it presently has metal railings and posts on a concrete base. An addition was constructed at the rear of the property sometime in the 1980s. The windows and doors have been previously replaced and are not original.

Contextually, the property fits within the WV-OS HCD. 26 Elmwood Avenue East is identified as

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a C-ranked property by the *WV-OS HCD Plan & Guidelines*. The building maintains a consistent setback along the north streetscape of Elmwood Avenue East and is surrounded by one-and-a-half, two, and two-and-a-half storey residential buildings.

The City Planner is required to consult with the LACH in situations where a Heritage Alteration Permit application satisfies one or more of the Conditions for Referral defined in the Delegated Authority By-law (By-law No. C.P.-1502-129). This application was deemed to have sensitivity, as the first application of its type in WV-OS HCD, thus meeting one of the Conditions for Referral. The LACH may make a recommendation regarding a Heritage Alteration Permit to the City Planner, after which the City Planner will make a decision with consideration of the recommendation of the LACH.

HERITAGE ALTERATION PERMIT APPLICATION

The Heritage Planner met with the property owner and their agent, on site, on November 16, 2015. The proposed alterations were discussed. A Heritage Alteration Permit application was submitted on November 30, 2015. The applicant has applied for a Heritage Alteration Permit to (see drawings dated November 30, 2015, Appendix C):

- Remove the existing rear addition;
- Remove the metal porch railings and post, retain the existing concrete porch;
- Remove the existing second storey;
- Construct a new second storey and rear addition with the following details:
 - Wood board and batten exterior cladding (to be applied over entire exterior);
 - End gable roof clad in asphalt shingles;
 - New windows:
 - Vinyl windows with snap-in grills;
 - Second storey south (front) façade windows project in a bump-out approximately 6” from the south wall, clad in horizontal wood board, with a gable roof and cedar shingle infill between painted accent detailing.
 - New solid wood door in the same approximate location as existing;
 - New, painted square wood porch posts and painted railings on existing concrete porch deck;
 - Square wooden 1.5” square spindles set 3” apart on centre, between a top and bottom rail in accordance with SB-7 EC-1 or EC-2.
 - Gable in centre of ground storey and second storey south façades with cedar shingle infill between painted accent detailing.

The existing parking area and detached garage will remain unaltered. If decorative pieces are discovered under the existing cladding, those elements will be salvaged and used for decorative purposes on the interior of the building.

ANALYSIS

Policies of the *WV-OS HCD Plan & Guidelines* support the maintenance of the residential amenity and human scale of the WV-OS HCD by ensuring the low rise, low density residential character remains dominant (s.4.1.1.a). The *WV-OS HCD Plan & Guidelines* recognize that alterations and additions will be made, but it is essential to ensure that those changes not adversely impact the overall cultural heritage value or interest of WV-OS HCD. Policies of Section 4.2.1 direct additions to the rear of an existing building, and in a scale and character that is consistent with adjacent buildings and the overall streetscape. Policies encourage additions to be subordinate to the original structure and the conservation of original heritage attributes of individual properties.

A review of the existing building located at 26 Elmwood Avenue East identifies very few remaining original elements. The windows and doors have been replaced, the building has been resided

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**HAP: 26 Elmwood Avenue East
K. Gonyou**

with vertical vinyl siding and Angelstone at the base, and the metal railings of the porch do not appear to be original. There is limited historic documentation of the property. The Fire Insurance Plans suggest that the structure beneath the existing exterior cladding may be concrete (*cf.* 17 Elmwood Avenue East). The contractor will expose the original structure/finishes and report to the designer and property owner in writing; if the original finish is textured block or stone, the property owner would like to have this finish remain exposed.

Section 8.3 of the *WV-OS HCD Plan & Guidelines* provides “Recommended Practices and Design Guidelines” in the evaluation of alterations and additions within WV-OS HCD.

Alterations	
Section 8.3.1.1 – Recommended Practices and Design Guidelines	Assessment
a) Research the original style and appearance of the building to determine the “authentic limits” of restoration or alteration so that the appropriate style is maintained.	No documentation is available for 26 Elmwood Avenue East that provides sufficient documentary evidence of its historic appearance. If concrete structure is uncovered as part of construction work, the textured block or stone may remain exposed.
b) In the absence of historical data, use forensic evidence available from the building itself to suggest appropriate restoration or alteration.	Previous alterations have obscured potential forensic details that may guide an alteration. For example, no historic materials of the porch remain (concrete deck with metal railing).
c) Seek similar properties (same age, same design, same builder, same architect) for evidence of details that may still exist as samples for reconstruction.	26 Elmwood Avenue East is the only siding-clad building on its block. There is limited precedence in the immediate vicinity.
d) Avoid “new” materials and methods of construction if the original is still available. In some cases, after careful research, substitute materials may perform better than original materials, but beware of using materials that have not been tested for years in a similar application.	Wood board and batten is the proposed cladding for the building. While this material has limited application in WV-OS HCD, it is still recognized as an appropriate material (<i>WV-OS HCD Plan & Guidelines</i> , s.9.4.5). The wood board and batten cladding must be painted.
e) Conserve; retain and restore heritage attributes wherever possible rather than replacing them, particularly for features such as windows, doors, porches, and decorative trim.	Potential heritage attributes (e.g. windows, doors, porch, trim) have previously been removed.
f) Where replacement of features (e.g. doors, windows, trim) is unavoidable, the replacement components should be of the same style, size, proportion, and material wherever possible.	The proposed replacement windows and doors are in the same approximate location with the similar dimensions.
g) Incorporate similar building forms, materials, scale and design elements in the alteration that exist on the original building.	The proposed design seeks to achieve uniformity across the entire building.
h) Avoid concealing or irreversible altering heritage attributes of property, such as entrances, windows, doors and decorative details when undertaking alterations.	No original heritage attributes remain. Should decorative elements be uncovered during the construction process, those elements will be salvaged as decorative pieces for the interior.

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**HAP: 26 Elmwood Avenue East
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i) If in doubt, use discretion and avoid irreversible changes to the basic structure and architectural style.	Changes to the structure ensure the longevity of this cultural heritage resource and avoid demolition within WV-OS HCD.
j) Keep accurate photographs and other records, and samples of original elements that have been replaced.	Photographic documentation should be submitted to the Heritage Planner upon completion of the work.
Additions	
Section 8.3.2.2 – Recommended Practices and Design Guidelines	Assessment
a) Additions should be located away from principle façade(s) of heritage properties, preferably at the rear, to reduce the visual impact on the street(s).	The visual impact of the proposed addition will be mitigated by the cohesive cladding material proposed. It is not possible to blend a new cladding material with the existing siding, thus prompting a new cladding material for the entire building.
b) Form and detail of the addition should be complementary to the original construction, with respect to style, and materials but still distinguishable to reflect the historical construction periods of this property.	The design of the addition and alterations seeks to achieve a cohesive appearance. If concrete structure is uncovered as part of construction work, the textured block or stone may remain exposed.
c) The height of any addition should be similar to the existing building and/or adjacent to ensure that the addition does not dominate or adversely impact the original building, adjacent properties, the streetscape, and the HCD.	The second storey addition will be of compatible height with the overall vicinity, which ranges from one-and-a-half storeys to two-and-a-half storeys in height.
d) Additions should not obscure or remove important heritage attributes, including architectural features, of the existing building.	The existing building has no important heritage attributes remaining.
e) Additions should not negatively impact the symmetry and proportions of the building or create a visually unbalanced façade.	The proposed addition seeks to emphasize the balance and symmetry of the façade through the relationship of solids and voids, as well as the porch roof.
f) New doors and windows should be of similar style, orientation, proportion as on the existing building. The use of appropriate reclaimed materials should be considered.	The proposed replacement windows and doors are in the same approximate location with the similar dimensions.
g) New construction should avoid irreversible changes to original construction.	Changes to the structure are essential to ensure the longevity of the cultural heritage resource and avoid demolition.

While the proposed alterations and addition to 26 Elmwood Avenue East appears to have a substantial impact on the individual building, this building has no remaining heritage attributes present. Previous alterations, prior to the designation of WV-OS HCD, have removed or irreversibly altered potential heritage attributes. The proposed alterations and addition are compatible with the *WV-OS HCD Plan & Guidelines*.

CONCLUSION

The recommended alterations to 26 Elmwood Avenue East will not adversely impact the WV-OS HCD. The recommended alterations, with terms and conditions, should be permitted under the

Agenda Item # Page #

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**HAP: 26 Elmwood Avenue East
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Delegated Authority By-law if supported by the LACH.

Agenda Item # Page #

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PREPARED BY:	SUBMITTED BY:
KYLE GONYOU HERITAGE PLANNER URBAN REGENERATION	JIM YANCHULA, MCIP, RPP MANAGER URBAN REGENERATION
RECOMMENDED BY:	
JOHN M. FLEMING, MCIP, RPP MANAGING DIRECTOR, PLANNING AND CITY PLANNER	

2015-12-02

kg/

Attach:

- Appendix A: Location Map
- Appendix B: Property Photographs
- Appendix C: Proposed Elevations

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APPENDIX A: Location Map



26 Elmwood Avenue East

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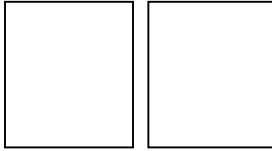
APPENDIX B: Property Photographs



Image 1: 26 Elmwood Avenue East (August 3, 2015).



Image 2: 26 Elmwood Avenue East (August 3, 2015).



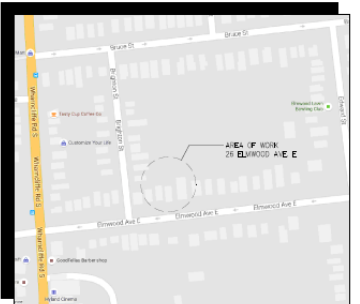
HAP: 26 Elmwood Avenue East
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APPENDIX C: Proposed Elevation

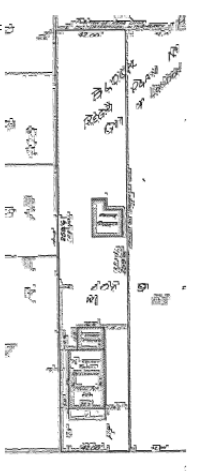
GENERAL NOTES:
DRAWING PREPARED IN ACCORDANCE WITH OSC PART 6 - 2012 EDITION
- DESIGN DRAWING A DESIGN IS PROVIDED AS TO THE DESIGN
- THIS DRAWING IS AN INSTRUMENT OF SERVICE. ALL INFORMATION ON THIS DRAWING IS THE PROPERTY OF THE DESIGNER.
- THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS, ANY DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER.
- DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DESIGN, MEASUREMENTS, CALCULATIONS OR THE INFORMATION ON THE DRAWING.
- THE CONTRACTOR MUST VERIFY ALL DIMENSIONS OF THE EXISTING STRUCTURE WITH ATTENDING NEW STRUCTURES TO EXISTING ONES.
- THE DESIGNER MUST BE INFORMED AND CHANGES MUST BE MADE TO THE DESIGN.
- ALL STRUCTURAL WORK PERFORMING BY THE CONTRACTOR MUST BE APPROVED BY THE DESIGNER OR APPROVED CONSULTANT PRIOR TO THE WORK BEING PERFORMED.
- DIMENSIONS MUST BE INDICATED ON THE DRAWINGS AND APPROVED BY THE MUNICIPALITY WHERE THE WORK IS CARRIED OUT.
- CONCRETE AS PER SECTION 8.1.3.1 & 8.1.3.4 OF THE OBC
- COMPRESSIVE STRENGTH OF CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN:
- 25MPa (4000 PSI) EXPOSED SURFACE (CONCRETE SHALL NOT EXCEED 2000 PSI) CARPORTS AND GARAGES
- (B) 35MPa (5000 PSI) INTERIOR FLOORS OTHER THAN CARPORTS AND GARAGES
- (C) 40MPa (5800 PSI) EXPOSED FOUNDATIONS
- REINFORCEMENT SHALL BE PLACED IN ALL FOUNDATIONS AND PER THE OBC
- DESIGNER IS TO BE INFORMED OF ANY FOUNDATION WORK THAT IS NOT PERMITTED UNDER SECTION 4.2 OF THE OBC (2012 EDITION)

EXCAVATION SHALL BE UNDERMINED IN SUCH A MANNER AS TO PREVENT DAMAGE TO EXISTING STRUCTURES ADJACENT TO THE PROPERTY AND UNDERMINING TOP AND GRADE WATER.
- THERE SHALL BE NO STANDING WATER IN EXCAVATION 8.12.1.2
- PROTECTION FROM PRESSURE AS PER 8.12.1.3
- FOOTINGS TO BEAR ON UNCONSOLIDATED ORIGINAL SOIL (CONCRETE OR UNDERMINING 100 mm (4.0) OF MORE DURING PRESSURE AS PER OBC 8.12.1.4 & 8.12.1.5)
- CONTRACTOR IS TO DESIGN 4-6% ANCHORAGE FOR ALL EXTERIOR CONCRETE THE MINIMUM DEPTH OF ANCHORAGE IS TO BE AS PER 8.12.1.2 THAT WILL BE EXPOSED TO WEAR SURFACE
- DURING NEW CONSTRUCTION, THE APPROPRIATE PROTECTION PROCEDURES ARE TO BE OBSERVED CONCRETE ADJACENT TO EXISTING FOUNDATION AND ROOF
- SIMILARLY, A MINIMAL ORDER SHALL BE TO BE COMPLETED TO MINIMIZE SPALLS
- EXCAVATION IS TO BE DONE IN ACCORDANCE TO 8.12.1.2 OF THE OBC
- REPAIRING TOP SOIL, ORGANIC MATTER, WATER IN EXCAVATION, FILLING PROTECTION, DIRT AND GRAVEL
- FOOTINGS AND FOUNDATIONS ARE TO BE DONE AS PER OBC 8.15
- CONTRACTOR AND INSPECTOR SHALL VERIFY THAT SOIL, SOIL GRAD, ARE WELL DRAINING WITH NO CLAY OR SILT
- FOUNDATIONS ARE TO BE AT LEAST 100mm (4.0) FROM THE GRADE AND THE CLEARANCE BETWEEN UNBUILT FOUNDATION ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 100mm (4.0)
- BARRELS WITHIN 24" (600mm) OF FOUNDATION WALLS SHALL BE FREE OF REINFORCEMENT BARS AND BRACKETS OVER 10" (250mm) DIA.

UTILITIES SHALL BE MARKED FROM TO DESIGN OR COMMENCEMENT OF CONSTRUCTION
- EXISTING UTILITIES SHALL BE AS PER SPECIAL SURVEY, PLEASE SEE ATTACHED
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL NECESSARY WORK TO VERIFY THAT NO UTILITIES ARE CARRIED ON OR EXISTING UTILITIES OR PHYSICAL LINES OF SERVICE OF THIS DEVELOPMENT THE INTENT OF THE EXISTING CHANGE PARTS IN THE AREA OF THE SITE SHOULD BE MAINTAINED OR IF CHANGES SHALL BE MADE BY OTHERS AND IS NOT THE RESPONSIBILITY OF THE DESIGNER
- AVOIDING SHALL BE CONDUCTED TO THE HEIGHT OF 1.8m AROUND THE BUILDING SITE SO AS TO AVOID EXCAVATION WITHIN THE SITE AND SUCH WORKING SHALL BE CONSTRUCTED OF 150mm EXIST. GRADE FINISHED OR AN EQUIVALENT MATERIAL AND BE MAINTAINED TO 1500mm AND GRADE THROUGHOUT THE CONSTRUCTION PERIOD.
- NO EXCAVATION SHALL EXCEED DEPT. DOWN-OWNED LAND UNLESS THERE IS WRITTEN PERMISSION GIVEN BY THE CITY ENGINEER.
A SUFFICIENT AREA ON THE CONSTRUCTION SITE SHALL BE PROVIDED FOR THE PURPOSE OF LAYING AND REMAINING MATERIALS AND EQUIPMENT AND SUCH AREA SHALL BE SURFACED WITH GRAVEL TO A MIN. DEPT. OF 200mm OF GRADE EQUIVALENT MATERIAL, SO AS TO PREVENT THE TRACKING OF SOIL AND DIRT, GRAVEL, AND MATERIALS ON EQUIPMENT SHALL BE STORED ON TRANSPARENT PROTECTIVE SHEETING EXTENDING FROM THE PAVED SURFACE TO THE PROPERTY LINE.
A TOILET FACILITY SHALL BE PROVIDED ON THE CONSTRUCTION SITE IN A LOCATION FAR REMOVED FROM ADJACENT BUILDINGS AND THE STREET AS PRACTICAL AND MAINTAINED IN A REGULAR MANNER SO AS NOT TO EMIT OFFENSIVE ODORS.
BERMEYER AND BUILDING MATERIALS SHALL BE CONTAINED OR STORED ON SITE IN AN ORDERLY MANNER. ALL USED BUILDING MATERIALS SHALL BE REMOVED FROM THE PROPERTY.
STREETS AND ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE KEPT CLEAN, GRAVEL FINISHED OR OTHERWISE CLEANED AS REQUIRED SO AS TO REMOVE ALL DIRT AND SOIL, DIRT AND ALL OTHER FOREIGN MATERIAL FROM SUCH STREET AND ROADS.
THE APPLICANT WILL BE REQUIRED TO IMPLEMENT AND MONITOR ON-SITE SOUND AND VIBRATION MEASUREMENTS DURING CONSTRUCTION OF THIS DEVELOPMENT. THE SOUND AND VIBRATION CONTROLS SHALL MEET ODDMO COMPLIANCE ON SOUND AND VIBRATION CONTROL, FOR SOUND SITES AS WELL AS DIRECTOR OF ENGINEERING OF THE LOCAL MUNICIPALITY AND OSC 2012.

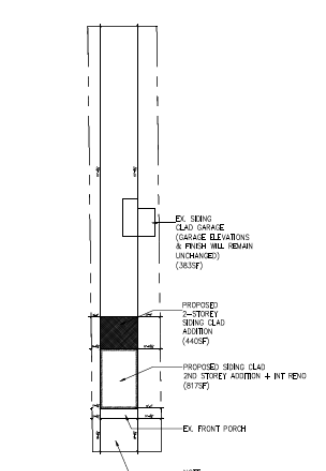


1 KEY PLAN
SCALE: NOT TO SCALE



2 (EXISTING) SITE PLAN
SCALE: N.T.S.

- SITE NOTES & STATISTICS
- SITE INFORMATION WAS OBTAINED FROM GOOGLE, CITY OF LONDON MAPS & DATA BY OTHERS
 - ORIGINAL SURVEY WAS NOT AVAILABLE
 - I.L.S. NO. 163
 - THE PROPERTY IS IN THE CITY OF LONDON
 - THE NEW DEVELOPMENT IS A STOREY CLAD ADDITION TO THE REAR YARD 4-2ND STOREY ADDITION
 - SITE AREA = 10800 FT²
 - MAIN BUILDING FOOTPRINT = 877 FT² + ADDITION = 440 FT² + GARAGE 883FT²
 - COVERAGE = 11.05% NO GARAGE OR COVERAGE = 15.18%
 - DESIGN DRAWING AND DESIGN IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SITE PLAN, THERE IS NO BOUNDARY ASSURANCE
 - THE MEASUREMENTS ON THIS DRAWING ARE BASED ON THE MEASUREMENTS TO ASSUMED PROPERTY LINES
 - DO NOT SCALE OR COPY THIS DRAWING IN PART OR WHOLE



3 (NEW) SITE PLAN
SCALE: N.T.S.

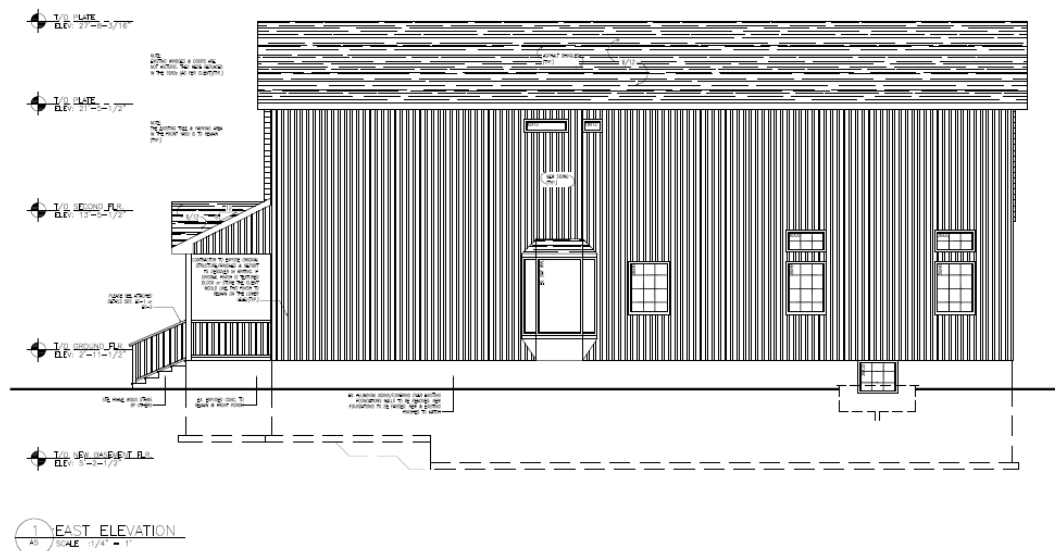
REAR & 2nd STOREY ADDITION
LYDIA NEEB
26 ELMWOOD AVE. EAST
LONDON ONTARIO

SITE PLAN

PRELIMINARY

NO.	DESCRIPTION	DATE
1	BUILD PER. (A5) (50%)	2015/03/15
2	BUILD PER. (A5) (50%)	2015/03/15
3	BUILD PER. (A5) (50%)	2015/03/15
4	BUILD PER. (A5) (50%)	2015/03/15
5	BUILD PER. (A5) (50%)	2015/03/15
6	BUILD PER. (A5) (50%)	2015/03/15

Scale: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

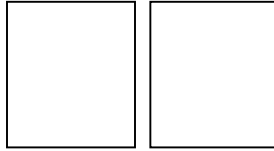
REAR & 2nd STOREY ADDITION
LYDIA NEEB
26 ELMWOOD AVE. EAST
LONDON ONTARIO

ELEVATIONS

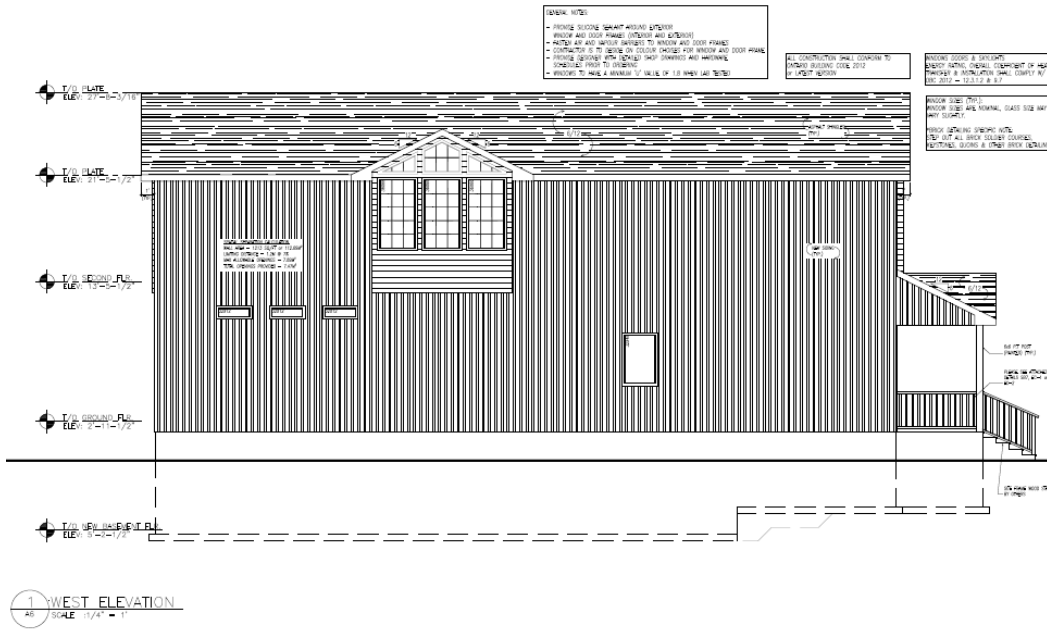
PRELIMINARY

NO.	DESCRIPTION	DATE
1	BUILD PER. (A5) (50%)	2015/03/15
2	BUILD PER. (A5) (50%)	2015/03/15
3	BUILD PER. (A5) (50%)	2015/03/15
4	BUILD PER. (A5) (50%)	2015/03/15
5	BUILD PER. (A5) (50%)	2015/03/15
6	BUILD PER. (A5) (50%)	2015/03/15

Scale: 1/4" = 1'-0"



**HAP: 26 Elmwood Avenue East
K. Gonyou**



1 WEST ELEVATION
SCALE 1/4" = 1'-0"

NO.	REVISION	DATE	BY
1	FILE FOR LECT. BOARD	11/17/10	JK
2	FILE FOR LECT. BOARD	11/17/10	JK
3	FILE FOR LECT. BOARD	11/17/10	JK
4	FILE FOR LECT. BOARD	11/17/10	JK
5	FILE FOR LECT. BOARD	11/17/10	JK
6	FILE FOR LECT. BOARD	11/17/10	JK

PRELIMINARY

USE SUBJECT TO THE 20% OF THIS PLAN
CONSTRUCTION PROVISIONS

REAR & 2nd STOREY ADDITION
LYDIA NEES
26 ELMWOOD AVE. EAST
LONDON ONTARIO

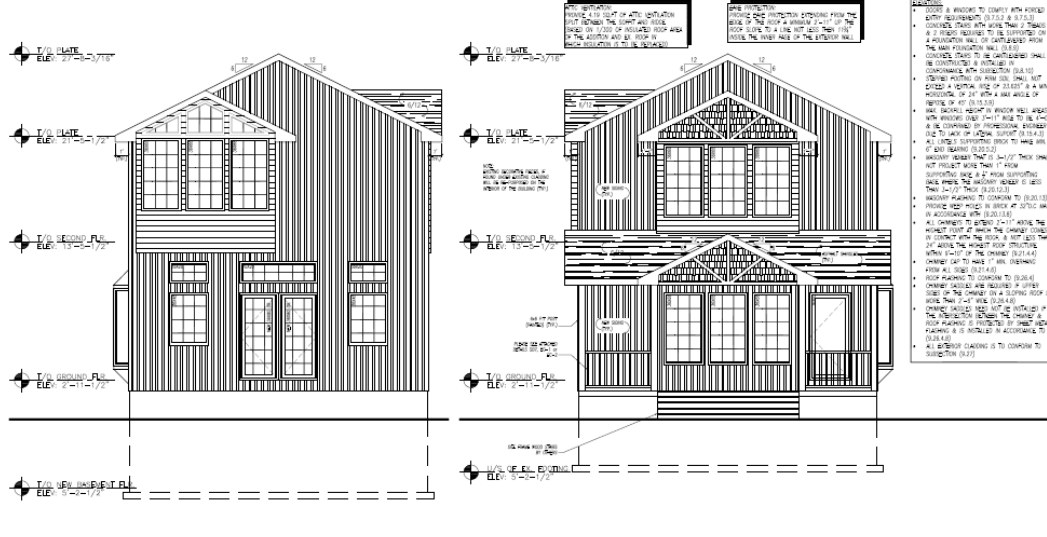
ELEVATIONS

NOTES:

THE CONTRACTOR SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL MEASUREMENTS AND CONDITIONS OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

2010 DRAFTING & DESIGN
TARA HILL
LONDON, ONTARIO
416-869-8888
WWW.DRAFTINGANDDESIGN.COM

DATE: 11/17/10
DRAWN: JK
CHECKED: JK
SCALE: 1/4" = 1'-0"
SHEET NO: 014 OF 014



1 NORTH ELEVATION
SCALE 1/4" = 1'-0"

2 SOUTH ELEVATION
SCALE 1/4" = 1'-0"

NO.	REVISION	DATE	BY
1	FILE FOR LECT. BOARD	11/17/10	JK
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3	FILE FOR LECT. BOARD	11/17/10	JK
4	FILE FOR LECT. BOARD	11/17/10	JK
5	FILE FOR LECT. BOARD	11/17/10	JK
6	FILE FOR LECT. BOARD	11/17/10	JK

PRELIMINARY

USE SUBJECT TO THE 20% OF THIS PLAN
CONSTRUCTION PROVISIONS

REAR & 2nd STOREY ADDITION
LYDIA NEES
26 ELMWOOD AVE. EAST
LONDON ONTARIO

ELEVATIONS

NOTES:

THE CONTRACTOR SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL MEASUREMENTS AND CONDITIONS OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

2010 DRAFTING & DESIGN
TARA HILL
LONDON, ONTARIO
416-869-8888
WWW.DRAFTINGANDDESIGN.COM

DATE: 11/17/10
DRAWN: JK
CHECKED: JK
SCALE: 1/4" = 1'-0"
SHEET NO: 014 OF 014