

Bill No. 17
2024

By-law No. Z.-1-24_____

A by-law to amend By-law No. Z.-1 to rezone
an area of land located at 488-492 Pond Mills
Road

WHEREAS Willow Bridge Homes Ltd. c/o Zelinka Priamo Ltd. has applied to rezone an area of land located at 488-492 Pond Mills Road, as shown on the map attached to this by-law, as set out below;

AND WHEREAS this amendment to the Zoning By-law Z.-1 conforms to the Official Plan;

THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

1. Schedule "A" to By-law No. Z.-1 is amended by changing the zoning applicable to lands located at 488-492 Pond Mills Road, as shown on the attached map comprising part of Key Map No.112, **FROM** a Residential R1 (R1-3) Zone **TO** a Residential R9 Special Provision (R9-3()*H15) Zone.

2. Section Number 13.4 of the Residential R9 Zone is amended by adding the following Special Provisions:

R9-3() 488-492 Pond Mills Road

a. Regulations

- i) For the purposes of Zoning, Pond Mills Road is considered to be the front lot line.
- ii) Front Yard Setback (Minimum) 3.0 metres (9.8 feet)
- iii) North Interior Side Yard Setback (Minimum) 4.4 metres (14.8 feet)
- iv) Rear Yard Setback for Parking Lot to Property Line (Minimum) 3.0 metres (9.8 feet)
- v) Height (Maximum) 15 metres (or 4 Storeys)
- vi) Balcony Encroachment on Apartment Buildings: Projection permitted in the required yard (Maximum) 1.5 metres provided the projection is no closer than 2.5 metres to the front lot line.
- vii) The main building entrance shall be oriented to Pond Mills Road.

3. The inclusion in this By-law of imperial measure along with metric measure is for the purpose of convenience only and the metric measure governs in case of any discrepancy between the two measures.

4. This By-law shall come into force and be deemed to come into force in accordance with Section 34 of the *Planning Act, R.S.O. 1990, c. P13*, either upon the date of the passage of this by-law or as otherwise provided by the said section.

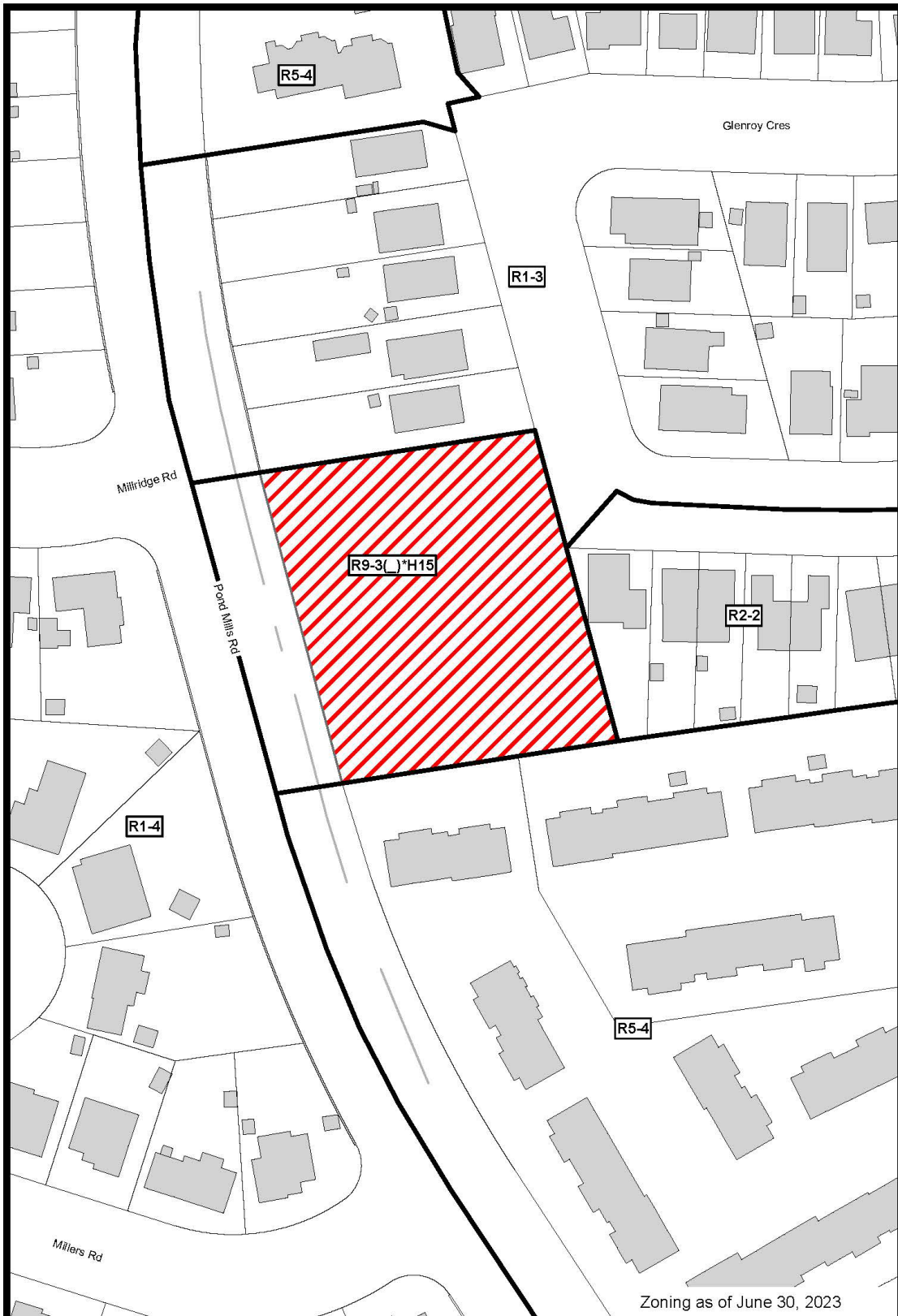
PASSED in Open Council on December 19, 2023, subject to the provisions of PART VI.1 of the *Municipal Act, 2001*.

Josh Morgan
Mayor

Michael Schulthess
City Clerk

First Reading – December 19, 2023
Second Reading – December 19, 2023
Third Reading – December 19, 2023

AMENDMENT TO SCHEDULE "A" (BY-LAW NO. Z-1)



File Number: Z-9625
Planner: NP
Date Prepared: 2023/8/10
Technician: JI
By-Law No: Z-1-

SUBJECT SITE 

1:1,000

0 5 10 20 30 40 Meters

