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File OZ-7965  
M. Tomazincic

<b>TO:</b>	<b>CHAIR AND MEMBERS PLANNING &amp; ENVIRONMENT COMMITTEE</b>
<b>FROM:</b>	<b>JOHN M. FLEMING DIRECTOR, LAND USE PLANNING AND CITY PLANNER</b>
<b>SUBJECT:</b>	<b>APPLICATION BY: THE CITY OF LONDON 1607, 1609 (EASTERN PORTION), 1611, 1615, 1619, 1623, 1627, 1631, 1635, 1639, 1643, 1649, AND 1653 RICHMOND STREET PUBLIC PARTICIPATION MEETING ON MONDAY, DECEMBER 12, 2011 @ 7:50 P.M.</b>

<b>RECOMMENDATION</b>
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That, on the recommendation of the Director, Land Use Planning and City Planner, the following actions be taken with respect to the application of The City of London relating to the properties located at 1607, 1609 (eastern portion), 1611, 1615, 1619, 1623, 1627, 1631, 1635, 1639, 1643, 1649, and 1653 Richmond Street:

- (a) the proposed by-law attached hereto as Appendix "A" **BE INTRODUCED** at a future Municipal Council meeting to amend the Official Plan to change the designation of the subject lands **FROM** a Low Density Residential designation **TO** a Multi-Family, Medium Density Residential designation to permit the development of multiple-attached dwellings, such as row houses or cluster houses; low-rise apartment buildings; small-scale nursing homes, rest homes, and homes for the aged; and, a convenience commercial component within an apartment building;
- (b) the proposed by-law attached hereto as a Appendix "B" **BE INTRODUCED** at a future Municipal Council meeting to amend the Official Plan by adding a new special policy to Section 3.5 (Policies for Specific Areas) to guide the future development of the subject properties;
- (c) the *Richmond Street-Old Masonville Master Plan and Urban Design Guidelines* attached hereto as Appendix "C" **BE ADOPTED** at a future Municipal Council meeting pursuant to Section 19.2 of the Official Plan;
- (d) the proposed by-law attached hereto as Appendix "D" **BE INTRODUCED** at a future Municipal Council meeting to amend the Official Plan by adding the "*Richmond Street-Old Masonville Master Plan and Urban Design Guidelines*" to the list of Council approved guideline documents pursuant to Section 19.2.2 of the Official Plan
- (e) the proposed by-law attached hereto as Appendix "E" **BE INTRODUCED** at a future Municipal Council meeting to amend Zoning By-law No. Z.-1, in conformity with the Official Plan, as amended in part (a) above, to change the zoning of the properties located at 1607, 1609 (eastern portion) and 1611 Richmond Street **FROM** a Holding Residential R5 Special Provision/Residential R6 Special Provision (h-5•R5-2(12)/R6-4(14)) Zone which permits cluster single detached dwellings, cluster semi-detached dwellings, cluster duplex dwellings, and cluster townhouse dwellings subject to a special zoning provision which regulates the minimum lot area (0.6 ha.), minimum lot frontage (70m), maximum lot coverage (35%), maximum density (30 units per hectare), maximum height (10.5m), minimum front yard depth (3m), minimum rear yard depth (7.5m) and restrictions on the location of parking areas and subject to a holding provision requiring a public site plan review of the proposed development prior to the removal of the holding provision **TO** a Holding Residential R5 Special Provision (h-(\*)•h-(\*\*)\*R5-2(\*)) Zone to permit cluster townhouses and cluster stacked townhouses with a special zoning provision which includes: a minimum lot frontage (70m); minimum lot area (0.4 ha.); maximum front yard depth (3m); minimum rear yard and south interior side yard depth (15m); maximum lot coverage (35%); maximum density (45 units per hectare); maximum

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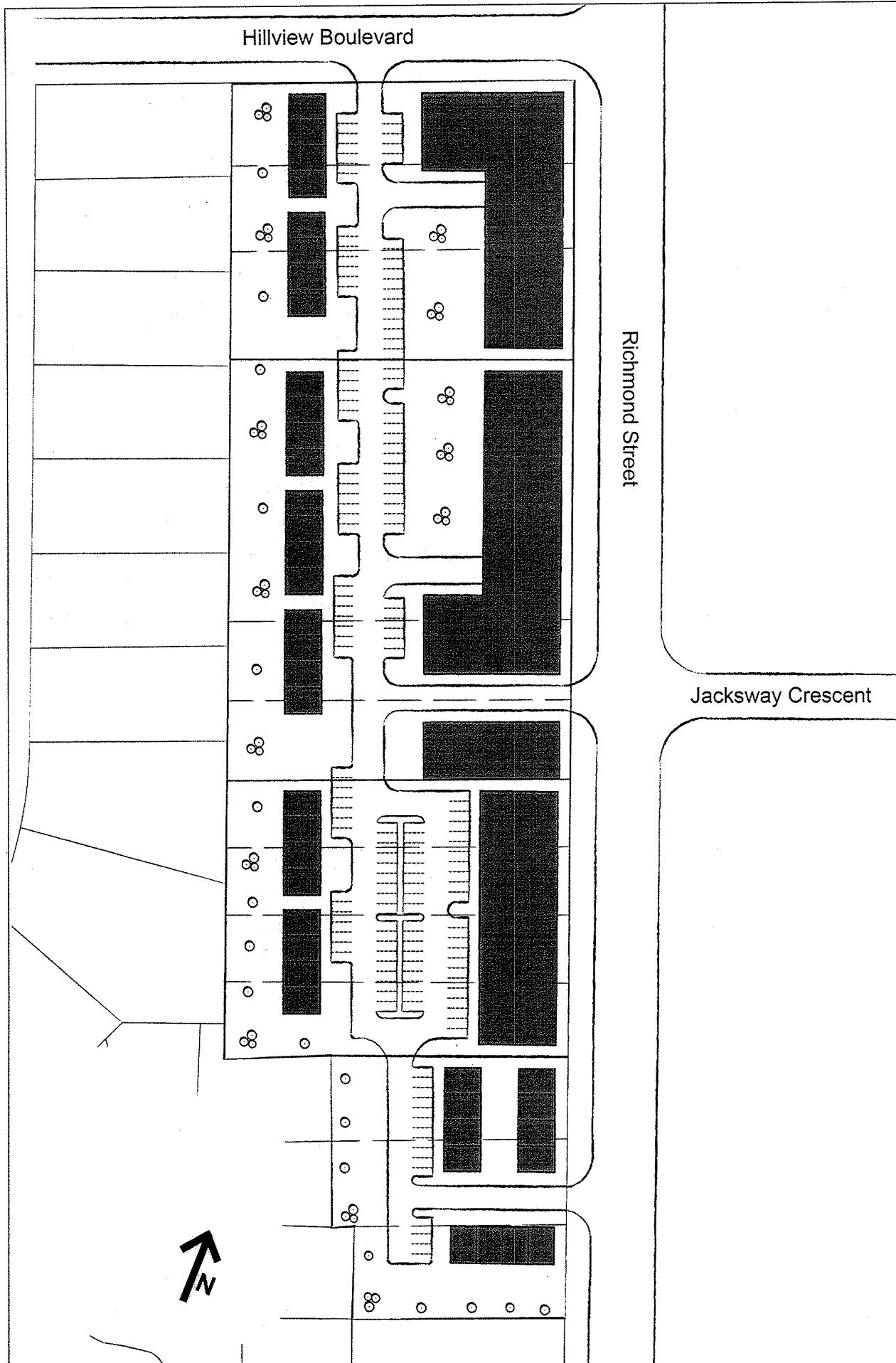


Figure 1 - Conceptual Master Plan for the development of the subject lands

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- the storm sewer 'as constructed' drawings
- the estimations of the subcatchment drainage areas, the evaluation of the existing storm outlet and projected peak flows for the existing and future land developments based on the engineering assumptions for the subject lands under the proposed land use, and
- the existing unit cost prices that applied for the secular works in the City.

Therefore, based on the above noted evaluations, the preliminary estimated cost for the storm/drainage servicing for Richmond Corridor consists of the following cost:

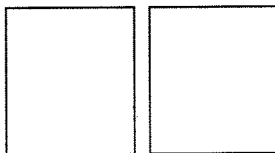
- the proposed storm/drainage conveyance system's cost of approximately \$1-1.2 million (including approximately 30% non-growth and approximately 70% growth components and will require further discussions) and,
- the proposed (SWM) water quality control system's cost that is estimated to be approximately \$120,000 - \$150,000 and will be required to be developed as the private permanent system and this cost shall be borne by the landowner.

[In response to the SWM issue above, a companion report from Development Approvals Business Unit (DABU) Staff is being submitted concurrently with this report recommending that, "...a new project estimated at \$1.5 million in value for 2012, for the rehabilitation and expansion of the existing storm sewer on Richmond Street from near Hillside Drive to the Thames River, North Branch: (a) the project **BE APPROVED** in 2012 in the Growth Management Implementation Strategy with financing as identified...; and (b) the project **BE REFERRED** to the 2012 Budget process..."]

*Traffic*

Additionally, as part of this application, Civic Administration were directed to prepare a traffic impact assessment to assist with area transportation policies and development conditions and a private consulting firm was retained to prepare a Transportation Impact Analysis (TIA) related for the proposed Official Plan and Zoning By-law amendments. The TIA considered the future traffic patterns based on full build-out but did not consider the phasing of development of these lands since this was not part of the original scope of the Analysis. This TIA focused on the impacts of the proposed development along the Richmond Street corridor and evaluated the impact of the proposed development on the adjacent local streets. The results of the TIA showed that the full build-out of the subject lands would have minimal impact on the traffic distribution pattern on these local streets. However, it is proposed that an h-55 holding provision be applied to the lands at 1643, 1649, and 1653 Richmond Street requiring the completion of another TIA prior to site plan approval to confirm the traffic impact on surrounding area roads as the phased development of these lands occur and the roadway improvements required to accommodate the development in the future. The key findings and recommendation of the TIA that has recently been completed include the following: (noting that these recommendations are based on full development of the site):

- Given the proximity of the proposed accesses onto Richmond Street to the adjacent signalized intersections, future signalization of the entrance proposed at Jacksway Crescent or the proposed southerly access would not be practical and the proposed southerly access should only be considered as a potential right-in/right-out access.
- It is recommended that the proposed mid-block entrance opposite Jacksway Crescent restrict egress movements to right turns only.
- With full development of the proposed site, additional roadway improvement requirements would include:
  - Provision of a centre median on Richmond Street to effectively restrict the proposed southerly access to the site to right-in/right-out movements;
  - Provision of raised islands to restrict the proposed main entrance, opposite Jacksway Crescent, to a three-quarter intersection permitting left turn movements entering the site but restricting egress movements to right turns only;
  - Provision of a 30 metre eastbound left turn lane on Hillview Boulevard at Richmond Street including associated traffic signal modifications.
- By 2021, the planned widening of Richmond Street could be utilized to accommodate the implementation of a BRT service along the corridor. The successful implementation of



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- (e) The design and positioning of new buildings should have regard for the impact of the proposed development on year-round sunlight conditions on adjacent properties and streets;
- (f) Buildings should be positioned to define usable and secure open space areas on the site and to afford a reasonable measure of privacy to individual dwelling units;
- (g) Parking and driveways should be located and designed to facilitate manoeuvrability on site and between adjacent sites, and to reduce traffic flow disruption to and from the property; and,
- (h) Projects should have regard for the neighbourhood organizing structure. Building and site designs should facilitate easy connections to and around the site to public transit and destinations.

Given that the Conceptual Master Plan (as illustrated in Figure 1) lacks the detail required for the above Public Site Plan criteria, this analysis will focus on the site plan drawings and elevation drawings, attached as Appendix "I" to this report, proposed for the development of the properties located at 1631, 1635, and 1639 Richmond Street, submitted concurrently with this application for amendments to the Official Plan and Zoning By-law.

As illustrated in Figure 2 (below), the development of these properties proposes the creation of 70 below-grade parking spaces thereby reducing the need for surface parking areas and facilitating the development of outdoor amenity spaces. It is proposed that the garbage enclosure be located internal to the apartment building thereby screening it from view and from the outdoor amenity areas. Building entrances are proposed to be located in several locations providing fluidity to the building and multiple ingress/egress options.

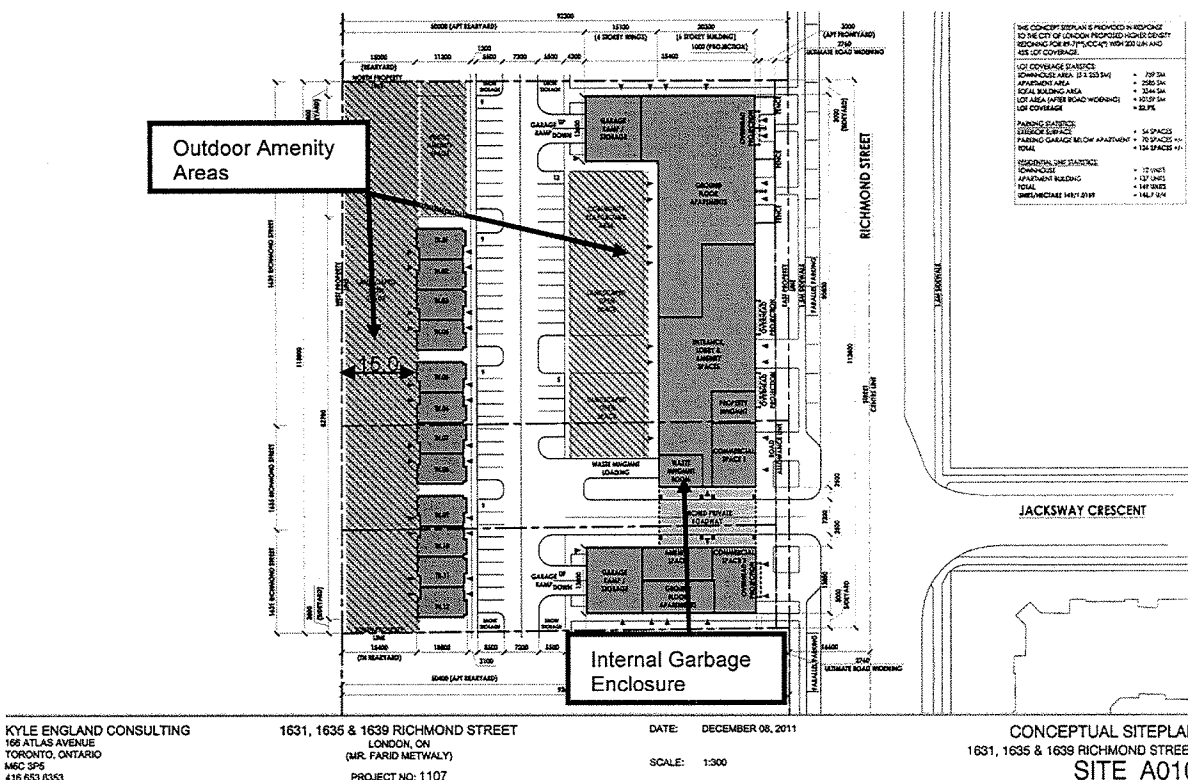


Figure 2 – Site plan drawing for the development of the properties located at 1631, 1635, and 1639 Richmond Street

As previously mentioned, one of the key principles to be implemented in the development is an increase in the setback distance between the proposed townhouse buildings and the single detached dwellings abutting the subject lands to the west and south from a minimum of 7.5 metres to a minimum of 15.0 metres. This increase in the buffer distance not only provides an additional mitigation feature, but the additional setback distances also increases the potential of preserving the existing mature vegetation located in this buffer area.

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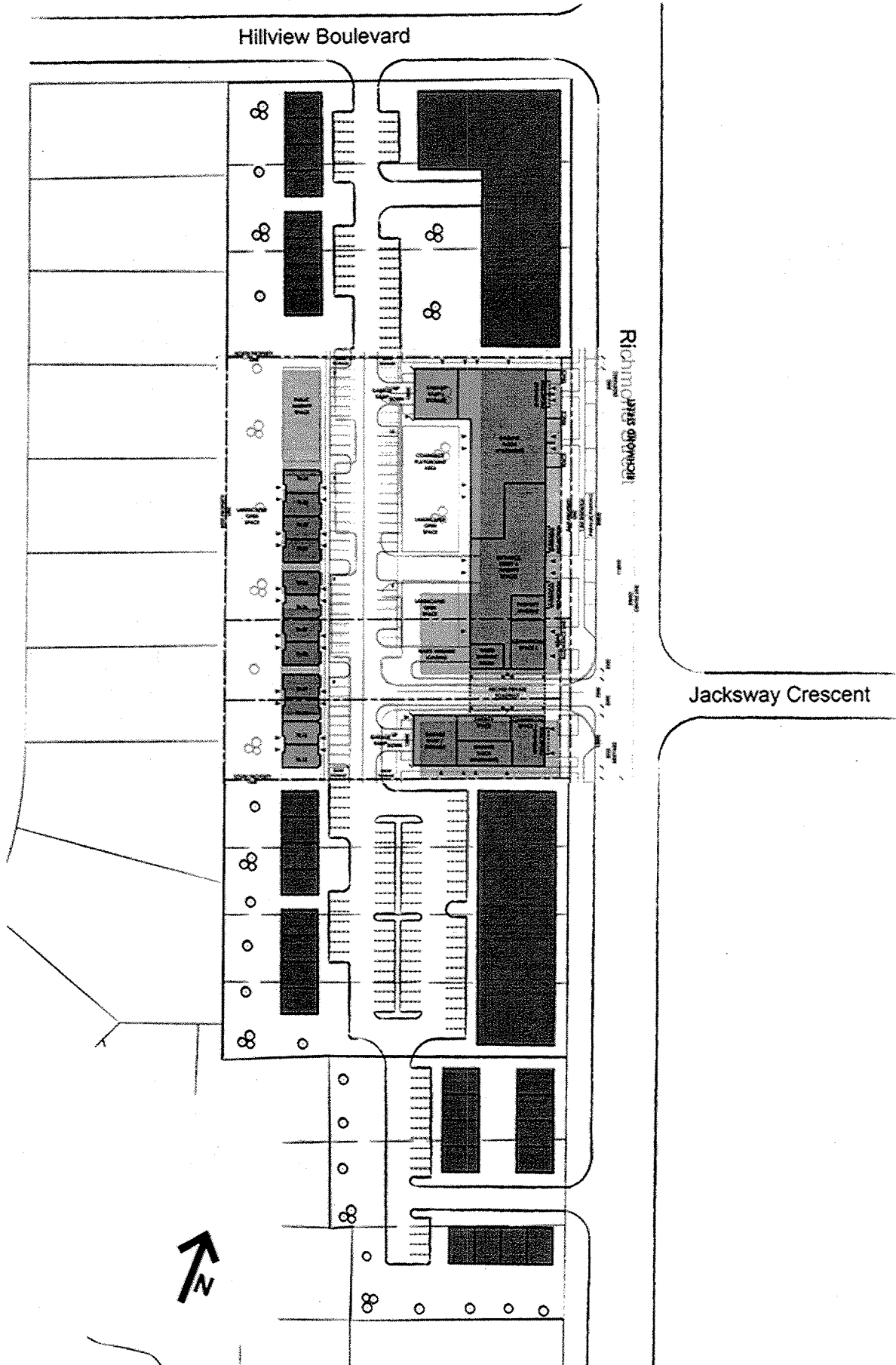


Figure 6 – Illustrating a superimposed image of the submitted site plan drawing (as depicted in Figure 2) with the concept plan included *Richmond Street-Old Masonville Master Plan and Urban Design Guidelines* (as depicted in Figure 1)


Appendix "C"

**Richmond Street - Old Masonville**  
Master Plan and Urban Design Guidelines

**Building Siting**

- 1) Orient buildings along Richmond Street so that Richmond Street façades have multiple visible front entrances to provide an active pedestrian environment.
- 2) Create a defined street wall along Richmond Street by providing building frontage along no less than 75 percent of the eastern property line of the subject lands to support the visual and spatial continuity of the streetscape.
- 3) Provide multiple pedestrian connections into the interior of the subject lands from Richmond Street.
- 4) Provide private rear yard amenity space for the westerly townhouses toward the western property line so that this private rear yard amenity space for the townhouses abuts the private rear yard amenity space of the existing dwellings along Cherokee Road.
- 5) Provide visual interest at the terminus of the driveway directly across from Jacksway Crescent through building location and architectural detail and/or landscape features to provide a visually attractive sightline into the subject lands.

**Built Form**

- 6) Design building façades to express a defined base proportionally, approximately one third of the height of the building, a middle, and a top to contribute to a human-scaled measured pedestrian environment, conceal roof top mechanical equipment, and provide a visually interesting skyline (see Figure 5 below).
- 7) Break up building massing by employing recesses and projections that are prominent enough to provide visual interest and assist in providing solar protection (see Figure 3 below).
- 8) Use high quality building materials, such as masonry, that are compatible within the context of the existing streetscape.
- 9) Balance the proportion of façade cladding to ensure that there is a minimum of 50 percent glazing on apartment frontages facing Richmond Street and apartment frontages facing Hillview Boulevard.
- 10) Outdoor living spaces of individual living units should be provided in the form of fully- or partially-recessed balconies, consistent with the built form of the multi-storey residential buildings in the neighbourhood, to maximize the privacy of the spaces from the public realm. Where outdoor living spaces cannot be provided, a Juliet balcony should be provided (see Figure 5 below).

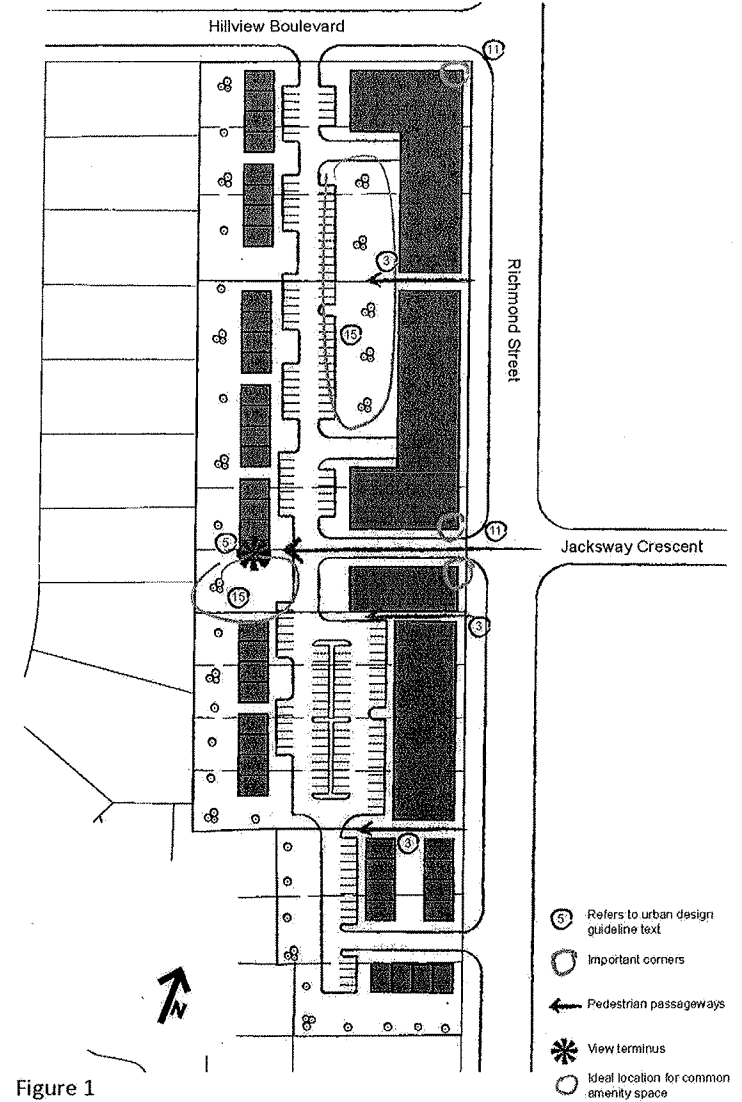


Figure 1

Two empty rectangular boxes for agenda item and page numbers.

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Appendix "E"

Bill No. (number to be inserted by Clerk's Office)  
2012

By-law No. Z.-1-12\_\_\_\_\_

A by-law to amend By-law No. Z.-1 to rezone an area of land located at 1607, 1609 (eastern portion) and 1611 Richmond Street.

WHEREAS the City of London has applied to rezone an area of land located at 1607, 1609 (eastern portion) and 1611 Richmond Street, as shown on the map attached to this by-law, as set out below;

AND WHEREAS upon approval of Official Plan Amendment Number (number to be inserted by Clerk's Office) this rezoning will conform to the Official Plan;

THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

Schedule "A" to By-law No. Z-1 is amended by changing the zoning applicable to lands located at 1607, 1609 (eastern portion) and 1611 Richmond Street, as shown on the attached map comprising part of Key Map No. 16, from a Holding Residential R5 Special Provision/Residential R6 Special Provision (h-5•R5-2(12)/R6-4(14)) Zone to a Holding Residential R5 Special Provision (h-(\*)•h-(\*\*)\*R5-2(\*) Zone.

1) Section Number 3.8 of the Holding "h" Zones to By-law No. Z.-1 is amended by adding the following new holding provision:

(2)\_ h-(\*) Purpose: To ensure that the *Richmond Street-Old Masonville Master Plan and Urban Design Guidelines*, established through the Official Plan and Zoning amendment review process, are implemented, a development agreement shall be entered into which ensures that future development of these lands incorporates the concepts and urban design principles identified in these Master Plan and Urban Design Guidelines to the satisfaction of the Director, Land Use Planning and City Planner prior to the removal of the h-(\*) symbol.

Permitted Interim Uses: Existing Uses

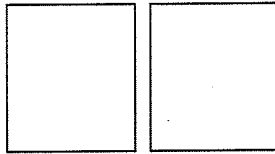
2) Section Number 3.8 of the Holding "h" Zones to By-law No. Z.-1 is amended by adding the following holding new provision:

(2)\_ h-(\*\*) Purpose: To ensure the orderly development of the subject lands, the h-(\*\*) symbol shall not be removed until a storm/drainage and stormwater management (SWM) servicing design report has been prepared and accepted for the subject lands to ensure that the that future development has the sufficient storm outlet and SWM servicing to the specifications and satisfaction of the City Engineer.

Permitted Interim Uses: Existing Uses

3) Section Number 9.4 of the Residential R5 (R5-2) Zone is amended by adding the following new Special Provision:

- \_ R5-2(\*) 1607, 1609 (eastern portion) and 1611 Richmond Street
  - a) Permitted uses for 1607 Richmond Street
    - i) Cluster townhouses



- b) Permitted uses for 1609 (eastern portion) and 1611 Richmond Street
  - i) Cluster townhouses
  - ii) Cluster stacked townhouses
  
- c) Regulations for 1607, 1609 (eastern portion) and 1611 Richmond Street
  - i) Lot Frontage (Minimum) 70.0 metres (229.6 feet)
  - ii) Lot Area (Minimum) 0.40 hectares (0.99 acres)
  - iii) Front Yard Depth (Maximum) 3.0 metres (9.8 feet) from the ultimate road allowance
  - iv) Rear Yard Depth (Minimum) 15.0 metres (19.2 feet)
  - v) Lot Coverage (Maximum) 35%
  - vi) Density (Maximum) 45 Units per Hectare (18 units per acre)
  - vii) Bedrooms per dwelling unit (Maximum) 3
  - viii) Maximum height to be measured from grade to roof peak
  - ix) Basement ceiling height above grade (Maximum) 0.5 metres (1.6 feet)
  - x) Total number of dwelling units (Maximum) 16
  - xi) Number of vertically attached townhouse dwelling units (Maximum) 4
  
- d) Additional Regulations for 1607 Richmond Street
  - i) Height (Maximum) 9.5 metres (31.2 feet)
  - ii) South Interior Side Yard Depth (Minimum) 15.0 metres (49.2 feet)
  - iii) No part of any required south interior side yard shall be used for any purpose other than landscaped open space.
  
- e) Additional Regulations for 1609 (eastern portion) and 1611 Richmond Street
  - i) Height (first 16.0 metres of lot depth) (Maximum) 12.0 metres (39.3 feet)
  - ii) Height (beyond the first 16.0 metres of lot depth) (Maximum) 9.5 metres (31.2 feet)



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- iii) North Interior Side Yard Setback (Minimum) 3.0 metres (9.8 feet)
- vii) No part of any required front yard, required side yard, or required rear yard shall be used for any purpose other than landscaped open space except where a common internal driveway connects to abutting properties located in a required side yard or provides vehicular access to Richmond Street located in the required front yard.

The inclusion in this By-law of imperial measure along with metric measure is for the purpose of convenience only and the metric measure governs in case of any discrepancy between the two measures.

This By-law shall come into force and be deemed to come into force in accordance with Section 34 of the *Planning Act, R.S.O. 1990, c. P13*, either upon the date of the passage of this by-law or as otherwise provided by the said section.

PASSED in Open Council on

Joe Fontana  
Mayor

Catharine Saunders  
City Clerk

First Reading –  
Second Reading –  
Third Reading –

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M. Tomazincic**

**Appendix "F"**

Bill No. (number to be inserted by Clerk's Office)  
2012

By-law No. Z.-1-12\_\_\_\_\_

A by-law to amend By-law No. Z.-1 to rezone an area of land located at 1615, 1619, 1623 and 1627 Richmond Street.

WHEREAS the City of London has applied to rezone an area of land located at 1615, 1619, 1623 and 1627 Richmond Street, as shown on the map attached to this by-law, as set out below;

AND WHEREAS upon approval of Official Plan Amendment Number (number to be inserted by Clerk's Office) this rezoning will conform to the Official Plan;

THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

Schedule "A" to By-law No. Z-1 is amended by changing the zoning applicable to lands located at 1615, 1619, 1623 and 1627 Richmond Street, as shown on the attached map comprising part of Key Map No. 16, from a Holding Residential R5 Special Provision/Residential R6 Special Provision (h-5•R5-2(12)/R6-4(14)) Zone to a Holding Residential R9 Special Provision (h-(\*)•h-(\*\*)\*R9-7(\*\*\*)) Zone.

1) Section Number 3.8 of the Holding "h" Zones to By-law No. Z.-1 is amended by adding the following new holding provision:

(2)\_ h-(\*) *Purpose:* To ensure that the *Richmond Street-Old Masonville Master Plan and Urban Design Guidelines*, established through the Official Plan and Zoning amendment review process, are implemented, a development agreement shall be entered into which ensures that future development of these lands incorporates the concepts and urban design principles identified in these Master Plan and Urban Design Guidelines to the satisfaction of the Director, Land Use Planning and City Planner prior to the removal of the h-(\*) symbol.

*Permitted Interim Uses:* Existing Uses

2) Section Number 3.8 of the Holding "h" Zones to By-law No. Z.-1 is amended by adding the following holding new provision:

(2)\_ h-(\*\*) *Purpose:* To ensure the orderly development of the subject lands, the h-(\*\*) symbol shall not be removed until a storm/drainage and stormwater management (SWM) servicing design report has been prepared and accepted for the subject lands to ensure that the that future development has the sufficient storm outlet and SWM servicing to the specifications and satisfaction of the City Engineer.

*Permitted Interim Uses:* Existing Uses

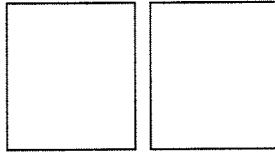
3) Section Number 13.4 of the Residential R9 (R9-7) Zone is amended by adding the following new Special Provision:

\_ R9-7(\*\*\*) 1615, 1619, 1623 and 1627 Richmond Street

a) Permitted uses

i) Cluster townhouses

ii) Apartment buildings



- iii) Senior citizens apartment buildings
- iv) Continuum-of-care facilities
  
- b) Regulations
  - i) Lot Frontage (Minimum) 70.0 metres (229.6 feet)
  - ii) Lot Area (Minimum) 0.60 hectares (1.4 acres)
  - iii) Front Yard Depth (Maximum) 3.0 metres (9.8 feet) from the ultimate road allowance
  - iv) Lot Coverage (Maximum) 40%
  - v) Density (Maximum) 150 Units per Hectare (60 units per acre)
  - vi) Bedrooms per dwelling unit (Maximum) 3
  - vii) No part of any required front yard, required side yard, or required rear yard shall be used for any purpose other than landscaped open space except where a common internal driveway connects to abutting properties located in a required side yard.
  
- c) Additional Regulations for Apartment Buildings, Senior Citizen Apartment Buildings, and Continuum-of-Care Facilities
  - i) Height (first 25.0 metres of lot depth) (Maximum) 15.0 metres (49.2 feet)
  - ii) Setback from Rear Property Line (Minimum) 65.0 metres (213.3 feet)
  - iii) Interior Side Yard Depth (Minimum) 3.0 metres (9.8 feet)
  
- d) Additional Regulations for Cluster Townhouses
  - i) Height (Maximum) 9.5 metres (31.2 feet)
  - ii) Maximum height to be measured from grade to roof peak
  - iii) Basement ceiling height above grade (Maximum) 0.5 metres (1.6 feet)
  - iv) Total number of townhouse dwelling units (Maximum) 8
  - v) Number of vertically attached townhouse dwelling units (Maximum) 4
  - vi) North Interior Side Yard Depth (Minimum) 3.0 metres (9.8 feet)

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- |   |                            |
|---|----------------------------|
| vii) South Interior Side<br>Yard Depth<br>(Minimum) | 15.0 metres<br>(49.2 feet) |
| viii) Rear Yard Depth<br>(Minimum)                  | 15.0 metres<br>(49.2 feet) |

The inclusion in this By-law of imperial measure along with metric measure is for the purpose of convenience only and the metric measure governs in case of any discrepancy between the two measures.

This By-law shall come into force and be deemed to come into force in accordance with Section 34 of the *Planning Act, R.S.O. 1990, c. P13*, either upon the date of the passage of this by-law or as otherwise provided by the said section.

PASSED in Open Council on

Joe Fontana  
Mayor

Catharine Saunders  
City Clerk

First Reading –  
Second Reading –  
Third Reading –

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**File OZ-7965  
M. Tomazincic**

**Appendix "H"**

Bill No. (number to be inserted by Clerk's Office)  
2012

By-law No. Z.-1-12\_\_\_\_\_

A by-law to amend By-law No. Z.-1 to rezone an area of land located at 1643, 1649 and 1653 Richmond Street.

WHEREAS the City of London has applied to rezone an area of land located at 1643, 1649 and 1653 Richmond Street, as shown on the map attached to this by-law, as set out below;

AND WHEREAS upon approval of Official Plan Amendment Number (number to be inserted by Clerk's Office) this rezoning will conform to the Official Plan;

THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

Schedule "A" to By-law No. Z-1 is amended by changing the zoning applicable to lands located at 1643, 1649 and 1653 Richmond Street, as shown on the attached map comprising part of Key Map No. 16, from a Holding Residential R5 Special Provision/Residential R6 Special Provision (h-5•R5-2(12)/R6-4(14)) Zone to a Holding Residential R9 Special Provision (h-(\*)•h-55•R9-7(\*)) Zone.

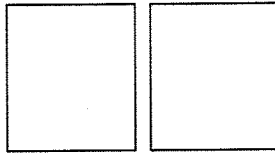
1) Section Number 3.8 of the Holding "h" Zones to By-law No. Z.-1 is amended by adding the following new holding provision:

- (2)\_ h-(\*) *Purpose:* To ensure that the *Richmond Street-Old Masonville Master Plan and Urban Design Guidelines*, established through the Official Plan and Zoning amendment review process, are implemented, a development agreement shall be entered into which ensures that future development of these lands incorporates the concepts and urban design principles identified in these Master Plan and Urban Design Guidelines to the satisfaction of the Director, Land Use Planning and City Planner prior to the removal of the h-(\*) symbol.

*Permitted Interim Uses:* Existing Uses

2) Section Number 13.4 of the Residential R9 (R9-7) Zone is amended by adding the following new Special Provision:

- \_ R9-7(\*) 1643, 1649 and 1653 Richmond Street
- a) Permitted uses
- i) Cluster townhouses
  - ii) Apartment buildings
  - iii) Senior citizens apartment buildings
  - iv) Continuum-of-care facilities
- b) Regulations
- i) Lot Frontage (Minimum) 70.0 metres (229.6 feet)
  - ii) Lot Area (Minimum) 0.60 hectares (1.4 acres)
  - iii) Front Yard Depth (Maximum) 3.0 metres (9.8 feet) from the ultimate road allowance



- iv) Interior Side Yard Depth (Minimum) 3.0 metres (9.8 feet)
- v) Exterior Side Yard Depth (Minimum) 3.0 metres (9.8 feet)
- v) Lot Coverage (Maximum) 45%
- vi) Density (Maximum) 200 Units per Hectare (80 units per acre)
- vii) Bedrooms per dwelling unit (Maximum) 3
- viii) No part of any required front yard, required side yard, or required rear yard shall be used for any purpose other than landscaped open space except where a common internal driveway connects to abutting properties located in a required side yard or provides vehicular access to Hillview Boulevard located in the required exterior side yard.

c) Additional Regulations for Apartment Buildings, Senior Citizen Apartment Buildings, and Continuum-of-Care Facilities

- i) Height (first 25.0 metres of lot depth) (Maximum) 20.0 metres (65.5 feet)
- ii) Height (beyond the first 25.0 metres of lot depth) (Maximum) 15.0 metres (49.2 feet)
- iii) Setback from Rear Property Line (Minimum) 50.0 metres (164.0 feet)

d) Additional Regulations for Cluster Townhouses

- i) Height (Maximum) 9.5 metres (31.2 feet)
- ii) Maximum height to be measured from grade to roof peak
- iii) Basement ceiling height above grade (Maximum) 0.5 metres (1.6 feet)
- iv) Total number of townhouse dwelling units (Maximum) 8
- v) Number of vertically attached townhouse dwelling units (Maximum) 4
- vi) Rear Yard Depth (Minimum) 15.0 metres (49.2 feet)

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The inclusion in this By-law of imperial measure along with metric measure is for the purpose of convenience only and the metric measure governs in case of any discrepancy between the two measures.

This By-law shall come into force and be deemed to come into force in accordance with Section 34 of the *Planning Act, R.S.O. 1990, c. P13*, either upon the date of the passage of this by-law or as otherwise provided by the said section.

PASSED in Open Council on

Joe Fontana  
Mayor

Catharine Saunders  
City Clerk

First Reading –  
Second Reading –  
Third Reading –

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**File OZ-7965  
M. Tomazincic**

**Appendix "K"**  
Old Masonville Ratepayers Association Letter of Support

December 9, 2011

Bud Polhill, Chair,  
Planning & Environment Committee  
City of London,  
London Ontario

Ref: Re-zoning Application  
1607 – 1653 Richmond St.

Mr. Polhill:

We are writing on behalf of the Old Masonville Ratepayers Association ("OMRA") to express our full support for the pending rezoning and preliminary site plan approval for the properties at 1631/35/39 Richmond Street (site plan) and the rezoning of 1607 - 1653 Richmond St.

As you may be aware, there is a long history to this file, dating back to 2004 when the current developer brought forward an application to rezone the property at 1639 Richmond St. Simultaneously, the City initiated an application to rezone the balance of the block to ensure that all development along the street would be comparable and compatible. The rezoning approved in October 2004 enabled development of 30 units per hectare, setbacks of 7.5 m from adjoining properties, an 10.5 m height restriction and requirements to create an internal roadway and parking that was contained within the development. The OMRA supported the application, always on the understanding that the development would entail low density family focused units, with attached indoor parking.

We were dismayed in 2009 when the site plan for 1639 Richmond came forward for approval, based on 18 identical 5-bedroom attached townhouse units, only surface parking for a fraction of expected population, built to the minimum 7.5 m setback from bordering properties, with much of the vegetation bordering on the adjoining properties being removed. At that time we opposed the approval of this site plan, as did Council, however in an appeal to the OMB, the proposed development was approved. Subsequently, the same developer purchased two adjoining properties (1631/35) and has brought forward a plan to develop those properties with another 12 identical 5 bedroom townhouse units. If the site plans for the 3 properties were approved, there would be 30 5- bedroom attached units plus existing dwelling. Given that the livable area in all units would be approximately. 65% dedicated to "sleeping/bedroom" space and only 35% dedicated to "living" space, it appears that the population would be minimum 155 students housed within very confined space.

Early in the summer of 2011, the Planning Department Staff initiated a meeting between the developer and community representatives, with the intent of exploring alternative plans that might be perceived as a "win:win:win". The community wanted to ensure that any alternate development was better integrated into the existing neighbourhood composition, with increased



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**File OZ-7965  
M. Tomazincic**

**Appendix "K"**  
Old Masonville Ratepayers Association Letter of Support

setback, and retention of more of the mature vegetation on the site. The community also wanted to ensure that the units were not identical five bedroom units, rather a mix of 1, 2, and 3 bedroom units, thereby enabling a more varied resident base. In return for these changes, it was agreed that the development would comprise greater density and height on the east side of the project fronting on Richmond. Over the course of this 7 year journey (2004-11), the OMRA has been integral to the discussions, has held countless information meetings with the neighbourhood and other stakeholders, expended significant resources on legal and consulting fees, and attended numerous Committee and Council meetings. Through all this, our position has been clear that we are not opposed to redevelopment of these residential properties, but our goal has been to ensure a development which respects the existing character and vocation of surrounding properties. While we have not achieved unanimity within our community, with regards to the properties at 1631/35/39 Richmond, the latest renderings submitted by the applicant, and dated December 8, 2011, confirming an estimated 150 units per hectare are consistent with the conditions and concepts agreed upon with the applicant and the Planning department over the past four months, therefore has the full support of the OMRA.

Our only outstanding concern is related to the potential for increased congestion at the intersection of Hillview and Richmond. Therefore, we support the application of a holding provision on the 1643/1649/1653 properties to ensure that a proper traffic study is completed and strategies are implemented to reduce the existing congestion at that intersection, and at the same time, avoid any additional "cut through" traffic that is already creating real safety concerns for residents of the neighbouring streets of Hillview, Cherokee, McStay, Shavian and Hillside. We plan to attend the P&E committee on December 12th and would be pleased to further elaborate on the contents of this letter.

Sincerely,

Bill Davis,

President, Old Masonville Ratepayers' Association

cc. Michael Tomazincic, Planning Dep't City of London.