

## Report to Planning and Environment Committee

**To:** Chair and Members  
Planning and Environment Committee

**From:** Scott Mathers, MPA, P.Eng.  
Deputy City Manager, Planning and Economic  
Development

**Subject:** Sifton Properties Ltd.  
6019 Hamlyn Street  
File Number: Z-9654, Ward 9

**Date:** November 13, 2023

## Recommendation

That, on the recommendation of the Director, Planning and Development, the following actions be taken with respect to the application of Sifton Properties Ltd. relating to the property located at 6019 Hamlyn Street:

- (a) the proposed by-law attached hereto as Appendix "A" **BE INTRODUCED** at the Municipal Council meeting November 28, 2023 to amend Zoning By-law No. Z.-1, in conformity with the Official Plan, The London Plan, to change the zoning of the subject property **FROM** a Holding Residential R4/R5/R6/R7/R8 Special Provision (h\*h-100\*R4-3(2)\*R5-7(18)\*R6-5(74)\*R7(29) \*D75\*H20\*R8-4(62)) Zone with provisions for a maximum density of 75 units per hectare and a maximum height of 20 metres **TO** a Holding Residential R4/R5/R6/R7/R8 Special Provision (h\*h-100\*R4-3(2)\*R5-7(18)\*R6-5(74)\*R7(29)\*D100\*H20\*R8-4(\_)) Zone with provision of a maximum density of 100 units per hectare and a maximum height of 20 metres.

**IT BEING NOTED**, that the above noted amendment is being recommended for the following reasons:

- a) The recommended zoning by-law amendment is consistent with the Provincial Policy Statement.
- b) The recommended zone conforms to The London Plan, including but not limited to the Neighbourhoods Place Type, Environmental Review Place Type, Our Strategy, City Building and Design, Our Tools, and all other applicable The London Plan policies.
- c) The recommended zone conforms to the policies of the Southwest Area Secondary Plan.
- d) The recommended zone is appropriate and will permit open space/park uses consistency with the planned vision of the Neighbourhoods Place Type and built form that contributes to a sense of place, character and connectivity.

## Executive Summary

### Summary of Request

The applicant has requested an amendment to the Zoning By-law Z.-1 to rezone the property from a Holding Residential R4/R5/R6/R7/R8 Special Provision (h\*h-100\*R4-3(2)\*R5-7(18)\*R6-5(74)\*R7(29) \*D75\*H20\*R8-4(62)) Zone with provisions for a maximum density of 75 units per hectare and a maximum height of 20 metres to a Holding Residential R4/R5/R6/R7/R8 Special Provision (h\*h-100\*R4-3(2)\*R5-7(18)\*R6-5(74)\*R7(29)\*D100\*H20\*R8-4(\_)) Zone with provision of a maximum density of 100 units per hectare, and a maximum height of 20 metres.

The two primary changes to the zoning on the identified property that staff are recommending for approval include a special provision that will facilitate reduced

setbacks under the Residential R8 (R8-4 ( ) Zone, as well as an increased maximum density from 75 units per hectare to 100 units per hectare.

Staff are recommending approval with holding provisions to ensure the development will only proceed once the lands are orderly developed and there is adequate provision of municipal services, including the looped watermain system.

The current zoning regulation permits a maximum density of 75 units per hectare, allowing for the development of approximately 108 units. The proposed amendment aims to increase density to a maximum of 100 units per hectare, accommodating an additional 35 units from the current zone. This zoning amendment application and development proposal could potentially contribute 143 residential units.

### **Purpose and the Effect of Recommended Action**

The recommended action will permit a development containing two (2) six (6) storey apartment buildings.

## **Linkage to the Corporate Strategic Plan**

This recommendation supports the following Strategic Areas of Focus:

- **Wellbeing and Safety**, by promoting neighbourhood planning and design that creates safe, accessible, diverse, walkable, healthy, and connected communities.
- **Housing and Homelessness**, by increasing access to a range of quality, affordable, and supportive housing options that meet the unique needs of Londoners.

## **Analysis**

### **1.0 Background Information**

#### **1.1 Previous Reports Related to this Matter**

**March 01, 2021** – Report to Planning and Environment Committee – Public Participation Meeting - 6019 Hamlyn Street - Liberty Crossing Subdivision – Application for approval of Draft Plan of Subdivision and Zoning By-law Amendment (39T-18504)

**December 16, 2022** – Report to Approval Authority of City of London – 6019 Hamlyn Street – Liberty Crossing Subdivision – Application for approval of Redline Revision of Draft Subdivision (39T-18504).

**March 27, 2023** – Report to Planning and Environment Committee – Public Participation meeting – 6019 Hamlyn Street – Application for Zoning By-law Amendment (Z-9654).

#### **1.2 Planning History**

The subject lands previously formed part of the Town of Westminster. In 1993, the subject lands, and the larger area south to Lambeth, were annexed into the City of London. The subject site is located within the Southwest Area Secondary Plan (SWAP).

The original application for a residential plan of subdivision and associated Zoning By-law Amendment was accepted by the City on September 24, 2018 and circulated to the appropriate commenting agencies and departments. Through the circulation process, issues were raised by Staff and the UTRCA regarding the impacts of the proposed development on the natural heritage system and hazard lands. Over the past several years, the applicant has worked to resolve issues and concerns from the City and the UTRCA. As part of this approach, a revised plan of subdivision application was submitted to the City.

On March 1, 2021 a public meeting was held to discuss the revised plan of subdivision and associated zoning by-law amendments. Council endorsed the plan of subdivision and approved the associated amendments.

On April 23, 2021 the Approval Authority granted draft approval to the plan of subdivision which permitted single-detached dwelling units, medium density blocks, open space and park blocks.

Since draft approval, the applicant and their consultants have been working with the City and UTRCA to develop an engineering plan for the plan of subdivision addressing servicing, water balance, cut and fill, natural heritage, and park design issues. As part of engineering review, the applicant applied for a redline revision to the plan to create an additional park block and more single-detached dwelling units. The redline revision request was granted by the Approval Authority on December 19, 2022, and a copy of the redlined draft subdivision plan can be seen below.

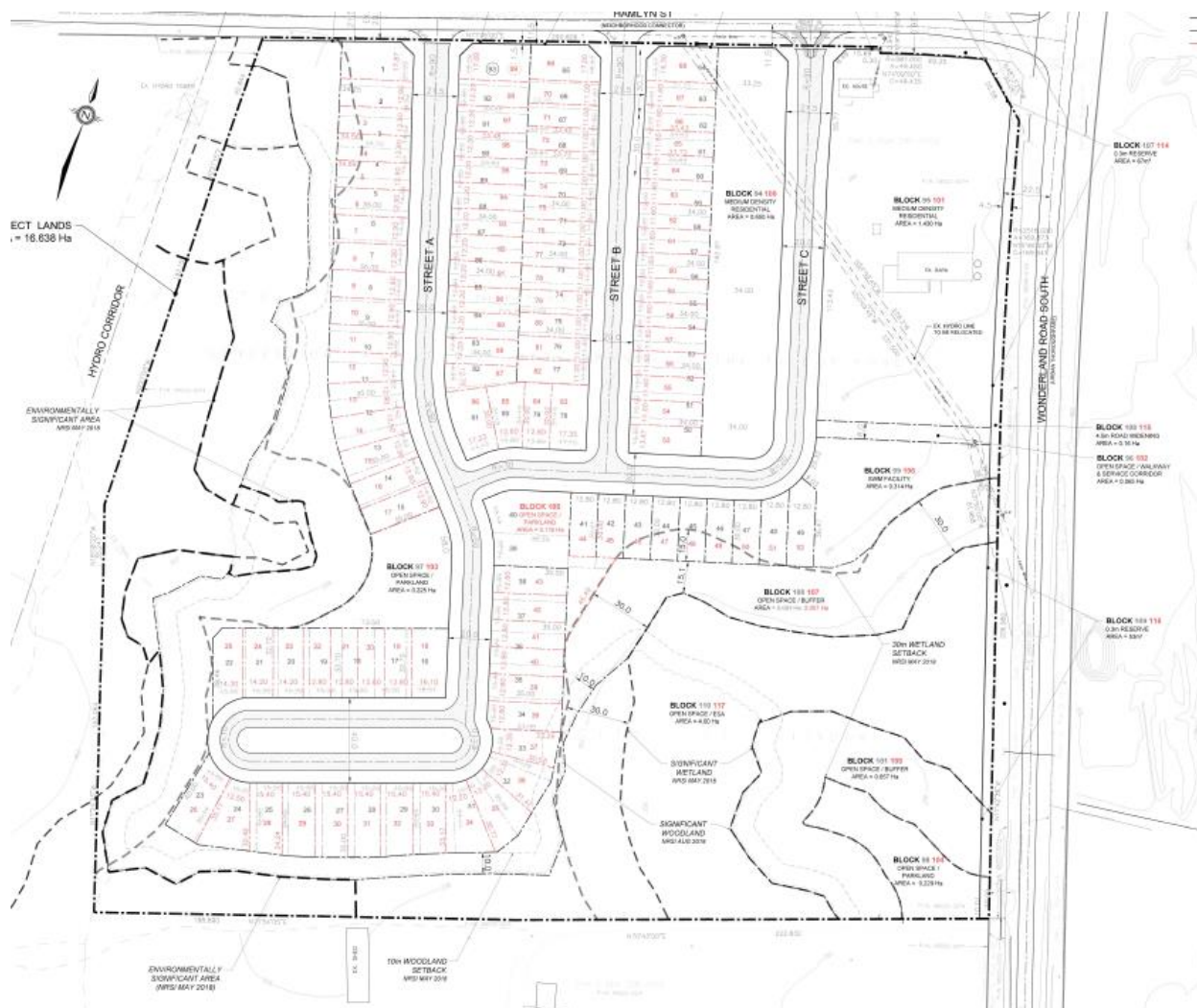


Figure 1- Redlined Draft Subdivision Plan

On March 27, 2023 a public meeting was held to discuss the zoning by-law amendment for Block 109 of the draft approved subdivision. Council endorsed the amendment on April 4, 2023.

### 1.3 Property Description and Location

The subject site is located at the southwest corner of Wonderland Road South and Hamlyn Street.

The property is identified as Block 101 in the draft approved plan of subdivision (39T-18504). In December 2022, a minor red-line revision was approved, permitting ninety-three (93) single-detached lots, two (2) medium density residential blocks, three (3) parkland blocks, three (3) open space blocks and one (1) SWM facility block, all served by three (3) new neighbourhood streets (Street A (Green Bend ) B (Liberty Crossing) and C (Calhoun Way))

The property is located to the east of Street 'C' (Calhoun Way) and a future residential development to the west, Hamlyn Street to the north, a future SWM facility to the south, and Wonderland Road South to the east. The site is currently vacant after structures, including a barn and home, were recently demolished.

The Draft Approved Plan of Subdivision is provided in Appendix C.

**Site Statistics:**

- Current Land Use: Agriculture and Vacant
- Frontage: 65 metres
- Area: 1.43 Ha
- Shape: rectangular
- Located within the Built Area Boundary: Yes

**Surrounding Land Uses:**

- North – Hamlyn Street, single-detached dwelling, agricultural
- East – Wonderland Road South, agricultural, open space
- South – Vacant, former agricultural, future residential
- West – Vacant, former agricultural, future residential

**Existing Planning Information:**

- Existing The London Plan Place Type: Neighbourhoods, along an intersection of Urban Thoroughfare and Neighbourhood Collector.
- Existing Zoning: Holding Residential R4/R5/R6/R7/R8 Special Provision (h\*h-100\*R4-3(2)\*R5-7(18)\*R6-5(74)\*R7(29) \*D75\*H20\*R8-4(62)) Zone with provisions for a maximum density of 75 units per hectare and a maximum height of 20 metres

Additional site information and context is provided in Appendix B.



Figure 2- Aerial Photo of 6019 Hamlyn Street (Block 101) and surrounding lands



View to north along Hamlyn Street opposite side of the street to the site



View to south looking at the Natural Heritage Feature from the future SWM facility



View to the west including the site and barn, which has since been demolished



View to east across Wonderland Road South, opposite to the site

Figure 3 - Streetview of 6019 Hamlyn Street (Block 101) from different directions and streets

## 2.0 Discussion and Considerations

### 2.1 Development Proposal

The applicant is proposing two (2) six (6) storey apartment buildings, fronting on Wonderland Road South. Access to the site will be facilitated through private roads/driveways extending from Street 'C' to the apartments, leading to a parking area situated to the west of the two buildings. Street 'C' is designated as a Neighbourhood Street in the draft approved plan of subdivision for these lands. Additionally, an amenity area is proposed between the two structures.

The site will be going through the Site Plan Application process, at which time details of the site such as solid waste and snow storage, plantings, and other aspects would be finalized.

The proposed development includes the following features:

- Land use: Residential
- Form: Apartments
- Height: 6 Storeys (max 20 metres)
- Residential units: 143 units
- Density: 100 units / hectare
- Parking spaces: 171 (surface parking)
- Landscape open space: 25%

Additional information on the development proposal is provided in Appendix B.

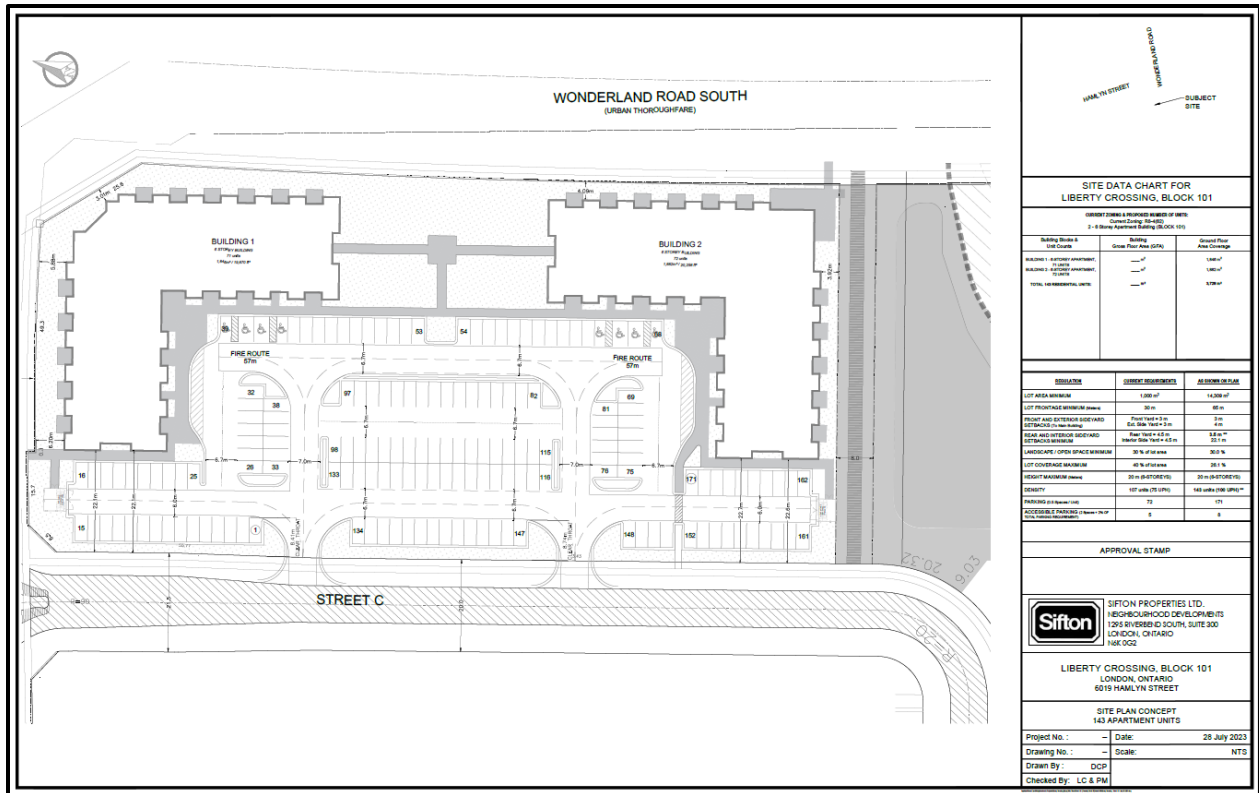


Figure 4 - Conceptual Site Plan



Figure 5 – Massing model, views from different directions

Additional plans and drawings of the development proposal are provided in Appendix C.

## 2.2 Requested Amendment(s)

The applicant has requested an amendment to the Zoning By-law Z.-1 to rezone the property from a Holding Residential R4/R5/R6/R7/R8 Special Provision (h\*h-100\*R4-3(2)\*R5-7(18)\*R6-5(74)\*R7(29) \*D75\*H20\*R8-4(62)) Zone with provisions for a Maximum Density of 75 units per hectare and a Maximum Height of 20 metres to a Holding Residential R4/R5/R6/R7/R8 Special Provision (h\*h-100\*R4-3(2)\*R5-7(18)\*R6-5(74)\*R7(29) \*D100\*H20\*R8-4( )) Zone with special provisions for a minimum interior side and rear yard depth of 3.0 metres, a minimum front and exterior side yard depth to the sight triangle of 0.8 metres, a maximum front and exterior side yard depth to the main building of 7.0 metres, a minimum landscaped open space of 25%, a maximum

density of 100 units per hectare, and a maximum height of 20 metres .

The following table summarizes the special provisions that have been proposed by the applicant and those that are being recommended by staff.

<b>Regulation (R8-4(_))</b>	<b>Proposed</b>
Interior Side & Rear Yard (Minimum):	3.0m
Front and Exterior Side Yard Depth to Sight Triangle (Minimum):	0.8m
Front and Exterior Side Yard Depth (Maximum):	7.0m
Landscaped Open Space (%) Minimum:	25%
Density – Units Per Hectare Maximum	100 UPH

### **2.3 Internal and Agency Comments**

The application and associated materials were circulated for internal comments and public agencies to review. Comments received were considered in the review of this application and are addressed in Section 4.0 of this report. Detailed internal and agency comments are included in Appendix D of this report.

### **2.4 Public Engagement**

On September 19, 2023, a Revised Notice of Application was sent to 13 property owners and residents in the surrounding area. Revised Notice of Application was also published in the *Public Notices and Bidding Opportunities* section of *The Londoner* on September 28, 2023. A “Planning Application” sign was also placed on the site.

There was no response received during the public consultation period.

### **2.5 Policy Context**

#### **The Planning Act and the Provincial Policy Statement, 2020**

The proposal must be consistent with the Provincial Policy Statement (PPS) policies and objectives aimed at:

1. Building Strong Healthy Communities;
2. Wise Use and Management of Resources; and,
3. Protecting Public Health and Safety.

A few of the policy objectives to highlight here are the importance of promoting efficient development and land use patterns, healthy, active communities should be promoted by planning public streets, spaces and facilities to be safe, meet the needs of pedestrians, foster social interaction and facilitate active transportation and community connectivity (Section 1.5.1.(a)).

#### **The London Plan, 2016**

In accordance with The London Plan, the subject lands are classified under the Neighbourhoods Place Type, allowing for various uses, primarily residential and small-scale community facilities. Additionally, community centers, public parks, recreational facilities, and similar community-oriented spaces are welcomed in this category. The proposal adheres to the Provincial Policy Statement and all relevant legislation.

The evaluation criteria encompass:

1. Compliance with Our City, Our Strategy, City Building, and Environmental policies.
2. Adherence to Neighbourhoods Place Type policies.
3. Consideration of applicable guideline documents.
4. Accessibility to municipal services.

5. Assessment of potential impacts on nearby properties, with strategies for management and mitigation.
6. Harmony of the proposal within its existing and planned context.

Staff are of the opinion that all the above criteria have been satisfied.

### **Southwest Area Secondary Plan**

The land is subject to the Medium Density Residential policies of the Wonderland Boulevard Neighbourhood. The Medium Density Residential designation is intended to provide for a higher intensity of medium density residential development than typically occurs in medium density areas. It permits a range of residential uses from triplexes to low-rise apartment buildings and requires development to occur at a minimum density of 30 units per hectare, a maximum of 75 units per hectare and upper maximum of 100 units per hectare, may be permitted. Building heights shall generally not be permitted to exceed six storeys.

### **3.0 Financial Impact/Considerations**

None.

### **4.0 Key Issues and Considerations**

#### **4.1 Land Use**

The proposed residential use aligns with the policies outlined in the Provincial Policy Statement (PPS) and is consistent with the Neighbourhoods Place Type as defined in The London Plan (TLP 921\_). The site is situated on an Urban Thoroughfare (Wonderland Road South) and a Neighbourhood Connector (Hamlyn Street), allowing for a variety of low-rise residential options, including single-detached, semi-detached, duplex, triplex, and fourplex dwellings, townhouses, stacked townhouses, low-rise apartments, and mixed-use buildings (Table 10 – Range of Permitted Uses in Neighbourhoods Place Type).

In alignment with The London Plan, the recommended apartment buildings will enhance the existing housing variety in the area. These two six-story buildings, comprising 143 units, will offer diverse housing choices for current and future residents. Notably, there's no need for new roads since the site is part of the approved draft plan of subdivision. Access to the property will be provided through 'Street C,' one of the new streets outlined in the subdivision draft plan. The site offers convenient access to open spaces, community facilities, and shopping areas, as detailed in Appendix B of this report. Given its location on a major road and its proximity to similar residential developments, the proposed use is considered suitable by staff.

#### **4.2 Intensity**

The proposed level of intensity aligns with the policies of the PPS, encouraging residential intensification (PPS 1.1.3.3 and 1.4.3), efficient land use (PPS 1.1.3.2), and a diverse housing mix (PPS 1.4.3). The heightened development intensity on the site will leverage existing and planned transit services, nearby recreational facilities, local and regional institutions, as well as shopping, entertainment, and service amenities.

The London Plan envisions residential intensification in suitable locations, emphasizing harmony with existing neighborhoods (83\_, 937\_, 939\_ 2. and 5., and 953\_ 1.). The Plan permits intensification in all areas allowing residential use (84\_), following the guidelines outlined in the City Structure Plan and the Residential Intensification policies within the Neighbourhoods Place Type.

The London Plan assesses intensity in the Neighbourhoods Place Type based on building height. It suggests a minimum of 2 storeys and a maximum of 4 storeys, with potential flexibility to reach up to 6 storeys for properties along Neighbourhood Connectors and Urban Thoroughfares (Table 11 – Range of Permitted Heights in the



Neighbourhoods Place Type). The development's intensity should be proportionate to the lot size (953\_3.).

The subject lands are also subject to the Medium Density Residential policies of the Wonderland Boulevard Neighbourhood in Southwest Area Secondary Plan. The Medium Density Residential designation is intended to provide for a higher intensity of medium density residential development than typically occurs in medium density areas.

The subject lands have frontage on Wonderland Road South, an Urban Thoroughfare, indicating its suitability for higher intensity uses. Currently, the site is underutilized, featuring only a single-detached dwelling. The proposed six (6) storey structure aligns with The London Plan and Southwest Area Secondary Plan's guidelines and permissions.

### **4.3 Form**

The proposed built form is street oriented and in conformity with the City Design policies of The London Plan. The front building helps defines the street edge and encourages a street-oriented design with entrances facing the streets. Exact design details will be provided through the Site Plan Approval process.

The parking area is screened from the street, being located behind the two buildings on site, and does not extend beyond the building façade. Similar to building form and design details, parking will be further detailed during the Site Plan Approval process.

## **Conclusion**

The applicant has requested an amendment to the Zoning By-law Z.-1 to rezone the property to increase the residential density from 75 units per hectare to 100 units per hectare, and include a special provision that will facilitate reduced setbacks under the requested Residential R8 (R8-4 ( ) Zone. Staff are recommending approval of the requested Zoning By-law amendment with the additional density and special provisions.

The recommended action is consistent with the PPS 2020, conforms to The London Plan and will permit two, six (6) storey, apartment buildings for a total of 143 units. The recommended zoning amendment represents good planning.

**Prepared by:** Archi Patel  
Planner, Subdivision Planning

**Reviewed by:** Bruce Page  
Manager, Subdivision Planning

**Recommended by:** Heather McNeely, MCIP, RPP  
Director, Planning and Development

**Submitted by:** Scott Mathers, MPA, P.Eng.  
Deputy City Manager, Planning and Economic  
Development

Copy:

Peter Kavcic, Manager, Subdivisions and Development Inspections

Michael Pease, Manager, Site Plans

Ismail Abushehada, Manager, Subdivision Engineering

Brent Lambert, Manager, Development Engineering

## Appendix A – Zoning By-law Amendment

Bill No. (number to be inserted by Clerk's Office)  
2023

By-law No. Z.-1-

A by-law to amend By-law No. Z.-1 to  
rezone an area of land located at 6019  
Hamlyn Street

WHEREAS this rezoning conforms to the Official Plan;

THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

1. Schedule "A" to By-law No. Z.-1 is amended by changing the zoning applicable to lands located at 6019 Hamlyn Street, as shown on the attached map comprising part of Key Map No. A114 **FROM** a Holding Residential R4/R5/R6/R7/R8 Special Provision (h\*h-100\*R4-3(2)\*R5-7(18)\*R6-5(74)\*R7(29) \*D75\*H20\*R8-4(62)) Zone with provisions for a Maximum Density of 75 units per hectare and a Maximum Height of 20 metres **TO** a Holding Residential R4/R5/R6/R7/R8 Special Provision (h\*h-100\*R4-3(2)\*R5-7(18)\*R6-5(74)\*R7(29) \*D100\*H20\*R8-4(\_)) Zone with provision of a maximum density of 100 units per hectare and a maximum height of 20 metres. Section Number 9.4 of the R8 Zone is amended by adding the following Special Provisions:

R8-4(\_) 6019 Hamlyn Street

a) regulations

- |  |            |
|--|------------|
| i) Interior Side & Rear Yard:  | 3.0 metres |
| ii) Front and Exterior Side Yard Depth to<br>Sight Triangle (Minimum): | 0.8 metres |
| iii) Front and Exterior Side Yard<br>Depth (Maximum):                  | 7.0 metres |
| iv) Landscaped Open Space (%) Minimum:                                 | 25%        |
| v) Density – Units Per Hectare Maximum:                                | 100 UPH    |

The inclusion in this By-law of imperial measure along with metric measure is for the purpose of convenience only and the metric measure governs in case of any discrepancy between the two measures.

This By-law shall come into force and be deemed to come into force in accordance with Section 34 of the *Planning Act, R.S.O. 1990, c. P13*, either upon the date of the passage of this by-law or as otherwise provided by the said section.

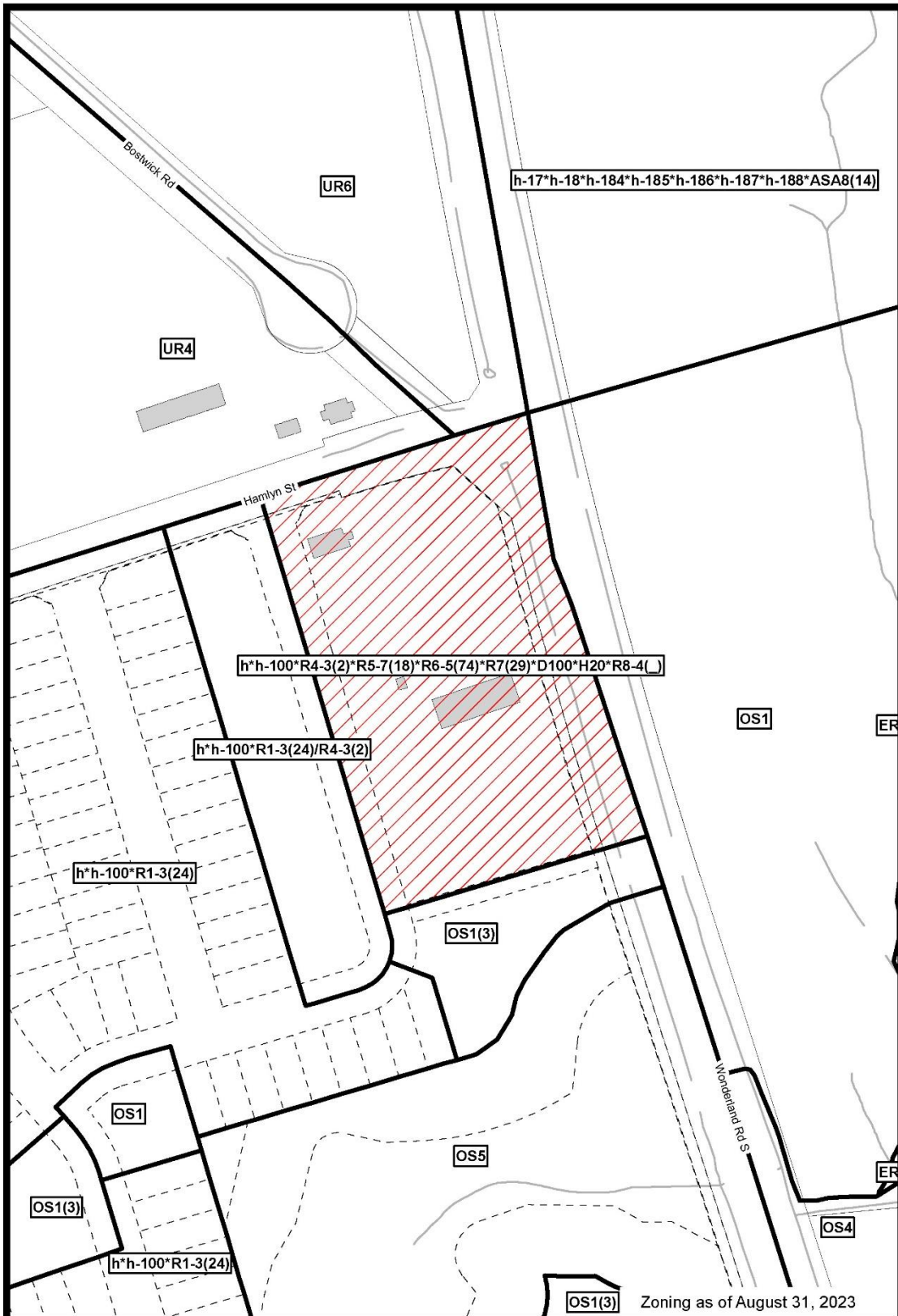
PASSED in Open Council on November 28, 2023 subject to the provisions of PART VI.1 of the *Municipal Act, 2001*.


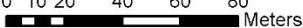

Josh Morgan  
Mayor

Michael Schulthess  
City Clerk

First Reading – November 28, 2023  
Second Reading – November 28, 2023  
Third Reading – November 28, 2023

AMENDMENT TO SCHEDULE "A" (BY-LAW NO. Z.-1)



<p>File Number: Z-9654                  Planner: AP                  Date Prepared: 2023/10/10                  Technician: RC                  By-Law No: Z.-1-</p>	<p>SUBJECT SITE </p> <p>1:2,000</p> <p>0 10 20 40 60 80 Meters </p> <p></p>
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## Appendix B - Site and Development Summary

### A. Site Information and Context

#### Site Statistics

Current Land Use	Agriculture
Frontage	65 m (Hamlyn Street)
Area	1.43 ha.
Shape	Regular (rectangle)
Within Built Area Boundary	Yes
Within Primary Transit Area	Yes

#### Surrounding Land Uses

North	Shopping Area
East	Neighbourhoods and Green Space
South	Neighbourhoods and Environmental Review
West	Neighbourhoods and Environmental Review

### B. Planning Information and Request

#### Current Planning Information

Current Place Type	Neighbourhoods Place Type on an intersection of Urban Thoroughfare and Neighbourhood Connector
Current Zoning	Holding Residential R4/R5/R6/R7/R8 Special Provision (h*h-100*R4-3(2)*R5-7(18)*R6-5(74)*R7(29) *D75*H20*R8-4(62)) Zone with provisions for a maximum density of 75 units per hectare and a maximum height of 20 metres

#### Requested Designation and Zone

Requested Place Type	No change requested
Requested Zoning	Holding Residential R4/R5/R6/R7/R8 Special Provision (h*h-100*R4-3(2)*R5-7(18)*R6-5(74)*R7(29) *D100*H20*R8-4(_)) Zone with provisions for a maximum density of 100 units per hectare and a maximum height of 20 metres

#### Requested Special Provisions

Regulation (R8-4(_))	Proposed
Interior Side & Rear Yard (Minimum):	3.0m
Front and Exterior Side Yard Depth to Sight Triangle (Minimum):	0.8m
Front and Exterior Side Yard Depth (Maximum):	7.0m
Landscaped Open Space (%) Minimum:	25%
Density – Units Per Hectare Maximum	100 UPH

### C. Development Proposal Summary

#### Development Overview

The development consists of two (2) apartment buildings. The buildings are proposed to be six (6) storeys in height and contain parking to be west of two buildings.

## Proposal Statistics

Land use	Residential
Form	Apartment buildings
Height	6 Storeys (max 20 metres)
Residential units	143
Density	100 units per hectare
Landscape open space	25%
New use being added to the local community	No

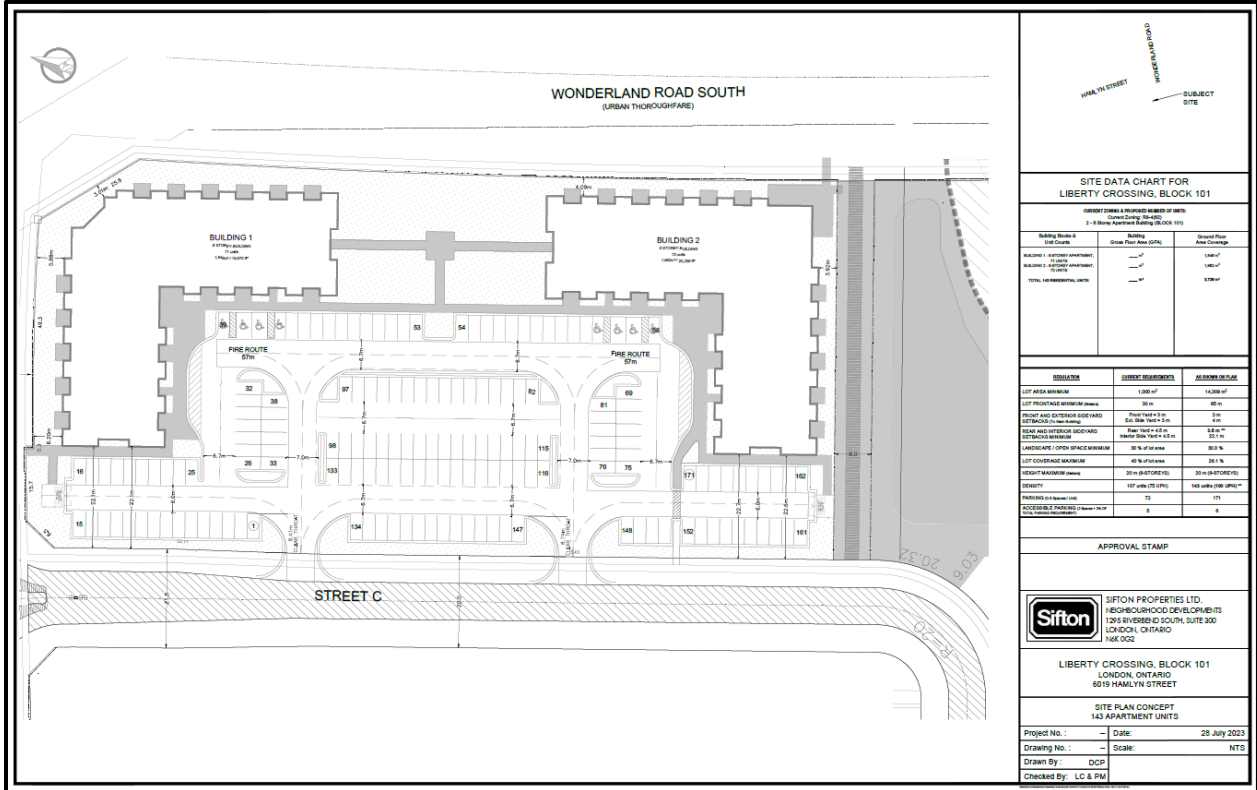
## Mobility

Parking spaces	171 surface
Vehicle parking ratio	0.5 spaces per unit
New electric vehicles charging stations	Unknown
Secured bike parking spaces	0
Secured bike parking ratio	N/A
Completes gaps in the public sidewalk	Yes
Connection from the site to a public sidewalk	Yes
Connection from the site to a multi-use path	Yes

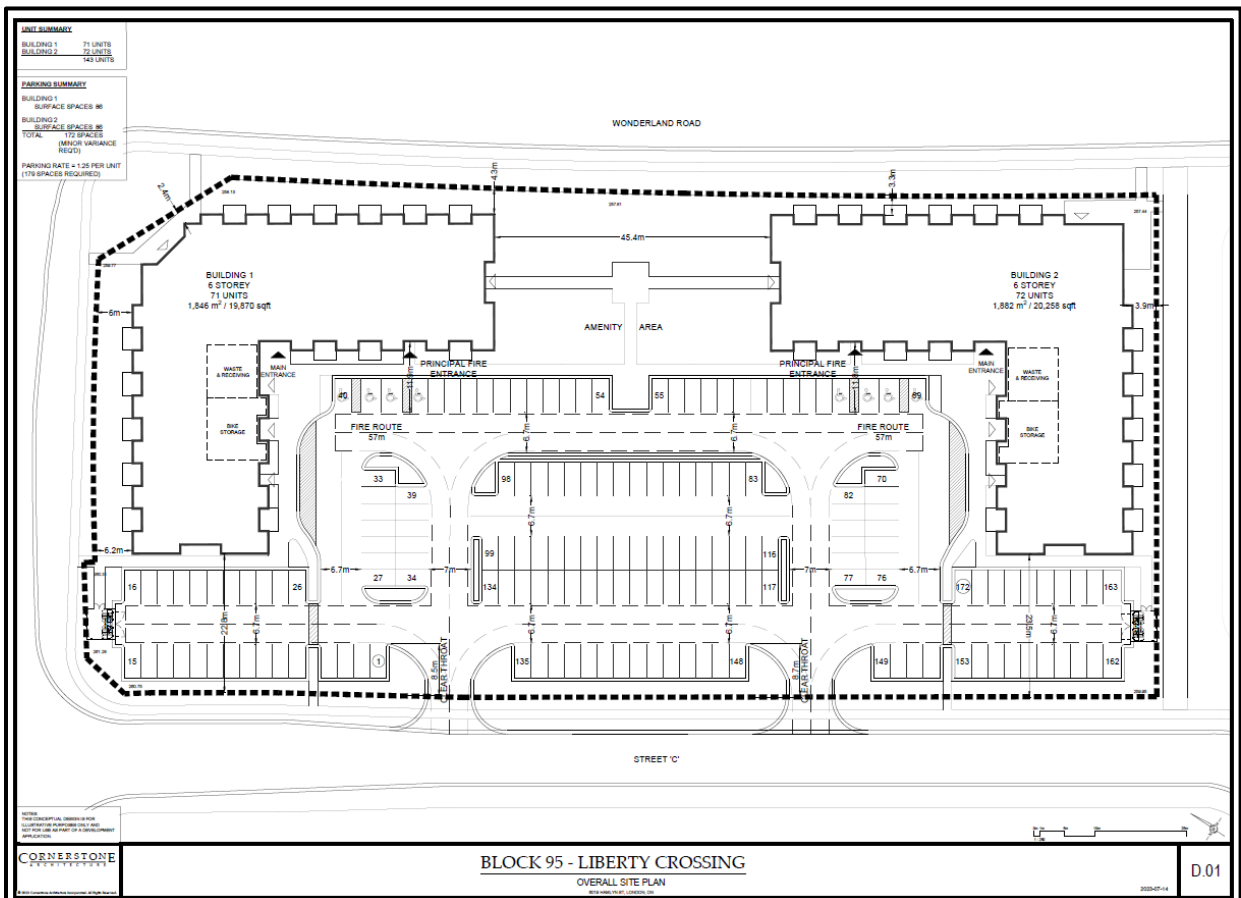
## Environmental Impact

Tree removals	N/A
Tree plantings	N/A (to be determined at Site Plan)
Tree Protection Area	N/A
Loss of natural heritage features	N/A
Species at Risk Habitat loss	N/A
Minimum Environmental Management Guideline buffer met	N/A
Existing structures repurposed or reused	N/A
Green building features	Unknown

# Appendix C – Additional Plans and Drawings



Site Concept Plan



Floor Plan



1 VIEW OF BLOCK 6 FROM NE



2 VIEW OF BLOCK 6 FROM NW

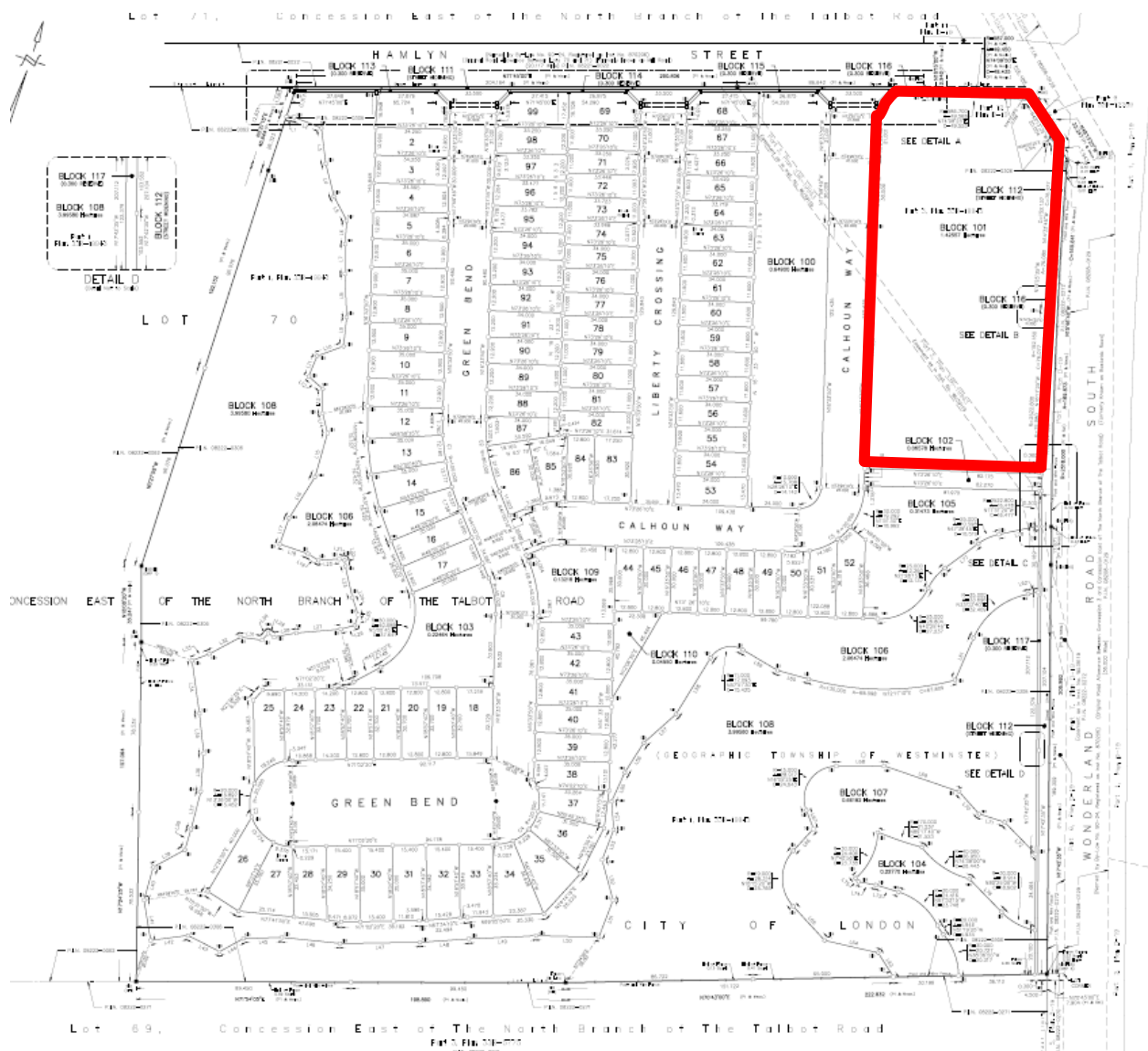


3 VIEW OF BLOCK 6 FROM SW



4 VIEW OF BLOCK 6 FROM SE

Massing model looking from different Directions.



Draft approved plan of subdivision



## Appendix D – Internal and Agency Comments

### Urban Design:

Urban Design is generally supportive of the proposed Urban Design is generally supportive of the proposed development and has the following comments:

### Matters for Zoning

1. A minimum front yard and exterior side yard setback (north and east) should encourage street-orientation while avoiding encroachment of footings and canopies and consider the incorporation of patio or forecourt space that spills out into the setback to further activate the space and provide an amenity for the residents. The London Plan [TLP 259, 286, 288]
2. A maximum front and exterior side yard setback (north and east) should discourage window streets, restrict parking between the buildings and the public streets yet ensure a sense of enclosure to the street. [TLP 269, 272, 288]
3. A minimum setback to the west should allow a landscape buffer to screen the surface parking visible from Street C
4. A minimum setback to the south should consider the incorporation of patio or forecourt space that spills out into the setback to provide an amenity for the residents and further activate the public realm along the walkway
5. The following site and building features are supported and should be carried forward through zoning:
  - Façade treatment and high-level of transparent glazing to address the north-east and south-east corner at the intersection of Wonderland Road South with Hamlyn Street and the public walkway
  - A step-back above the 4<sup>th</sup> storey

### Matters for Site Plan

1. The following site plan and building design features are supported and should be carried forward:
  - Street orientated development with windows, balconies and porches extending into the setback to create a pedestrian-oriented streetscape along Wonderland Road South, Hamlyn Street and the public walkway to the south to facilitate active uses at grade for promoting accessibility, wayfinding and passive surveillance along the public realm. [TLP 291, 228]
  - Providing active ground-floor uses such as the principal building entrance, lobbies, common amenity areas, and street oriented residential units facing Wonderland Road South, Hamlyn Street and the public walkway in order to activate the street edge
2. If underground parking is no longer being considered, Urban Design would encourage reducing the amount of surface parking to the minimum required and breaking the large lot into smaller areas to reduce the amount of hard surface and limit visibility from the public streets
  - All surface parking shall be screened from the Hamlyn Street, Street C and the public walkway by enhanced all-season landscaping. Southwest Area Secondary Plan [SWASP 20.5.3.9 iii g]
3. Ensure that the building facades facing the outdoor amenity space have the same level of windows and transparent glazing as the front elevation to offer passive surveillance. [TLP 228]
4. If direct walkway connection from individual ground floor unit is not feasible, consider extending the walkway through the outdoor amenity space to provide a centralised shared connection with Wonderland Road South
4. Provide a full set of dimensioned elevations for all sides of the proposed buildings. Further urban design comments may follow upon receipt of the elevations.

## **Site Plan**

### **Major Issues**

1. This proposed development should further complement its surroundings and the neighbourhood character. The current design visually emphasizes the first four stories in contrast with the neighbouring lower residential buildings (both existing and proposed). Instead, further articulation of the first two to three stories instead of the upper floors would improve the silhouette (e.g., increased step back, softened contours, less delineation between upper stories, dormer roof).

### **Matters for ZBA**

1. Site Plan Consultation would be required prior to making a Zoning By-law Amendment application.

### **Matters for Site Plan**

1. Screen/buffer all exposed parking visible from the street with low landscaping, planting, or low masonry landscape walls (C.P.-1455-541 2.6.3.d.iii). Please illustrate each tree, whether existing or proposed, on the site plan as well as within 3 metres of property lines. Indicate which, if any, trees will be removed. Provide tree protection notes and details for trees to be preserved. For landscape strips along a public street, add at least one tree per every 12 metres, or every 15 metres otherwise (C.P.-1455-541 Table 9.4).
2. Visitor parking is required at a rate of one (1) space for every ten (10) dwelling units (C.P.-1455-541 6.2.a.ii). Ensure visitor parking spaces are a minimum of 3 metres from dwellings containing windows to habitable rooms. Include parking curb stops between parking spaces and erect structures (e.g. building, light pole, etc.).
3. Include bicycle parking spaces (Z.-1 4.19.14). Ensure the bicycle parking is within 15 metres of the building entrance (C.P.-1455-541 Table 14.1). Clarify which bicycle parking spaces are long-term and which are short-term (Z.-1 4.19.14.c; Z.-1 4.19.15).
4. Make all walkways at least 1.5 metres or 2.1 metres if abutting parking spaces, with at least a 1-metre setback from parking area(s) (C.P.-1455-541 Table 7.1). Pedestrian pathways should be graded to alleviate verticality and where applicable, prioritize ramps over staircases or steps (C.P.-1455-541 7.2). Ensure pedestrian circulation and access refinements are done with the Accessibility Review Checklist.
5. Clarify how snow storage is stored and accommodated on-site (C.P.-1455-541 1.5.p). Snow storage should be located to not impede the pedestrian pathway nor parking (C.P.-1455-541 1.5.p).
6. Identify the location of fire route signage and provide a standard detail on the site plan. For the design of the fire route, refer to Tables 6.2 and 6.3 of the Site Plan Control By-law. Show turning movements of emergency vehicles (C.P.-1455-541 6.7). Identify the correct fire route sign (FR1, FR2 or FR3) (C.P.-1455-541 Figure 6.4).

### **Complete Application Requirements**

1. Record of Site Plan Consultation.

## **Engineering**

### **Wastewater:**

The following items are to be considered during a future site plan application stage:

- SED requests the maximum population including bedroom unit count and peak flow of the proposed development. The applicant's engineer is to provide a sanitary servicing capacity analysis and brief demonstrating adequate capacity up to the 200mm diameter at 0.50%.
- Additional comments will be forthcoming from SED and may not be supportive of this increase in density as it wasn't contemplated and could have negative

impacts on the downstream sewer depending on the maximum intended population.

- SED requires updated area plans and design sheets when blocks develop over/under the allocated amount as this is the only form of tracking that SED can maintain to ensure adequate conveyance. Blocks A-13/A-14/A-15 on the accepted subdivision servicing drawings are required to have updated populations and design sheets and need to supersede the outdated populations.

### **Water:**

Water is available via the future watermain on Street C within Liberty Crossing Subdivision.

### **Stormwater:**

#### Comments Specific to the Site

- The site is within the Dingman Creek Screening Area of UTRCA and therefore the applicant is to engage as early as possible with UTRCA to confirm any requirements/approvals for this site.
- The subject lands appear to be within a proposed draft plan of subdivision 39T-18504. Services including Storm ,Water and sanitary, road access etc. will need to be provided and constructed as part of the future subdivision. The plan of subdivision shall be registered, MECP ECA', security provided, agreement in place, services constructed, inspected and cleared prior to building permits and any site plan approvals.
- The proposed development is within the Hamlyn Subdivision (39T-1804) which is currently under City review. Therefore, servicing for the proposed is contingent, and should be coordinated through the engineering design of the proposed subdivision, including items as listed below. The Applicant should coordinate with the subdivision engineer for servicing constraints of the proposed site.
- The consulting engineer shall ensure all necessary SWM servicing and drainage requirements/controls are adhered to.
- A Stormwater Servicing Report and SWM design shall be provided as part of the complete application and will address design details of the proposed SWM strategy, objectives, and targets.
- Based on the Dingman Subwatershed study, the runoff control hierarchy for the 25mm event is to be achieved for sites within the Subwatershed. The consulting engineer is to ensure that any proposed option of LID solutions are to be in compliance with the LID Screening Tools Section 6.5.2.2 Stormwater Management of the Design Specifications & Requirements Manual.
- As per 9.4.1 of The Design Specifications & Requirements Manual (DSRM), all multi-family, commercial and institutional block drainage is to be self-contained. The owner is required to provide a lot grading plan for stormwater flows and major overland flows on site and ensure that stormwater flows are self-contained on site, up to the 100 year event and safely convey the 250 year storm event
- Consulting is to demonstrate on how the proposed development will meet City of London water quality and quantity SWM design criteria (as per Stormwater Management Design Specifications and Requirements Manual) and the Dingman Creek Subwatershed EA. The SWM report shall include SWM design target requirements for each block in accordance with the Dingman EA and Stormwater Management Design Specifications and Requirements Manual.

- Additional SWM related comments will be provided upon future review of this site.

#### General comments for sites within Dingman Creek Subwatershed

- The subject lands are located in the Dingman Subwatershed. The Owner shall provide a Storm/Drainage Servicing Report demonstrating compliance with the SWM criteria and environmental targets identified in the Dingman Subwatershed Study that may include but not be limited to, quantity/quality control (80% TSS), erosion, stream morphology, etc.
- The Owner agrees to promote the implementation of SWM Best Management Practices (BMP's) within the plan, including Low Impact Development (LID) where possible, to the satisfaction of the City Engineer.
- The owner is required to provide a lot grading plan for stormwater flows and major overland flows on site and ensure that stormwater flows are self-contained on site, up to the 100 year event and safely conveys up to the 250 year storm event, all to be designed by a Professional Engineer for review.
- The Owner shall allow for conveyance of overland flows from external drainage areas that naturally drain by topography through the subject lands.
- Stormwater run-off from the subject lands shall not cause any adverse effects to adjacent or downstream lands.
- An erosion/sediment control plan that will identify all erosion and sediment control measures for the subject site shall be prepared to the specification and satisfaction of the City Engineer and shall be in accordance with City of London and MECP (formerly MOECC) standards and requirements. This plan is to include measures to be used during all phases of construction. These measures shall be identified in the Storm/Drainage Servicing Report.

#### **Transportation:**

- Detailed comments regarding access design and location will be made through the site plan process.
- An updated Traffic Impact Assessment was requested at site plan level.

#### **Parks**

- Parkland dedication for this development was satisfied through the Subdivision process.

#### **Heritage**

- The archaeological assessment was previously submitted and approved. Archaeological matters on this property have been addressed.

#### **Ecology**

##### **Major issues identified**

- Natural Heritage Features on, or adjacent to the site have been identified on Map 5 of the London Plan or based on current aerial photo interpretation, including, but not limited to, Potential ESA's, Unevaluated Wetlands, and Unevaluated Vegetation Patches.

#### **Ecology – complete application requirements**

- None associated with this application, ecological requirements and buffer delineations addressed through subdivision process.

#### **Notes**

- None.

#### **London Hydro:**

Servicing the above proposal should present no foreseeable problems. Any new and/or relocation of existing infrastructure will be at the applicant's expense, maintaining safe clearances from L.H. infrastructure is mandatory. Note: Transformation lead times are minimum 16 weeks. Contact the Engineering Dept. to confirm requirements & availability.

#### **Enbridge:**

It is Enbridge Gas Inc.'s request that as a condition of final approval that the owner/developer provide to Enbridge the necessary easements and/or agreements required by Enbridge for the provision of gas services for this project, in a form satisfactory to Enbridge.

## **Appendix E – Public Engagement**

**There is no response received during the public consultation period.**