

<b>TO:</b>	<b>CHAIR AND MEMBERS PLANNING AND ENVIRONMENT COMMITTEE</b>
<b>FROM:</b>	<b>J. BRAAM, P.ENG. ACTING EXECUTIVE DIRECTOR PLANNING, ENVIRONMENTAL AND ENGINEERING SERVICES AND CITY ENGINEER</b>
<b>SUBJECT:</b>	<b>2012-2016 GROWTH MANAGEMENT IMPLEMENTATION STRATEGY SPECIAL MEETING ON FEBRUARY 21, 2012 1:15 P.M.</b>

<b>RECOMMENDATION</b>
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That, on the recommendation of the Acting Executive Director, Planning, Environmental & Engineering Services and City Engineer, the following actions **BE TAKEN** with respect to the 2012-2016 Growth Implementation Management Strategy:

- (a) Riverbend SWMF 'A' and SWMF 'G', (north of Oxford Street West), **BE DESIGNED** and **BE CONSTRUCTED** in 2012 at an estimated cost of \$4.3 million; **SUBJECT TO** the conditions noted in the attached Appendix "A" and **SUBJECT TO** the completion of the Trib 'C' Environmental Assessment;
- (b) SWMF 'F' **BE ADDED** to the Growth Management Implementation Strategy in 2016 at an estimated cost of \$2.6 million; and
- (c) Old Victoria SWMF '2', (T67), **BE CONSTRUCTED** in 2012 by the City at an estimated cost of \$1.8 million.

<b>PREVIOUS REPORTS PERTINENT TO THIS MATTER</b>
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February 6, 2012 – Report to the Planning and Environment Committee – “2012-2016 Growth Management Implementation Strategy”

November 16, 2011 – Report to Finance and Administration Committee – “Municipal Service Financing Agreements”

October 17, 2011 - Report to Built and Natural Environment Committee – “Growth Management Implementation Strategy -2012 Annual Review and Update”

September 20, 2011 - Verbal Report to the Committee of the Whole - “Growth Management Implementation Strategy Update”

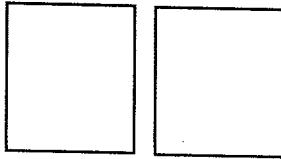
June 21, 2010; Report to Planning Committee – “Growth Management Implementation Strategy -2011 Annual Review”

November 16, 2009; Report to Planning Committee – “Growth Management Implementation Strategy - 2010 Annual Review”

May 13, 2009; Report to Board of Control – “2009 Development Charges – Adoption of DC Policies, Background Study and Rate By-law”

June 16, 2008; Report to Planning Committee – “Growth Management Implementation Strategy”

March 12, 2008; Report to Planning Committee – “Development of a Growth Management Implementation Strategy”



June 18, 2007; Report to Planning Committee – “Official Plan Review: Proposed Revisions to Growth Management Policies”

**PURPOSE OF THE REPORT**

On referral by Council on the 2012 Growth Management Implementation Strategy, staff brought a report on several SWM facilities proposed to be phased on February 6, 2012 to Planning and Environment Committee. Shortly before the Committee date staff found common ground with Sifton Properties Limited on deferral of Riverbend lands and works for the acceleration of Old Victoria development interests. This report provides proposed conditions for phasing to occur and Sifton properties to proceed.

**BACKGROUND**

During the development of the 2012 Growth Management Implementation Strategy, staff realized that several large stormwater management facilities aligned with associated development interests worked as a phased servicing approach and potentially differing significant capital costs and provides savings in debt related interest costs. During discussion at PEC on February 6, 2012, Committee heard that staff and Sifton Properties were amenable to a common means to proceed. Committee referred the issue to staff to discuss with the developer and report back to Committee at a Special meeting on February 21, 2012.

**DISCUSSION**

Phasing of Riverbend stormwater management facilities was seen by staff as conceptually simple as the stormwater management solutions proposed in the current Environmental Assessment Study (EA) are three distinct facilities. After considerable evaluation and many options the current EA is well advanced but has not yet been completed. The preferred EA option identified anticipated build-out rates in the area that would be serviced by SWMF ‘F’ shown in Figure 2, which could be deferred for some time and while the market demand in the area could still be met. The value of the SWMF ‘F’ is estimated at \$2.6 million and the successful deferral for five years has a total interest value of approximately \$650,000 being eliminated from the Development Charge costs for stormwater.

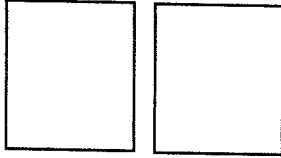
In November 2011, Council directed staff to report back on Old Victoria after further discussion with Sifton Properties. Old Victoria has been scheduled for 2015 for some time and Sifton has not found a satisfactory mechanism to advance the project. In recent discussions with Sifton, an amenable solution has been reached to use the deferral for five years without any conditions for the advancement in Riverbend in exchange for allowing Sifton to progress in Old Victoria. This is not Sifton’s preferred approach but is a pragmatic means to proceed in consideration of all factors.

In bringing the Riverbend and Old Victoria proposals to forward a number of principles follow and are reflected in the recommendations and in Appendix ‘A’. Financial sources and principles are discussed below.

**Riverbend South**

Staff have recommended that SWMF ‘A’ and ‘G’ be constructed following successful completion of the EA and if possible in 2012. Staff have recommended that SWMF ‘F’ be deferred until 2016. In reaching a conceptual phasing some conditions are related to the strategy as discussed below:

1. SWMF ‘F’ is scheduled for construction in 2016 – Estimates of residential activity are that Phase II and SWMF ‘F’ will not be required before 2016. The recommendation is for construction of SWEMF ‘F’ in 2016 with no qualifying conditions.

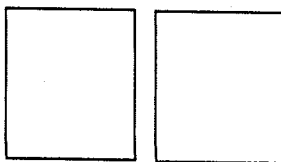


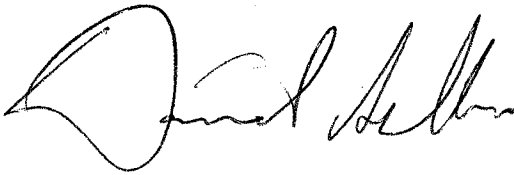

2. Environmental Impact Study - there has been previous confusion over developable land in the Riverbend South area. A high level Environmental Impact Study was undertaken in association with the lands to the east but further work will be required during the secondary study stages on the development lands. At that time environmental conditions will provide an indication of required buffers, environmentally sensitive areas and ultimately limits of development.
3. Riverbend South Planning Area – through a secondary plan approach the Riverbend South area, bounded by Westdel Bourne, Oxford Street West and will address a community and area approach and the details necessary to bring forward a draft plan to approval. Past Council resolution requires that Riverbend South be done in its entirety as one plan.
4. Development Phasing Limits – Sifton has proposed that the Riverbend South area be developed in at least two phases. Without being prescriptive at preliminary stages, staff recognize that current phasing limits are approximate and will be based on approved draft plan limits. The recommendation in this report is that a first phase be such that any development proposals do not force early construction of SWMF 'F'. Lands tributary to the Mews Stormwater Management Facility for drainage control and treatment also form part of Phase I.
5. Facility 'G' Lands – the Environmental Assessment work has indicated the best location for the infiltration facility is on lands northeast of Oxford Street West and Westdel Bourne. These lands although part of the current Environmental Assessment considerations have been zoned previously for commercial and residential uses. In consideration of changing land use staff and Sifton have agreed in principle that the land costs be negotiated at a residential rate and not the full commercial rate. Offsetting consideration for the land area used for stormwater be applied such that the commercial block is at least the same size as the currently zoned block.

### **Old Victoria**

Sifton has, for several years, been requesting that Old Victoria stormwater management work be advanced from 2015 including two previous committee reports reflecting this position. Staff have worked with Sifton but no amenable mechanisms have been presented to Council. At this time Sifton has obtained draft plan approval from Council for their subdivision and Council directed staff to undertake functional design of the stormwater management facility. With engineering design awarded May, 2011 at a cost of \$252,000 the functional design is well progressed.

Staff have proposed that the phasing of Riverbend South without conditions to 2016 provides an opportunity for Old Victoria to advance without any significant additional costs to the GMIS. This defers development of some Sifton lands until 2016. Considering the estimated construction costs for the Old Victoria SWM being \$1.8 million, the difference of almost \$.8 million still offers a net savings to the Development Charges revenue. It is not Sifton's preference to defer lands but they have agreed that this proposal is a net savings and does allow immediate development in Old Victoria where the SWMF '2' is well progressed in design. Staff recommend that the Old Victoria SWMF works progress to construction in 2012. The construction is dependent on significant work with Sifton in the provision of lands, easements, conditions for access etc.



SUBMITTED BY:	RECOMMENDED BY:
	
<b>D. AILLES, P. ENG. MANAGING DIRECTOR DEVELOPMENT APPROVALS BUSINESS UNIT</b>	<b>J. BRAAM, P.ENG. ACTING EXECUTIVE DIRECTOR PLANNING, ENVIRONMENTAL &amp; ENGINEERING SERVICES AND CITY ENGINEER</b>

February 15, 2012  
DA/lf

- cc. M. Hayward – City Treasurer and Chief Financial Officer  
P. Christiaans, Director – Development Finance  
B. Krichker, Manager - Stormwater  
S. Mathers, Manager - Development Finance

Attach/

Appendix A: Phasing Conditions  
Figure 2: Riverbend Tributary 'C'; Stormwater Management Facility – Phasing  
Candidates  
February 6, 2012 – Sifton Properties Limited Correspondence

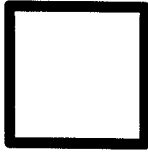
# Appendix A: Phasing Conditions

## Riverbend Area Stormwater Management Servicing

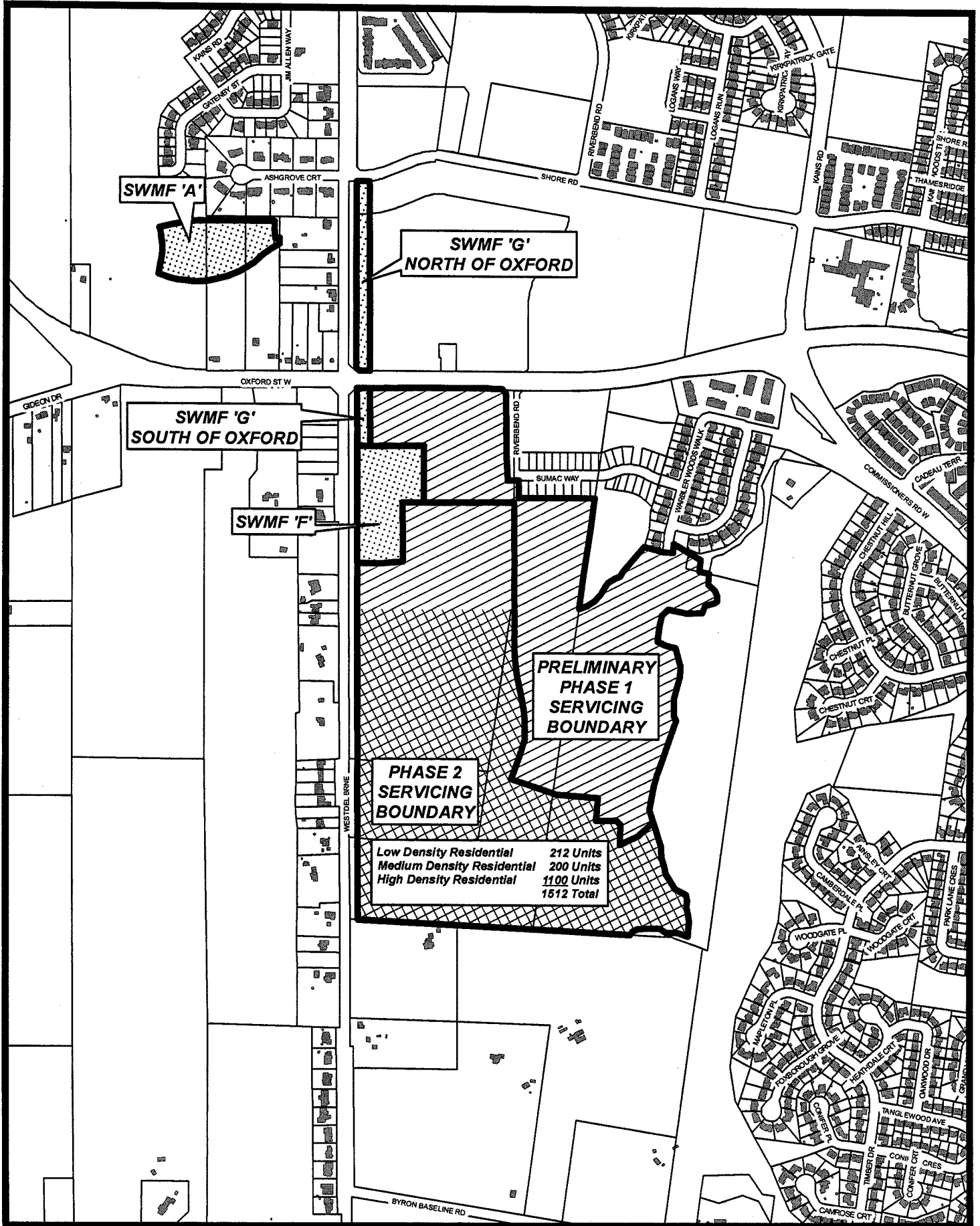
The first phase of the Riverbend Area Stormwater Management servicing project is proposed to include the construction of Stormwater Management Facility 'A' and Stormwater Management Facility 'G', (north of Oxford Street West), and the associated sewer works. The construction of Phase 1 subdivision is subject to Council acceptance of the Municipal Class Environmental Assessment (EA) - Schedule 'C' Storm/Drainage & Stormwater Management, Transportation & Sanitary Trunk Servicing Works for Tributary 'C' Drainage Area within the Downstream Thames Sub-watershed. Land costs are to be included in the cost of works for Phase 1. The following conditions apply to the phasing:

- SWMF 'F' is scheduled in the GMIS for construction in 2016
- No development and no construction shall occur before the conclusion of the Environmental Assessment
- Development phasing limits are approximate and will be based on approved draft plan limits
- The first phase of development will exclude all lands tributary to Stormwater Management Facility 'F' that cannot be practically accommodated under a temporary basis by Stormwater Management Facility 'A', Stormwater Management Facility 'G' or the Riverbend Mews Stormwater Management Facility and any temporary ancillary works. Any lands that force the need for SWMF 'F' are not included in Phase 1
- All temporary works at the cost of the developer

The second phase of the Riverbend Area Stormwater Management Servicing project will be scheduled for 2016 in the 2012 GMIS.



**FIGURE 2**  
**RIVERBEND TRIBUTARY 'C'**  
**STORMWATER MANAGEMENT FACILITY**  
**PHASING CANDIDATES**

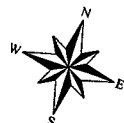


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February 6, 2012

Bud Polhill, Chair,  
Planning and Environment Committee  
Corporation of the City of London,  
300 Dufferin Avenue  
London, ON N6A 4L9

Dear Mr. Polhill:

**Re: 2012-2016 Proposed GMIS Phasing, RiverBend SWMF G and Old Victoria SWMF 2**

We are in receipt of the staff report and propose three (3) specific amendments to the report. In discussions with staff we understand staff is in full support to all three amendments.

Sifton strongly supports deferring projects when the service is not required by the developer at a specific date. We are in agreement there is no sense in building significant infrastructure without development and positive growth occurring in short order.

We have the unique situation of owning lands where facilities can be built with immediate growth and benefits.

Our concerns/recommendations are identified as follows:

- Old Victoria/Victoria Ridge - The report recommends the Old Vic SWMF 2 be moved to 2012 from 2015, and be "exchanged" with the larger RiverBend SWMF G being deferred to 2016, but Sifton was not able to agree.

Sifton has been clear for some time regarding our intent and desire to move forward our Victoria Ridge lands in 2012. Sifton does support moving these lands to construction in 2012. The functional and detailed designs for the facility are nearing completion, and as Council has heard many times, the project has many strong merits to the City.

We ask the Committee recommend staff's recommendation in their report, and amend recommendation (C) as follows:

(c) Old Victoria SWMF #2 (T-67) BE CONSTRUCTED in 2012 at an estimated cost of \$2,000,000 and Old Victoria SWMF #1 (T-66) identified in Appendix "A" BE DIRECTED to be included in the GMIS in 2017, and

- RiverBend - All RiverBend SWM facilities were initially intended to be built and operating at this time. Due to Tributary C EA now being in its third year of study, Sifton's major development plans for the area continue to sit in limbo. While the EA may be filed in spring 2012, Sifton is in an unenviable position to now be penalized for another 4 years should the RB SWMF G be deferred. Should this EA have been completed on time as initially planned, development would be occurring today with significant revenues and growth being generated in this highly desirable area. We strongly encourage Council and staff to seek resolution to this EA.



Sifton Properties Limited • Seniors Living • Residential Rentals • New Homes • Neighbourhood Developments • Commercial Leasing

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London, ON N6A 1K7

Tel. 519.434.1000  
Fax. 519.434.1009

Sifton.com

In discussions with staff we have identified specific lands that should be included in the first phase of development, and have provided staff an updated map of the phase 1 area. We request the Committee update the mapping to correct this error. Please see attached two plans that show the specific mapping amendments. We understand staff is in support of this amendment.

Finally, one further point of clarification; we read an error in the second paragraph under the Riverbend section. In discussions with staff, we believe there is agreement to amend the paragraph as follows;

"The first phase of development will exclude all lands tributary to Stormwater Management Facility 'F', that require storm water quality control treatment at Stormwater Management Facility 'A'. In addition, the lands tributary to the Mews Stormwater Management Facility for water quality control treatment purposes is included in the first phase of development, subject to the implementation of acceptable, interim quantity control measures for these lands."

Yours truly,  
SITON PROPERTIES LIMITED



*for*  
Phillip R. Masschelein  
Vice President  
Neighbourhood Developments

cc: David Ailles  
Jim Kennedy  
Richard Sifton  
Bob Stratford

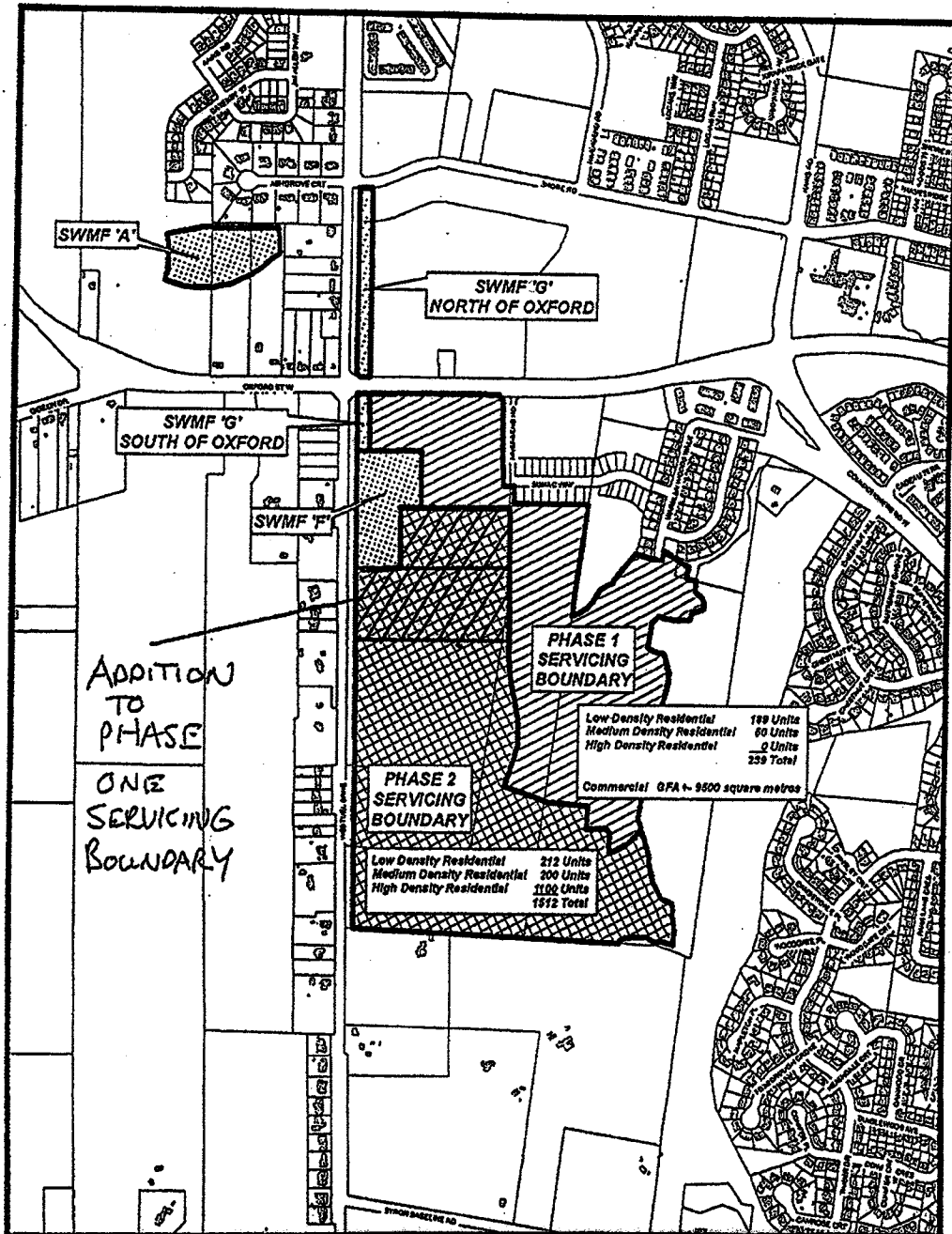


Agenda Item #

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**FIGURE 2  
RIVERBEND TRIBUTARY 'C'  
STORMWATER MANAGEMENT FACILITY  
PHASING CANDIDATES**

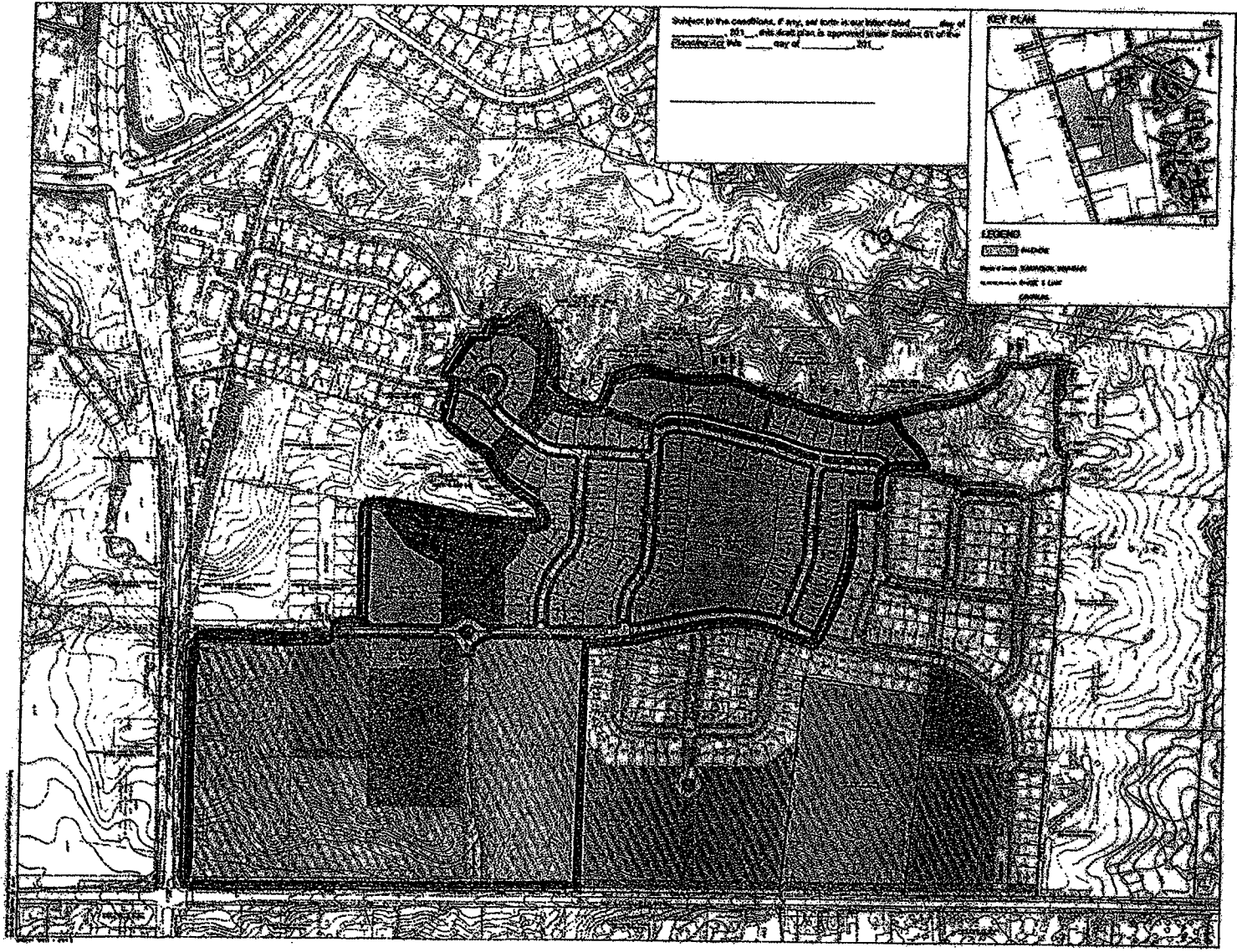


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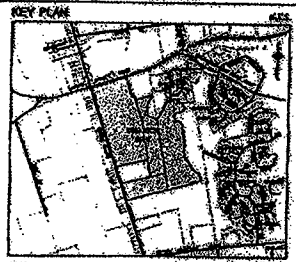
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Subject to the conditions, if any, set forth in our letter dated \_\_\_\_\_ day of \_\_\_\_\_ 2011, this draft plan is approved under Section 61 of the Planning Act, 1967, as amended, of the City of \_\_\_\_\_.



**LEGEND**  
 [Symbol] [Symbol] [Symbol]  
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- [Symbol] LIMING/DRY RESERVATION
- [Symbol] WETLAND RESERVATION
- [Symbol] FLOOD HAZARD RESERVATION
- [Symbol] ASSOCIATED SERVING AREA
- [Symbol] OPEN SPACE
- [Symbol] PARK

**PHASE ONE**  
 SERVING BOUNDARY

DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 FOR: \_\_\_\_\_  
 PROJECT NO.: \_\_\_\_\_  
 SHEET NO.: \_\_\_\_\_  
 TOTAL SHEETS: \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
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