

## Report to Planning and Environment Committee

**To:** Chair and Members  
Planning and Environment Committee

**From:** Scott Mathers, MPA, P. Eng.  
Deputy City Manager, Planning and Economic Development

**Subject:** Heritage Alteration Permit application by W. Etheridge for 134  
Wortley Road, Wortley Village-Old South Heritage  
Conservation District, Ward 11

**Date:** August 14, 2023

## Recommendation

That, on the recommendation of the Director, Planning and Development, the application under Section 42, *Ontario Heritage Act*, seeking to recognize the demolition of the former building and approval for a proposed new building on the heritage designated property at 134 Wortley Road, within the Wortley Village Old South Heritage Conservation District, **BE PERMITTED** subject to the following terms and conditions:

- a) Prior to the submission of the Building Permit application, the following details be provided to the Heritage Planner for approval:
  - a. Storefront panelling details;
  - b. Storefront windows, including transom with simulated divided lights;
  - c. Upper windows, including simulated divided lights;
- b) The exterior of the building, including its detailing, have a painted finish;
- c) Consideration be given to using permeable pavers for the parking areas;
- d) The Heritage Planner be circulated on the Building Permit application to verify compliance with this Heritage Alteration Permit prior to issuance of the Building Permit; and,
- e) The Heritage Alteration Permit be displayed in a location visible from the street until the work is completed.

## Executive Summary

The subject property at 134 Wortley Road, in the Wortley Village-Old South Heritage Conservation District, was the home of the Black Walnut Bakery, which was catastrophically damaged by a fire on April 15-16, 2023, and demolished by the London Fire Department on April 17, 2023. As the property is designated under Part V, *Ontario Heritage Act*, Heritage Alteration Permit approval is required for a new building on the property. The intent of the Heritage Alteration Permit is not to require the replication of the old building, but to ensure that the new building respects and supports the heritage character of the Wortley Village-Old South Heritage Conservation District. This Heritage Alteration Permit should be approved with terms and conditions.

## Linkage to the Corporate Strategic Plan

This recommendation supports the following 2023-2027 Strategic Plan area of focus “Wellbeing and Safety”:

- London has safe, vibrant, and health neighbourhoods and communities.
  - Londoners have a strong sense of belonging and sense of place.
    - Create cultural opportunities that reflects arts, heritage, and diversity of community.

# Analysis

## 1.0 Background Information

### 1.1 Location

The subject property at 134 Wortley Road is located on the northeast corner of Wortley Road and Craig Street (Appendix A).

### 1.2 Cultural Heritage Status

The subject property at 134 Wortley Road is located within the Wortley Village-Old South Heritage Conservation District, which was designated pursuant to Part V, *Ontario Heritage Act*, by By-law No. L.S.P.-3439-321 on June 1, 2015.

The subject property at 134 Wortley Road was B-rated by the *Wortley Village-Old South Heritage Conservation District Plan*. That rating, however, was tied to the former building on the property which was catastrophically destroyed by fire on April 15-16, 2023.

### 1.3 Description

The subject property at 134 Wortley Road is a corner parcel with frontages along Wortley Road of approx. 14.5m (47.6ft) and Craig Street of approx. 25.5m (83.7ft), and an overall lot area of 443m<sup>2</sup> (4,768.4ft<sup>2</sup>). The subject property is currently vacant, the result of a fire on April 15-16, 2023, which resulted in the demolition of the building on the property (known as the Black Walnut Bakery Café). The Black Walnut Bakery Café had been at this location for the past 12 years.

The former building was originally built circa 1878 as a general store for David Logan and exhibits influences of the Italianate architectural style. The building was described in the *Wortley Village-Old South Heritage Conservation District Study (2011)* as a “purpose-built commercial building of the period” and was specifically not a re-purposed residence. Throughout its 145-year life, the building had been used for commercial purposes.

The surrounding area is defined by a commercial intersection and many of the buildings reflect the successful adaptive reuse of heritage buildings from residential to commercial uses. The buildings on properties on Askin Street, Craig Street, and Wortley Road are primarily brick (with some frame), and include a mix of one, one-and-a-half, and two-storey buildings dating mainly from 1880-1920. A majority are B and C-rated properties that represent and contribute to the heritage character of the Wortley Village-Old South Heritage Conservation District.

## 2.0 Discussion and Considerations

### 2.1 Legislative and Policy Framework

Cultural heritage resources are to be conserved and impacts assessed as per the fundamental policies in the *Provincial Policy Statement (2020)*, the *Ontario Heritage Act*, and *The London Plan*.

### 2.2 Provincial Policy Statement

Heritage Conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (2020)* promotes the wise use and management of cultural heritage resources and directs that “significant built heritage resources and significant cultural heritage landscapes shall be conserved” (Policy 2.6.1, *Provincial Policy Statement 2020*).

“Significant” is defined in the *Provincial Policy Statement (2020)* as, “resources that have been determined to have cultural heritage value or interest.” Further, “processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*.”

Additionally, “conserved” means, “the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained.”

### **2.3 Ontario Heritage Act**

The *Ontario Heritage Act* enables municipalities to protect properties of cultural heritage value or interest. Properties of cultural heritage value can be protected individually, pursuant to Section 29 of the *Ontario Heritage Act*, or where groups of properties have cultural heritage value together, pursuant to Section 41 of the *Ontario Heritage Act* as a Heritage Conservation District (HCD). Designations pursuant to the *Ontario Heritage Act* are based on real property, not just buildings.

#### **2.3.1 Heritage Alteration Permit**

Section 42 of the *Ontario Heritage Act* requires that a property owner not alter, or permit the alteration of, the property without obtaining Heritage Alteration Permit approval. The *Ontario Heritage Act* enables Municipal Council to give the applicant of a Heritage Alteration Permit:

- a) The permit applied for;
- b) Notice that the council is refusing the application for the permit; or,
- c) The permit applied for, with terms and conditions attached. (Section 42(4), *Ontario Heritage Act*)

Municipal Council must make a decision on the heritage alteration permit application within 90 days, or the request is deemed permitted (Section 42(4), *Ontario Heritage Act*).

### **2.4 The London Plan**

The policies of *The London Plan* found in the Key Directions and Cultural Heritage chapter support the conservation of London’s cultural heritage resources for future generations. To ensure the conservation of significant cultural heritage resources, including properties located within a Heritage Conservation District, the policies of *The London Plan* provide the following direction:

*Policy 594\_ Within heritage conservation districts established in conformity with this chapter, the following policies shall apply:*

- 1. The character of the district shall be maintained by encouraging the retention of existing structures and landscapes that contribute to the character of the district.*
- 2. The design of new development, either as infilling, redevelopment, or as additions to existing buildings, should complement the prevailing character of the area.*
- 3. Regard shall be had at all times to the guidelines and intent of the heritage conservation district plan.*

*Policy 596\_ A property owner may apply to alter a property within a heritage conservation district. The City may, pursuant to the Ontario Heritage Act, issue a permit to alter the structure. In consultation with the London Advisory Committee on Heritage, the City may delegate approvals for such permits to an authority.*

### **2.5 Wortley Village-Old South Heritage Conservation District Plan and Guidelines**

The *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* includes policies and guidelines related to the construction of new buildings within the HCD. Sections 4.1.2 and 4.4 identify policies for the Wortley Village Commercial Area and infill parcels that can specifically support new development. The policies are intended to ensure the conservation of the heritage character of the Wortley Village-Old South Heritage Conservation District. Section 5.11.2 provides site specific policies for the Wortley Village Commercial Area. In addition, Section 8.3.4 includes design guidelines related to the design of new buildings within the district. Finally, Sections 10.4.3, 10.4.4 and 10.4.5 provide guidelines for plazas and cafes, vehicular parking, and signage within the Wortley Village Commercial Area.

An analysis of the policies and guidelines for the Heritage Alteration Permit application is contained in subsequent Section 4.2 of this report.

### **3.0 Financial Impact/Considerations**

None.

### **4.0 Key Issues and Considerations**

#### **4.1 Former Building**

The former building at 134 Wortley Road was B-rated by the *Wortley Village-Old South Heritage Conservation District Plan*. There was a fire in the building on April 15-16, 2023, resulting in catastrophic damage. Through the efforts to extinguish the fire, the building was deemed by the London Fire Department to be unsound due to the fire's damage and the building was demolished on April 17, 2023. No one was hurt in the fire. No adjacent properties were damaged during the fire.

#### **4.1 Heritage Alteration Permit Application**

Since the fire, staff have been working with the property owner in anticipation of this Heritage Alteration Permit application.

A complete Heritage Alteration Permit application was received by the City on July 27, 2023. The application is seeking approval for the construction of a new building on the heritage designated property at 134 Wortley Road, as shown in Appendix C. The Heritage Alteration Permit application seeks approval for:

- Two-storey building, approximately 7.3m (24') to peak of roof (19 ½ ft; 5.94m in height from grade to second-storey fascia);
- An irregular building footprint, aligned with the property line along Wortley Road and Craig Street, with setbacks established from the north and east property lines to serve vehicular parking;
- Primary entrance to commercial level from a recessed doorway at the Wortley Road/Craig Street chamfered corner of the building;
- Primary elevations along Wortley Road (west elevation) and Craig Street (south elevation), containing storefront comprised of continuous window treatment, with transoms, interlaced with panelled composite panels (details to be confirmed);
- Retractable fabric awning located above both the Wortley Road and Craig Street storefronts;
- Prefinished decorative cornice with permanent lighting located above both the Wortley Road and Craig Street storefronts – extending the full length of both elevations;
- North elevation to include rear access doors at grade and a sliding door on the second level located in an inset balcony (with guardrail) serving the residential function of the building;
- Building clad with fibre cement horizontal siding with pre-finished decorative board trim at corners (full building height) and under fascia (frieze);
- Hip roof with asphalt shingles;
- Continuous, pre-finished aluminum vented soffit;
- Capped fascia board; and,
- Single or double hung windows, with a two-over-two fenestration pattern, with pre-finished decorative trim.

Per Section 42(4), *Ontario Heritage Act*, a decision to approve, approve with terms and conditions, or refuse this Heritage Alteration Permit application must be made before October 25, 2023.

#### **4.2 Analysis**

The analysis of the proposed new building is based on a review of the policies and guidelines of the Wortley Village-Old South Heritage Conservation District Plan and Guidelines is included below in Tables 1-7.

Table 1: Analysis of the Wortley Village Commercial Area Development Pattern policies of Section 4.1.2, Wortley Village-Old South Heritage Conservation District Plan.

<b>Policy</b>	<b>Analysis</b>
a) Maintain a diverse mix of uses and building styles.	The proposed building at 134 Wortley Road maintains a diverse mix of uses (“artisan workshop” and residential) and building style within the Wortley Village Commercial Area through its respectful interpretation of the former building.
b) Maintain the staggered setbacks, building heights and scale to achieve an eclectic and interesting streetscape.	The setbacks of the former building are generally maintained by the proposed building and follows the alignment of Wortley Road. The proposed building is also two-storeys in height, which is consistent with the former building. The proposed building will have an enhanced presence on the streetscape through an increased proportion of glazing.
c) Maintain sufficient parking opportunities.	Parking should be minimized to maintain the important contributions of the proposed building to the streetscape.
d) Prohibit off-street parking in front of buildings (within front yards) along Wortley Road.	No front yard parking is contemplated in relation to the proposed building. Parking has been appropriately located to the side and rear of the proposed building.
e) Main building entrances shall be oriented to the sidewalk.	The main building entrance is prominently located at the chamfered corner of the building at Craig Street/Wortley Road.
f) The use of transparent glass at the street façade is encouraged. Forty to fifty percent (40-50) of street level façade should be glazing or entrances. Tinted glass, “lifestyle” panels and graphic details are discouraged.	A high proportion of the ground storey façades along Craig Street and Wortley Road feature transparent glazing. This will add to the building’s presence and contributions to the streetscape.

Table 2: Analysis of the New Development policies of Section 4.4, Wortley Village-Old South Heritage Conservation District Plan

<b>Policy</b>	<b>Analysis</b>
a) New buildings shall respect and be compatible with the cultural heritage value or interest of the Wortley Village-Old South HCD, through attention to height, built form, massing setbacks, building material and other architectural elements such as doors, windows, roof lines and established cornice lines.	<p>The proposed building is two-storeys in height, which is compatible.</p> <p>The proposed building’s form, massing, and setback is compatible as it is closely set to the street and addresses its frontages along Craig Street and Wortley Road.</p> <p>Fibre cement board is proposed for the building’s primary exterior cladding materials, including trim. A composite material is proposed for the panelling around the ground storey; further details are required on this detail. Provided the exterior has a painted finish, the proposed cladding materials are compatible with the heritage character of the Wortley Village-Old South HCD.</p> <p>Large, transparent glass windows are proposed for the ground storey. These windows feature a transom. Simulated divided lights (exterior grilles on the windows) are required to effectively implement the design intent of the proposed transom.</p>

Policy	Analysis
	<p>The exterior doors visible from Wortley Road/Craig Street will match the ground storey windows and be primarily transparent glass.</p> <p>On the upper storey, two-over-two vinyl windows are proposed. Based on documentation, some of the windows of the former building also featured a two-over-two fenestration. To achieve this design intent, simulated divided lights are required. Undivided windows (no grilles) could also be considered.</p> <p>The hipped roof of the proposed building is a compatible form in the Wortley Village-Old South Heritage Conservation District. The roof will be clad in asphalt shingles, with aluminum soffit and fascia.</p> <p>The proposed building has a cornice or stringcourse between the ground storey and upper storey. The cornice will provide an effective transition between the commercial unit (artisan workshop) and residential upper storey of the proposed building. The cornice will provide an architecturally appropriate location for the retractable awning, as well as a creative space to introduce permanent exterior decorative lighting.</p>
<p>b) The Architectural Design guidelines provided in Section 8 of this Plan will be used to review and evaluate proposals for new buildings to ensure that new development is compatible with the HCD.</p>	<p>See Table 4.</p>
<p>c) The purpose of the HCD is to both respect the age and quality of design of the heritage properties and cultural heritage resources in the HCD. The City may consider exceptional examples of good current architectural design for integration into the cultural heritage fabric of the HCD if the proposed design exhibits sensitivity to the massing and scale of adjacent or nearby heritage properties and texture of the streetscape.</p>	<p>The former building was catastrophically destroyed.</p> <p>The proposed new building doesn't replicate the former building but reflects its spirit and makes appropriate contributions to the heritage character of the Wortley Village-Old South HCD. The proposed building is sensitive in its massing and scale to adjacent heritage properties.</p>
<p>d) Where a new building replaced a demolished heritage property, the new building will respect or recapture the mass and building presence of the original building and should avoid having a</p>	<p>The proposed new building is reminiscent of the massing and presence of the former building.</p>

Policy	Analysis
<p>contemporary purpose-built appearance determined only by the new use. The demolition of any building within the HCD shall require a Heritage Alteration Permit.</p>	
<p>e) Evaluation of new buildings adjacent to the Wortley Village-Old South HCD will be required to demonstrate that the heritage attributes of the HCD will be conserved, in accordance with the Provincial Policy Statement [2020] A Heritage Impact Assessment may be required.</p>	<p>Not applicable.</p>
<p>f) A Heritage Impact Assessment, in accordance with the policies of the City of London, will be required for any development proposals within and adjacent to the HCD.</p>	<p>Not applicable.</p>
<p>g) Where zoning permits taller and/or higher density buildings (i.e., in the Wortley Village Commercial Area), studies on shadowing, potential loss of view, increased traffic, noise and parking congestion should be conducted and measures taken to mitigate significant potential impacts.</p>	<p>The proposed new building is anticipated to have a similar level of impact as the former building, thereby not warranting these studies or additional mitigation.</p>
<p>h) To encourage the retention and conservation of existing heritage properties that contribute to the cultural heritage value or interest of the Wortley Village-Old South HCD, the City may consider bonusing where an application for a zoning by-law amendment is required, in accordance with the policies of the Official Plan.</p>	<p>Not applicable.</p>

Table 3: Analysis of the Site-Specific Development policies for the Wortley Village Commercial Area in Section 5.11.2, Wortley Village-Old South Heritage Conservation District Plan

<b>Policy</b>	<b>Analysis</b>
a) Where there are development or redevelopment proposals, the building setback and height should be determined based on a range or the average building setback immediately adjacent to the development/redevelopment parcel. In instances where there is a corner lot, the building setback should be determined based on a range or average building setback of the opposite corner lot.	The setback and height of the proposed building is generally consistent with the setback and height of the former building, and is appropriate for its corner location.
b) Site plan review shall be required to consider the HCD Plan and Guidelines for any development within the Wortley Village Commercial Area.	Recognizing the catastrophic events and the limited change proposed in respect to the usability of the property, staff have determined that the proposed new building at 134 Wortley Road will not require Site Plan Approval.
c) City of London staff should undertake a review of the parking standards and utilization within the Wortley Village Commercial Area to determine if a reduced parking requirement could be implemented.	A Parking Standard Exemption Zone has been established for properties fronting Wortley Road between Askin Street/Craig Street and Elmwood Avenue East. The subject property is outside of the Parking Standard Exemption Zone.

Table 4: Analysis of guidelines for New Commercial Buildings in Section 8.3.4, Wortley Village-Old South Heritage Conservation District Plan

<b>Guideline</b>	<b>Analysis</b>
Where properties are being converted to office or commercial uses, retain heritage attributes (doors, windows, porches) and details of the building to reflect its residential history.	Not applicable.
If alterations are required to provide barrier free access, ramps and railings should be of suitable materials, colour and design details to blend in with the heritage properties as much as possible, and be located to reduce visual impact on the facade and heritage attributes of the heritage property.	Barrier free access is being integrated into the design of the proposed building. The proposed building is level with the exterior grade to facilitate barrier-free access.
If significant alterations or additions are required to provide suitable access to the front of the building, it is preferred that these elements be designed as complementary or unobtrusive additions concealing a minimum amount of the original façade and identifiable as a separate construction. New work should be recognized as new, but sympathetic in appearance to the original.	Not applicable.
Avoid the use of backlit, fluorescent signs as these are not consistent with the age, style and character of the Wortley Village-Old South HCD.	Backlit or fluorescent signage is not being contemplated.
The size and scale of signs should correspond to the property. Signs which obscure heritage attributes, including architectural details, should not be permitted.	A hanging sign, at the corner of Wortley Road/Craig Street is included in the design of the proposed building. This is an appropriate location for the proposed signage from a heritage perspective. The



<b>Guideline</b>	<b>Analysis</b>
	proposed hanging sign is carved wood, which is an appropriate material.
Any additional parking requirements that may be necessary to meet business needs or zoning regulations should be located at the rear of the property and be appropriately screened by landscaping and/or fencing from the street and adjacent neighbours.	Parking is in the rear and side yards of the subject property and located away from the prominent streetscape interface of the building at the northeast corner of Wortley Road and Craig Street.
Prior to any major renovation to a heritage property for the purpose of conversion to a new use, efforts should be encouraged to retain unique features and heritage attributes and to capitalize on those, rather than dismissing them for their age.	Unfortunately, not applicable.

Table 5: Analysis of guidelines for plazas and cafes in Section 10.4.3, Wortley Village-Old South Heritage Conservation District Plan

<b>Guideline</b>	<b>Analysis</b>
Encourage sidewalk cafes and patios, to create visual character and vibrancy along the courtyard perimeter.	The former building featured a very popular sidewalk café which is anticipated to return with the proposed building. The retractable awnings of the proposed building will contribute to the usability of the sidewalk café.
Encourage the introduction of enhanced paving materials and landscape elements, such as street furniture and lighting, to further define the pedestrian realm and further identify these areas as community spaces, where appropriate.	Noted.
Ensure exterior spaces associated with commercial, office, or institutional buildings are complementary to the indoor amenity areas.	Noted.
Ensure exterior spaces meet or exceed accessibility standards.	Accessibility and barrier free access is being implemented in the design of the proposed building.

Table 6: Analysis of guidelines for vehicle parking in Section 10.4.4, Wortley Village-Old South Heritage Conservation District Plan

<b>Guideline</b>	<b>Analysis</b>
Continue to encourage parking to the sides of buildings or within rear lot areas. Locate parking away from the street frontage.	Parking is in the rear and side yards of the subject property and located away from the prominent streetscape interface of the building at the northeast corner of Wortley Road and Craig Street.
Encourage the screening of larger parking areas with vegetation to minimize the impact on the streetscape, without impeding pedestrian safety or visual sightlines for traffic.	The row of trees along the easterly property boundary do not appear to have been affected by the fire and will be retained.
The use of large, monotonous expanses of one hardscape material is discouraged. Where feasible, permeable paving should be utilized and appropriate patterning	Paving materials have not yet been determined. However, permeable pavers should be considered.

<b>Guideline</b>	<b>Analysis</b>
should be employed to reflect the cultural heritage value or interest of the HCD.	
Avoid the siting of parking lots at corner properties.	Parking is in the rear and side yards of the subject property and located away from the prominent streetscape interface of the building at the northeast corner of Wortley Road and Craig Street.
Where expansive parking lots exist, encourage the incorporation of landscape islands and a distinct pedestrian circulation route within the parking lot, to visually break up the space and minimize the impact on the streetscape. Enhancements should not impede pedestrian safety or visual sightlines.	Not applicable.

Table 7: Analysis of guidelines for signage in Section 10.4.5, Wortley Village-Old South Heritage Conservation District Plan

<b>Guideline</b>	<b>Analysis</b>
Wall-mounted signs should not exceed the height of the building cornice.	A hanging sign, at the corner of Wortley Road/Craig Street is included in the design of the proposed building. This is an appropriate location for the proposed signage from a heritage perspective.
Signage materials should be complementary or compatible with those of the building. Painted wood and metal are particularly encouraged because of their historic use as signage materials.	The proposed hanging sign is carved wood, which is an appropriate material.
Ideally, sign designs will be based upon design that is contemporary with the building itself.	The proposed hanging sign is appropriate and compatible with the design of the overall proposed building.
Spotlighting that enhances the visibility of the sign, as well as the architectural character of the building is encouraged; backlight signage is strongly discouraged.	Permanent exterior decorative lighting has been designed as a part of the cornice or stringcourse feature of the proposed building's exterior.
No vending machines dispensing food or drinks should be permitted on the exterior of buildings.	Noted.
Sandwich-board style signs that are put out onto the sidewalk during the day and removed after hours should also be complimentary to the adjacent building. Signs should not be of a size that impedes pedestrian traffic or visual sightlines along the street.	Noted.

The proposed building at 134 Wortley Road complies with the policies and guidelines of the *Wortley Village-Old South Heritage Conservation District Plan*. The proposed new building doesn't replicate the former building but reflects its spirit. The design is compatible with the surrounding area particularly regarding its setback, size, and scale. Terms and conditions should be required to ensure that the design and finish of the proposed building uphold the quality of design appropriate to the Wortley Village-Old South Heritage Conservation District, including the panelling of the storefront, the use of simulated divided lights in the storefront transoms as well as the upper windows, ensuring the exterior of the building, and its details, have a painted finish, and consideration of permeable pavers for the parking area.

## Conclusion

The destruction of the former building due to the catastrophic fire was a devastating loss for the property owners and the community at large.

The intent of the Heritage Alteration Permit is not to require the replication of the old building, but to ensure that the new building respects and supports the heritage character of the Wortley Village-Old South Heritage Conservation District. The design of the proposed building at 134 Wortley Road, including its setback, footprint, size, massing, finishes, and details is compliant with the goals and objectives, as well as the policies and guidelines for the Wortley Village-Old South Heritage Conservation District. The proposed building is anticipated to compliment and support the heritage character of the Wortley Village-Old South Heritage Conservation District. The proposed building at 134 Wortley Road should be approved, with terms and conditions.

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### Appendices

Appendix A Property Location  
Appendix B Images  
Appendix C Drawings (D.C. Buck, dated July 27, 2023)

### Sources

Architectural Conservancy of Ontario – London Region. 2022. *Black Walnut, 134 Wortley Road*.

Corporation of the City of London. Property file.

Corporation of the City of London. *Register of Cultural Heritage Resources*. 2022.

Corporation of the City of London. *The London Plan*. 2022 (consolidated).

Ecoplans et al. *Wortley Village-Old South Heritage Conservation District – Final Draft Study Report*. November 2011.

Ecoplans et al. *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*. September 2014.

*Ontario Heritage Act*. 2023, c. 21, Sched. 6.

# Appendix A – Property Location



Figure 1: Location map of the heritage designated property at 134 Wortley Road, on the northeast corner of Wortley Road and Craig Street, in the Wortley Village-Old South Heritage Conservation District. Note: the aerial background of the location map is from April 2022.

**Appendix B – Images**



*Image 1: Photograph taken on March 17, 2002, showing the former building at 134 Wortley Road.*



*Image 2: Photograph of the Black Walnut Cafe, at 134 Wortley Road.*

# Appendix C – Drawings

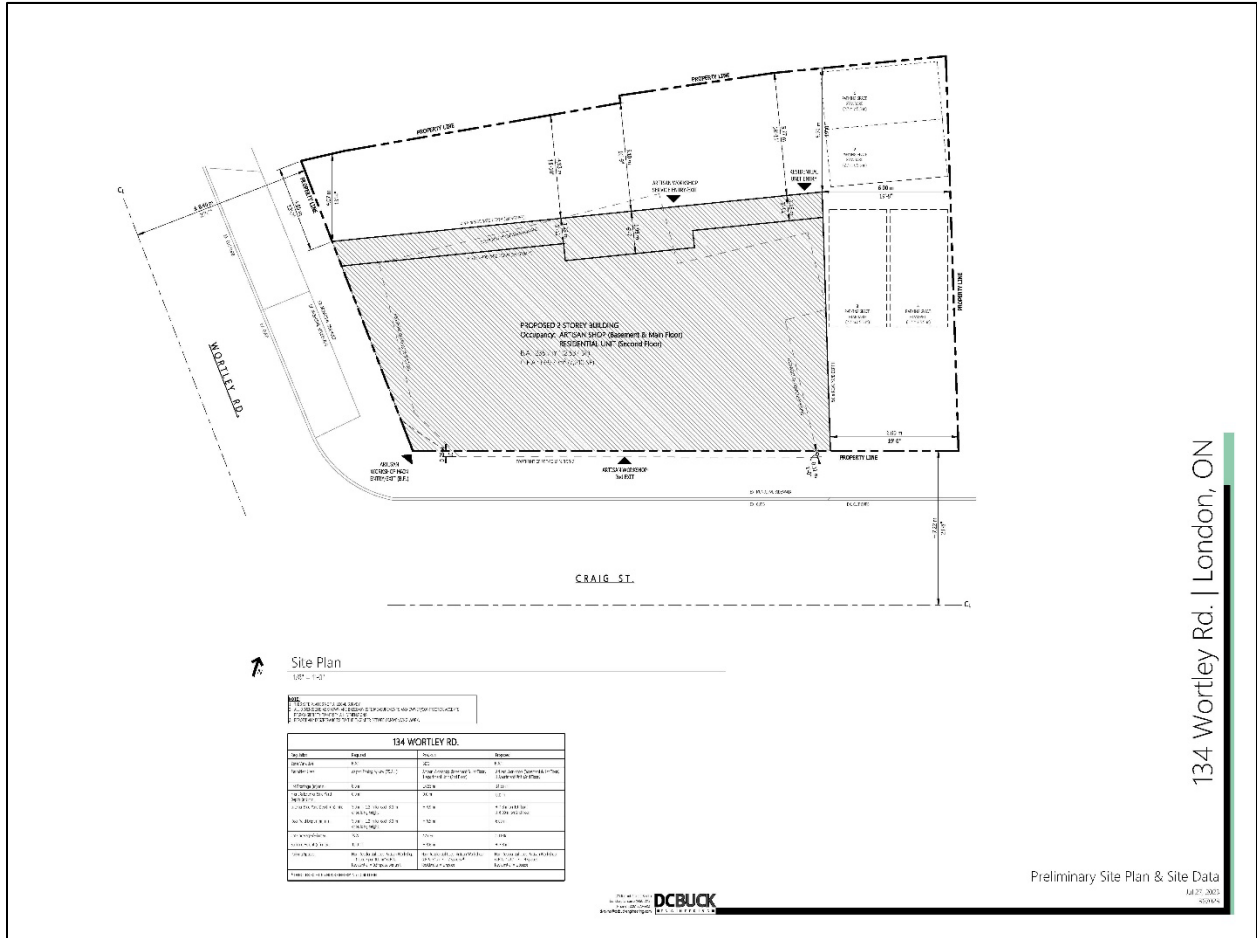


Figure 1: Preliminary Site Plan and Site Data, final Heritage Set (July 27, 2023).

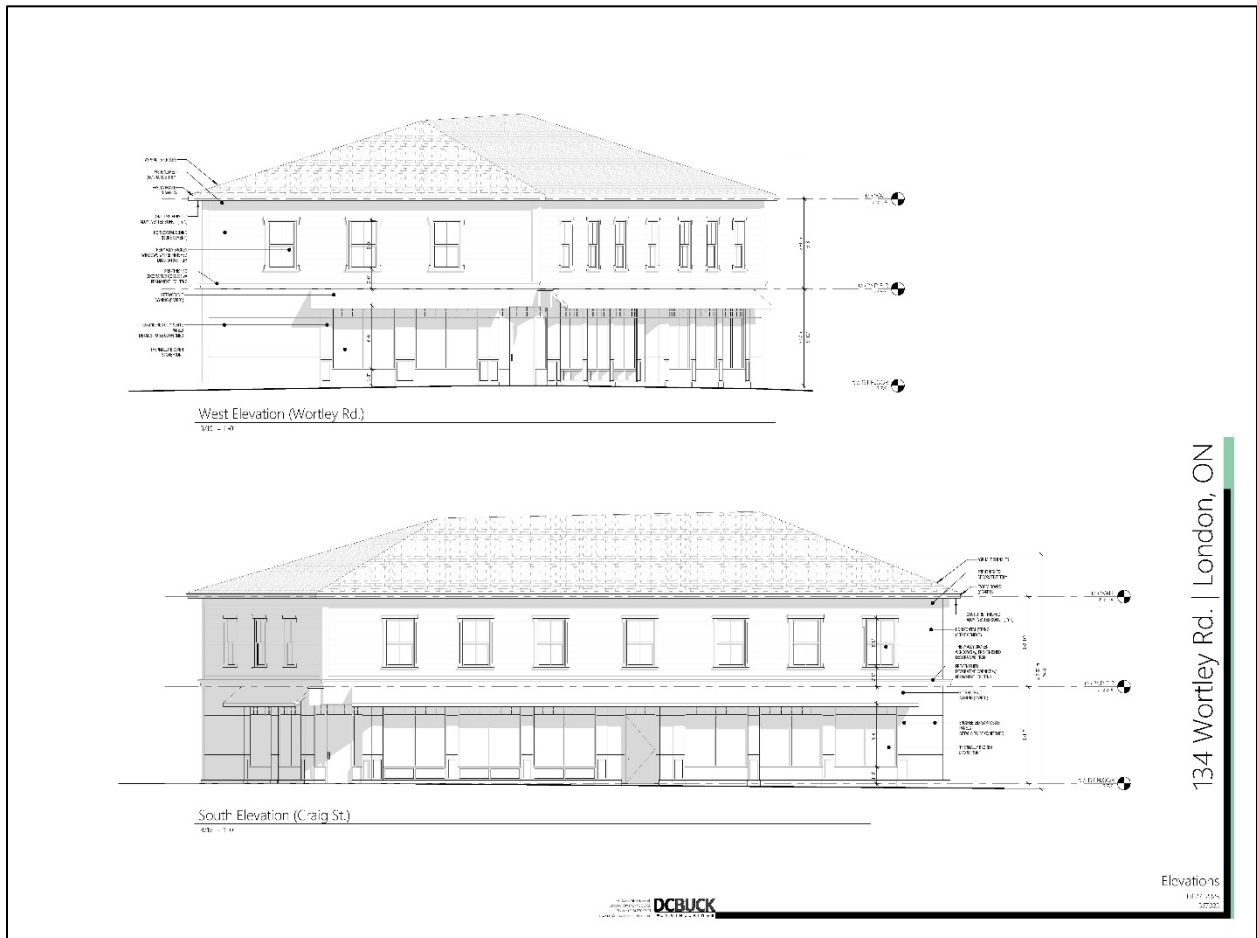


Figure 2: Elevations – west and south, final Heritage Set (July 27, 2023).

134 Wortley Rd. | London, ON

134 Wortley Rd. | London, ON

Preliminary Site Plan & Site Data  
 14.07.2023  
 102074

Elevations  
 14.07.2023  
 102074

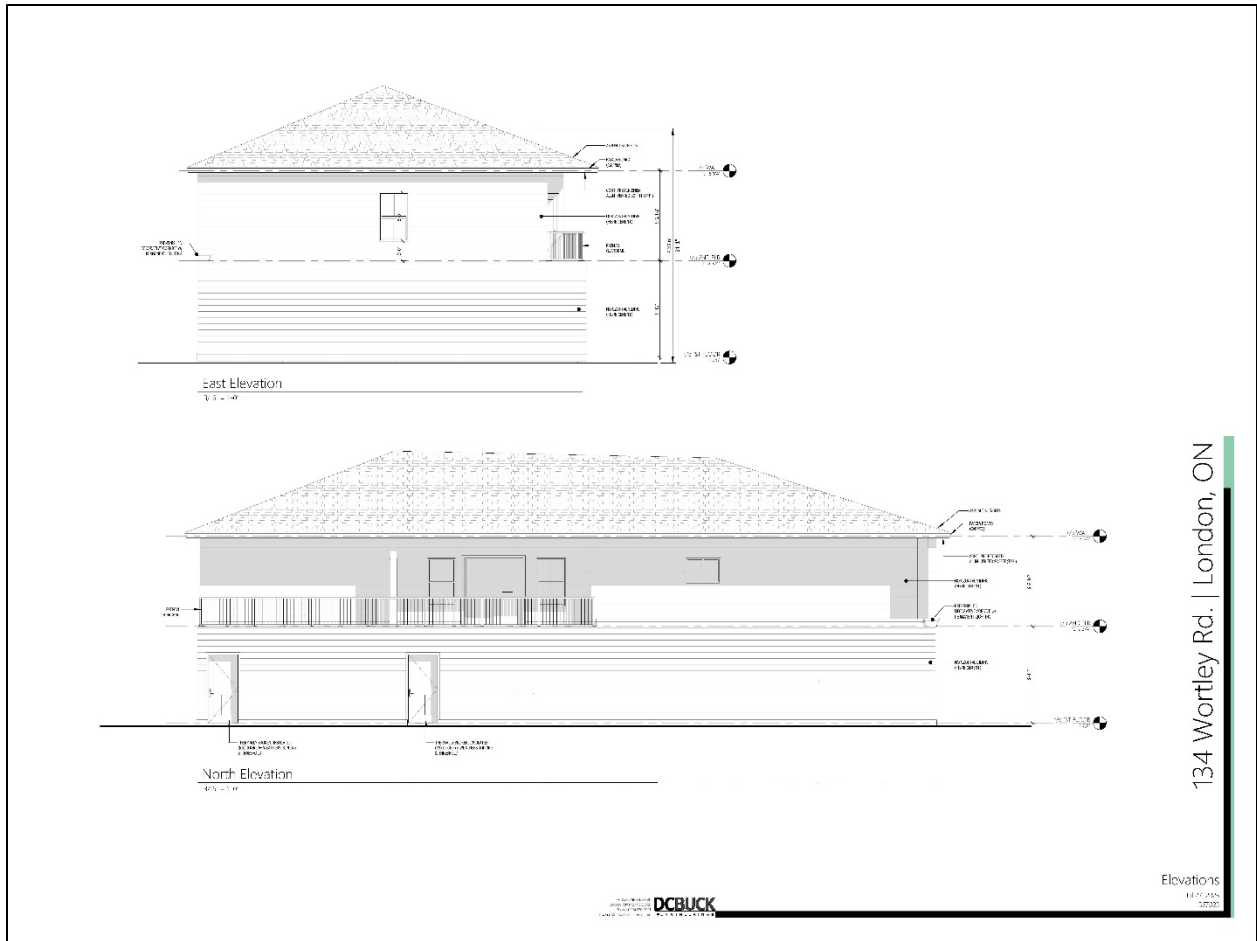


Figure 3: Elevations – east and north, final Heritage Set (July 27, 2023).



Figure 4: Preliminary axonometric rendering showing south and west elevations (July 27, 2023).



Figure 5: Preliminary axonometric rendering showing west elevation (July 27, 2023).

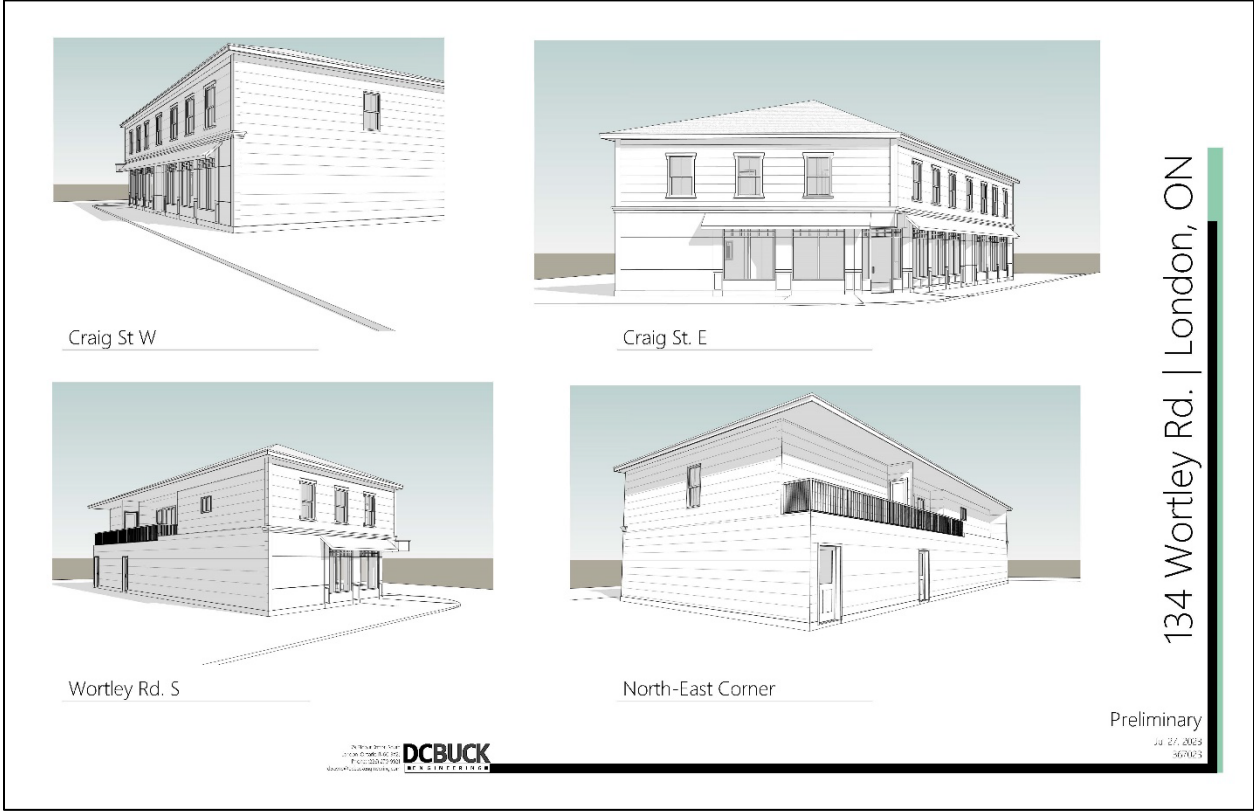


Figure 6: Preliminary axonometric renderings showing various elevations (July 27, 2023).