

# HERITAGE IMPACT ASSESSMENT Phase II

50 King Street,  
London, Ontario

Date:

**March 10, 2023**

Prepared for:

**York Developments**

Prepared by:

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# Glossary of Abbreviations

CHVI	<i>Cultural Heritage Value or Interest</i>
DHCD	<i>Downtown (London) Heritage Conservation District</i>
HAP	<i>Heritage Alteration Permit</i>
HCD	<i>Heritage Conservation District</i>
HIA	<i>Heritage Impact Assessment</i>
MHBC	<i>MacNaughton Hermsen Britton Clarkson Planning Limited</i>
MCM	<i>Ministry of Citizenship and Multiculturalism</i>
OHA	<i>Ontario Heritage Act</i>
OHTK	<i>Ontario Heritage Toolkit</i>
O-REG 9/06	<i>Ontario Regulation 9/06 for determining cultural heritage significance</i>
PPS 2020	<i>Provincial Policy Statement (2020)</i>

# Acknowledgement of Indigenous Communities

This Heritage Impact Assessment acknowledges that the subject property located at 50 King Street, City of London, is situated within territory of the Haudenosaunee Confederacy. The subject property is included in lands part of Treaty 6 also known as the London Township Purchase.

This document takes into consideration the cultural heritage of indigenous communities including the Chippewas of the Thames First Nation, Oneida Nation of the Thames, Munsee-Delaware Nation, Chippewas of Kettle, Stony Point First Nation and Walpole Island First Nation, including their oral traditions and history when available and related to the scope of work.

## Other Acknowledgements

This Heritage Impact Assessment also acknowledges the City of London, Western University, local historian Janet Hunter and the Ontario Heritage Trust for providing information required to complete this report.

# 1.0 Introduction

MHBC Planning, Urban Design and Landscape Architecture (“MHBC”) was retained in August 2021 by York Developments to undertake a Heritage Impact Assessment (HIA) for 50 King Street, London, Ontario (hereinafter referred to as “the subject property”). The purpose of this HIA is to determine the impact of the proposed development on the adjacent protected heritage property located at 399 Ridout Street North, also known as the “Middlesex County Court House” which is a National Historic Site of Canada, under a Heritage Easement and in addition to the Middlesex County Gaol, also located on site, designated under Part IV and Part V of the *Ontario Heritage Act* (OHA) as well as the overall Downtown (London) Heritage Conservation District designated under Part V of the OHA.

The proposal includes the construction of two towers on a shared three to four split podium which will accommodate residential and office/ commercial uses. The construction includes a 40 storey mixed-use tower (on the river side west) and a 50 storey mixed-use tower (located city side east) and four storey shared podium which collectively provide 806 residential units. Landscaping is proposed for the subject property and adjacent property located at 399 Ridout Street North, London. A public pedestrian connection path is proposed to traverse the south side of the adjacent property north of the subject property as part of the ‘City Square’ initiative.

The HIA has been divided into two (2) phases. The first phase assessed the impact of the demolition of the former building on-site which has since been removed from the subject property (Heritage Impact Assessment by MHBC dated October 25, 2022). The second phase, which constitutes this report, will assess the impact of the proposed redevelopment. The report is required by the City as the proposed development is adjacent to a Protected Heritage Property which includes the Middlesex County Court House and Gaol located at 399 Ridout Street North, London, Ontario.

Since the adjacent property is considered a Provincially Significant Property, this report is consistent with the *Standards and Guidelines for the Conservation of Provincial Heritage Properties Information Bulletin 3- Heritage Impact Assessments for Provincial Heritage Properties* (2017), however, because this Heritage Impact Assessment also addresses the Part IV and Part V designations on the property, in addition to the easement, additional sections reviewing policy framework have been added for a more fulsome review.

Additional permissions will be required through the Ontario Heritage Trust (OHT) for proposed landscaping and request for an easement on the easement property. A consent from the Ministry of Citizenship and Multiculturalism is not being sought as part of the redevelopment of the subject property and adjacent Protected Heritage Property.

### 1.1 Description of Subject Property

The subject property is located at 50 King Street, London is legally described as Part of Lots 21, 22 & 23, North of King Street, Designated as Part 2, 33r019880, City of London. The subject property is located at the intersection of King and Ridout Street North and is north of King Street, south of Dundas Street, west of Ridout Street North and west of the Thames Valley Parkway. Forks of the Thames River and Ivey Park. The subject property is approximately 5188.1m<sup>2</sup> in size and is located at the north-west corner of King Street and Ridout Street North. See “**Appendix A**” for map of subject property.



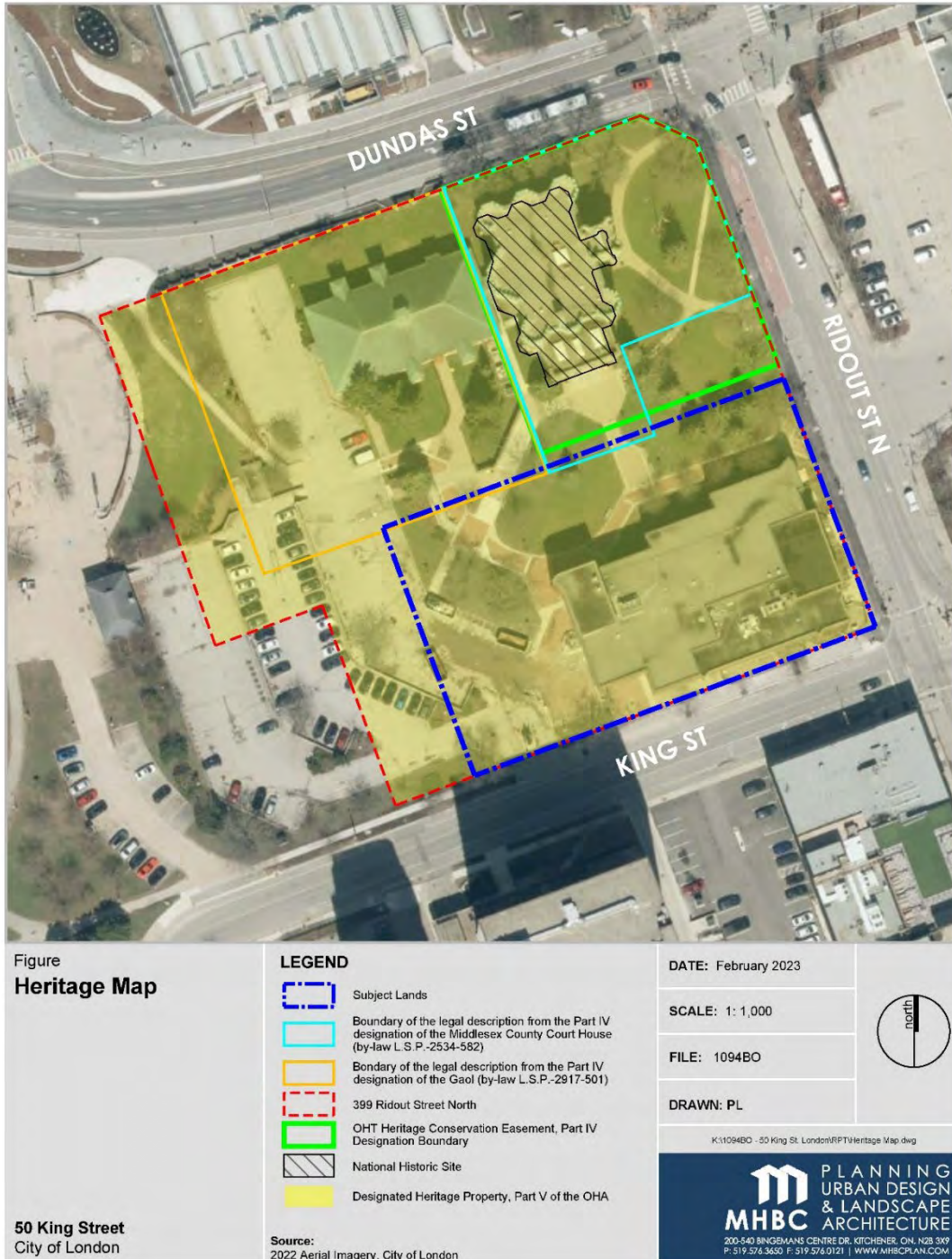
**Figure 1:** Map figure identifying the subject property and adjacent property to the north (MHBC, 2022).

## 1.2 Heritage Status

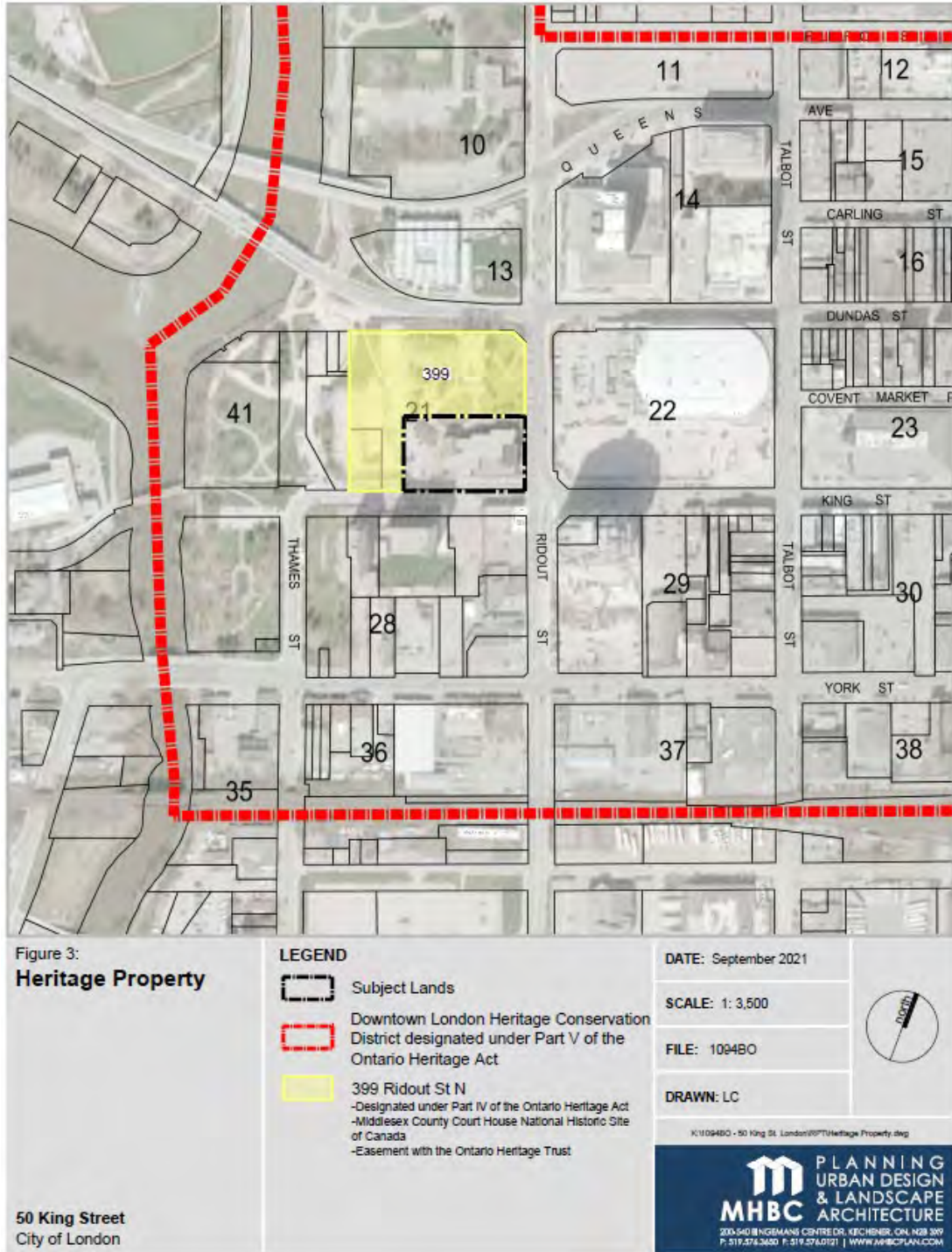
The subject property is listed on the *Register of Cultural Heritage Resources* (2019) as a property designated under Part V of the OHA within the Downtown London Heritage Conservation District and is currently vacant after the demolition of the former building in 2022. The subject property is also adjacent to 399 Ridout Street North also known as the Middlesex County Court House and Gaol, which is designated under Part IV and V of the OHA, protected by an Ontario Heritage Trust easement and recognized as a National Historic Site of Canada. Figures 2 and 3 identify the heritage status of the subject property and the adjacent property to the north. Figure 3, in particular, identifies



these properties within the greater Heritage Conservation District. **Table 1.0** confirms the details of the designations and easement of the adjacent Protected Heritage property.



**Figure 2:** Map figure identifying the heritage status of the subject property and adjacent property located at 399 Ridout street North (MHBC, 2022).



**Figure 3:** Map Figure identifying subject lands and adjacent 399 Ridout Street North within the greater Downtown London Heritage Conservation District (MHBC, 2022).

**Table 1.0 Heritage Status**

Address	Photograph	Heritage Status, HCD Assignment and Ranking
<p><b>399 Ridout Street North</b></p> <p>County Building, 1829;                      Enlarged 1878</p>		<p>-Designated under Part IV of the Ontario Heritage Act, By-law No. L.S.P.-2534-582 (designating the Court House), By-law No. L.S.P.-2917-501 – designating the Gaol</p> <p>-Easement Agreement with the Ontario Heritage Trust</p> <p>Middlesex County Courthouse National Historic Site of Canada</p> <p>-Designated under Part V of the Ontario Heritage Act within the Downtown (London) Heritage Conservation District (2012), Quadrant 21</p> <p><u>Ranking:</u>                      H- Historic                      Priority A</p>

## 1.3 Summary of Conclusions

### **Summary of Impacts**

The impact analysis assessed impact to 1) the overall Downtown London Heritage Conservation District and, 2) the adjacent significant cultural heritage resources located at 399 Ridout Street North, London, including the Middlesex County Court House and Gaol.

The impact analysis related to the Downtown London Heritage Conservation District determined the following based on the impacts outlined in the Ontario Heritage Toolkit:

- Beneficial impact to the Downtown Heritage Conservation District such as an improved interconnectivity within downtown core (City Square) which likely will increase visitations to the site and overall area and provide more opportunities for the viability and potential adaptive re-use of historic buildings in the HCD;
- negligible impact of alteration to landscaping which is considered a contributing attribute to the HCD;
- Negligible impact of shadowing to surrounding heritage buildings;
- Negligible impact of direct or indirect obstruction of views as it relates to the background of identified views in the HCD Plan;
- Moderate impact of land disturbances as it relates to the excavation of the proposed development and surrounding heritage buildings.

The proposed development is consistent with the majority of the Downtown London Heritage Conservation District policies and guidelines, however, the assessment requires more information in regards to proposed materials, sympathetic design articulations particular to the podium and landscape plan to more fully assess compliance.

The impact analysis as it relates specifically to the Middlesex County Court House and Gaol is as follows:

- Beneficial impact due to the proposed preservation of the Middlesex County Court House and Gaol, increased accessibility and overall visitation to the site;
- Direct, negligible alteration to landscape features in the front yard of the Middlesex County Court House along Ridout Street North;
- Indirect, moderate impact of shadowing as it relates to the designated landscape features of the Middlesex County Court House;
- Indirect, potential impact of isolation between attributes of the Middlesex County Court House, Middlesex County Gaol and landscaping;
- Indirect, moderate impact of land disturbances as excavation and other construction works are within close proximity of the courthouse.

Since adverse impacts have been identified, alternative development approaches were explored in sub-section 7.1 of this report. It is recommended that the final design of the proposed development be reviewed in the form of an Addendum to this report at the Site Plan Approval stage to ensure compatibility of the proposed development as it relates to the adjacent cultural heritage resource and overall heritage conservation district.

In addition to the above, the following mitigation measures should be implemented as part of the Site Plan Approval process:

- Complete a detailed landscape plan for 399 Ridout Street North as it relates to the Middlesex County Court House and Gaol
- Complete a visual assessment/ view shed analysis once the landscape plan is confirmed to ensure there is no obstruction of views as a result of landscaping for identified significant views of the HCD
- Complete a Temporary Protection Plan which will include:
  - A Vibration Monitoring Plan to be completed by an acoustic engineer to determine the Zone of Influence (ZOI) for the adjacent cultural heritage resources located at 399 Ridout Street North including the Middlesex County Court House and Gaol and subsequently implement vibration monitoring through the installation of monitors, if deemed necessary (requires a detailed shoring plan which will not be available until the building permit stage);
  - Certification by a structural engineer that the proposed development will be constructed in a way that will avoid damage to the Middlesex County Court House structure.
  - A Risk Management Plan that will outline pro-active steps if risk is detected during construction or if partial or full damage occurs.

To ensure that the Middlesex County Courthouse and Gaol are conserved appropriately it is recommended that a Strategic Conservation Plan be completed as per the Ministry's<sup>1</sup> standards which shall be consistent with *Park's Canada Standards and Guidelines for the Conservation of Historic Places in Canada*. Furthermore, conservation work must be completed by a member of the Canadian Association of

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<sup>1</sup> Ministry of Citizenship and Multiculturalism

Heritage Professionals (CAHP) and have experience with heritage buildings. This Plan should be implemented as part of the Site Plan Approval process.

In order to determine the existing condition of the building it is recommended that a Building Condition Assessment be completed by a heritage engineer and masonry conservator, preferably a member of CAHP, to supplement Section 4.0 of this report. This assessment will inform the conservation measures required for the adjacent cultural heritage resource to inform the Strategic Conservation Plan.

Lastly, it is recommended that consultation with indigenous community groups should be required through the site plan process to ensure that any relevant commemorative text, visuals or landscape features appropriately represent the interests of related First Nations communities (Chippewas of the Thames First Nation, Oneida Nation of the Thames, Munsee-Delaware Nation, Chippewas of Kettle, Stony Point First Nation and Walpole Island First Nation).

As per the Standards and Guidelines for the Conservation of Provincial Heritage Properties Information Bulletin 3- Heritage Impact Assessments for Provincial Heritage Properties, additional studies are required to be identified in this assessment. Therefore, it is recommended that an archaeological assessment should be required to supplement this Heritage Impact Assessment as it relates to disturbances resulting from proposed landscaping to ensure that impacts to all cultural heritage resources, including archaeological, have been appropriately addressed.

# 2.0 Policy Context

## 2.1 The Ontario Planning Act

The *Planning Act* makes a number of provisions respecting cultural heritage, either directly in Section 2 of the Act or Section 3 respecting policy statements and provincial plans. In Section 2, the *Planning Act* outlines 18 spheres of provincial interest that must be considered by appropriate authorities in the planning process. Regarding cultural heritage, Subsection 2(d) of the Act provides that:

*The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as, ...*

*(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;*

The *Planning Act* therefore provides for the overall broad consideration of cultural heritage resources through the land use planning process.

## 2.2 Provincial Policy Statement (2020)

In support of the provincial interest identified in Subsection 2 (d) of the *Planning Act*, and as provided for in Section 3, the Province has refined policy guidance for land use planning and development matters in the *Provincial Policy Statement, 2020* (PPS). The PPS is “intended to be read in its entirety and the relevant policy areas are to be applied in each situation”. This provides a weighting and balancing of issues within the planning process. When addressing cultural heritage planning, the PPS provides for the following:

***2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.***

***2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.***

The PPS defines the following terms

**Significant:** *in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.*

**Built Heritage Resource:** *means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers.*

**Protected Heritage Property:** *means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.*

The adjacent property at 399 Ridout Street North, London, Ontario is a “Protected Heritage Property” as it is designated under Parts IV & V of the Ontario Heritage Act and subject to a heritage conservation easement under Parts II of the Ontario Heritage Act.

## 2.3 Ontario Heritage Act

The *Ontario Heritage Act*, R.S.O, 1990, c.0.18 remains the guiding legislation for the conservation of significant cultural heritage resources in Ontario. This HIA acknowledges the criteria provided with *Regulation 9/06* of the OHA which outlines the mechanism for determining cultural heritage value or interest.

## 2.4 Historic Sites and Monuments Act

The Historic Sites and Monuments Act R.S.C. 1985, C. H-4 is to establish the Historic Sites and Monuments Board of Canada. An historic place is defined as follows,

*a site, building or other place of national historic interest or significance, and includes buildings or structures that are of national interest by reason of age or architectural design; (lieu historique)*



Through the power of the appointed Minister for the Parks Canada Agency, the Board is able to commemorate historic sites as follows:

- (a) by means of plaques or other signs or in any other suitable manner mark or otherwise commemorate historic places;
- (b) make agreements with any persons for marking or commemorating historic places pursuant to this Act and for the care and preservation of any places so marked or commemorated;
- (c) with the approval of the Governor in Council, establish historic museums;
- (d) with the approval of the Treasury Board, acquire on behalf of Her Majesty in right of Canada any historic places, or lands for historic museums, or any interest therein, by purchase, lease or otherwise; and
- (e) provide for the administration, preservation and maintenance of any historic places acquired or historic museums established pursuant to this Act.

The Middlesex County Courthouse is an identified National Historic Site of Canada and has been commemorated with a plaque and boulder which has been removed for storage by Parks Canada as its location interfered with the Rapid Transit Project. The re-installation of the plaque will be part of a future Commemoration Plan.

## 2.5 City of London Official Plan

The Official Plan states that new development on or adjacent to heritage properties will require a heritage impact assessment. The London Plan identifies adjacent as follows:

*Adjacent when considering potential impact on cultural heritage resources means sites that are contiguous; sites that are directly opposite a cultural heritage resource separated by a laneway, easement, right-of-way, or street; or sites upon which a proposed development or site alteration has the potential to impact identified visual character, streetscapes or public views as defined within a statement explaining the cultural heritage value or interest of a cultural heritage resource.*

Policy 152 discusses the importance of urban regeneration in the City which includes the protection of built and cultural heritage resources while “facilitating intensification within [the City’s] urban neighbourhoods, where it is deemed to be appropriate and in a form that fits well within the existing neighbourhood” (Policy 152, 8). Policy 554, reinforces the important of the protection and conservation of built and heritage resources within the City and in particular, in the respect to development. As part of this initiative the City states in Policy 586, that,

*The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved.*

Thus, it is the purpose of this report to analyze the potential impact(s) to the Downtown (London) Heritage Conservation District and adjacent Middlesex County Courthouse and Gaol which is a Protected Heritage Property.

## 2.6 Downtown London Heritage Conservation District Plan (2012)

### 2.6.1 Character Statement and Building Classification

The Downtown (London) Heritage Conservation District Plan<sup>2</sup> was established in 2012. The purpose of the Plan is to, “establish a framework by which the heritage attributes of the Downtown can be protected, managed and enhanced as this area continues to evolve and change over time” (Section 1.2, DHCD Plan). The Heritage Character Statement concludes the following:

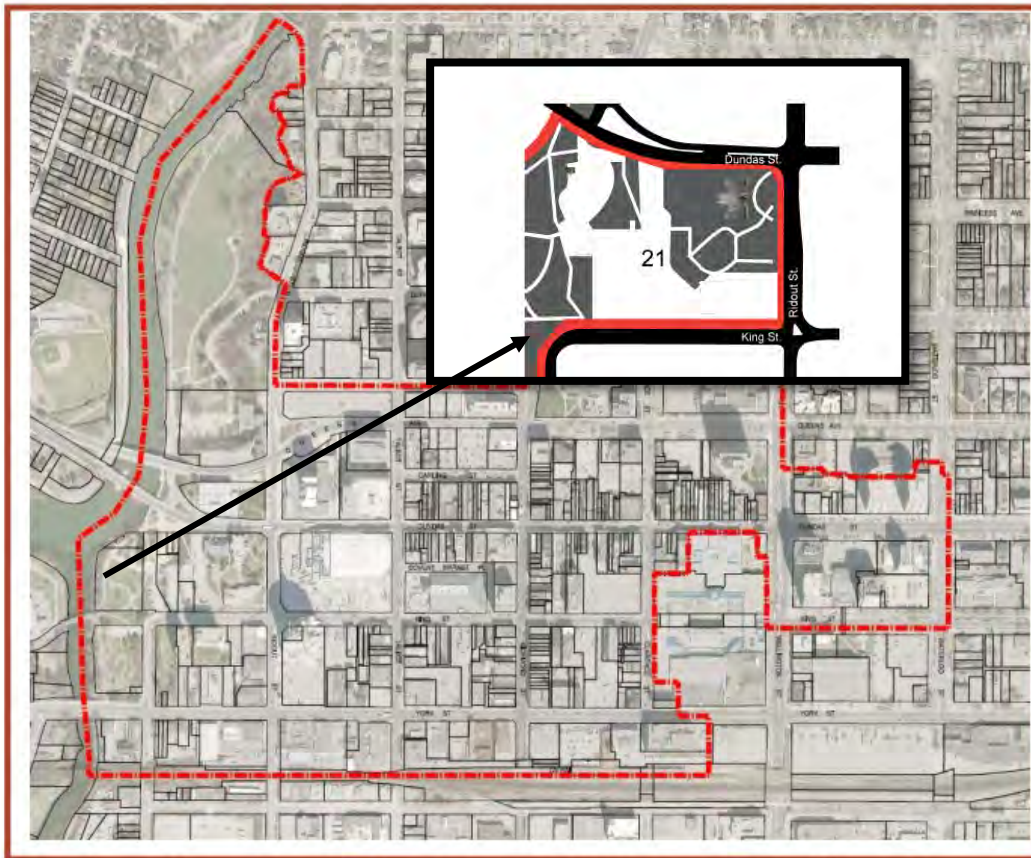
*Today the structures comprising the Downtown London Heritage Conservation District are a good representation of the buildings that contained a variety of services, industries and commercial and financial enterprises that brought London to prominence across the country.*

The character statement identifies that buildings within the HCD relate to one of five stages of development of the downtown. It also identifies that the London District Court House and administrative office is considered one of the “key public buildings still in existence” (Section 2.5, DHCD Plan). The architectural statement acknowledges that there are a range of land uses and building types within the downtown which “-all contribute to unique streetscapes throughout the Downtown”. The landscape statement identifies the Court House Square, open space along the river surrounding the Forks of the Thames as well as the historic view of the Middlesex County Courthouse from the intersection of Dundas and Ridout Street North” (Section 2.7, DHCD Plan). The subject property and adjacent Middlesex County Courthouse are located within the Downtown

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<sup>2</sup> Plan is entitled “Downtown London Heritage Conservation District”, however, is referred to as the “Downtown Heritage Conservation District” (DHCD) within the City’s Register of Cultural Heritage Resources.

(London) Heritage Conservation District within quadrant 21 (see Figures 4-6).



*Downtown London Heritage Conservation District Boundary*

**Figure 4:** Excerpt of quadrant in HCD; black arrow identifies location of quadrant 21 within the overall HCD (Source: DHCD Plan, 2012)

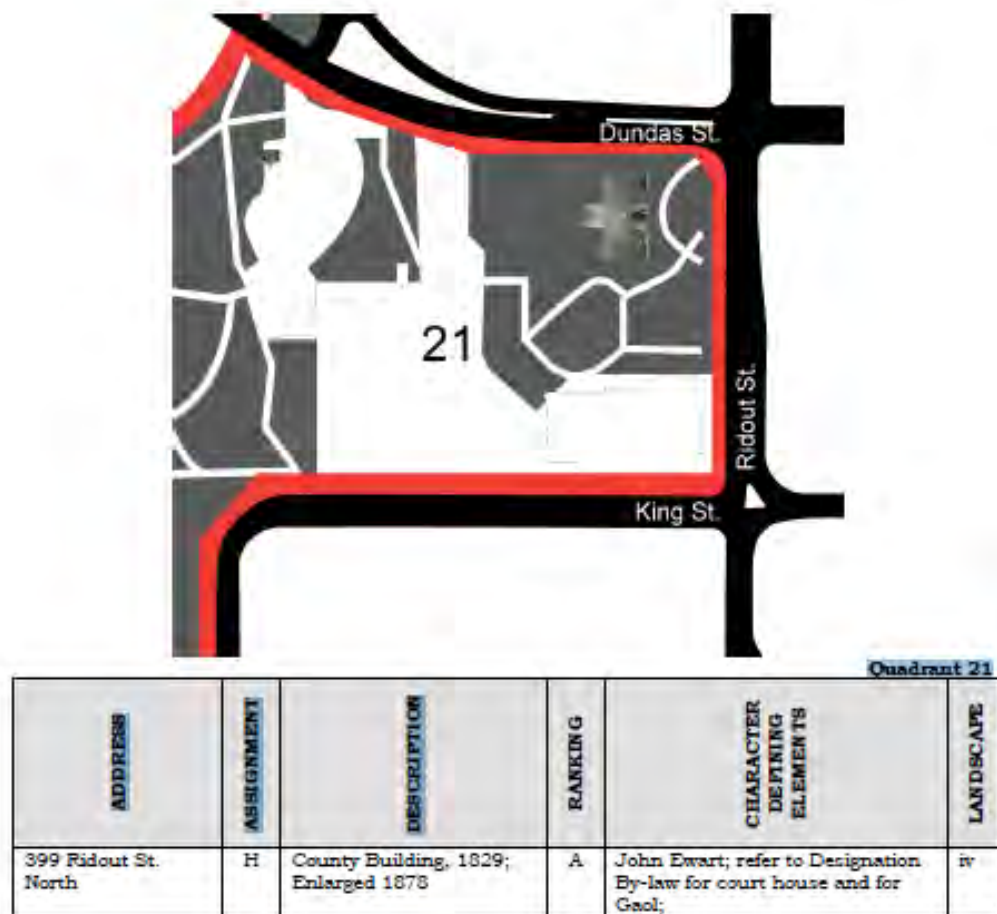


Figure 5: Excerpt of quadrant in HCD (Source: DHCD Plan, 2012)

The Plan includes a diagram that classifies buildings within the District. The classification or ranking are identified by Priority which ranges from Priority A and D, the latter having the least contribution to the overall District. In addition to classification/ranking, buildings also are provided with assignments which range from Historic, Infill and Non-heritage. **Table 1.0** of this report identifies the associated classifications/rankings and assignments for the adjacent property at 399 Ridout Street North. It is also important to note that landscape features are also identified as contributing to the HCD, including the landscaping around the Middlesex County Courthouse which is considered an institutional and public realm landscape (Section 6.2.4, DHCD Plan).

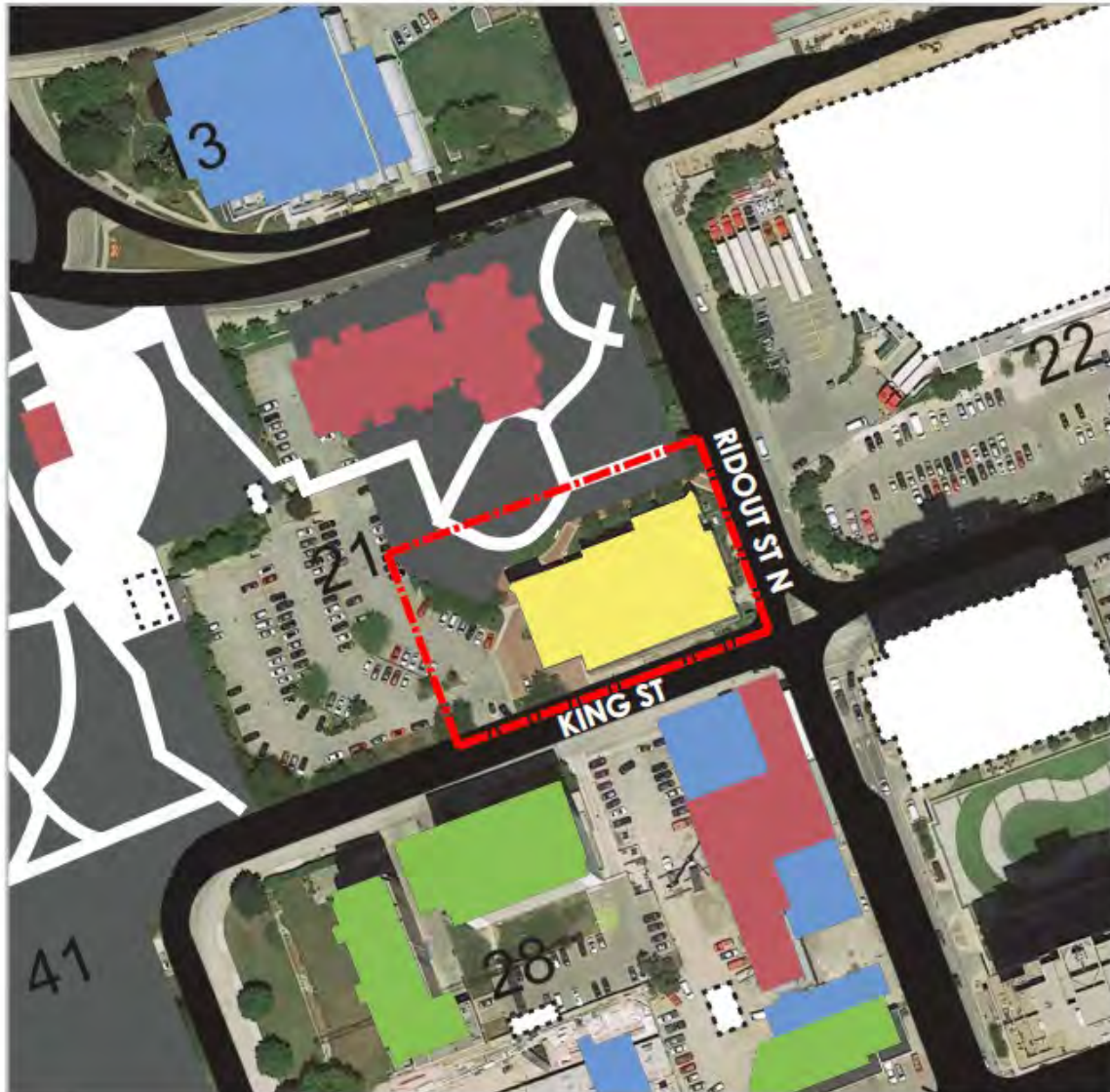


Figure 5:  
**Building  
 Classifications**

**LEGEND**

- Subject Lands
- Priority A (Historic)
- Priority B
- Priority C (Non-Historic)
- Priority D
- Non-Historic
- Landscape
- HCD Boundary

DATE: September 2021

SCALE: 1: 1,500

FILE: 1004BO

DRAWN: LC



K:\1004BO - 50 King St. London\RPT\Building Classification.dwg

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50 King Street  
 City of London

**Figure 6:** Map figure identifying rankings of buildings within the Heritage Conservation District and relation to the subject property (Source: DHCD Plan, 2012 & MHBC, 2022)

## 2.6.2 HCD Plan Principles

Section 3.0 of the Plan identifies the principles, goals and objectives of the HCD which are based on the Venice Charter (1967) and accepted principles for heritage conservation in Canada. These principles are as follows:

**Preserve the Historic Context** – A heritage building represents the individuals and periods from history that have been associated with it. The building records the original designer's and builder's intentions as well as the historic forces that were at play when it was built. Subsequent alterations to the building also record the historic context at the time of the alterations and should be considered when planning restorations, alterations or redevelopment.

**Maintain and Repair** - All buildings require some continuous methods of conservation as they are exposed to the constant deteriorating effects of weather and wear from use. Owners are encouraged to undertake appropriate repair and maintenance activities of heritage properties.

**Find a Viable Social or Economic Use** - Buildings that are vacant or underutilized come to be perceived as undeserving of care and maintenance regardless of architectural or historic merit. City Council and staff should actively encourage and support appropriate forms of adaptive reuse when necessary to preserve heritage properties.

**Preserve Traditional Setting** - A building is intimately connected to its site and to the neighbouring landscape and buildings. Land, gardens, outbuildings and fences form a setting that should be considered during plans for restoration or change. An individual building is perceived as part of a grouping and requires its neighbours to illustrate the original design intent. When buildings need to change there is a supportive setting that should be maintained.

**Preserve Original Decoration and Fittings** – Each building within the District that is linked to the history of the Downtown contains elements and details of an intimate and smaller scale that define this relevance. The original exterior decorations such as bargeboards, verandah trim, wood, metal or brick cornices and parapets are all subject to weathering and the whim of style. Resist the urge to remove or up-date these features or to replace them with poor reproductions of the originals. Their form and materials are an inextricable part of the original design and should enjoy the same respect as the whole building. Where practical, fittings and equipment should be preserved or re-used.

**Restore to Authentic Limits** - Resist the temptation to embellish a restoration and add details and decorations that would not have been part of the history of the building.

**Traditional Repair Methods** - Deteriorated elements and materials that cannot be salvaged should be repaired or replaced with the same materials and inserted or installed in a traditional manner. In some cases, some modern technologies ensure better and longer lasting repairs than traditional methods and should be employed if proven to be an improvement.

**Respect Historic Accumulations** - A building is both a permanent and a changeable record of history. The alterations that have been made since the original construction also tell part of the history of the place and the building. Some of those alterations may have been poorly conceived and executed and research may determine that they can be removed. Other alterations and additions may have merits that warrant incorporating them into the permanent history of the building. In many cases, it is difficult and unrewarding to fix a point in history as the target date for restoration. It is more appropriate to aim for a significant period in the history of the building, but be flexible in accommodating more recent interventions that are sympathetic and have improved the historical or functional nature of the building. Respect does not mean rigid.

**Make New Replacements Distinguishable** - The construction eras and historical progression should be self-evident. Although new work should be sympathetic to the original and match or mimic as appropriate, it should not attempt to appear as if built as part of the original.

The above-mentioned principles are reviewed in this report within the context of the proposed development within Section 6.0.

# 3.0 Statement of Cultural Heritage

## Value

The adjacent property located at 399 Ridout Street North, London, also known as the Middlesex County Courthouse and Gaol, is designated under Part IV and Part V of the Ontario Heritage Act, has an easement with the Ontario Heritage Trust and is recognized as a National Historic Site of Canada. The following sub-sections provide an overview of identified Cultural Heritage Value or Interest (CHVI) as part of each of these forms of protections and recognition. The heritage value and character defining elements identified in this section will be used to adequately assess potential impact as a result of proposed development.

### 3.1 Designation under Part IV of the Ontario Heritage Act

The Middlesex County Courthouse and Gaol are both designated under Section 29 of the Ontario Heritage Act. The Courthouse is designated under By-law No. L.S.P. 2534-582 which was signed on November 3, 1980 (see **Appendix 'D'**). Schedule 'B' of the By-law identifies the rationale for designation which includes:

#### Architectural Reasons:

*The Court House was completed in 1829 and its architecture represents progressive interpretation of the Gothic Revival style in London, Ontario between 1827 and 1911.*

#### Historical Reasons:

*For almost a century and a half, this building has served as a focal point for much of the history of London and the administration of justice in Middlesex County.*

The Gaol is designated under By-law No. L.S.P. 2917-501 which was signed on November 17, 1986 (see **'Appendix C'**). Schedule 'B' of the By-law identifies the rationale for designation which includes:

#### Architectural Reasons:

*The Old Middlesex Gaol was erected between 1842 and 1846 when the prison facilities in the adjoining Court House (now Middlesex Municipal Offices and*



*designated in 1980) became too small for the London district. Together the two buildings form an extremely important group at the Forks of the Thomas. The Old Gaol was used as a prison until 1978.*

#### Historical Reasons:

*The gaol is built of red, yellow and buff bricks most of which were made nearby. Its architecture is utilitarian in concept with vestiges of Italianate design in its massing, fenestration and cupola. An original cell block, complete with metal doors and solitary confinement and hanging hook and trap door are preserved.*

### 3.2 Designation under Part V of the Ontario Heritage Act within the Downtown London Heritage Conservation District

The Middlesex County Courthouse and Gaol are designated under Section 41 of the OHA within the Downtown (London) Heritage Conservation District and identified as “County Building 1829, enlarged 1878”. The subject property is identified as Priority ‘A’, and ‘Historic’ which has the highest heritage ranking/ classification within the District. The property is significant for the buildings on-site as well as the surrounding landscape which is identified as an ‘institutional and public realm landscape” within the Plan. The Plan states that the Middlesex County Court House is, “-the most historic open space in the Downtown, set aside in February 1793; it has continuously served as a public open space through for a variety of purposes” (Section 6.2.4, DHCD Plan).

### 3.3 Heritage Conservation Easement with the Ontario Heritage Trust

An Ontario Heritage Foundation Easement was established under the OHA with the Ontario Heritage Trust (OHT) as a means of preserving the heritage property in perpetuity on November 16, 1981. The OHT is entrusted to ensure that any proposed changes are completed in a manner that is consistent with the conservation purpose of the easement. The Court House was listed on the Canadian Register February 22, 2008. The Ontario Heritage Trust easement files describe the Heritage Value of the property as follows:

*Situated on a hill overlooking the Thames River, the Courthouse was built on a four-acre parcel of land chosen for its strategic and local defence purposes. Following its construction, the Courthouse became an immediate landmark and focal point, due to its prominent position in the rapidly developing community. Historically the property was used for community events including markets and fairs. Public hangings often drew a large crowd to the Courthouse from the surrounding area. Today the Courthouse is still an important landmark located south of Dundas Street, and north of King Street in downtown London. Other significant heritage buildings neighbouring the courthouse include: the former*

*Middlesex County Gaol, the Old Middlesex County Jail, the Dr. Alexander Anderson House, as well as Eldon House (London Museum).*

*The Middlesex County Court House is significant for its association with the development and implementation of government and judicial systems in Ontario. In 1798 the Parliament of Upper Canada created the District of London. The centre of government was moved to Vittoria in 1815, and a courthouse and gaol was constructed. Vittoria was the administrative capital until 1825 when there was a massive fire that destroyed the Vittoria courthouse. The authorities in Upper Canada decided that instead of rebuilding the Vittoria courthouse, a larger courthouse should be built in a more central location in order to service the growing population. A location on a hill at a fork in the Thames River was chosen to build the London District Court House (now known as the former Middlesex County Court House). Colonel Thomas Talbot, who was the private secretary to Governor John Graves Simcoe, was an instrumental figure in the settling of the area that currently comprises the counties of Elgin, Essex, Haldimand, Kent, Middlesex and Norfolk. Talbot had an influence on the construction and design of the courthouse.*

*The courthouse is also linked to some important trials in Canadian history. In 1838 prisoners captured at Prescott and Windsor during the Rebellion of 1837 were tried in the Courthouse by a military court. Six of the men tried were convicted and hanged, while most of the rest were exiled to Van Dieman's Land (Tasmania). The courthouse is also known for its connection to the notorious Irish-Canadian family, the Donnellys. Five members of the Donnelly family were murdered on 4 February 1880 in the nearby town of Lucan by a mob of townsmen. There were two trials relating to the Donnellys' murders at the Courthouse. Both of the trials were dismissed.*

*Middlesex County Court House is significant for its unique design and its association to Toronto architect John Ewart, who also designed Osgoode Hall. The Middlesex County Court House was unlike any other courthouse built in Upper Canada at the time, and is one of three castellated judicial buildings built in Ontario. The courthouse's Gothic detailing resembles a castle, for it has a central pavilion with two side wings incorporating octagonal towers at each corner. The Courthouse has a stone foundation and brick walls covered with parging and scored to give the appearance of stone. The octagonal towers, polygonal bay, tall lancet windows, and distinctive crenelations all add to its fortress-like structure and authoritative presence. It is believed that the courthouse was modelled after Malahide Castle near Dublin, Ireland, which was the ancestral home of Colonel Thomas Talbot.*

Character defining elements that contribute to the heritage value of the Middlesex County Court House include its:

- octagonal towers
- polygonal bay
- tall lancet windows
- large wooden doors
- distinctive crenellated parapets
- stone foundation
- parged brick walls that create a stone-like appearance
- resemblance to a castle
- prominent position on a hill
- location near the Thames River
- close proximity to other heritage properties in London, especially the Gaol

### 3.4 National Historic Site of Canada

The Middlesex County Court House National Historic Site of Canada is recognized within the Parks Canada Directory of Federal Heritage Designations. The property was designated May, 10, 1955 and recognized under the Historic Sites and Monuments Act (R.S.C. 1985, c. H-4). There was a plaque on-site which has since been temporarily removed by Parks Canada. The heritage value is defined as follows:

*The Middlesex County Court House was designated a national historic site of Canada in 1955 because: it is associated with the early administrative organization of the province, the site of the building having been proposed by Lieutenant-Governor John Graves Simcoe for the provincial capital. The building was constructed in 1827 as the District Seat under the leadership of Colonel Thomas Talbot, founder of the Talbot Settlement; and, it is a nationally significant example of the Gothic Revival Style of architecture in Canada.*

*In 1793, John Graves Simcoe, the first lieutenant-governor of Upper Canada reserved an area at the forks of the Thames for the proposed capital of the province. Although York (Toronto) was eventually chosen as the capital, the government retained the site for public purposes. The London district was created in the south-western part of Upper Canada in 1800. A year later, Thomas Talbot, who had accompanied Simcoe as his private secretary during his tour of inspection of the province in 1793, immigrated to Upper Canada and received an extensive land grant in the new district. Talbot spent the next 40 years promoting the settlement of a huge area of present-day south-western Ontario along the north shore of Lake Erie, known as the Talbot Settlement.*

*In 1826, Upper Canada's parliament situated the new District Seat at the forks of the Thames and had a town plot surveyed for the town of London. In 1827 the Court House Building Committee under Talbot's leadership undertook to build a*

*new courthouse and jail in the District Seat at London. Designed by John Ewart of York, the impressive Gothic Revival style structure was completed early in 1829. In 1846, a separate jail building was attached to the west side. By 1878, an eastward extension and a massive central tower were added. A law library was added to the south side in 1911.*

*Source: Historic Sites and Monuments Board of Canada, Minutes, July 2007.*

Within the Federal Directory the following have been identified as Character-Defining Elements:

*Key elements that contribute to the heritage character of the site include:*

- its prominent location, bounded by Ridout, Dundas and King Streets;*
- its siting, setback from the street in a park-like setting;*
- its three-and-a-half-storey massing, symmetrical façade with 1911 library addition on the south façade;*
- its solid brick construction with smooth stucco finish; its rectangular form, classical in inspiration, with base storey, 'piano nobile' and attic storey, reflecting its early construction date and Romantic Gothic Revival character;*
- its Gothic Revival exterior features, including its central tower, corner octagons, crenellation, pointed arch windows and doors, label mouldings and smooth surfaces;*
- existing interior Gothic Revival features, such as the exposed timber ceiling in the court room;*
- streetscapes along Ridout, Dundas and King streets, and towards the Thames River.*

# 4.0 Assessment of Existing Conditions

This section reviews the general existing condition of both built and landscape features on the adjacent subject property located at 399 Ridout Street North, London, “The Middlesex County Courthouse and Gaol”. The review is not intended as a structural assessment but solely from a conservation perspective. Please note, that this HIA recommends a Building Condition Assessment to inform a recommended Strategic Conservation Plan. Site visits were conducted on September 16, 2021 and December 16, 2022 by the Cultural Heritage Division of MHBC Planning Ltd.

## 4.1 Limitations

The review of the Middlesex County Courthouse is limited by the significant amount of vegetation affixed to the exterior form of the building that limit the visibility of exterior walls. Due to the height of the building, there are areas that are challenging to see from grade and will require more thorough evaluation as part of a Building Condition Assessment.

## 4.2 Description of Built Heritage Features

### *Courthouse*

The exterior of the Middlesex County Courthouse appear to be in good condition and well-maintained. There does not appear to be significant cracks or spalling of the exterior. There is some discolouration to the octagonal towers, windowills and bases of front entry/ portico columns likely caused by minor drainage issues (see Figures 7-11).

### *Gaol*

The exterior of the Middlesex County Gaol appears to be in good condition. There are some areas of discolouration showing signs of efflorescence particularly around foundation that has caused darkening. There is some minor spalling of masonry throughout the structure (Figures 12-17).



**Figure 7:** View of front entrance of courthouse in Summer/ Autumn season (Source: MHBC, 2021).



**Figures 8 & 9:** (above) View of southern elevation of courthouse looking northwards from 50 King Street; (below) View of front of the courthouse looking north-west (Source: MHBC, 2022).



**Figure 10:** View of front elevation looking south-west (Source: MHBC, 2022).





**Figure 11:** View of north elevation looking south-west (Source: MHBC, 2022).



**Figures 12 & 13:** (above) View of northern elevation of jail (eastern half) looking southwards; (below) View of northern elevation of jail (western half) looking southwards (Source: MHBC, 2022).



**Figure 14:** View of south elevation of the jail (western half) looking north-west (Source: MHBC, 2022).



**Figure 15:** View of south elevation of the jail (eastern half) looking north-west towards courthouse (Source: MHBC, 2022).

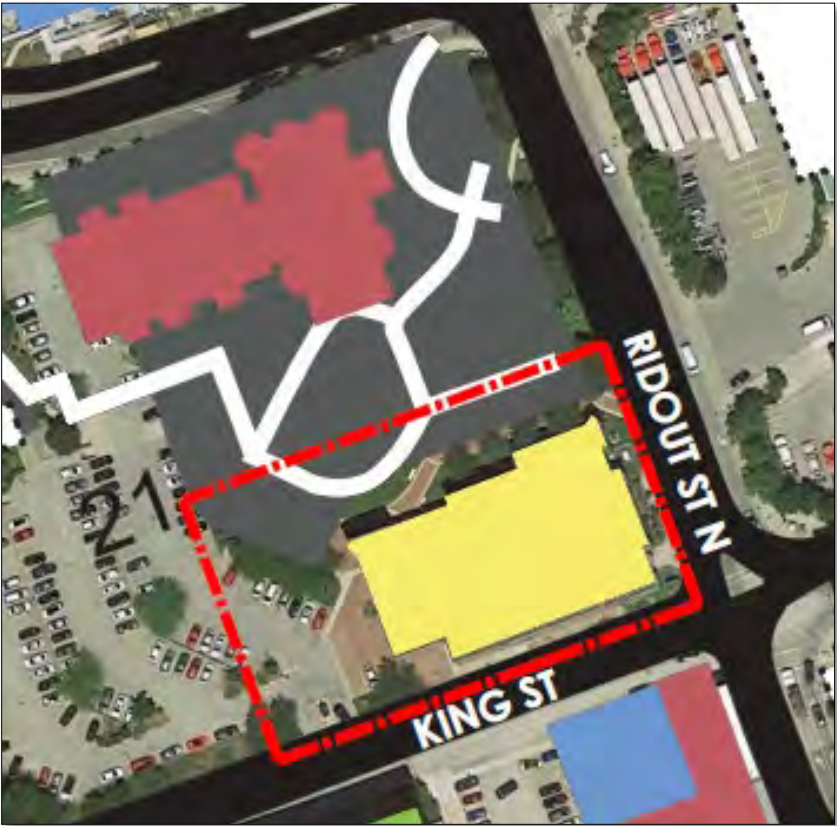


**Figures 16 & 17:** (above) View of southern elevation of the jail (western half) looking north-east; (below) View of western (rear) elevation of the jail looking eastwards (Source: MHBC, 2022).

### 4.3 Existing Condition of Landscape Features

The figure below outlines the landscaped area identified in the Downtown (London) Heritage Conservation District; note that a portion of this landscape is included within the boundary of the subject property. The courthouse includes an arched pathway with a pathway traversing diagonally from 399 Ridout Street North to 50 King Street. There is a flag pole centred in front of the entrance which formerly had included a plaque. There are some tree plantings, both coniferous and deciduous, which appear to be sporadic in design in the front yard (see Figures 19-20).

There is a masonry (brick and rubble stone) wall that runs along northwards between the courthouse and the jail and juts westwards along the northern property boundary which appears to be in fair to poor condition. There is a cast concrete squared arch with iron gates along the northern property line of the jail which is followed by a masonry (brick and rubble stone) wall (see Figures 21-22). There is a plaque currently located at the corner of Ridout Street North and Dundas Street (Figure 23).



**Figure 18:** HCD Plan map figure overlay identifying contributing landscape in grey within the boundary of the subject property identified by the red box (MHBC, 2021).



**Figures 19 & 20:** (above) View of front yard of courthouse during summer/ fall season; (below) View of courtyard in winter season post road-widening works (Source: MHBC, 2022).



**Figure 21:** View of masonry wall and cast concrete squared arch along northern property line of jail (MHBC, 2022).





**Figure 22:** View of masonry wall along northern property line of jail (MHBC, 2022).



**Figure 23:** View of existing plaque at the corner of Dundas Street and Ridout Street North (MHBC, 2022).

# 5.0 Description and Purpose of Proposed Activity

The redevelopment proposed includes a mixed-use, high-rise development of the subject property located at 50 King Street, London, Ontario. The proposal includes the construction of two towers on a shared podium which will accommodate residential and office/ commercial uses. The construction includes a 40 storey mixed-use tower and a 50 storey mixed-use tower and four storey shared podium which collectively provide 806 residential units. The first floor will be retail space and the lobby and the second, third and four floor will include office space; the remaining floors include residential units (as well as amenity and mechanical space). The development includes a shared four storey underground parking garage to facilitate parking for the units. The design of the towers includes a four storey podium that connects the towers with stepbacks to the tower mass (see **Appendix 'B'** for architectural drawings and renderings). The purpose of the redevelopment is in efforts to intensify the City's downtown for high density, residential, office and commercial uses, provide better access to and support local businesses, public institutions and transit services and overall revitalize the Downtown and provide a multi-functional regional space for the community.

The Middlesex County Courthouse and Gaol is proposed to be preserved and restored, where necessary, and integrated as part of the overall redevelopment plan. There are no interior alterations proposed to the courthouse and it is intended to be adaptively re-used as office space. The owner will allow for public tours of the interior of the courthouse upon appointment.

An extensive landscape plan is being developed at the Site Plan Approval stage to rehabilitate the downtown City Square which includes several seating and gathering areas and an improved accessibility plan. The landscaping in front of the courthouse is also proposed to be improved under the stewardship of the Ontario Heritage Trust.

Additional permissions will be required through the Ontario Heritage Trust (OHT) for proposed landscaping and easement on the easement property. The subject property will require a Heritage Alteration Permit Application for new construction as it is within a Heritage Conservation District in accordance with Section 42 (2.1). The adjacent property

located at 399 Ridout Street North will require a Heritage Alteration Permit Application for proposed alterations under both Section 33 (1-2) and Section 42 (2.1) for any proposed restoration work, if required, and landscaping for the courthouse and the goal. The heritage permits are proposed to be processed as part of the Site Plan Approval process.





19-045 50 King  
PERSPECTIVE - NORTHEAST VIEW  
VA - 22.07.23  
A6.4



V4 - 22.07.23  
A4.8

COLOUR ISOMETRICS - NORTHEAST

19-045 | 50 King

**Figure 26:** Coloured isometric view looking northeast (Zedd Architecture, 2022).

# 6.0 Impact Analysis

## 6.1 Introduction

There are three classifications of impacts a proposed development may have on an identified cultural heritage resource: beneficial, neutral or adverse. Beneficial effects may include such actions as retaining a property of cultural heritage value, protecting it from loss or removal, maintaining restoring or repairing heritage attributes, or making sympathetic additions or alterations that allow for a continued long-term use and retain heritage building fabric. Neutral effects have neither a markedly positive or negative impact on a cultural heritage resource. Adverse effects may include the loss or removal of a cultural heritage resource, unsympathetic alterations or additions that remove or obstruct heritage attributes, the isolation of a cultural heritage resource from its setting or context, or the addition of other elements that are unsympathetic to the character or heritage attributes of a cultural heritage resource.

The following sub-sections of this report provide an analysis of the impacts which may occur as a result of the proposed development.

- **Destruction:** of any, or part of any *significant heritage attributes* or features;
- **Alteration:** that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- **Shadows:** created that alter the appearance of a *heritage attribute* or change the viability of a natural feature or plantings, such as a garden;
- **Isolation:** of a *heritage attribute* from its surrounding environment, context or a significant relationship;
- **Direct or Indirect Obstruction of Views:** of significant views or vistas within, from, or of built and natural features;
- **A change in land use:** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;
- **Land disturbances:** such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.

*Information Bulletin 3, Heritage Impact Assessment for Provincial Properties* provides guidelines for the assessment of impacts to provincially significant cultural heritage



resources. Impacts can be separated into positive or negative, direct or indirect. This guideline will be used for the adjacent property located at 399 Ridout Street North, London, Ontario.

A **direct adverse impact** is defined as “permanent and irreversible...or result in the loss of a heritage attribute on all or part of the provincial heritage property” (p 6-7). Examples of direct adverse impacts include:

- removal or demolition of all or part of any *heritage attribute*
- removal or demolition of any building or structure on the *provincial heritage property* whether or not it contributes to the cultural heritage value or interest of the property (i.e. non-contributing buildings)
- any land disturbance, such as a change in grade and/or drainage patterns that may adversely affect a *provincial heritage property*, including archaeological resources
- alterations to the property in a manner that is not sympathetic, or is incompatible, with cultural heritage value or interest of the property. This may include necessary alterations, such as new systems or materials to address health and safety requirements, energy-saving upgrades, building performance upgrades, security upgrades or servicing needs
- alterations for access requirements or limitations to address such factors as accessibility, emergency egress, public access, security
- introduction of new elements that diminish the integrity of the property, such as a new building, structure or addition, parking expansion or addition, access or circulation roads, landscape features
- changing the character of the property through removal or planting of trees or other natural features, such as a garden, or that may result in the obstruction of significant views or vistas within, from, or of built and natural features
- change in use for the *provincial heritage property* that could result in permanent, irreversible damage or negates the property’s cultural heritage value or interest
- continuation or intensification of a use of the *provincial heritage property* without conservation of *heritage attributes*.

An **indirect adverse impact** is defined as resulted from “an activity on or near the property that may adversely affect its cultural heritage value or interest and/ or heritage attributes” (p 6-7). Examples of indirect adverse impacts include:

- shadows that alter the appearance of a *heritage attribute* or change the visibility of an associated natural feature or plantings, such as a tree row, hedge or garden
- isolation of a *heritage attribute* from its surrounding environment, context or a significant relationship
- vibration damage to a structure due to construction or activities on or adjacent to the property

- alteration or obstruction of a significant view of or from the *provincial heritage property* from a key vantage point.

**Positive impacts** include the “conserving or enhancing its cultural heritage value or interest and/or *heritage attributes*.” Examples of positive impacts may include, but are not limited to:

- changes or alterations that are consistent with accepted conservation principles, such as those articulated in MTCS’s *Eight Guiding Principles in the Conservation of Historic Properties, Heritage Conservation Principles for Land Use Planning*, Parks Canada’s *Standards and Guidelines for the Conservation of Historic Places in Canada*
- *adaptive re-use* of a property – alteration of a *provincial heritage property* to fit new uses or circumstances of the of property in a manner that retains its cultural heritage value of interest
- public interpretation or commemoration of the *provincial heritage property*.

In addition to these categories, additional factors should be considered in this assessment including: scale or severity of impacts, whether they are to be temporary or permanent, reversible or irreversible. This report utilizes guides published by the *International Council on Monuments and Sites (ICOMOS)*, Council of UNESCO, from the World Heritage Convention of January of 2011. The grading of impact is based on “Guide to Assessing Magnitude of Impact” as a framework for this report:

Table 2.0- Built Heritage and Historic Landscapes	
Adverse Impact Grading	Description
Major	Change to key historic building elements that contribute to the cultural heritage value or interest (CHVI) such that the resource is totally altered. Comprehensive changes to the setting.
Moderate	Change to many key historic building elements, such that the resource of significantly modified. Changes to the setting an historic building, such that it is significantly modified.
Minor	Change to key historic building elements, such that the asset is slightly different.  Change to setting of an historic building, such that is it noticeably changed.
Negligible/ Potential	Slight changes to historic building elements or setting that hardly affect it.
No change	No change to fabric or setting.

## 6.2 Impact Analysis for the Downtown (London) Heritage Conservation District

The Downtown (London) Heritage Conservation District Plan (2012) identifies its purpose to, “establish a framework by which the heritage attributes of the downtown can be protected, managed and enhanced as this area continues to evolve and change over time” (Section 1.2, DHCD Plan). The subject property is located within the Heritage Conservation District and is considered Priority ‘C’ which is ‘non-historic’ (note, the priority was provided when the former building existed on the property). The location, however, in itself is significant to the City as historically it has been a public centre for the City. The subject property also includes landscape elements that are identified in the Plan as contributing to the District which is considered institutional and public realm landscape (Section 6.2.4, DHCD Plan).

This Section reviews the compatibility of the proposed development within the context of the DHCD. Firstly, the principles, goals and objectives of the Plan will be reviewed as they provide a foundation to understanding the purpose and goal of the District, followed by the review of the policies and guidelines that are applicable.

### 6.2.1 Principles, Goals and Objectives of the DHCD Plan

The Principles of the HCD Plan are outlined in Section 3.0 of the Plan. The following **Table 3.0** provides an initial review of these principles within the context of the proposed development.

Table 3.0- HCD Principles- Compatibility with Proposed Development	
<b>Preserve the Historic Context</b>	The proposed development includes the preservation and if required, restoration of the adjacent Middlesex County Court House and Gaol and intends to preserve the historic context. The surrounding context has been significantly altered throughout the years.
<b>Maintain and Repair</b>	As mentioned, the proposed development will undertake appropriate repair and maintenance of the adjacent Middlesex County Court House

	and Gaol (which is also an obligation under its Part IV designation and heritage easement).
<b>Find a Viable Social or Economic Use</b>	Currently, the subject property is leased to Middlesex County and events are currently held at the site. The proposed redevelopment is intended on providing a viable social and economic use for the property.
<b>Preserve Traditional Setting</b>	The immediate landscaping associated with the adjacent Middlesex County Court House and Gaol is significant to preserving its traditional setting, particularly, the landscaping in front of the courthouse. It is acknowledged that this landscaping has changed significantly over time, however, the removal and addition of plantings will have a bearing on providing an appropriate and traditional setting for the property.
<b>Preserve Original Decoration and Fittings</b>	The adjacent Middlesex County Court House and Gaol will be preserved including preserving its original decoration and fittings.
<b>Restore to Authentic Limits</b>	It is intended that the preservation and any required restoration work respect the authenticity of the building. There is no proposal for adding details and decorations that are not part of the history of the building.
<b>Employ Traditional Repair Methods</b>	Any restorative repairs to the adjacent Middlesex County Court House, if necessary, and Gaol will be completed by a masonry specialist and otherwise conservator and will employ traditional methods where required.
<b>Respect Historic Accumulations</b>	The proposed approach for conservation is preservation at this point for the adjacent Middlesex County Court House and Gaol, however, a further analysis by a masonry specialist may determine that restoration is required. In the circumstance that restoration is

	to proceed, it will include the 1911 library wing on the south façade as part of the historic evolution of the building.
<b>Make News Replacements Distinguishable</b>	There are no proposed replacements or new work of the adjacent Middlesex County Court House and Gaol.

The physical goals and objectives of the Plan identify that the Plan is intended to influence the construction of modern era buildings so that “-it is done with regard to the District and complementary to the character and streetscape” (the following sub-section will review the proposed development and whether it is complementary to the character and streetscape). Social goals and objectives of the Plan include “emphasizing the significance of the cultural heritage and its role in defining the sense of place for the Downtown”.

The HCD Plan states that the courthouse requires special consideration and describes it as “the most historic open space in the Downtown, set aside in February 1793; it has continuously served as a public open space though for a variety of purposes” (Section 6.2.4, DHCD). The proposed development intends on using the adjacent Middlesex County Court House and Gaol as a key feature of the redevelopment and integral part of defining the sense of place of the Downtown. This redevelopment also encourages the increase of tourism which is beneficial for the National Historic Site in educating and providing awareness to residents and visitors to the City.

The redevelopment and associated intensification in the downtown, is intended on having a cultural and social focus on the community. An important part of this, is the overall landscape plan which is pedestrian-oriented, includes several seating/ resting areas, sight-lines and improved accessibility to the overall site and surrounding area which encourages it use as a central cultural and social hub for the community. The adjacent Middlesex County Court House and Gaol provides a visual symbol of this City’s past and the landscape plan has acknowledged indigenous communities with the integration of a turtle within the design of the Civic Square which is an indigenous symbol associated with the earth and is present in many First Nation creation stories.

6.2.2 Downtown (London ) Heritage Conservation District Policies and Guidelines

Section 6.1.4 of the DHCD Plan reviews the guidelines of the Plan as it relates to new construction. The intention of the Plan is to “-ensure that new construction respects the history that will surround it in material, massing and other aesthetic choices”. The following will provide a review of these guidelines for new construction.

- 1. Any new construction shall ensure the conservation of character-defining elements of the buildings it will neighbour and also the building being added to when considering additions.**

The new construction will include the conservation of the character-defining elements of the adjacent cultural heritage resource.

- 2. New work is to be made both physically and visually compatible with the historic place while not trying to replicate it in the whole.**

There is no new work proposed for the adjacent cultural heritage resource. The retail and commercial spaces are contained within a two to four storey podium that steps back from the river and forms a partnership with design attributes drawn from the courthouse building forming a strong podium base. Further refinement of the design of the new construction should provide more correlations between the adjacent cultural heritage resource and the podium and should be addressed by an Addendum.

- 3. The new work should easily be decipherable from its historic precedent while still complementing adjacent heritage buildings.**

There is no new work planned for the built heritage features. The adjacent new work is easily decipherable from its historic precedent. The distance between the buildings and landscaping allows for a buffer between old and new.

- 4. Façade composition and height are two major components in maintaining the character of the current streetscapes. A single excessively tall and imposing structure can completely alter the pedestrian-focused atmosphere of the Downtown.**

The surrounding character of the area and current streetscapes includes several medium to high-rise buildings. The development has been divided into two towers with a podium to avoid a singular excessively tall and imposing structure. The towers are 40 and 50 storeys in height and designed with a variety of other architectural elements, such as: various bays, stepbacks and vertical spandrels to create design articulation. The proposed development has a unified 4 storey podium that is shared between two towers to reduce the appearance of massing and scale on a pedestrian level. The podium is minimally taller than the adjacent Middlesex County Court House.

**5. Use roof shapes and major design elements that are complementary to surrounding buildings and heritage patterns.**

The proposed development has a flat platform roof for both towers. The building includes several vertical architectural elements include windows, spandrels and façade elements to reflect the elongated towers of the adjacent building. It also reflects the crenellation used along the towers of the adjacent building which is contemporarily interpreted around the podium with the extension of the window spandrels proud of the roofline of the podium. Further review of major design elements should be addressed by an Addendum.

**6. Setbacks of new development should be consistent with adjacent buildings.**

The setbacks proposed for the new development is consistent with adjacent (non-contiguous) buildings to the south including 52 King Street and 355-359 Ridout Street North on the south-west corner of King Street and Ridout Street North. The proposed development is also in a similar location as the previous building that was situated at the corner of Ridout and King Street. The proposed development is not consisted with the setback of the adjacent courthouse, however, historically adjacent buildings have not had the same setback as the courthouse, which is contrary to the setback of the commercial street wall along Ridout Street North

**7. New buildings and entrances must be oriented to the street and are encouraged to have architectural interest to contribute to the streetscape.**

The proposed development and associated entrances are oriented to the street as part of the four storey mixed-use shared podium. One of the main entries is off of King Street, the other is along the north side of the development which is accessed via a walkway off of Ridout Street North (City Square).

**8. Respond to unique conditions or location, such as corner properties, by providing architectural interest and details on both street facing facades.**

The subject property is a critical location for the City of London being located at “the Forks”. Historically, it has been the centre of the city and is within a unique location between King, Ridout and Dundas Street. The proposed podium capitalizes the corner of King and Ridout Street as a feature. The facades along the street include a variety of geometric shapes, window openings and several bays. A zigzag and ‘x’ pattern are used along the first and second storeys to create architectural interest and details on the street facing facades. Further review of architectural interest and details to be considered in detailed design and addressed by an Addendum.

- 9. Façade Composition-New and renovated buildings must enhance the character of the street through the use of high quality materials such as brick, stone and slate. Stucco should be avoided as it is not a historically relevant material for the district. Detailing should add visual interest and texture. One storey commercial faces must characterize new and renovated buildings. Storefronts that have a 2-level or greater presence on the street should be avoided. Up to 80% glazing is appropriate at-grade; second levels and above should approximate 50% glazing, with not more than 75% glazing, and no less than 25% glazing.**

The first storey will include retail space/ storefronts (the upper three floors are office space). The precise material is yet to be determined.

- 10. The horizontal rhythm and visual transitions between floors must be articulated in façade designs. The floor to ceiling height of the ground floor façade must be consistent with the predominant heights of buildings and respect the scale of adjacent buildings.**

The horizontal rhythm and visual transitions between floors is articulated by the use of spandrels and solid horizontal bands along façade. The floor to ceiling height on the ground floor and scale is not consistent with the adjacent cultural heritage resource and is to be reviewed in detailed design and addressed by an Addendum.

- 11. New buildings should respect the significant design features and horizontal rhythm of adjacent buildings. Blank façades are not permitted facing main or side streets (excluding lanes), without exception.**

The new building has a variety of design articulations which do not include blank facades. The building draws a parallel between the central battlement tower of the courthouse and the adjacent podium mimicking the horizontal rhythm of the parapet and associated crenellations.

- 12. New and renovated buildings must be designed to be sympathetic to the district heritage attributes, through massing, rhythm of solids and voids, significant design features, and high quality materials.**

The proposed development uses neutral colours and includes a variety of design features. The podium reflects similar design elements of the adjacent cultural heritage resource such as the proportions of solid to void, castellated parapet, narrow/ elongated fenestrations to respond to the medieval influenced arrowlit openings of the courthouse. The materials are to be determined. Significant



design features and materials should be subject to further review and addressed by an Addendum.

**13. Contributing building in the HCD range between 2 and 4 storeys with some exceptions above these heights. Single storey buildings tend to detract from the defined street wall and are discouraged.**

The proposed development is greater than a single storey. The new construction is significantly taller than surrounding heritage buildings, although incorporates a rhythm of solids and voids by the use of solid materials and glazing.

**14. Setback, Height and Massing Façades must be a minimum of 2 storeys and no more than the permitted maximum height of 18 metres. The perception of building height from the pedestrian's view on the sidewalk is of the most concern within the HCD. It is desired that the scale and spatial understanding of the Downtown be retained while allowing for new development. Above these heights, it is recommended that buildings be setback from the building line at setback of 2 metres for each two metres of height. Upper floor setbacks are required on buildings that will exceed their neighbouring buildings' heights by over one storey. Setback and step-backs are not permitted under 13 meters of building height.**

The proposed development exceeds 18 metres in height and includes stepbacks after the fourth level (which is composed of a shared podium). The current streetscape of the subject property does not include a continuous street wall or solely maintain buildings between 2-4 storeys in height as there are many mid to high-rise buildings in the immediate surroundings.

**15. New and renovated buildings must maintain and enhance the continuity of the street edge by building out to the front property line. New and renovated buildings must build the full extent of the property width fronting the HCD streets. However, double lots must maintain the visual rhythm of single lots by breaking up their façade in some manner.**

The new building is proposed to be built out to the front property line to maintain and enhance the continuity of the street edge. The development is separated into two towers to lessen the appearance of massing.

**16. Where new buildings will abut existing structures at the building line, it is encouraged that the new structures exactly match the adjacent building height, or provide a clearly visible and readily apparent offset in height so as to maintain the visual integrity of the existing structure. With the**

**exception of development along York Street, new development along streets within Downtown is encouraged to retain a three to four storey height at the building line.**

The new building will not abut existing structures at the building line. There is green space between the proposed new building and the existing adjacent cultural heritage resource.

6.2.3 Impact Analysis for Downtown (London) Heritage Conservation District

The following **Table 4.0** evaluates any potential adverse impact of the development on the subject property to the overall Downtown (London) Heritage Conservation District. The HCD Plan provides heritage character statements including: Heritage Character Statement, Architectural Character Statement and a Landscape Character Statement; there is no list of heritage attributes provided in the Plan. Therefore, the impacts are based on the statements that have been provided.

There are beneficial impacts to the Downtown (London) Heritage Conservation District such as an improved interconnectivity within downtown core (City Square) which likely will increase visitations to the site and overall area and provide more opportunities for the viability and potential adaptive re-use of historic buildings in the HCD. The proposed development will open up a new vista towards the Middlesex County Court House which is a significant heritage feature. The development proposes to restore the adjacent Middlesex County Court House and Gaol; conservation is an objective of the Plan.

Table 4.0 Impacts		Potential Adverse Impact to DHCD
Impact	Level of Impact (No, Potential, Negligible, Minor, Moderate or Major)	Analysis
<b>Destruction</b>	No impact.	The proposed development will not destroy heritage attributes of the HCD.
<b>Alteration</b>	Negligible impact.	The proposed development will alter the landscaped area which is identified in the HCD Plan as contributing to the District (see Figure 6). The proposed landscaping has not yet been confirmed, however, will require permission through the Ontario Heritage Trust as it relates to the courthouse. The existing landscaping is not original to the property and includes a variety of tree species and plant location.
<b>Shadows</b>	Negligible impact.	The proposed development will cause shadowing during summer and spring

equinoxes and winter solstice. The shadows include a general expanse of the HCD including Priority A and B buildings. These properties, however, do not include significant landscaping (with the exception of the courthouse) and the shadows are not significant enough to question viability of these spaces (see sub-section 6.2.3.1). See Appendix 'F' for Shadow Study.

<b>Isolation</b>	No impact.	The subject property is located in the downtown core of the City that includes a variety of architectural styles, scale and massing. The proposed development does not alter existing views along the streetscape of the commercial street wall and furthermore, does not isolate identified attributes of the District from one another (see sub-section 6.2.3.2 for further explanation). See sub-section 6.3.3 for potential impacts of isolation as it relates specifically to the Middlesex County Court House and Gaol.
<b>Direct or Indirect Obstruction of Views</b>	Negligible impact.	The proposed development will alter the background view identification within the Plan at the intersection of Queen and Ridout Street looking towards to the Middlesex County Court House (see sub-section 6.2.3.2).
<b>A Change in Land Use</b>	No impact.	The proposed development will be mixed-use will include increased foot traffic within the HCD, which subsequently should result in a positive increase in visitations and not adversely affect the District.
<b>Land Disturbances</b>	Moderate impact.	The proposed development is within close proximity of the Middlesex County Court House and approximately 18 metres from a Priority A and Priority B rankings buildings (52 King Street & 355-359 Ridout Street North within the HCD Plan on the south side of King Street (see sub-section 6.2.3.3).

*6.2.3.1 Impact of Shadows*

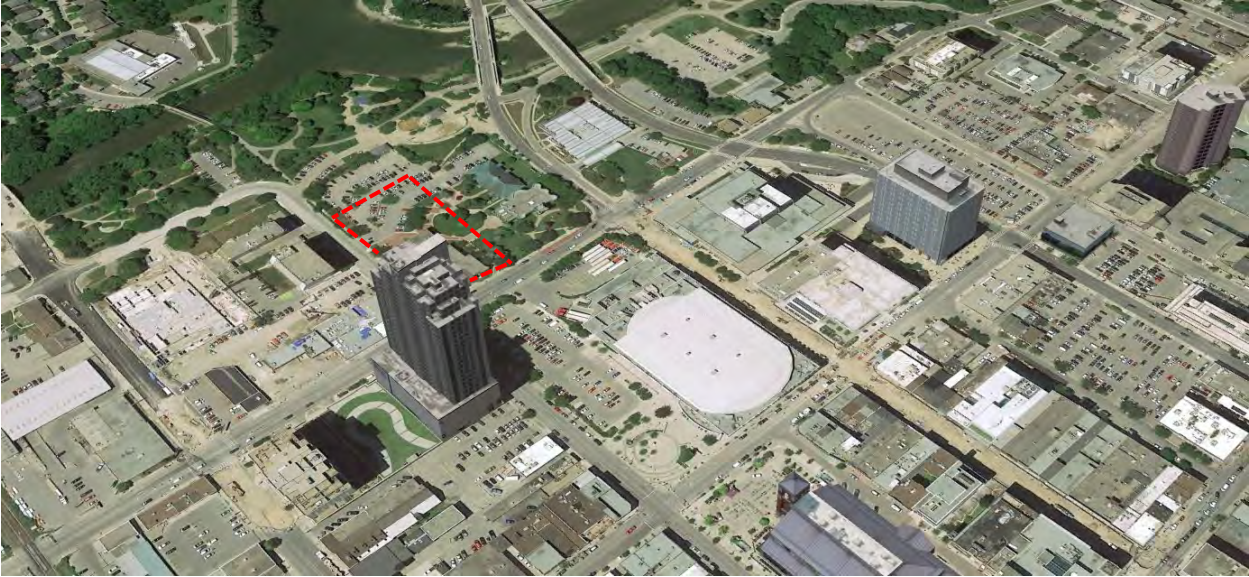
The proposed development will cause significant shadowing during the summer and spring equinoxes winter solstice across the Heritage Conservation District as it relates to the properties within the HCD that are north and north-east of the subject property some of which include the Middlesex County Court House and Gaol, the Museum London (which is a Priority 'B' building) and the building at 80 Dundas Street London

(which is considered a Priority ‘A’ building) in addition to further properties to the east (see **Appendix ‘F’**). The shadowing, however, does not question the viability of these buildings and associated landscape features with the exception of the adjacent property which is analyzed in sub-section 6.3.2 of this report.

*6.2.3.2 Impact of Isolation*

The subject property is located at the intersection of King Street and Ridout Street North by the Forks of the Thames which historically has been a primary location within the City of London. To the north are a range of low to high rise buildings with mixed uses; directly to the east is the Budweiser Gardens and northwards runs a tree boulevard which terminates at Queens Avenue. To the south, there is a range of low to high-rise buildings including low-rise historic buildings on the south-west corner of King Street and Ridout Street North, which is the site of the first dwelling in the town plot of London. North-west of the subject property is Dundas Street which leads to Kensington Bridge to cross over the Thames River (see Figure 17 for isometric aerial view of subject property and surrounding area). Figures 28 and 29 provide views of the Ridout Street North streetscape as it relates to the subject property.

The surrounding area is acknowledged as a range of architectural styles, scale and massing. The architectural statement for the District within the Plan states, The number of Downtown land uses and building types has created a variety in terms of style, materials, detailing and scale within each block’ (Section 2.3, DHCD Plan). Currently, the subject property is nearby several large scale developments which are intermixed amongst identified priority buildings within the District. Therefore, isolation of contributing properties within the immediate surrounding area of the District is not expected as a result of the development acknowledging the current context.



**Figure 27:** Isometric view of subject property and surrounding area; red box identifies approximate location of subject property (Google Earth Pro, 2018).



**Figures 28 & 29:** (above) Broad view along Ridout Street North looking north-west from York Street; (below) Broad view along Ridout Street North looking south-east from Queens Avenue (Google Earth Pro, 2018).

6.2.3.3 Impact of Obstruction of Views

The HCD Plan states that the goal of the HCD is to, “Preserve, reinstate and reinforce existing vistas and sight lines toward significant historic cultural features and buildings” and to, “open up or enhance new vistas toward significant heritage features and buildings in places where this can be done without detriment to the heritage character of the District” (Section 6.2.7). Section 6.2.7 entitled “Spatial Elements- Views and Vistas” identifies these as “important elements of the landscape”. One of specific views provided in this section is the view of the Middlesex County Court House as a landmark. The HCD Plan states further the intent of the Plan is to, “Organize and integrate design components to respect the views. Protect the foregrounds, backgrounds and frames of these views and vistas from incongruent elements such as buildings, structures, utilities, furnishings and plantings that may impact the setting” (Section 6.2.7). The view provided in the Plan is shown in Figure 30 below.

In downtown London, the HCD Plan identifies the following significant view: the Middlesex County Court House seen from the intersection of Dundas and Ridout Street”. Furthermore, one of the identified HCD’s significant scenic vistas of the Downtown includes the vista “-from the promontory behind the Middlesex County Courthouse to the Forks of the Thames” (Sub-section 6.2.7) (see Figure 33). This vista is described as “contain[ing] unobstructed view sheds but with active foregrounds between the viewer and the subject”.



**Figure 30:** Significant view identified in the HCD Plan of the Middlesex County Court House looking north-east towards front elevation (HCD Plan, 2012).

The proposed development will not directly obstruct the view of the courthouse that is identified in the HCD Plan). The proposed development will, however, impact the background of this view (see Figure 31). The development does ‘open up’ a view of the south elevation of the courthouse which is visible between the podiums of the new development (see Figure 32).



19-045 50 King

RENDER - VIEW FROM DUNDAS ST & HIDEOUT ST V9 - 23.01.23 A6.20



19-045 50 King

COLOUR ELEVATION - SOUTH

V9 - 23.01.23  
A4.3



**Figures 31 & 32:** (above) Coloured rendering looking south-west from Ridout Street North and Dundas Street of the Middlesex County Court House (below) View of courthouse between proposed podiums (Zedd Architecture, 2023).



**Figure 33:** Coloured rendering looking from promontory to the Thames River from the rear of the Middlesex County Court House and Gaol (Zedd Architecture, 2022).



#### *6.2.3.4 Impact of Land Disturbances*

The proposed development is within close proximity of the Middlesex County Court House and approximately 18 metres from a Priority A and Priority B rankings buildings (52 King Street & 355-359 Ridout Street North) within the HCD Plan on the south side of King Street (see Figure 34). The buildings on the south side of King Street are non-contiguous due to be situated on the south side of the right of way and not expected to be adversely impacted by the proposed development, however, the proximity between the proposed development and the Middlesex County Court House will be examined more thoroughly in sub-section 6.3.5.



Figure 5:  
**Building Classifications**

**LEGEND**

- Subject Lands
- Priority A (Historic)
- Priority B
- Priority C (Non-Historic)
- Priority D
- Non-Historic
- Landscape
- HCD Boundary

DATE: September 2021

SCALE: 1: 1,500

FILE: 1004BO

DRAWN: LC



K:\1004BO - 50 King St, London\PTT\Building Classification.dwg

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50 King Street  
City of London

**Figure 34:** Coloured map figure of properties with associated ranking as per the HCD Plan; red box identifies proximity between proposed development and adjacent Priority 'A'; and Priority 'B' buildings (MHBC, 2022 and HCD Plan 2012).

### 6.3 Impact Analysis for 399 Ridout Street North, “The Middlesex County Court House and Gaol”

The adjacent property located at 399 Ridout Street North, London, Ontario is a Provincially Significant Property and therefore required an assessment following the guidelines in the *Information Bulletin 3, Heritage Impact Assessment for Provincial Properties*. **Table 5.0** below assesses adverse impacts based on this bulletin. To note, this analysis reviews both the heritage attributes in By-law L.S.P 2534-582 (Part IV designation of the Middlesex County Court House) and By-law L.S.P. 2917-501 (Part IV designation of the Gaol).

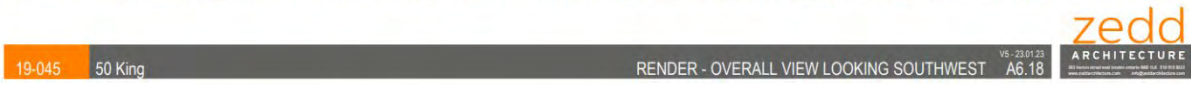
The proposed development does provide beneficial impacts including the conservation of the Middlesex County Court House and Gaol will increase visitations to the site and will provide a new view of the Middlesex County Court House which is a significant heritage feature. The following **Table 5.0** evaluates the impact of the proposed development on the subject property to the adjacent protected heritage property.

<b>Table 5.0 Adverse Impact 399 Ridout Street North- Middlesex County Court House &amp; Gaol</b>		
<b>Impact</b>	<b>Level of Impact (No, Potential, Negligible, Minor, Moderate or Major)</b>	<b>Analysis</b>
<b>Destruction</b>	No.	There is no proposed destruction of the identified heritage attributes of the Middlesex County Court House and Gaol.
<b>Alteration</b>	Direct, potential impact.	There is no proposed alteration of the identified heritage attributes of the Middlesex County Court House and Gaol with the exception of the revitalization of the front garden space which requires the alteration to some landscape features creating the ‘park-like setting’ identified as a character defining element (see sub-section 6.3.1).
<b>Shadows</b>	Indirect, moderate impact.	There will be shadows as a result of the high-density development in the mid-day during the spring and summer equinoxes and winter solstice (see sub-section 5.3.2). The shadows could impact the natural features particular to the front gardens depending on the types of plantings which may suffer from prolonged shadowing during the spring and summer months.

<b>Isolation</b>	Indirect, potential impact.	The proposed development has potential to detract from the prominence of the courthouse due to its significant massing and scale. The landscaping of the front gardens, which has not yet been confirmed, could isolate the building from its overall setting which is part of its character defining elements as well (see sub-section 6.3.3).
<b>Direct or Indirect Obstruction of Views</b>	Direct and indirect potential impact.	Changes to landscaping could cause obstruction of views of the courthouse. It is important that any new plantings avoid obstructing any significant views of the building.
<b>A Change in Land Use</b>	No impact.	The change of land use will not impact the Middlesex Courthouse and Gaol and contrarily should increase visitations to the site.
<b>Land Disturbance</b>	Indirect, moderate impact.	The proposal includes a four storey parking garage which is in close proximity of the courthouse (15.79 metres). The depth of excavation and proximity to the building (which does not include required shoring) is a concern for the heritage building (see sub-section 5.3.4). The gaol is approximately 28.43 metres away.

6.3.1 Impact of Alteration

There is a proposed alteration to the landscaping surrounding the Middlesex County Court House and Gaol. The ‘park-like setting’ is identified as a character defining element of the courthouse and is also captured in the Ontario Heritage Trust easement. It is important that the alteration ensures that the property retains its prominent setting along the streetscapes as it is also part of the character-defining elements of the courthouse. Photographs of the landscaping as of 1981, when the easement was established, is included in **Appendix 'D'** of this report.



**Figure 35:** Coloured isometric view of the courthouse and front yard gardens (Zedd Architecture, 2023).

### 6.3.2 Impact of Shadows

The proposed development will cause significant shadows particular to the Middlesex County Court House and associated front gardens during spring and fall equinox-ranging between 10:00am-2:00pm (see **Appendix 'F'** for the Shadow Study). Future landscaping will likely be limited to shade-tolerant species due to the restricted amount of sun provided during the day during typical growing seasons (spring and summer).

### 6.3.3 Impact of Isolation

The Middlesex County Court House is a historical landmark within the City of London; the Ontario Heritage Trust Easement states, “-the Courthouse became an immediate landmark and focal point, due to its prominent position in the rapidly developing community.” Its prominence in the surrounding area was integral to its design intent supported by its castle-like appearance (see Figure 36). Character defining elements of the courthouse include: its prominent location, bounded by Ridout, Dundas and King Streets; its siting, setback from the street in a park-like setting; and streetscapes along Ridout, Dundas and King Streets, and towards the Thames River. These elements all provide a context and overall environment for the cultural heritage resources on-site.

The massing and scale of the proposed development contrasts with that of the existing historic building which may detract from the prominence of the Middlesex County Court

House, however, the podium has been designed to minimize this contrast (see Figure 38). The arterial path between the subject property and adjacent property has been designed to create legibility between the two properties allowing for distinct settings of their own which by virtue maintains the prominent setting of the courthouse.

It is acknowledged that the block, within which the subject property is located, has historically included several other buildings and has evolved significantly over time, particularly from the time that it was recognized as a National Historic Site in 1955 (see Figures 36 & 37). Notwithstanding the changes to the immediate surrounding area over time, the courthouse and gaol have retained their contextual value, in part due to their interrelationship with one another. Depending on the proposed landscaping, there is potential that alterations to the front yard could alter the context of the site.



**Figure 36 & 37:** (above) Photograph of former Middlesex County Office in 1980 prior to demolition (Glen Curnoe, 1980); (below) View of former building at 50 King Street to the south of the courthouse (MHBC, 2021).



**Figure 38:** View of the east (front) elevation of the courthouse in comparison to the new development (Zedd Architecture, 2023).

### 6.3.4 Impact of Direct or Indirect Obstruction of Views

The *Ontario Heritage Toolkit* acknowledges that views can contribute to the CHVI of a resource<sup>3</sup>. The Standards and Guidelines for Provincial Heritage Properties defines views as follows:

*View means a visual setting that may be experienced from a single vantage point, and includes the components of the setting at various points in the depth of the field.*

Significant views of the Middlesex County Court House and the Gaol are not identified individually in the associated designation by-laws under Part IV of the OHA (the views identified in the DHCD Plan of the property are reviewed in section 6.2.3 of this report). Several historic views have been recorded from specific vantage points in historic photos, postcards, publications. The prominent views identified in historical records (including images, paintings, and ephemera) are directed from the intersection of Dundas Street and Ridout Street North, which is noted in the DHCD Plan (2012).



**Figures 39 & 40:** (left) Photograph of the courthouse in 1895 from the James Egan Collection Ivey family London Room (Courtesy of the London Public Library); (right) Photograph of the east (front) elevation in 1926 from the Hammond Fonds (Courtesy of the Archives of Ontario).

Views can be either static or kinetic; static views are those which have a fixed vantage point and view termination and kinetic views are those related to a route (such as a road or walking trail) which includes a series of active views of an object or vista.

Based on historic records and views noted specifically of the property within the DHCD Plan the following views and vistas have been assessed for the Middlesex County Courthouse and Gaol:

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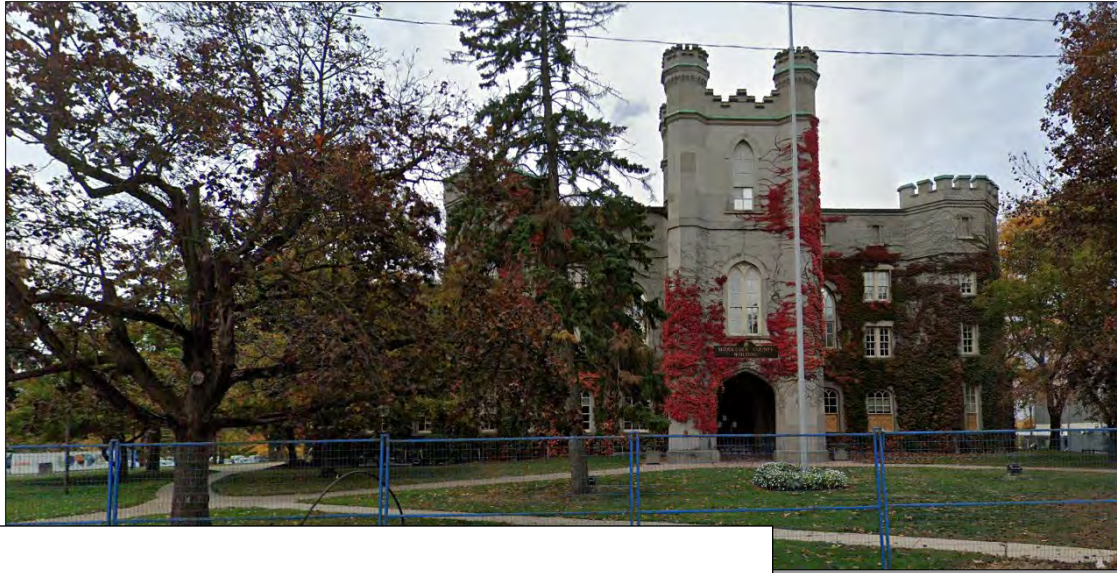
<sup>3</sup> It is important to note that a separate Visual Impact Assessment/ viewshed analysis will be completed as part of the planning application that will inform this section of the report.



- **Static:**
  - 1) View of the front façade of the courthouse from Ridout Street North looking westwards (see Figure 42);
  - 2) View of the courthouse and gaol from the intersection of the Ridout Street North and Dundas Street (see Figure 43); and,
  - 3) Vista from the promontory of the courthouse and gaol towards the Forks/ River Thames (see Figures 44 & 45).
  
- **Kinetic:**
  - 4) View of the courthouse along Ridout Street North moving north and south (see Figures 46 & 47); and,
  
  - 5) View of the courthouse and gaol along Dundas Street moving eastwards from the River Thames towards courthouse and westwards towards the river (see Figures 48 & 49).



**Figure 41:** Map figure of view analysis based on identified significant views of the Middlesex County Court House and Gaol (MHBC, 2023).

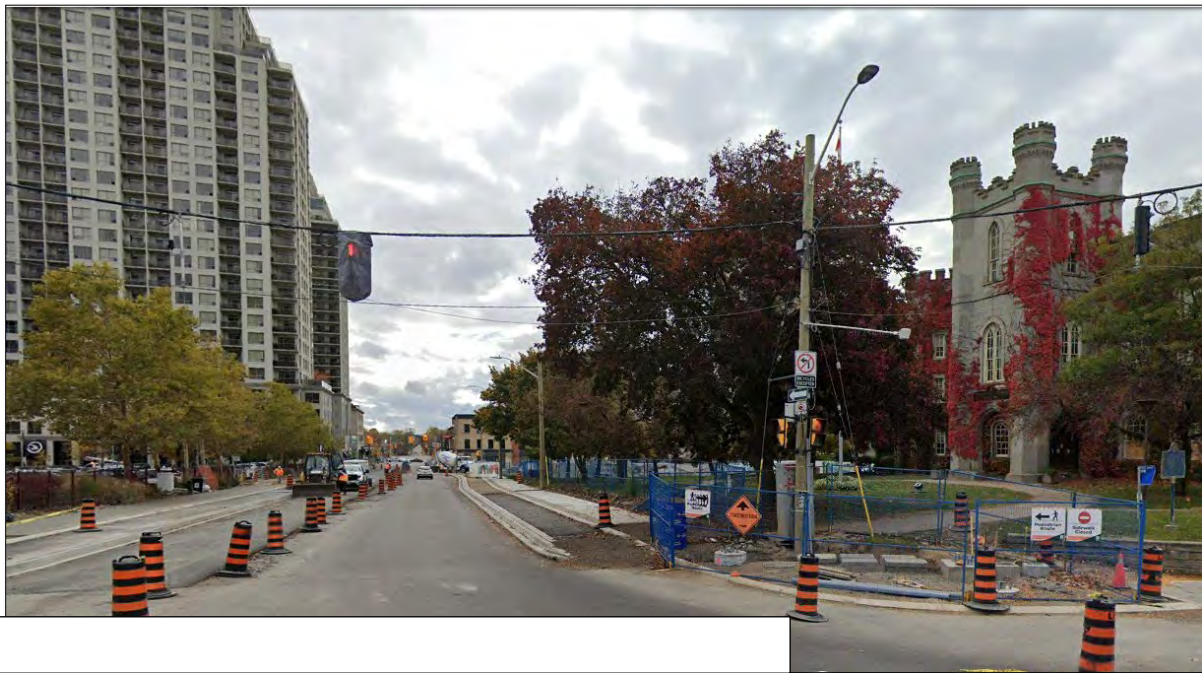
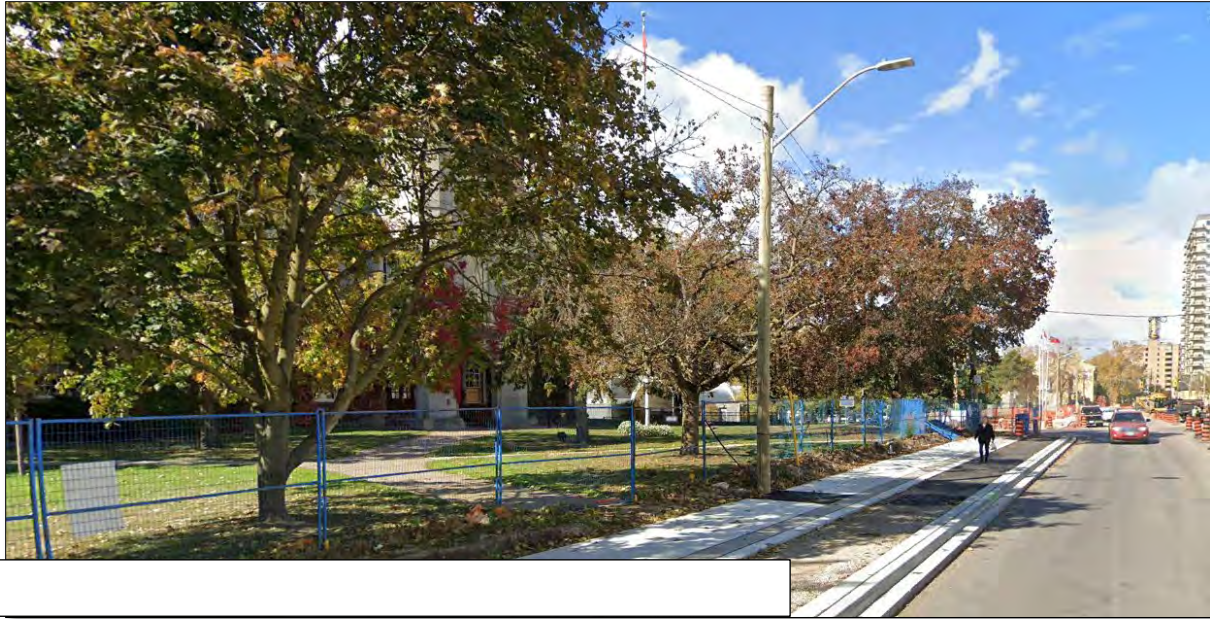


**Figures 42 & 43:** (above) Static view of front of the courthouse looking westward; (below) Static view from the intersection of Dundas Street and Ridout Street North (Source: Google Earth Pro, 2023).



Vista 3- Vista of the River Thames looking westwards from the rear of the gaol atop the promontory

**Figures 44 & 45:** (above) Vista looking westwards from courthouse towards River Thames; (below) Vista from second floor balcony of gaol atop promontory looking westwards towards River Thames (Source: Google Earth Pro, 2023).



**Figures 46 & 47:** (above) Kinetic view of front of the courthouse looking westward; (below) Kinetic view from the intersection of Dundas Street and Ridout Street North (Source: Google Earth Pro, 2023).



View 5- View moving eastwards along Dundas Street

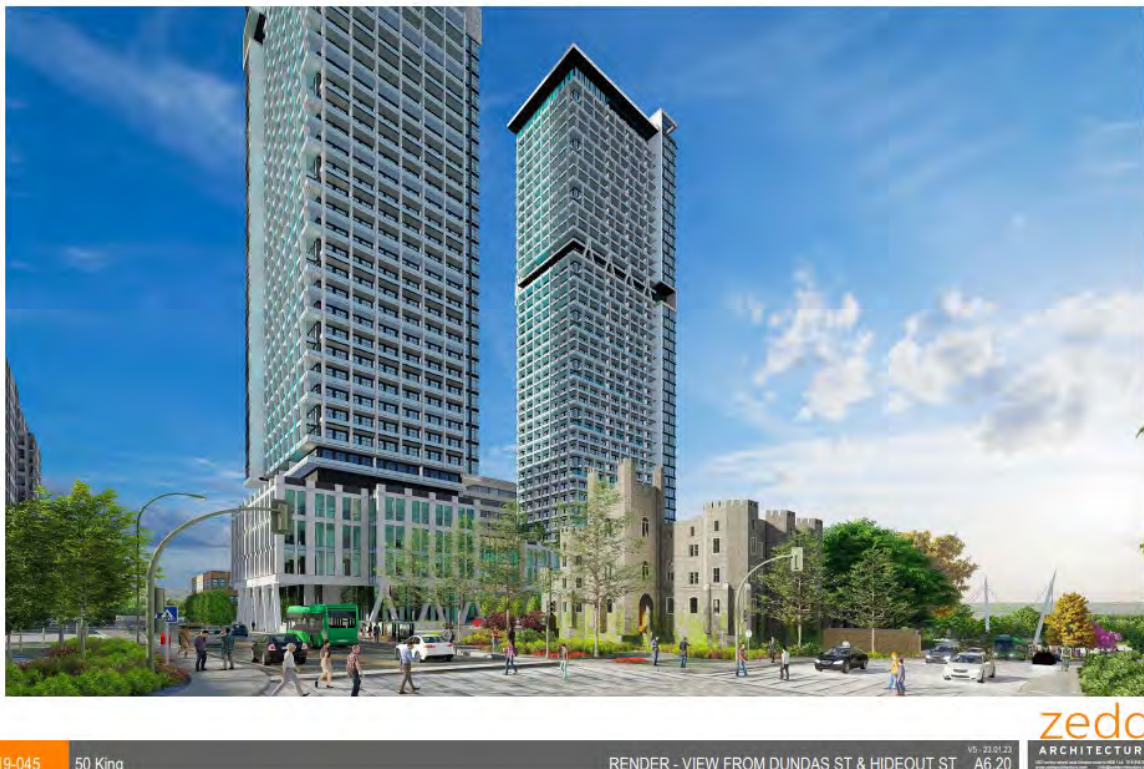


View 5- View moving westwards along Dundas Street

**Figures 48 & 49:** (above) Kinetic view of courthouse and gaol moving eastwards along Dundas Street; (below) Kinetic view from the intersection of Dundas Street and Ridout Street North (Source: Google Earth Pro, 2023).

Based upon an analysis of the current significant views and the renderings of the proposed development (see **Appendix 'B'** and Figure 50) it has been determined that there will be changes to the background of the static view of the courthouse from the intersection of Ridout Street North and Dundas Street (View no. 2) the kinetic view traversing south along Ridout Street (View no.4) and the kinetic view traversing east and west along Dundas Street (View no. 5).

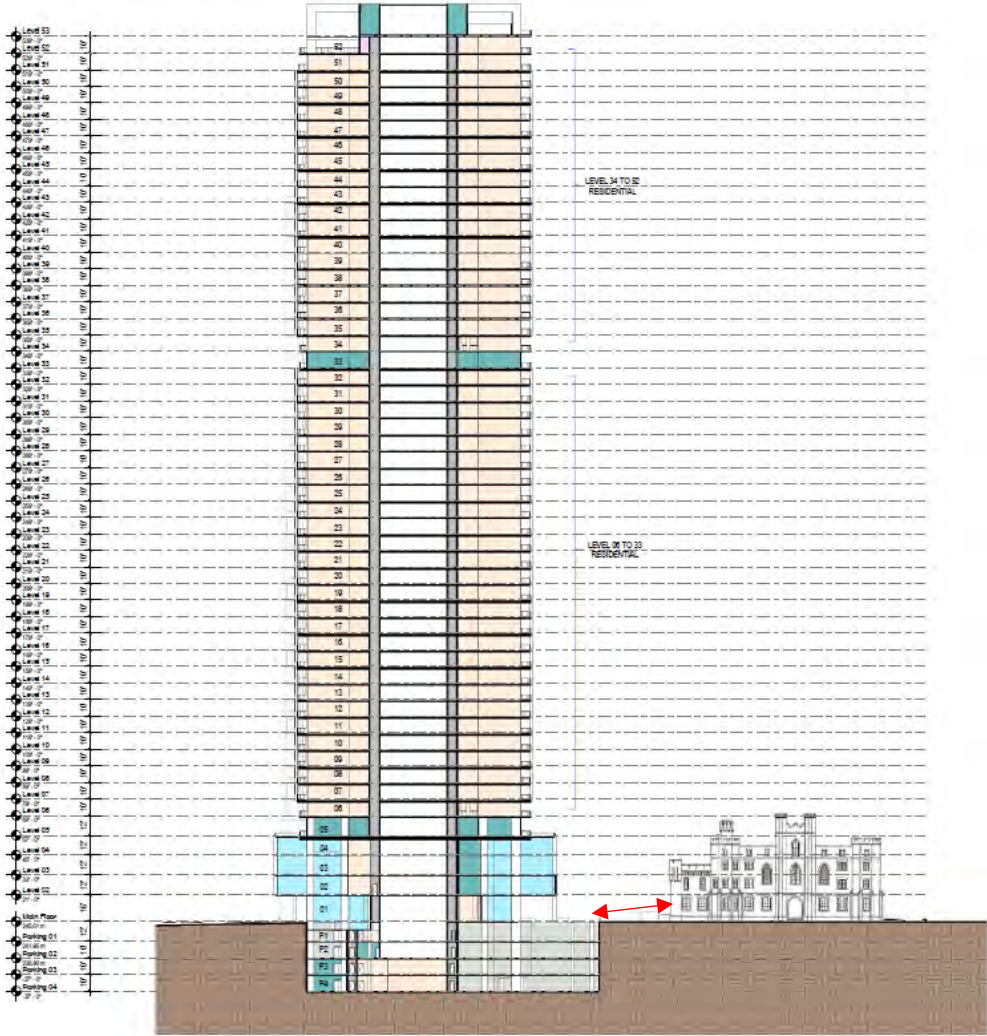
Further analysis will be required once the landscape plan is confirmed to ensure that proposed vegetation will not obstruct views of the facades.



**Figure 50:** Coloured rendering of the courthouse looking south-west from corner of Dundas Street and Ridout Street North (Source: zed architecture, 2023).

### 6.3.5 Impact of Land Disturbances

The proposed development is approximately 15.79 metres from the existing courthouse at 399 Ridout Street and 28.43 metres from the gaol; note that this distance does not include the shoring that is required (detailed shoring drawings will not be available until a later phase) (see Figure 51 & 52). There is concern that the four storey depth of excavation, and any additional shoring required, is within close proximity of this protected heritage building and can impact the structure. Additional land disturbances could also cause debris and dust that may impact the exterior shell and operation (i.e. drainage) of the historic building.




**Figure 51:** Cross-section view of front (east) elevation of the courthouse and development showing the distance between the parking garage and the adjacent historic building (Source: Zedd Architecture, 2022).





Figure  
**Approximate Distance  
 between Building (399  
 Ridout St N) and  
 Extent of Parking  
 Garage (50 King St)**

**50 King Street**  
 City of London

**LEGEND**  
 Extent of Parking Garage

**Source:**  
 - 2022 Aerial Imagery, City of London

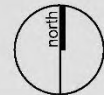
**Note:**  
 - Distance is only approximate.

**DATE:** January 2023

**SCALE:** 1: 750

**FILE:** 1094BO

**DRAWN:** PL



K:\1094BO - 50 King St. London\RPT\Closest Distance to  
 Parking Garage.dwg

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**Figure 52:** Map figure identifying the extent of the parking garage within the subject property and the adjacent courthouse and gaol (Source: MHBC, 2022).

# 7.0 Considered Alternatives and Mitigation Measures

## 7.1 Alternative Development Options

The following have been identified as a range of development alternatives that may be considered as part of the heritage planning process. These options have been assessed in terms of impacts to cultural heritage resources as well as balancing other planning policies within the planning framework. The following sub-sections of this report consider the potential for alternative development options as it relates to the proposed development.

### 7.1.1 'Do Nothing' Alternative

The 'do nothing' alternative would result in no adverse impacts to the existing significant cultural heritage resource since no development would occur on the subject property. The location of the property is within the downtown city core and historically has been central location. The absence of development would render the property vacant which would cause a 'void' along the streetscape which is not recommended within the heritage conservation district, notwithstanding the broader planning objectives of the City.

### 7.1.2 Alternative Architectural Design

The reduction of height of the proposed towers has been explored, however, it has been concluded that the associated impacts (including shadowing, isolation, potential visual impacts, land disturbances and matters of scale and massing regarding HCD policies and guidelines) could not be appropriately met by a building greater than three storeys. A larger setback between the courthouse and the proposed development may lessen impacts of land disturbances, however, would remain an impact and require the same subsequent mitigation measures (i.e. Vibration Monitoring Study) which would better determine the impact of distance as it relates to the Zone of Influence (ZOI) determined in the study.

Alternatively, mitigation measures can address some of the impacts such as recommending shade-tolerant species of plants for front yard landscaping of the courthouse that will endure the shadowing, requiring a Vibration Monitoring Plan in

tandem with a certification by the project engineer regarding a sensitive approach to shoring, completing a visual impact assessment and others examined in the following sub-section of this report.

The massing and scale of the proposed development is considerable in scale and massing that the adjacent cultural heritage resource. The podium that supports the two towers serves as an important and integral piece to the overall compatibility of the development particularly due to its interrelationship with pedestrians and the overall streetscape. Design guidelines are recommended, particularly for the podium, to ensure a strong linkage between the cultural heritage resource and new construction. The following are provided as design considerations:

- Incorporating a material and colours similar to the courthouse and/ or gaol within the first three storeys (i.e. brick, stone-like material);
- Reduce height of podium overhang/ structural canopy, particularly on the north elevation immediately adjacent to the courthouse to be more consistent with the horizontal rhythms of the adjacent architecture;
- Triangular motifs should have more design cues from the lancet or semi arches of the courthouse or develop an alternative design (i.e. a modern arcade).

The final design should be reviewed in the form of an Addendum to this report at the Site Plan Approval stage to ensure compatibility to the adjacent cultural heritage resource and overall heritage conservation district.

## 7.2 Mitigation and Conservation Measures

### 7.2.1 Mitigation Measures

The following **Table 6.0** outlines the adverse impacts identified and the corresponding mitigation measures as it relates to the Downtown London Heritage Conservation District:

Table 6.0- Mitigation Measures for Adverse Impacts to the HCD	
<i>Adverse Impact</i>	<i>Proposed Mitigation Measures</i>
<b>Negligible impact of alteration to landscaping</b>	Complete a detailed landscape plan for area identified in the HCD plan (see Figure 34) which includes land within the limits of the subject property and 399 Ridout Street North.

<p><b>Negligible impact of shadowing</b></p>	<p>There is no mitigation measure for private properties, however, the shadowing is not expecting to negate viability of the properties. The use of shade-tolerant plants would be recommended for public plantings that may be affected.</p>
<p><b>Potential Impact of isolation</b></p>	<p>Complete a detailed landscape plan for subject property and adjacent cultural heritage resource that ensures appropriate transition between the courthouse, gaol, promontory hill, Thames River and new construction within the overall HCD.</p>
<p><b>Negligible impact of views</b></p>	<p>Complete a visual assessment/ view shed analysis once the landscape plan is confirmed to ensure there is no obstruction of views as a result of landscaping for identified significant views of the HCD.</p>
<p><b>Moderate impact of land disturbances</b></p>	<p>Complete a Vibration Monitoring Plan to determine the Zone of Influence (ZOI) for the surrounding heritage buildings (52 King Street &amp; 355-359 Ridout Street North) and subsequently implement vibration monitoring through the installation of monitors, if deemed necessary.</p>
<p><b>Non-compliance with HCD Policies and Guidelines</b> <i>(including the use of high-quality materials, percentage of glazing, floor to ceiling height, design articulations of the podium and height)</i></p>	<p>Through the site plan process, design guidelines should be implemented as it relates to the new construction to ensure that the proposed materials are consistent with the Plan. Details related to the architectural articulation of the podium in particular should be reviewed to develop more parallels between the horizontal rhythm of the courthouse and the new construction.</p>

The following **Table 7.0** outlines the adverse impacts identified and the corresponding mitigation measures as it relates to the Downtown London Heritage Conservation District:

<b>Table 7.0- Mitigation Measures for Adverse Impacts for 399 Ridout Street North, London</b>	
<b>Direct, negligible alteration to landscape features in the front yard of the courthouse along Ridout Street North;</b>	Complete a detailed landscape plan for 399 Ridout Street North which receives approval from the Ontario Heritage Trust.
<b>Indirect, moderate impact of shadowing as it relates to the designated landscape features of the courthouse;</b>	Complete a detailed landscape plan for 399 Ridout Street North as it relates to the courthouse and gaol identifying species of plants that would be appropriate for the duration of shadows anticipated to be projected.
<b>Indirect, potential impact of isolation between attributes of the Courthouse, Gaol and landscaping;</b>	Complete a detailed landscape plan for 399 Ridout Street North as it relates to the attributes of the courthouse, gaol and new construction.
<b>Indirect, moderate impact of land disturbances as excavation and other construction works are within close proximity of the built heritage resource.</b>	<p>Complete a Temporary Protection Plan as part of a Strategic Conservation Plan, which will include:</p> <ul style="list-style-type: none"> <li>• A Vibration Monitoring Plan to be completed by an acoustic engineer to determine the Zone of Influence (ZOI) for the courthouse and gaol and subsequently implement vibration monitoring through the installation of monitors, if deemed necessary;</li> <li>• Certification by a structural engineer that the proposed development will be constructed in a way that will avoid damage to the courthouse structure.</li> </ul>

	<ul style="list-style-type: none"><li>• A Risk Management Plan that will outline pro-active steps if risk is detected during construction or if partial or full damage occurs.</li></ul>
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### 7.2.2 Conservation Measures

In order to determine the existing condition of the building it is recommended that a Building Condition Assessment be completed by a Heritage Engineer and masonry conservator, preferably a member of CAHP to supplement Section 4.0 of this report. This assessment will inform the conservation measures required for the adjacent cultural heritage resource. In order to ensure that the Middlesex County Court House and Gaol are conserved appropriately it is recommended that a Strategic Conservation Plan be completed as per the Ministry’s<sup>4</sup> standards which shall be consistent with *Park’s Canada Standards and Guidelines for the Conservation of Historic Places in Canada*. Furthermore, conservation work must be completed by a member of the Canadian Association of Heritage Professionals and have experience with heritage buildings.

Without a fulsome understanding of the existing conditions of the Middlesex County Court House and Gaol, the approach to conservation is proposed to be ‘preservation’. The Standards and Guidelines for the Conservation of Historic Places in Canada describes the context within which the approach of preservation is appropriate:

- (a) *Materials, features and spaces of the historic place are essentially intact and convey the historic significance, without extensive repair or replacement;*
- (b) *Depiction during a particular period in its history is not appropriate; and,*
- (c) *Continuation or new use does not require extensive alterations or additions.*

Until further assessment infers the necessity for restoration work (alterations and additions are not part of this proposal and therefore, the approach of rehabilitation is not anticipated), the proposed approach will be preservation. However, the approach will be confirmed and examined in the recommended Strategic Conservation Plan.

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<sup>4</sup> Ministry of Citizenship and Multiculturalism

# 8.0 Community Engagement

Community engagement is required as part of Heritage Impact Assessment for Provincially Significant Properties. **Table 8.0** below identifies community stakeholders that have been engaged in the process to date. Please note that community engagement is intended to be combined with public consultation required within the Zoning By-law Amendment planning process and that comments acquired through this process will be provided as an addendum to this report.

Table 8.0- Community Engagement Stakeholders	
Stakeholder	Engagement
<b>City Heritage Planner, Kyle Gonyou</b>	On-going correspondence regarding the project and involvement of sub-consultants (i.e. heritage engineer and masonry contractor).
<b>Janet Hunter (Tour Guide) Dr. Mark A. Tovey (Adjunct Assistant Professor, Department of History, Western University) Kyle Gonyou (City Heritage Planner) Michael Greguol (City Heritage Planner)</b>	Heritage walking tour on December 16 <sup>th</sup> , 2022 to review the history of the Middlesex County Court House and Gaol.

Further communication with indigenous community groups will be required at the site plan process to ensure that any relevant commemorative text, visuals or landscape features appropriately represent the interests of related First Nations communities (Chippewas of the Thames First Nation, Oneida Nation of the Thames, Munsee-Delaware Nation, Chippewas of Kettle, Stony Point First Nation and Walpole Island First Nation).

# 9.0 Recommendations

MHBC Planning, Urban Design and Landscape Architecture (“MHBC”) was retained in August 2021 by York Developments to undertake a Heritage Impact Assessment (HIA) Phase II for the subject property located at 50 King Street, London, Ontario. The purpose of this HIA is to determine the impact of the proposed development on the adjacent protected heritage property located at 399 Ridout Street, also known as the “Middlesex Court House” which is a National Historic Site of Canada, under a Heritage Easement and, in addition to the Middlesex County Gaol also located on site, designated under Part IV and Part V of the Ontario Heritage Act as well as the Downtown (London) Heritage Conservation District designated under Part V of the *Ontario Heritage Act*.

The HIA is required by the City as the proposed development is adjacent to a Protected Heritage Property. Since the adjacent property is considered a Provincially Significant Property, this report is consistent with the Standards and Guidelines for the Conservation of Provincial Heritage Properties Information Bulletin 3- Heritage Impact Assessments for Provincial Heritage Properties.

Additional permissions will be required through the Ontario Heritage Trust (OHT) for proposed landscaping and easement on the easement property. The subject property will require a Heritage Alteration Permit Application for new construction as it is within a Heritage Conservation District in accordance with Section 42 (2.1). The adjacent property located at 399 Ridout Street North will require a Heritage Alteration Permit Application for proposed alterations under both Section 33 (1-2) and Section 42 (2.1) for any proposed restoration work, if necessary, and landscaping for the courthouse and the gaol.

The impact analysis assessed impact to 1) the overall Downtown London Heritage Conservation District and, 2) the adjacent significant cultural heritage resources located at 399 Ridout Street North, London, including the Middlesex County Court House and Gaol.

The impact analysis related to the Downtown London Heritage Conservation District determined the following based on the impacts outlined in the Ontario Heritage Toolkit:



- Beneficial impact to the Downtown Heritage Conservation District such as an improved interconnectivity within downtown core (City Square) which likely will increase visitations to the site and overall area and provide more opportunities for the viability and potential adaptive re-use of historic buildings in the HCD;
- negligible impact of alteration to landscaping which is considered a contributing attribute to the HCD;
- Negligible impact of shadowing to surrounding heritage buildings;
- Negligible impact of direct or indirect obstruction of views as it relates to the background of identified views in the HCD Plan;
- Moderate impact of land disturbances as it relates to the excavation of the proposed development and surrounding heritage buildings.

The proposed development is consistent with the majority of the Downtown London Heritage Conservation District policies and guidelines, however, the assessment requires more information in regards to proposed materials, sympathetic design articulations particular to the podium and landscape plan to more fully assess compliance.

The impact analysis as it relates specifically to the Middlesex County Court House and Gaol is as follows:

- Beneficial impact due to the proposed preservation of the Middlesex County Court House and Gaol, increased accessibility and overall visitation to the site;
- Direct, negligible alteration to landscape features in the front yard of the Middlesex County Court House along Ridout Street North;
- Indirect, moderate impact of shadowing as it relates to the designated landscape features of the Middlesex County Court House;
- Indirect, potential impact of isolation between attributes of the Middlesex County Court House, Middlesex County Gaol and landscaping;
- Indirect, moderate impact of land disturbances as excavation and other construction works are within close proximity of the courthouse.

Since adverse impacts have been identified, alternative development approaches were explored in sub-section 7.1 of this report. It is recommended that the final design of the proposed development be reviewed in the form of an Addendum to this report at the Site Plan Approval stage to ensure compatibility of the proposed development as it relates to the adjacent cultural heritage resource and overall heritage conservation district.

In addition to the above, the following mitigation measures should be implemented as part of the Site Plan Approval process:

- Complete a detailed landscape plan for 399 Ridout Street North as it relates to the Middlesex County Court House and Gaol

- Complete a visual assessment/ view shed analysis once the landscape plan is confirmed to ensure there is no obstruction of views as a result of landscaping for identified significant views of the HCD
- Complete a Temporary Protection Plan which will include:
  - A Vibration Monitoring Plan to be completed by an acoustic engineer to determine the Zone of Influence (ZOI) for the adjacent cultural heritage resources located at 399 Ridout Street North including the Middlesex County Court House and Gaol and subsequently implement vibration monitoring through the installation of monitors, if deemed necessary (requires a detailed shoring plan which will not be available until the building permit stage);
  - Certification by a structural engineer that the proposed development will be constructed in a way that will avoid damage to the Middlesex County Court House structure.
  - A Risk Management Plan that will outline pro-active steps if risk is detected during construction or if partial or full damage occurs.

To ensure that the Middlesex County Courthouse and Gaol are conserved appropriately it is recommended that a Strategic Conservation Plan be completed as per the Ministry's<sup>5</sup> standards which shall be consistent with *Park's Canada Standards and Guidelines for the Conservation of Historic Places in Canada*. Furthermore, conservation work must be completed by a member of the Canadian Association of Heritage Professionals (CAHP) and have experience with heritage buildings. This Plan should be implemented as part of the Site Plan Approval process.

In order to determine the existing condition of the building it is recommended that a Building Condition Assessment be completed by a heritage engineer and masonry conservator, preferably a member of CAHP, to supplement Section 4.0 of this report. This assessment will inform the conservation measures required for the adjacent cultural heritage resource to inform the Strategic Conservation Plan.

Lastly, it is recommended that consultation with indigenous community groups should be required through the site plan process to ensure that any relevant commemorative text, visuals or landscape features appropriately represent the interests of related First Nations communities (Chippewas of the Thames First Nation, Oneida Nation of the

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<sup>5</sup> Ministry of Citizenship and Multiculturalism

Thames, Munsee-Delaware Nation, Chippewas of Kettle, Stony Point First Nation and Walpole Island First Nation).

As per the Standards and Guidelines for the Conservation of Provincial Heritage Properties Information Bulletin 3- Heritage Impact Assessments for Provincial Heritage Properties, additional studies are required to be identified in this assessment. Therefore, it is recommended that an archaeological assessment should be required to supplement this Heritage Impact Assessment as it relates to disturbances resulting from proposed landscaping to ensure that impacts to all cultural heritage resources, including archaeological, have been appropriately addressed.

*Respectfully submitted,*



Rachel Redshaw, MA, HE Dipl., CAHP  
**Senior Heritage Planner, MHBC**



Dan Currie, MA, MCIP, RPP, CAHP  
**Partner, MHBC**

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# Appendix A– Maps

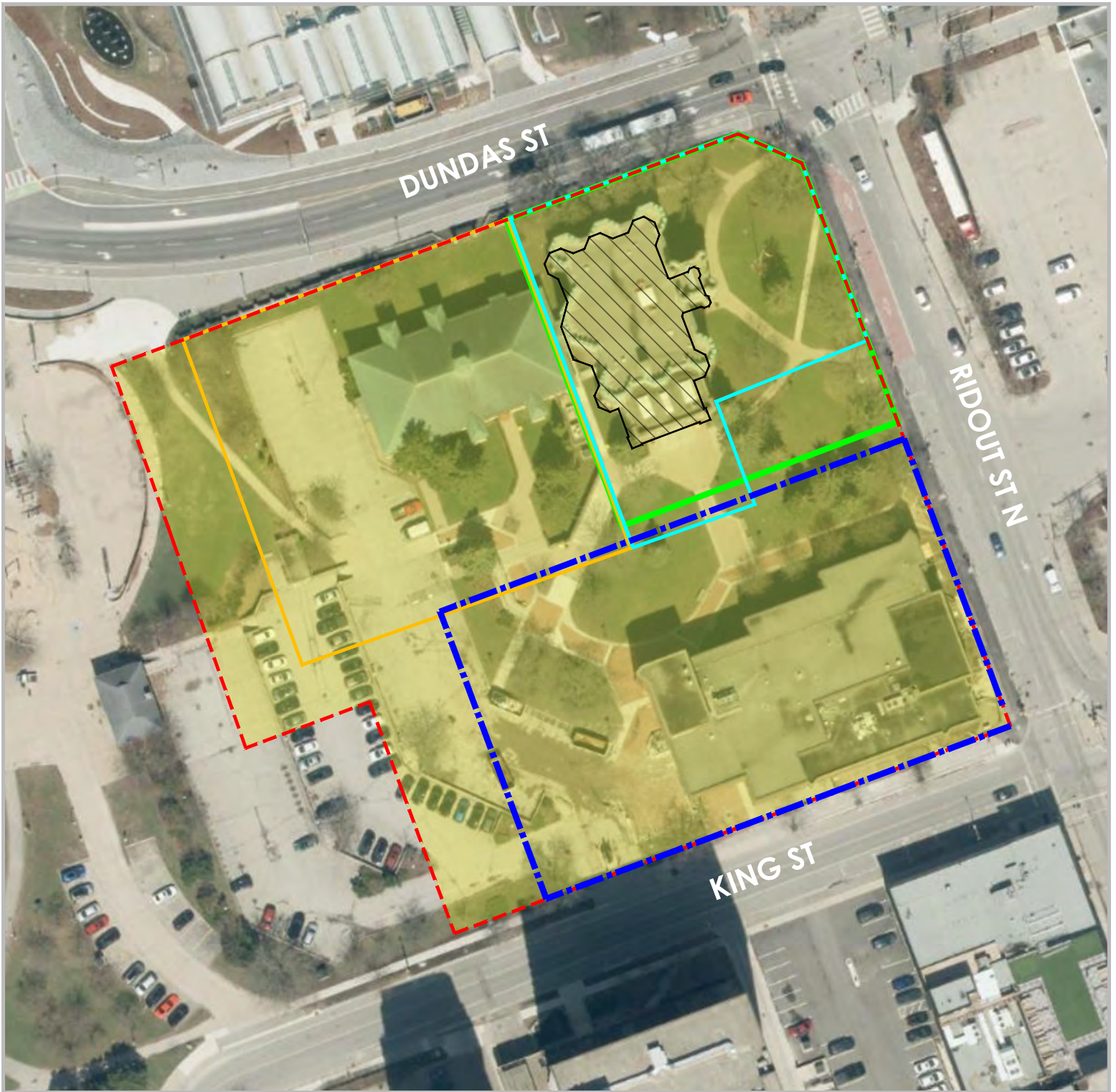


Figure  
**Heritage Map**

**LEGEND**



Subject Lands

Boundary of the legal description from the Part IV designation of the Middlesex County Court House (by-law L.S.P.-2534-582)

Boundary of the legal description from the Part IV designation of the Gaol (by-law L.S.P.-2917-501)



399 Ridout Street North

OHT Heritage Conservation Easement, Part IV Designation Boundary

National Historic Site

Designated Heritage Property, Part V of the OHA

**Source:**  
2022 Aerial Imagery, City of London

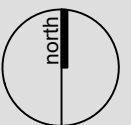
**DATE:** February 2023

**SCALE:** 1: 1,000

**FILE:** 1094BO

**DRAWN:** PL

K:\1094BO - 50 King St. London\RPT\Heritage Map.dwg



**50 King Street**  
City of London

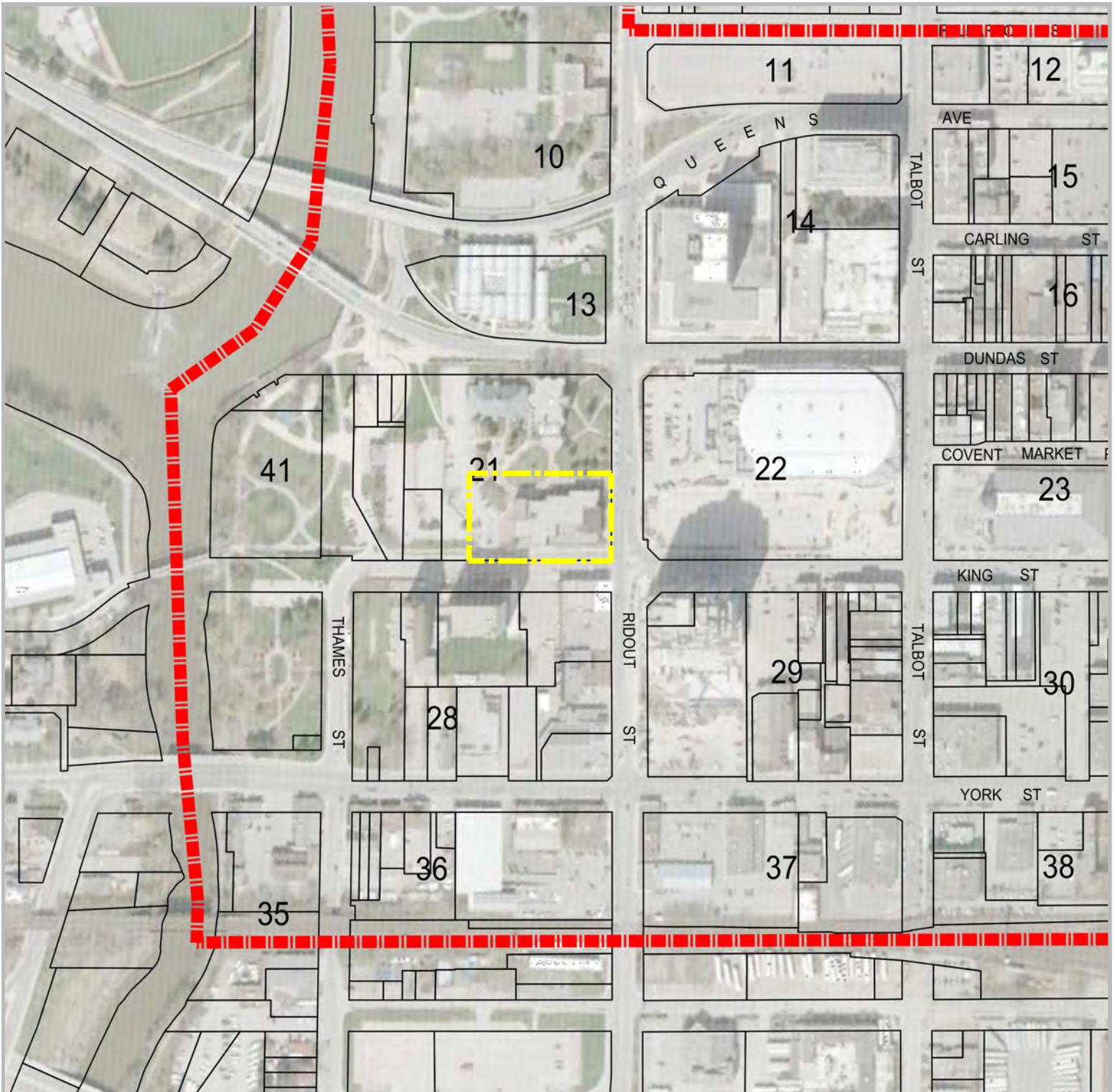


Figure 2:  
**Downtown London  
 Heritage  
 Conservation District  
 designated under  
 Part V of the Ontario  
 Heritage Act**

**LEGEND**

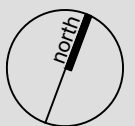
-  Subject Lands
-  Downtown London Heritage Conservation District Boundary

**DATE:** September 2021

**SCALE:** 1: 2,500

**FILE:** 1094BO

**DRAWN:** LC



K:\1094BO - 50 King St. London\RPT\Downtown London Heritage.dwg

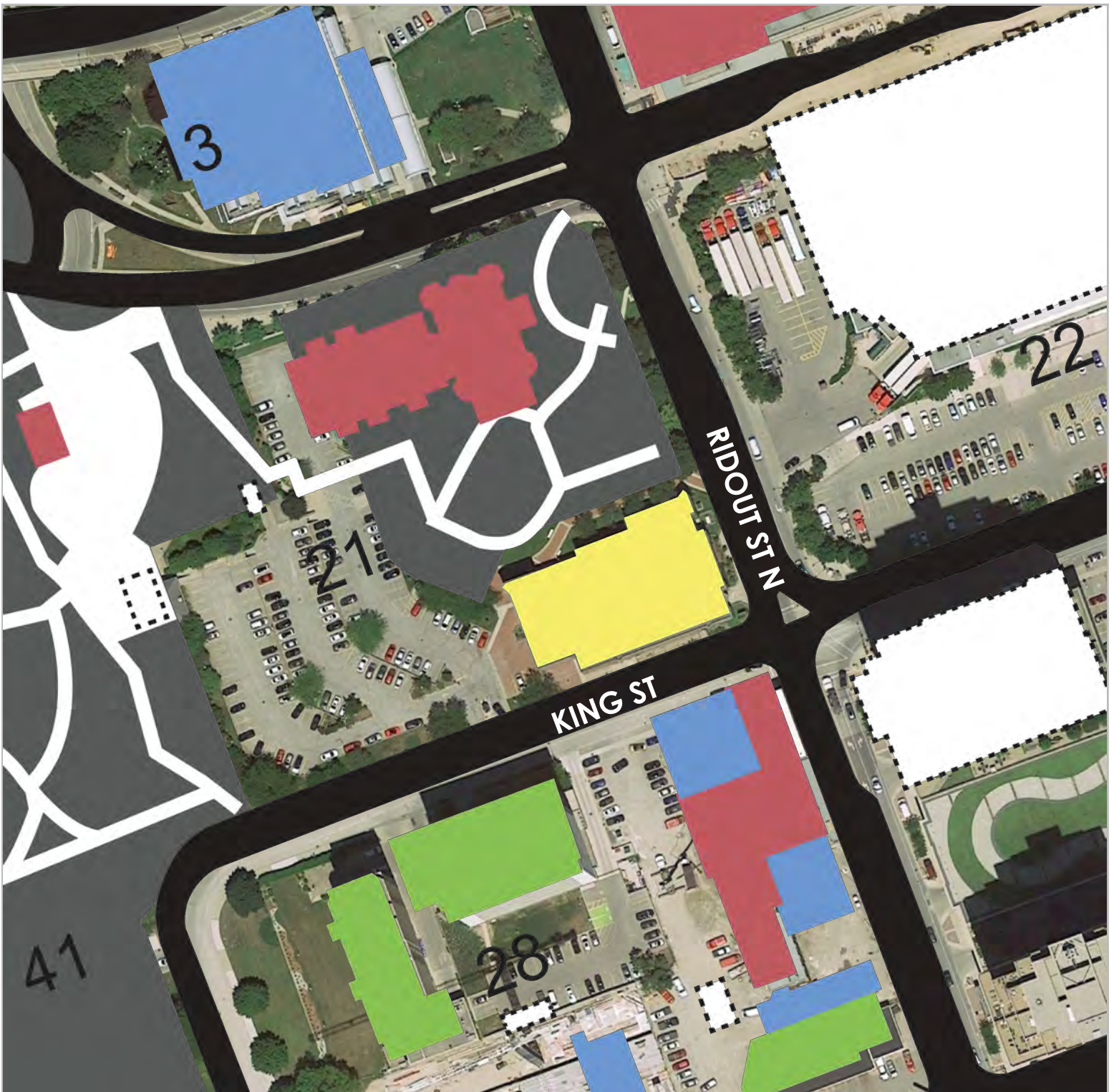










Figure 5:  
**Building  
Classifications**

**LEGEND**

 Subject Lands

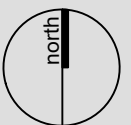
-  Priority A (Historic)
-  Priority B
-  Priority C (Non-Historic)
-  Priority D
-  Non-Historic
-  Landscape
-  HCD Boundary

**DATE:** September 2021

**SCALE:** 1: 1,500

**FILE:** 1094BO

**DRAWN:** LC



K:\1094BO - 50 King St. London\RPT\Building Classification.dwg

**50 King Street**  
City of London

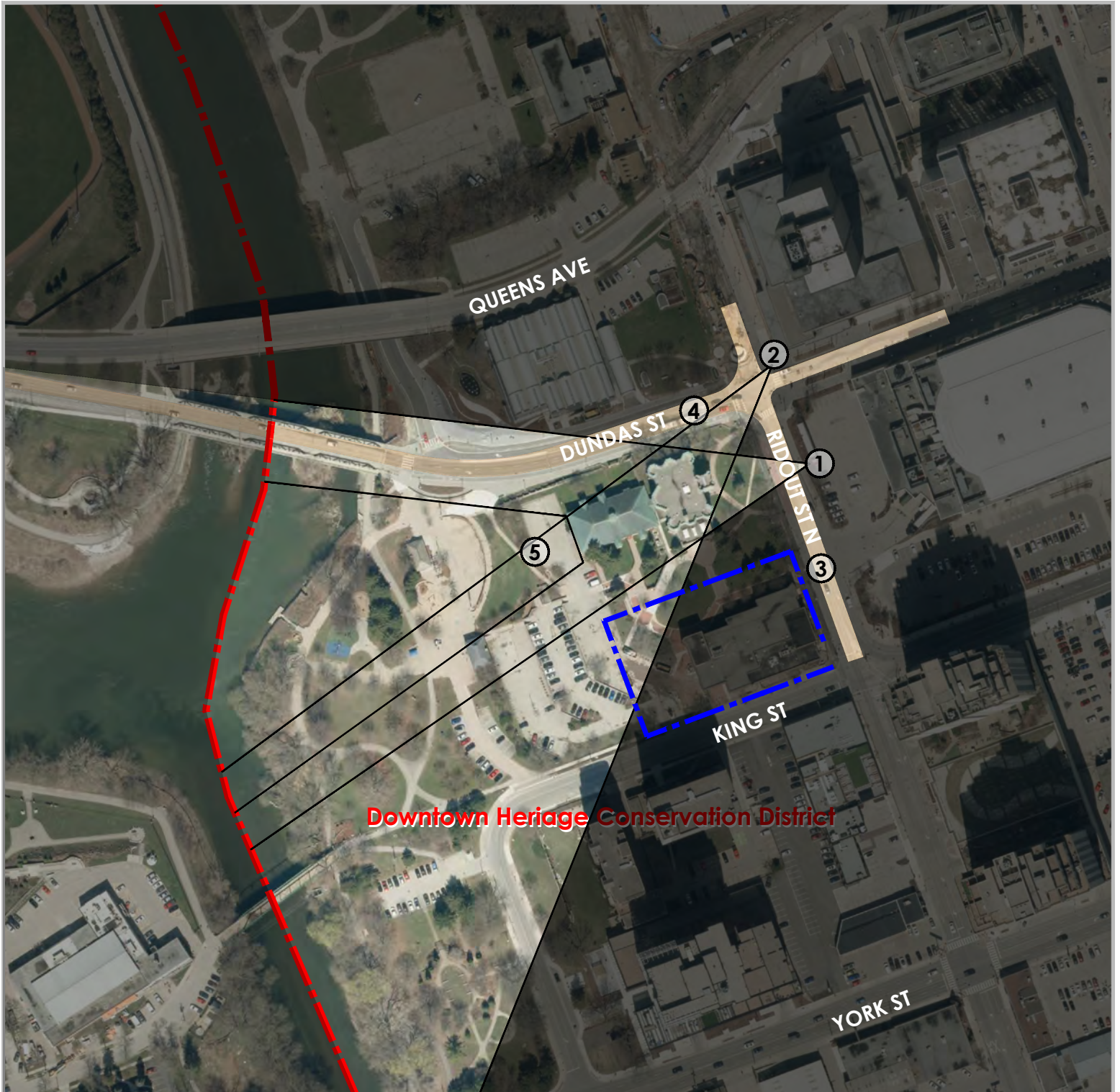


Figure  
**View Analysis**

**50 King Street**  
City of London

**LEGEND**

-  Subject Lands
-  Downtown London Heritage Conservation District Boundary
-  Static Views
-  Kinetic Views
-  Additional View

**Source:**  
- 2022 Aerial Imagery & Heritage Conservation District Boundary: City of London Open Data

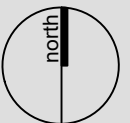
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**SCALE:** 1: 2,500

**FILE:** 1094BO

**DRAWN:** PL

K:\1094BO - 50 King St. London\RPT\View Analysis.dwg



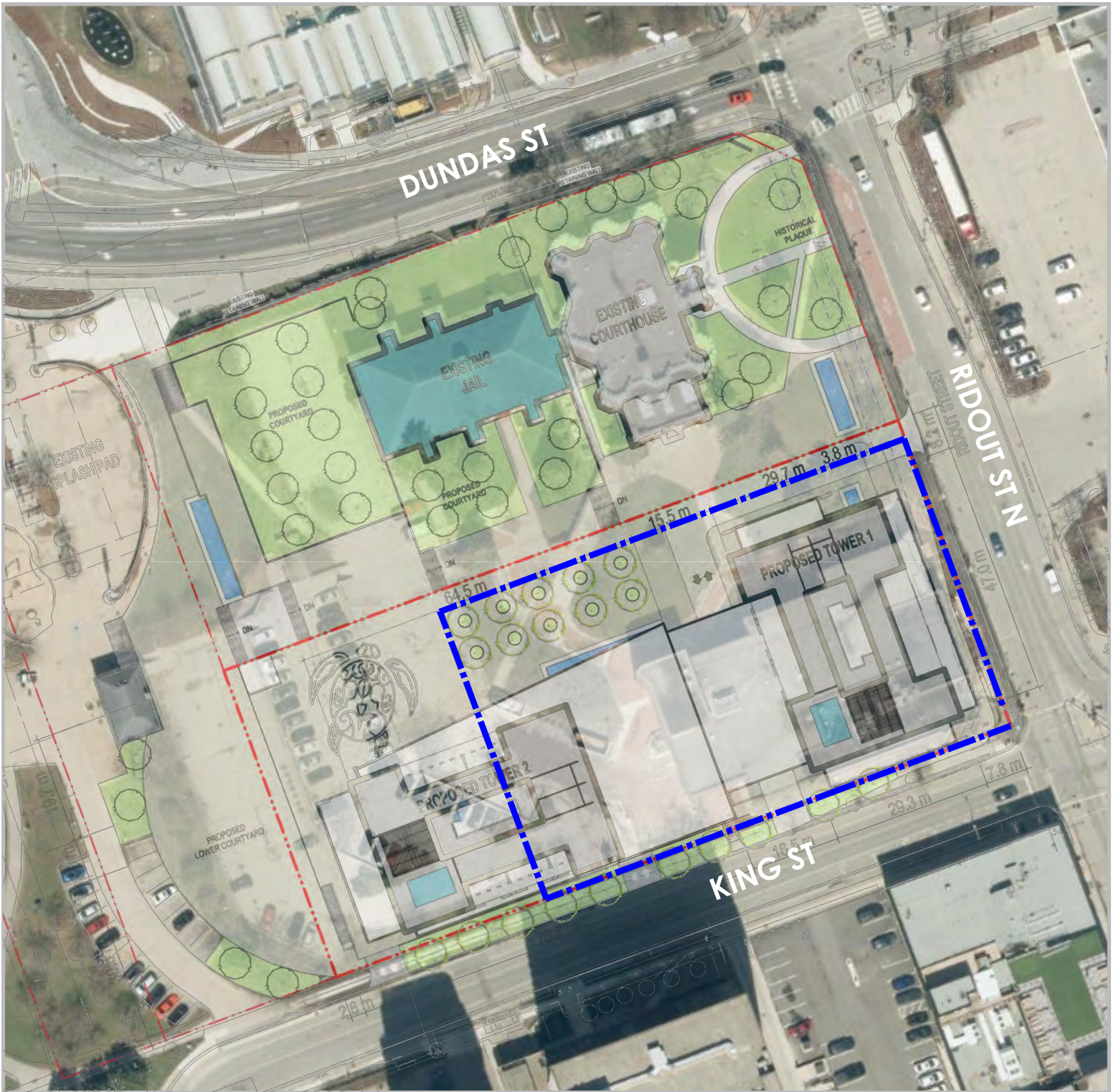







Figure  
**Site Plan**

**LEGEND**

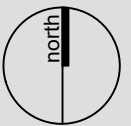
-  Subject Lands
-  Property Line
-  Setback Line
-  Principal Fire Fighting and Barrier-Free Entrance
-  Secondary Entrance or Exit

**DATE:** January 2023

**SCALE:** 1: 1,000

**FILE:** 1094BO

**DRAWN:** PL



K:\1094BO - 50 King St. London\RPT\Site Plan.dwg

**50 King Street**  
City of London

**Source:**  
2022 Aerial Imagery, City of London  
Site Plan, zedd Architecture (June 23, 2022)

**MHBC** PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE  
200-540 BINGEMANS CENTRE DR. KITCHENER, ON, N2B 3X9  
P: 519.576.3650 F: 519.576.0121 | WWW.MHBCPLAN.COM



Figure  
**Approximate Distance  
 between Building (399  
 Ridout St N) and  
 Extent of Parking  
 Garage (50 King St)**

**LEGEND**

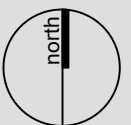
Extent of Parking Garage

**DATE:** January 2023

**SCALE:** 1: 750

**FILE:** 1094BO

**DRAWN:** PL



K:\1094BO - 50 King St. London\RPT\Closest Distance to  
 Parking Garage.dwg

**50 King Street**  
 City of London

**Source:**  
 - 2022 Aerial Imagery, City of London

**Note:**  
 - Distance is only approximate.

**MHBC** PLANNING  
 URBAN DESIGN  
 & LANDSCAPE  
 ARCHITECTURE  
 200-540 BINGEMANS CENTRE DR. KITCHENER, ON, N2B 3X9  
 P: 519.576.3650 F: 519.576.0121 | WWW.MHBCPLAN.COM

# Appendix **B**– Proposed Development





# 50 King

## Schematic Design v5.0

19-045

Jan 23, 2023

**zedd**  
ARCHITECTURE

A0.1	Survey	A4.2	COLOUR ELEVATION - NORTH
A0.2	Stats / Keyplan	A4.3	COLOUR ELEVATION - SOUTH
A0.2.A	Site Plan - Overall Site Plan	A4.4	COLOUR ELEVATION - WEST
A0.2.B	Site Plan - Pedestrian and Vehicular Access Plan	A6.4	PERSPECTIVE - NORTHEAST VIEW
A0.2.C	Site Plan	A6.5	RENDER - NORTHWEST OVERVIEW
A0.2.D	Main Floor	A6.6	RENDER - SOUTHWEST OVERVIEW
A0.2.E	Level P1	A6.7	RENDER - NORTHEAST OVERVIEW
A0.2.F	Level P2	A6.9	RENDER - VIEW FROM THE FORKS LOOKING EAST
A0.2.G	Level P3	A6.10	RENDER - BACK TO THE RIVER - LOOKING EAST
A0.2.H	Level P4	A6.11	RENDER - VIEW FROM THE RIVER LOOKING EAST
A1.2	Level 2 - Office / Leasable	A6.12	RENDER - OVERALL VIEW FROM THE BRIDGE
A1.3	Level 3 - Office / Leasable	A6.13	RENDER - VIEW FROM THE BRIDGE
A1.4	Level 4 - Office / Leasable & Mech	A6.14	RENDER - AERIAL VIEW LOOKING SOUTHEAST
A1.5 - A	Level 5	A6.15	RENDER - AERIAL VIEW LOOKING SOUTH
A1.6	Level 6-26	A6.18	RENDER - OVERALL VIEW LOOKING SOUTHWEST
A1.27	Level 27	A6.19	RENDER - OVERALL VIEW LOOKING EAST
A1.28	Level 28-32	A6.20	RENDER - VIEW FROM DUNDAS ST & HIDEOUT ST
A1.33	Level 33	A6.22	RENDER - VIEW FROM MAIN PLAZA
A1.34	Level 34 - 40	A6.23	RENDER - TOWERS VIEW LOOKING SOUTH
A1.41	Level 41	A7.01	SHADOW STUDY - MARCH
A1.42	Level 42	A7.02	SHADOW STUDY - JUNE
A1.43	Level 43	A7.03	SHADOW STUDY - DECEMBER
A1.44	Level 44 - 50		
A1.51	Level 51		
A1.52	Level 52		
A1.53	Level 53		
A2.0A	Enlarged Typical Res. Plan		
A2.0B	Enlarged Typical Penthouse Level 1		
A2.0C	Enlarged Typical Penthouse Level 2		
A2.1	NORTH ELEVATION		
A2.2	SOUTH ELEVATION		
A2.3	EAST & WEST ELEVATION		
A3.0	WEST - EAST BUILDING SECTION		
A3.1	NORTH - SOUTH BUILDING 1 SECTION		
A3.2	NORTH - SOUTH BUILDING 2 SECTION		
A4.1	COLOUR ELEVATION - EAST		

ARCHITECTURE | DESIGN | PLANNING

zedd architecture inc Z-627 maitland street london ontario N5Y 2V7 519 518 9333 www.zeddarchitecture.com info@zeddarchitecture.com

TOPOGRAPHICAL PLAN OF SURVEY  
 LOTS 21, 22, 23, 24, 25 & 26  
 LOTS NORTH OF KING STREET  
 LOTS 21, 22, 23, 24, 25 & 26  
 LOTS SOUTH OF DUNDAS STREET  
 DUNDAS STREET, RIDOUT STREET,  
 KING STREET AND BLOCK B

IN THE  
 CITY OF LONDON  
 COUNTY OF MIDDLESEX  
 2017 (170)

J. AIGREDI INC.  
 211604



SYMBOL	DESCRIPTION
11	CONCRETE CURB
12	CONCRETE CURB
13	CONCRETE CURB
14	CONCRETE CURB
15	CONCRETE CURB
16	CONCRETE CURB
17	CONCRETE CURB
18	CONCRETE CURB
19	CONCRETE CURB
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36	CONCRETE CURB
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95	CONCRETE CURB
96	CONCRETE CURB
97	CONCRETE CURB
98	CONCRETE CURB
99	CONCRETE CURB
100	CONCRETE CURB

**BENCHMARK**  
 BENCH MARK: CITY OF LONDON BENCH MARK 22  
 LOCATION: 1000 WESTERN AVENUE, CITY OF LONDON, ONTARIO  
 ESTABLISHED: 1985  
 ELEVATION: 100.00 METERS  
 TYPE: CONCRETE  
 COMMENTS: BENCH MARK IS LOCATED IN THE COURTYARD OF 1000 WESTERN AVENUE, CITY OF LONDON, ONTARIO.

**NOTES**  
 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.  
 2. THE PROPERTY LINE IS SHOWN BY A DASHED LINE.  
 3. THE LIMIT OF HERITAGE DESIGNATION IS SHOWN BY A DASHED LINE.  
 4. THE EXTENT OF UNDERGROUND PARKING IS SHOWN BY A DASHED LINE.  
 5. THE PROPERTY LINE IS SHOWN BY A DASHED LINE.

**INTEGRATION DATA**

DESCRIPTION	DATE	BY
PRELIMINARY SURVEY	2017.01.10	J. AIGREDI
FINAL SURVEY	2017.01.10	J. AIGREDI
REVISION	2017.01.10	J. AIGREDI

**METRIC**  
 ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.

**SURVEYOR'S CERTIFICATE**  
 I, J. AIGREDI, A PROFESSIONAL SURVEYOR, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THIS PLAN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

**PRELIMINARY**

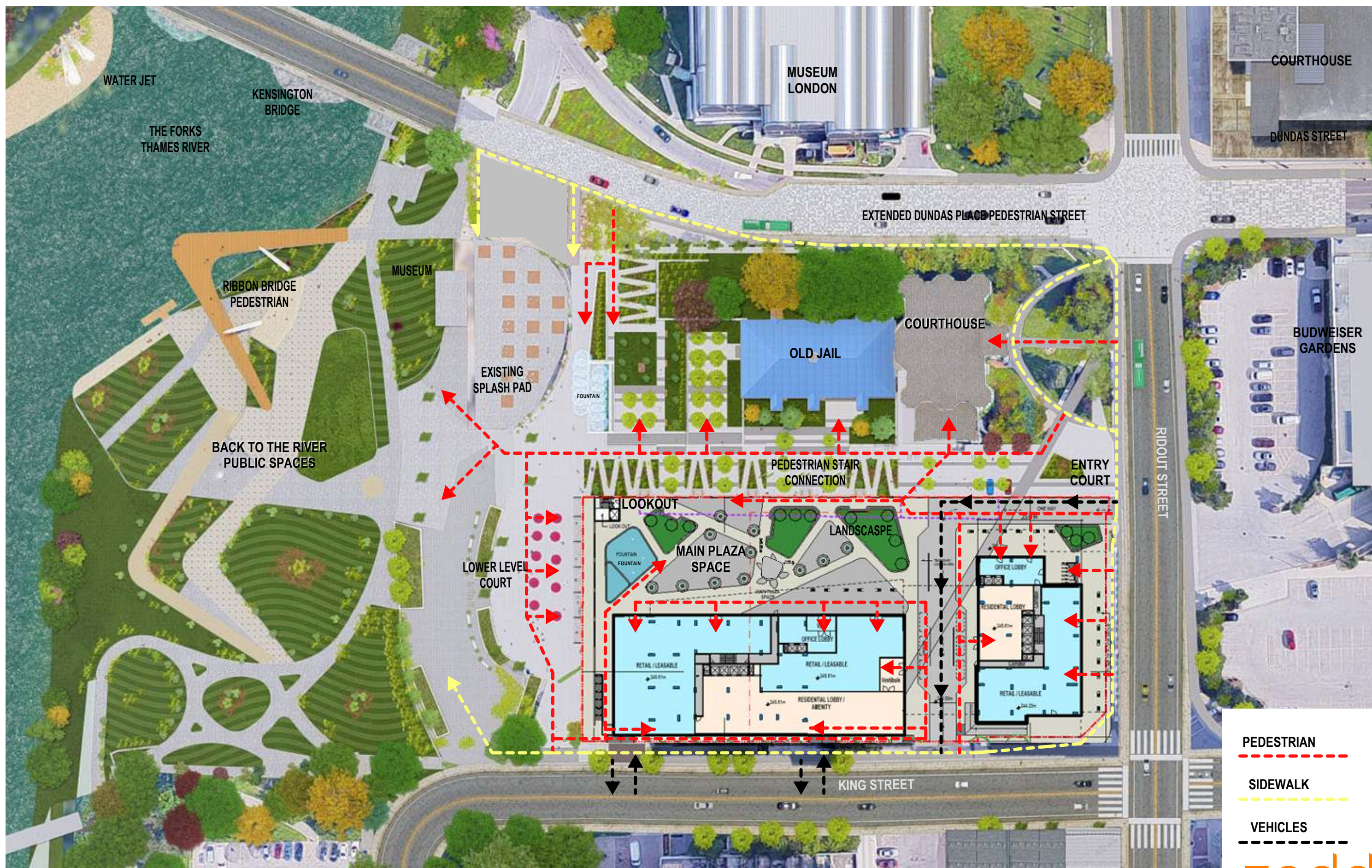
**Callon Dietz ARCHITECTURE**  
 363 HORTON STREET EAST LONDON ONTARIO N6B 1L6 519 518 9333  
 www.zeddarchitecture.com info@zeddarchitecture.com

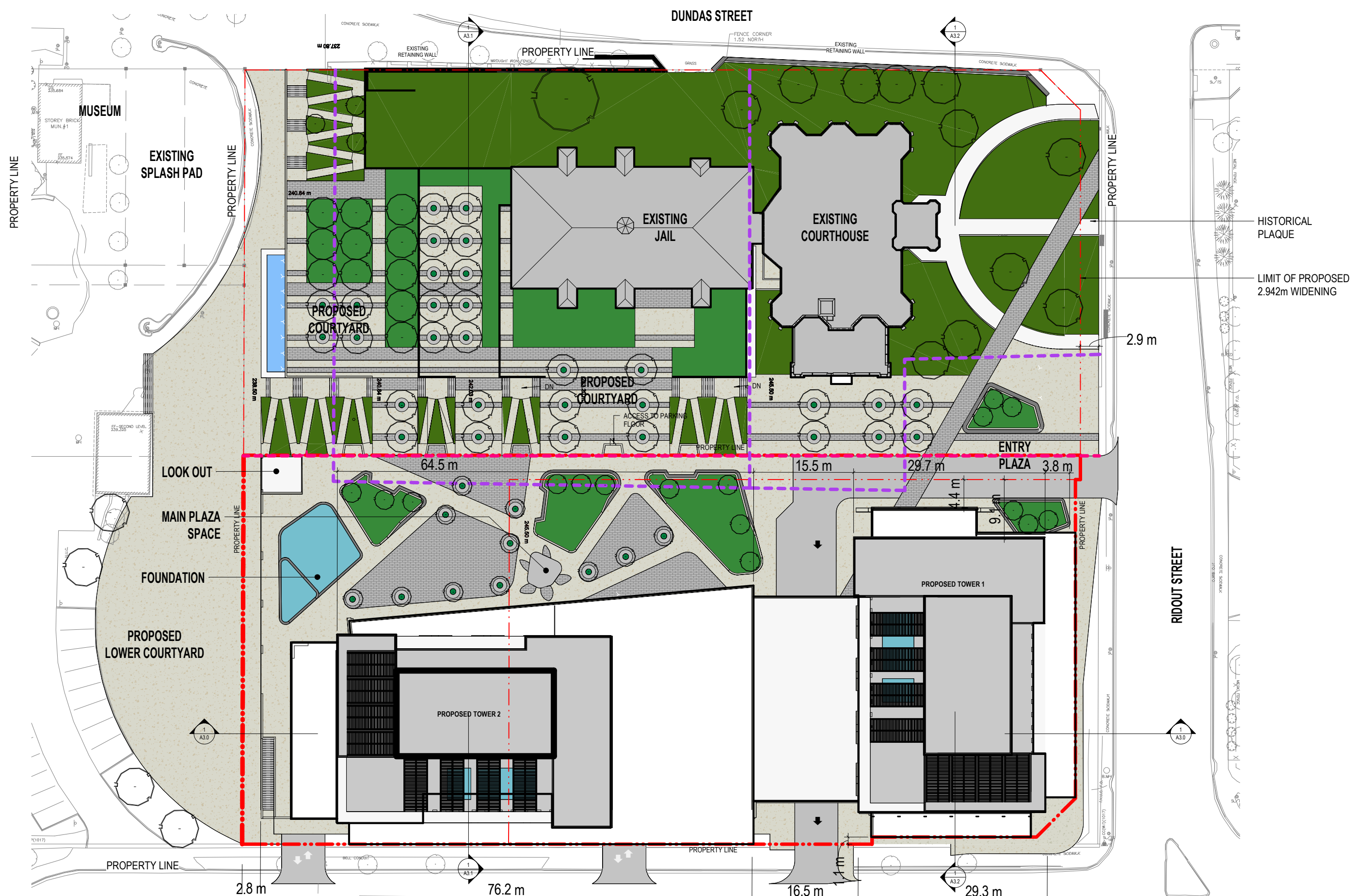
--- LIMIT OF HERITAGE DESIGNATION  
 --- EXTENT OF UNDERGROUND PARKING  
 - - - PROPERTY LINE

Building Stats														
Floor Level	Parking		Tower 1					Tower 2					Total Units	
	Area (SqM)	Space	Retail / Office Area	Office (SqM)	Residential Ancillary (SqM)	Floor Area (SqM)	Units	Mech (SqM)	Retail / Office Area	Amenity	Floor Area (SqM)	Units		Mech (SqM)
53								335						
52					700	0	0							0
51						850	5	175						5
50						1035	10							10
49						1035	10							10
48						1035	10							10
47						1035	10							10
46						1035	10							10
45						1035	10							10
44						1035	10							10
43						1035	10	0					335	10
42					0	1035	10		700	0	0	0		10
41						1035	10	0		850	5	175		15
40						1035	10			1035	10			20
39						1035	10			1035	10			20
38						1035	10			1035	10			20
37						1035	10			1035	10			20
36						1035	10			1035	10			20
35						1035	10			1035	10			20
34						1035	10			1035	10			20
33						0	0	1000		1035	10			10
32						1035	10			1035	10			20
31						1035	10			1035	10			20
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29						1035	10			1035	10			20
28						1035	10			1035	10			20
27						1035	10	0		0	0	1000		10
26						1035	10			1035	10			20
25						1035	10			1035	10			20
24						1035	10			1035	10			20
23	0					1035	10			1035	10			20
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21						1035	10			1035	10			20
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14						1035	10			1035	10			20
13						1035	10			1035	10			20
12			0	0	0	1035	10			1035	10			20
11					0	1035	10			1035	10			20
10					0	1035	10			1035	10			20
9					0	1035	10			1035	10			20
8					0	1035	10			1035	10			20
7					0	1035	10			1035	10			20
6					0	1035	10			1035	10			20
5					0	0	0	1000		1035	10			10
4				1485	0	0	0	0				985		0
3				2065	0	0	0	0	2625			0		0
2				2065	0	0	0	0	2625	0		0		0
1 (GRADE)			645	0	335	0	0	0	1360	800		0		0
-1	4675	132	0											
-1	4675	135	0											
-1	5455	164	0											
-1	5445	164	0											
	20250	595	645	5615	1035	46390	445	2510	6610	1500	37075	355	2495	800





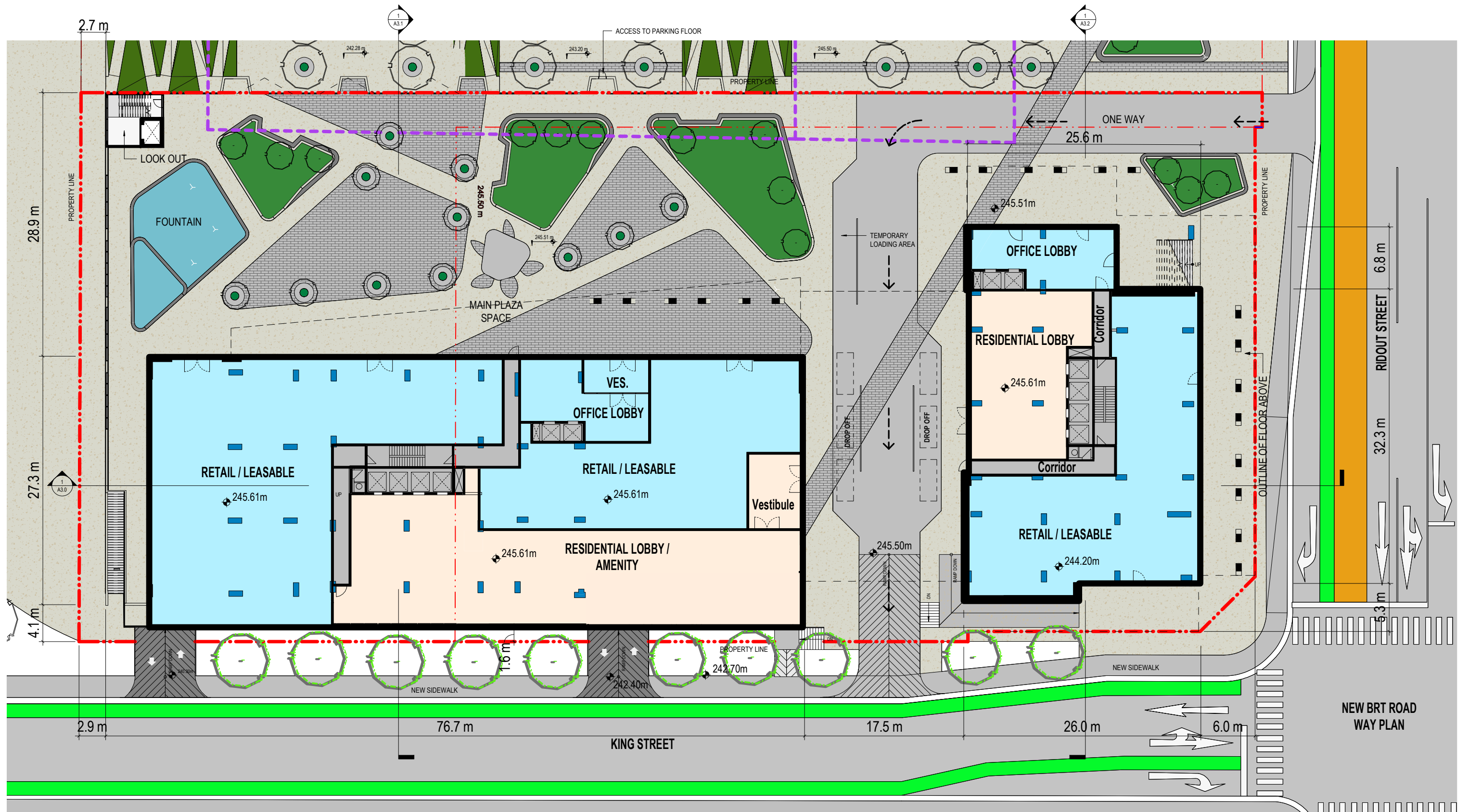




**Tower 1 - Commercial (Level 1-4); Residential (Level 6 - 52); Mechanical (Level 5 & 33)**  
**Tower 2 - Commercial (Level 1-4); Residential (Level 5 - 42); Mechanical (Level 4 & 27)**

--- LIMIT OF HERITAGE DESIGNATION  
 --- EXTENT OF UNDERGROUND PARKING  
 --- PROPERTY LINE





**Tower 1 - Commercial (645 SQM); Residential Lobby / Amenity (335 SQM)**  
**Tower 2 - Commercial (1360 SQM); Residential Lobby / Amenity (800 SQM)**

--- LIMIT OF HERITAGE DESIGNATION  
 --- PROPERTY LINE

--- EXTENT OF UNDERGROUND PARKING

19-045

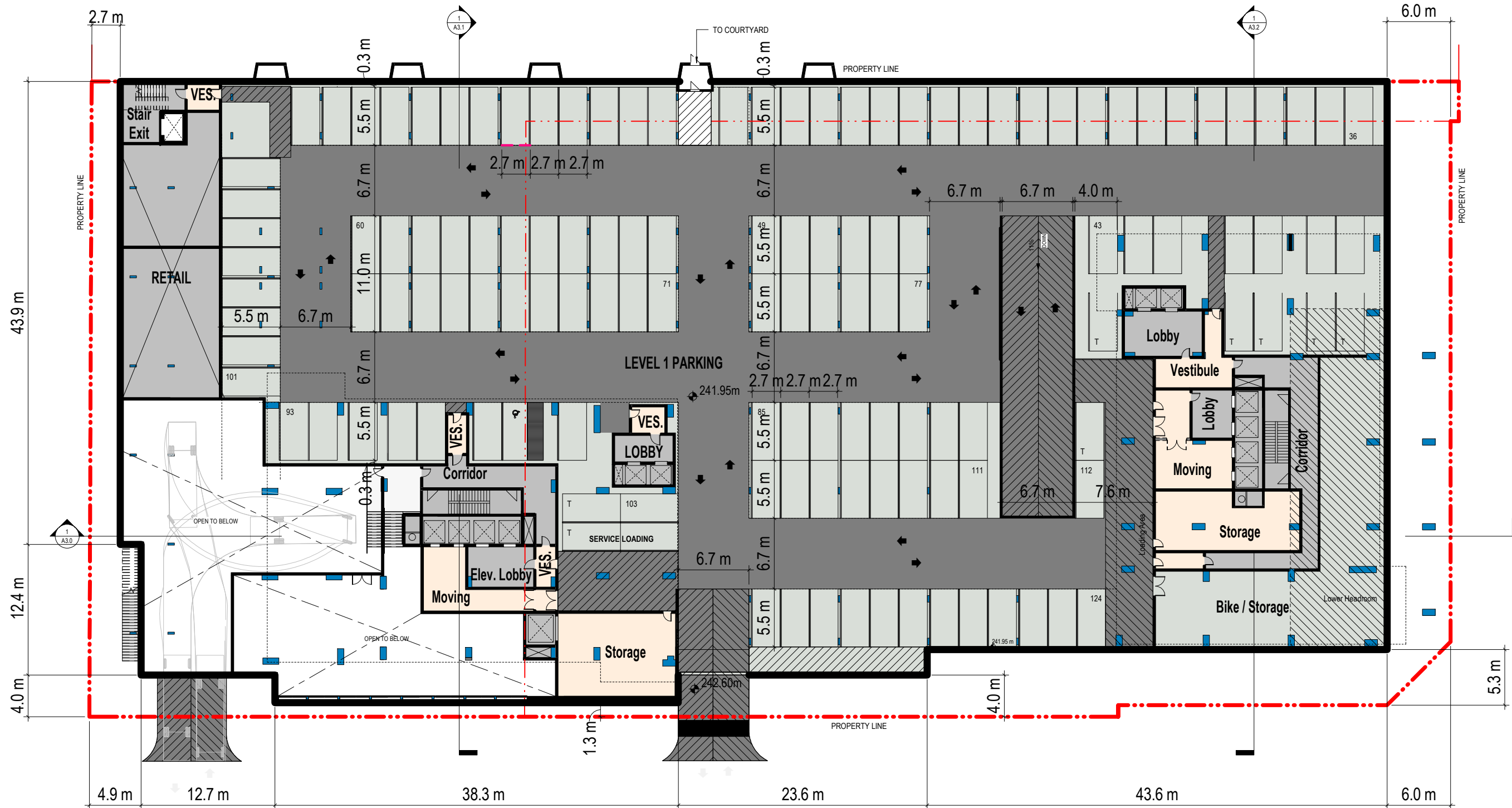
50 King

Main Floor

SCALE : 1:180

V5 - 23.01.23  
 A0.2 D

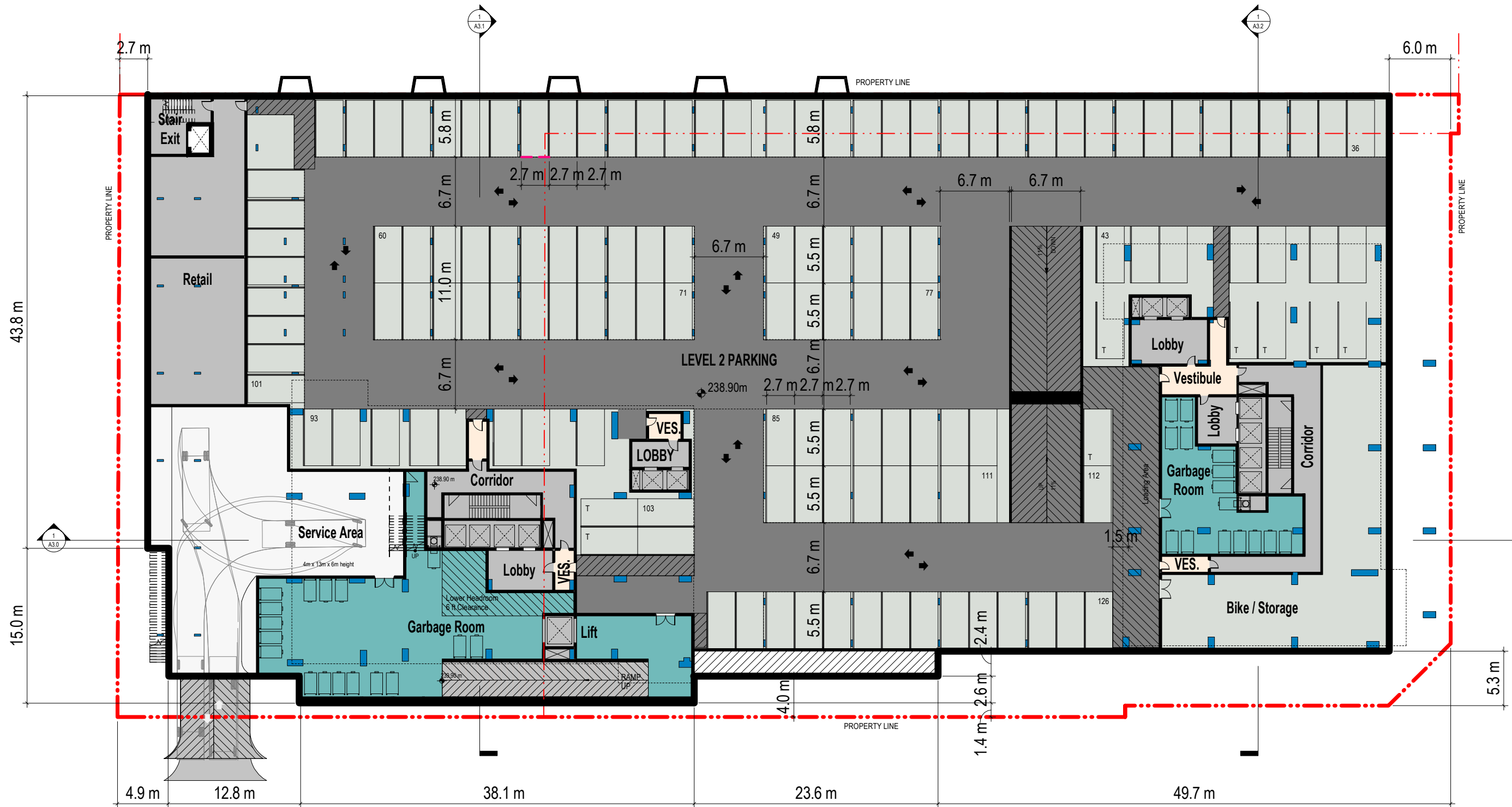
**zedd**  
 ARCHITECTURE  
 363 horton street east london ontario N6B 1L6 519 518 9333  
 www.zeddarchitecture.com info@zeddarchitecture.com



**Level P1 Parking (4675 SQM)**  
124 Parking Spaces

- - - LIMIT OF HERITAGE DESIGNATION
- - - EXTENT OF UNDERGROUND PARKING
- - - PROPERTY LINE



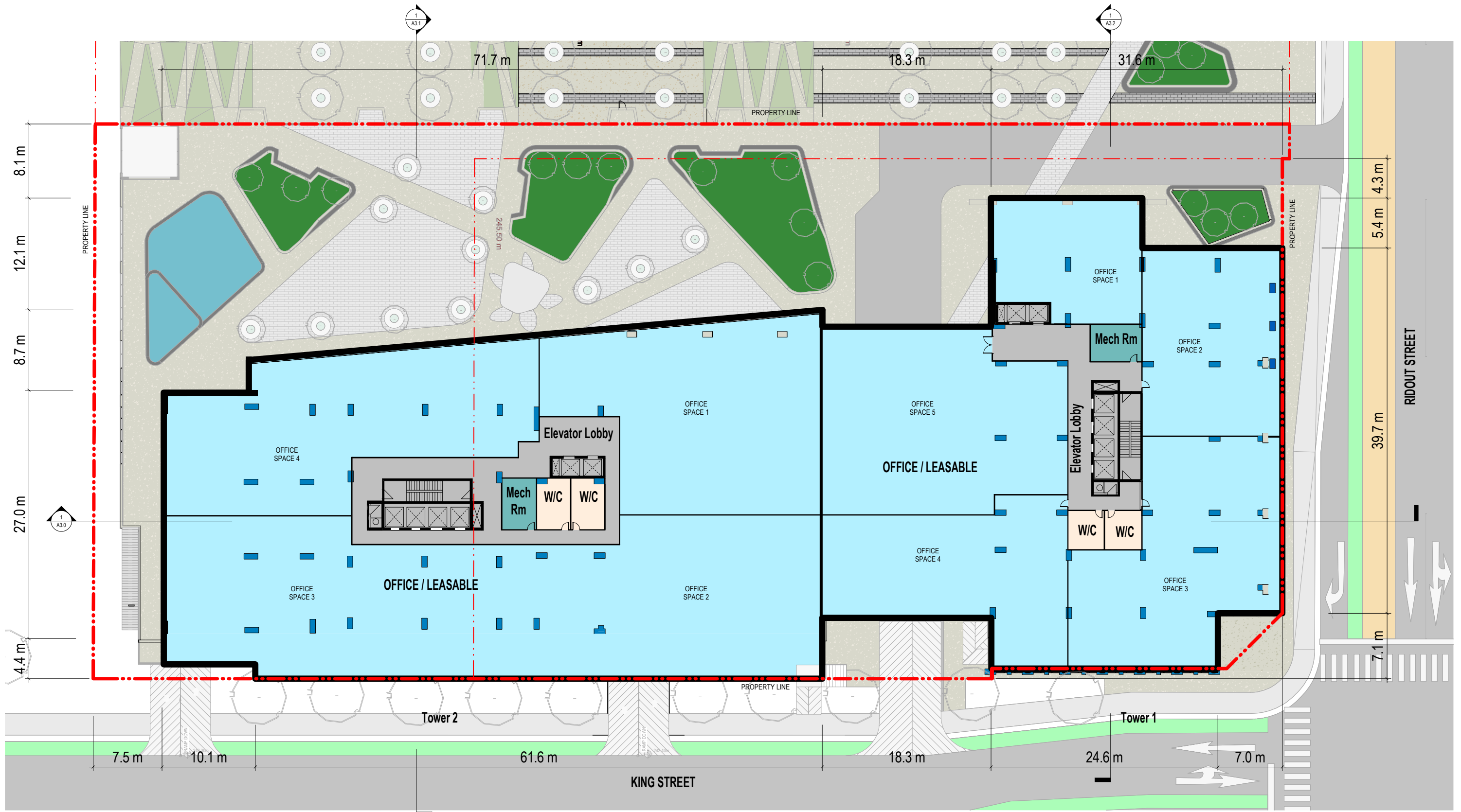


**Level P2 Parking (4675 SQM)**  
126 Parking Spaces

- LIMIT OF HERITAGE DESIGNATION
- EXTENT OF UNDERGROUND PARKING
- PROPERTY LINE

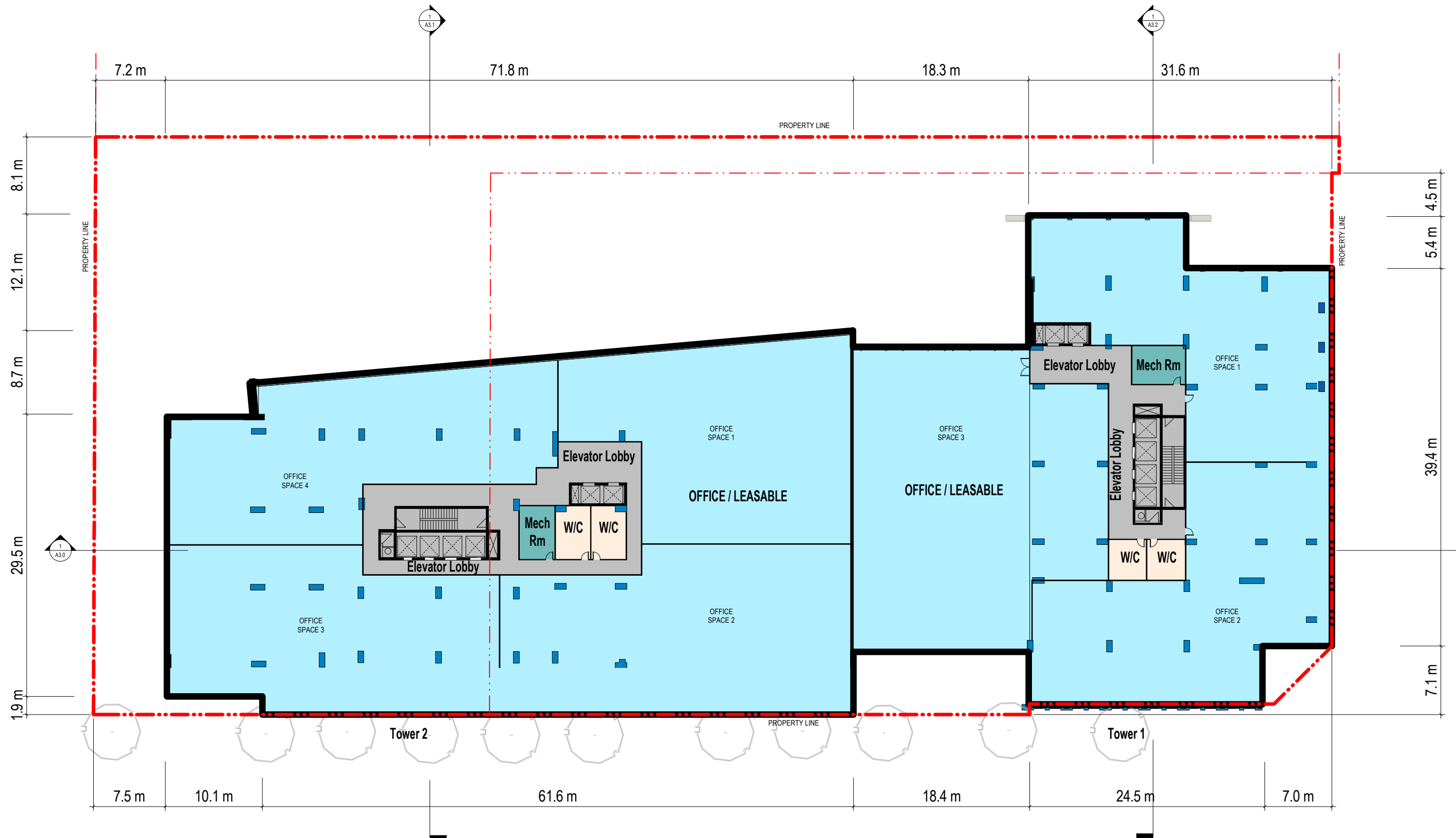






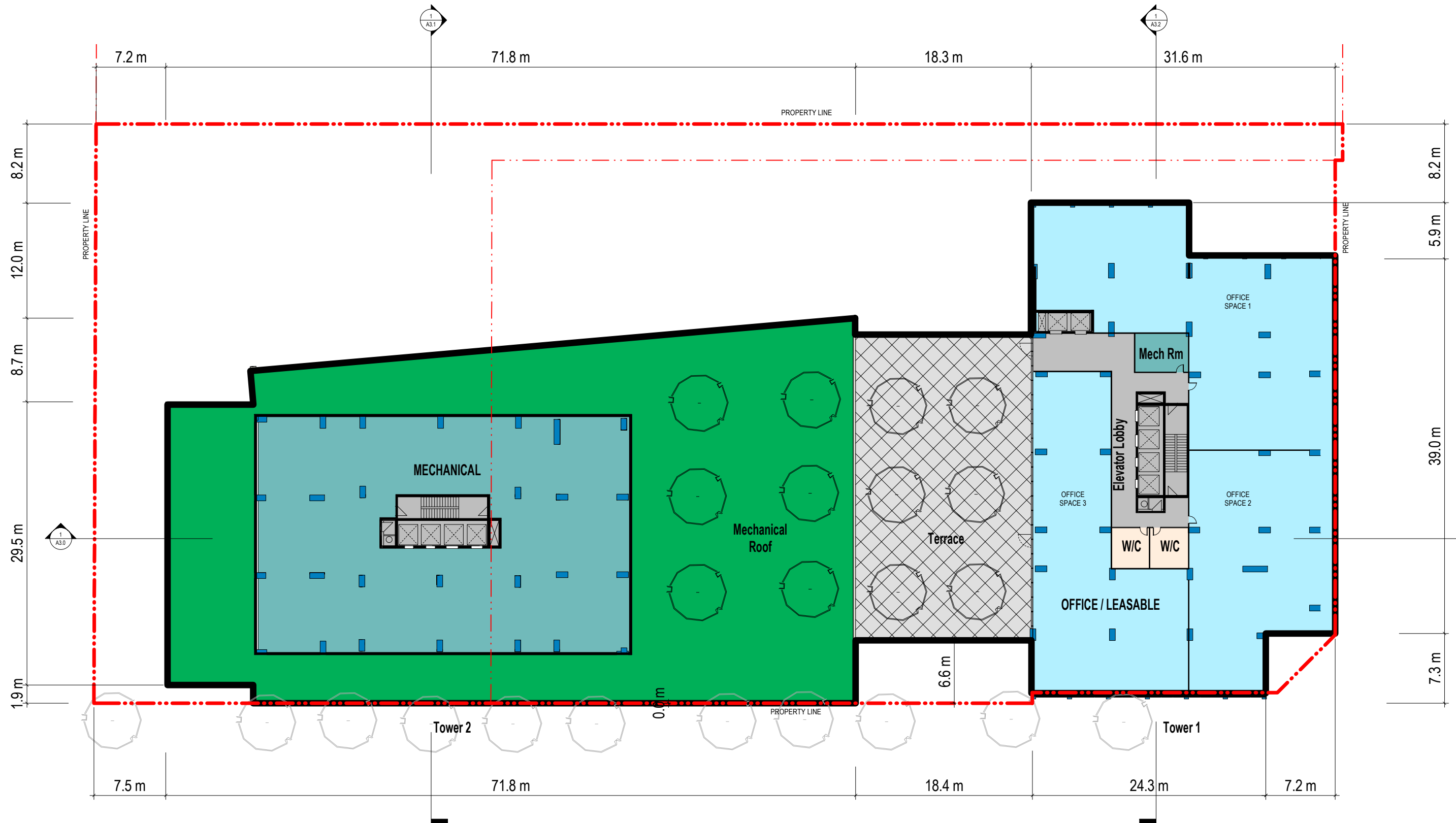
**Tower 1 - Commercial (2,065 SQM)**  
**Tower 2 - Commercial (2,625 SQM)**

- - - LIMIT OF HERITAGE DESIGNATION
- - - EXTENT OF UNDERGROUND PARKING
- - - PROPERTY LINE



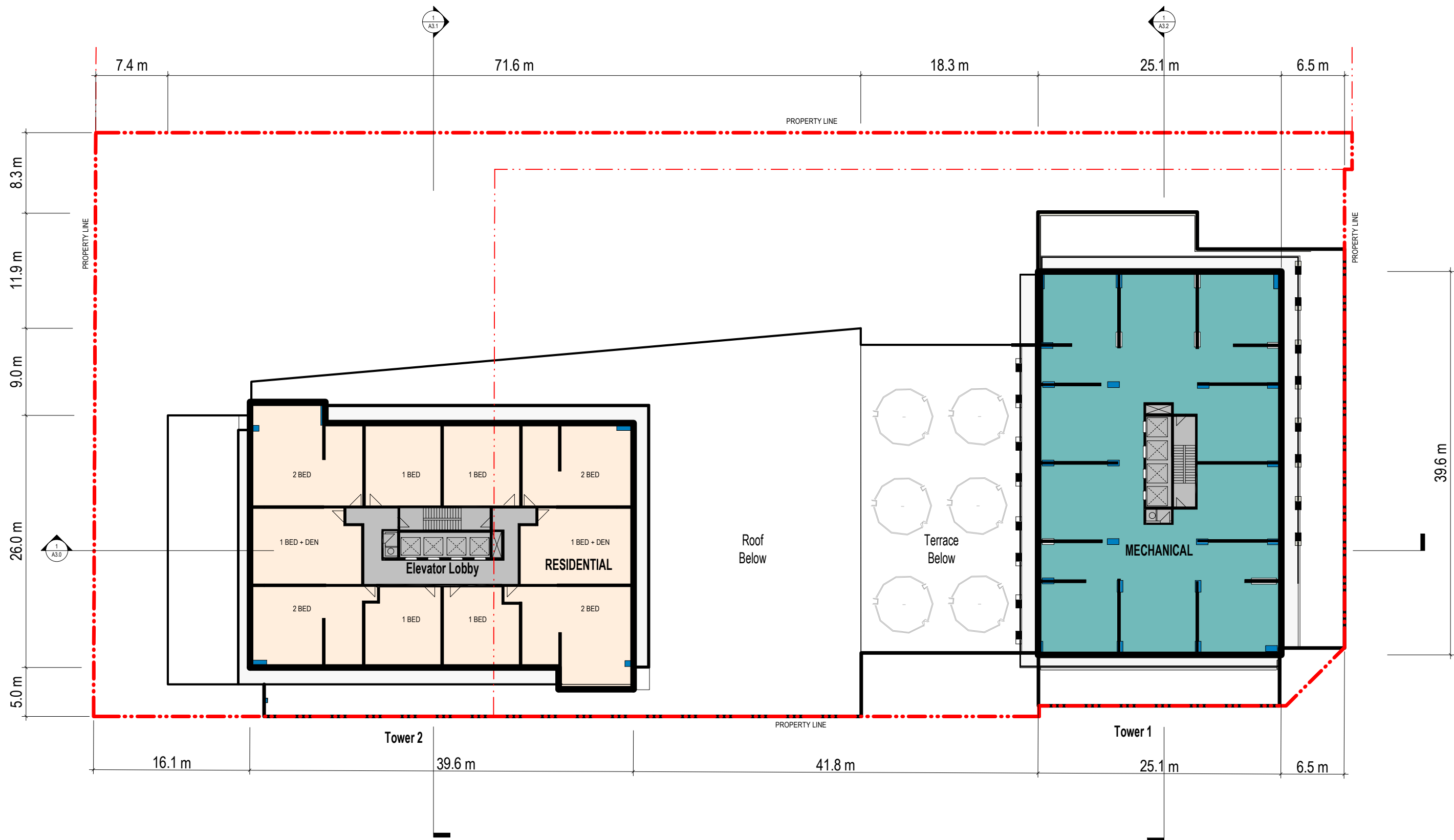
**Tower 1 - Commercial (2,065 SQM)**  
**Tower 2 - Commercial (2,625 SQM)**

- - - LIMIT OF HERITAGE DESIGNATION
- - - EXTENT OF UNDERGROUND PARKING
- - - PROPERTY LINE



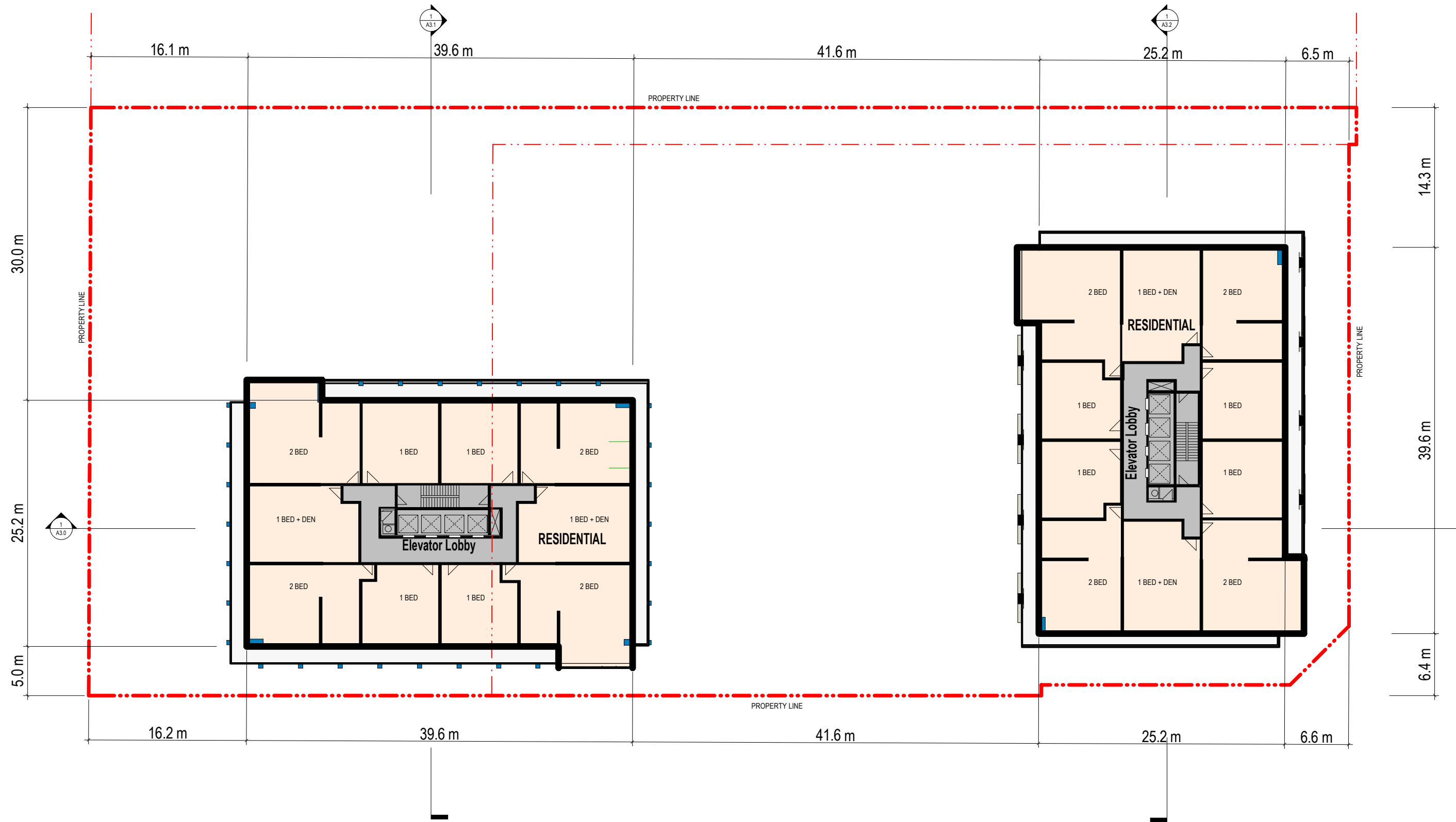
**Tower 1 - Commercial (1,485 SQM)**  
**Tower 2 - Mechanical (985 SQM)**

- LIMIT OF HERITAGE DESIGNATION
- PROPERTY LINE
- EXTENT OF UNDERGROUND PARKING



**Tower 1 - Mechanical (1000 SQM)**  
**Tower 2 - Residential (1035 SQM)**

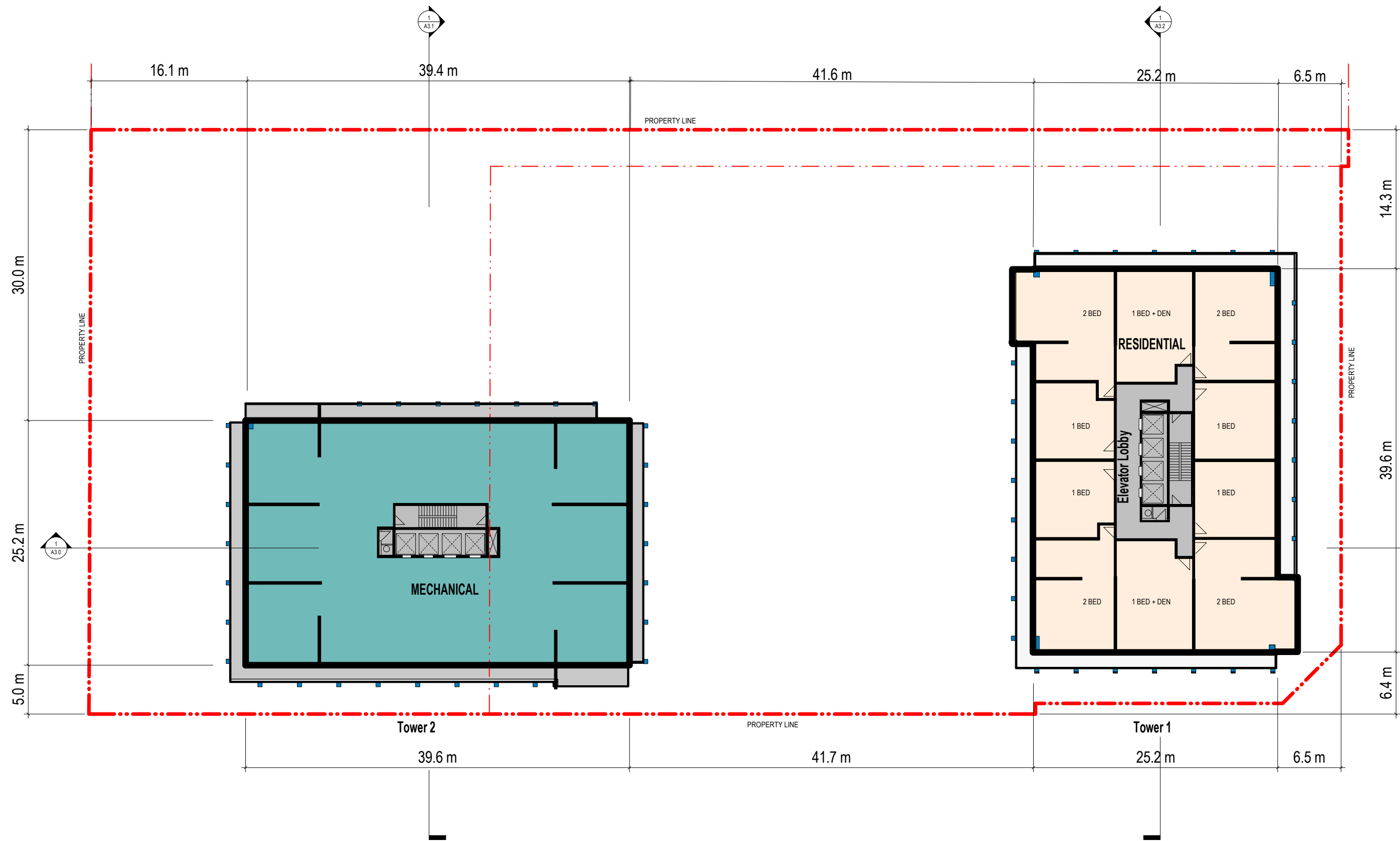
--- LIMIT OF HERITAGE DESIGNATION  
 --- EXTENT OF UNDERGROUND PARKING  
 - - - PROPERTY LINE



**Tower 1 - Residential / 10 units (1035 SQM)**  
**Tower 2 - Residential / 10 units (1035 SQM)**

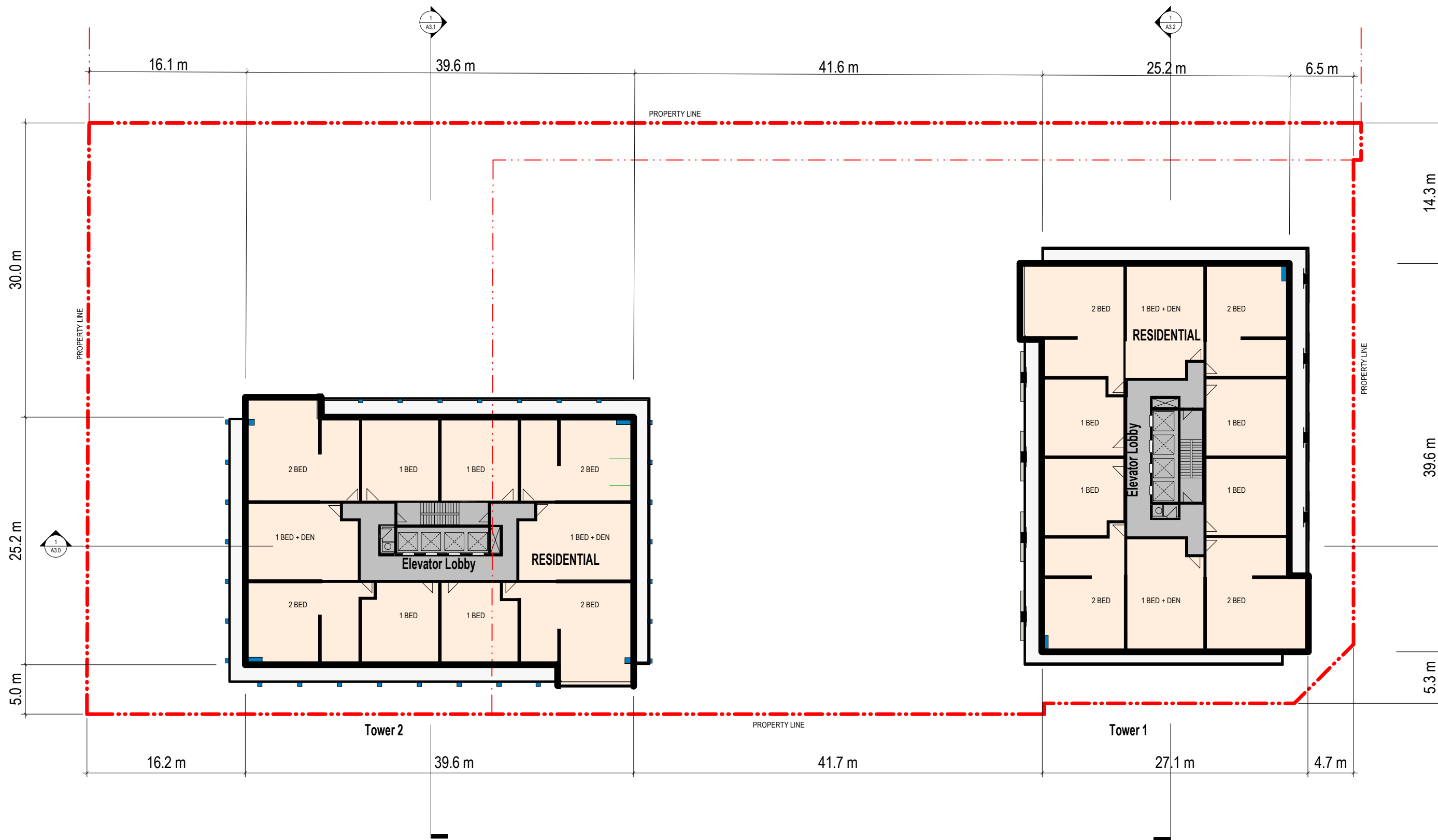
- - - LIMIT OF HERITAGE DESIGNATION
- - - EXTENT OF UNDERGROUND PARKING
- . - . - PROPERTY LINE





**Tower 1 - Residential / 10 units (1035 SQM)**  
**Tower 2 - Mechanical (1000 SQM)**

- LIMIT OF HERITAGE DESIGNATION
- EXTENT OF UNDERGROUND PARKING
- .-.- PROPERTY LINE



**Tower 1 - Residential / 10 units (1035SQM)**  
**Tower 2 - Residential / 10 units (1035 SQM)**

--- LIMIT OF HERITAGE DESIGNATION  
 --- EXTENT OF UNDERGROUND PARKING  
 - - - PROPERTY LINE

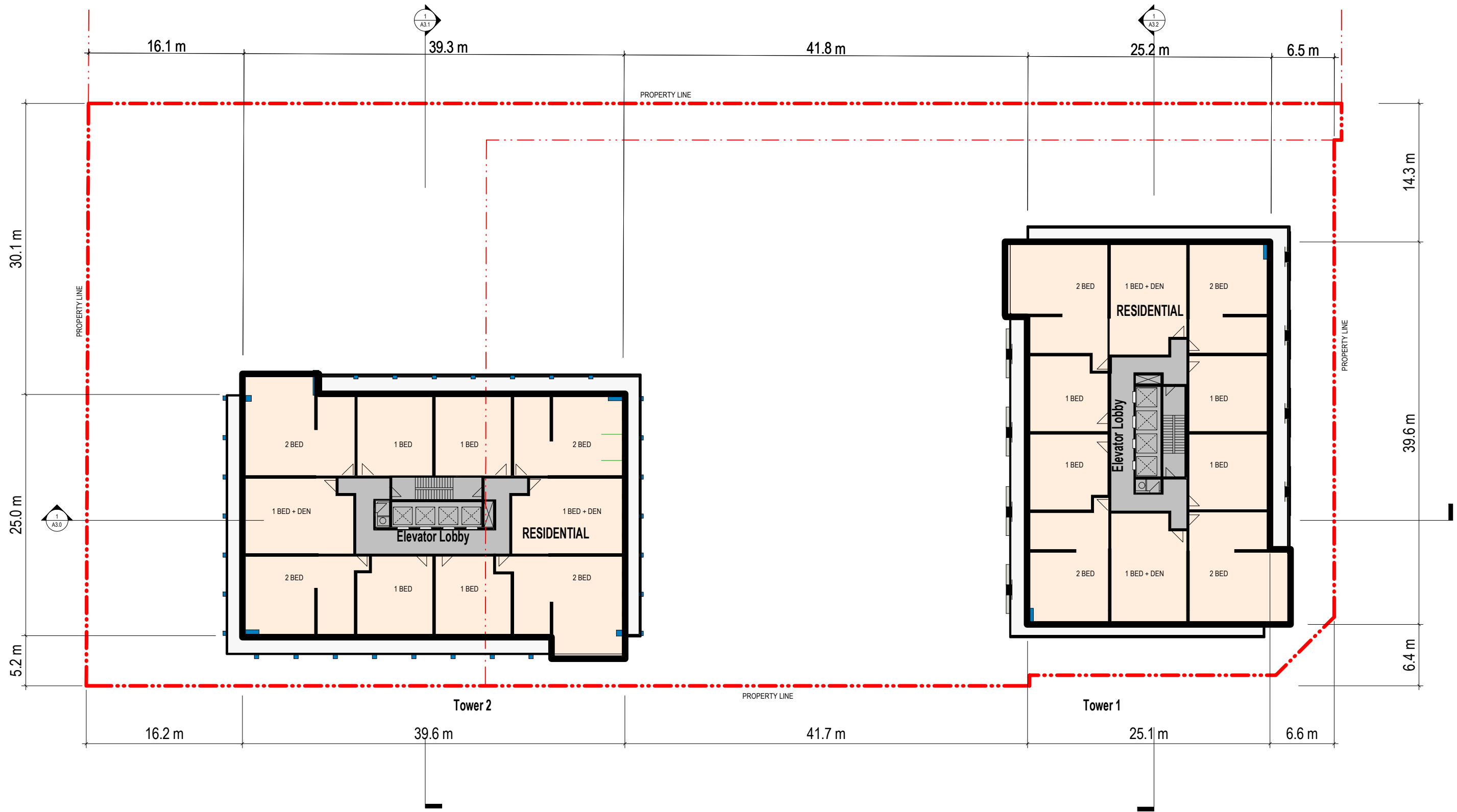




Tower 1 - Mechanical (1000 SQM)  
 Tower 2 - Residential / 10 units (1035 SQM)

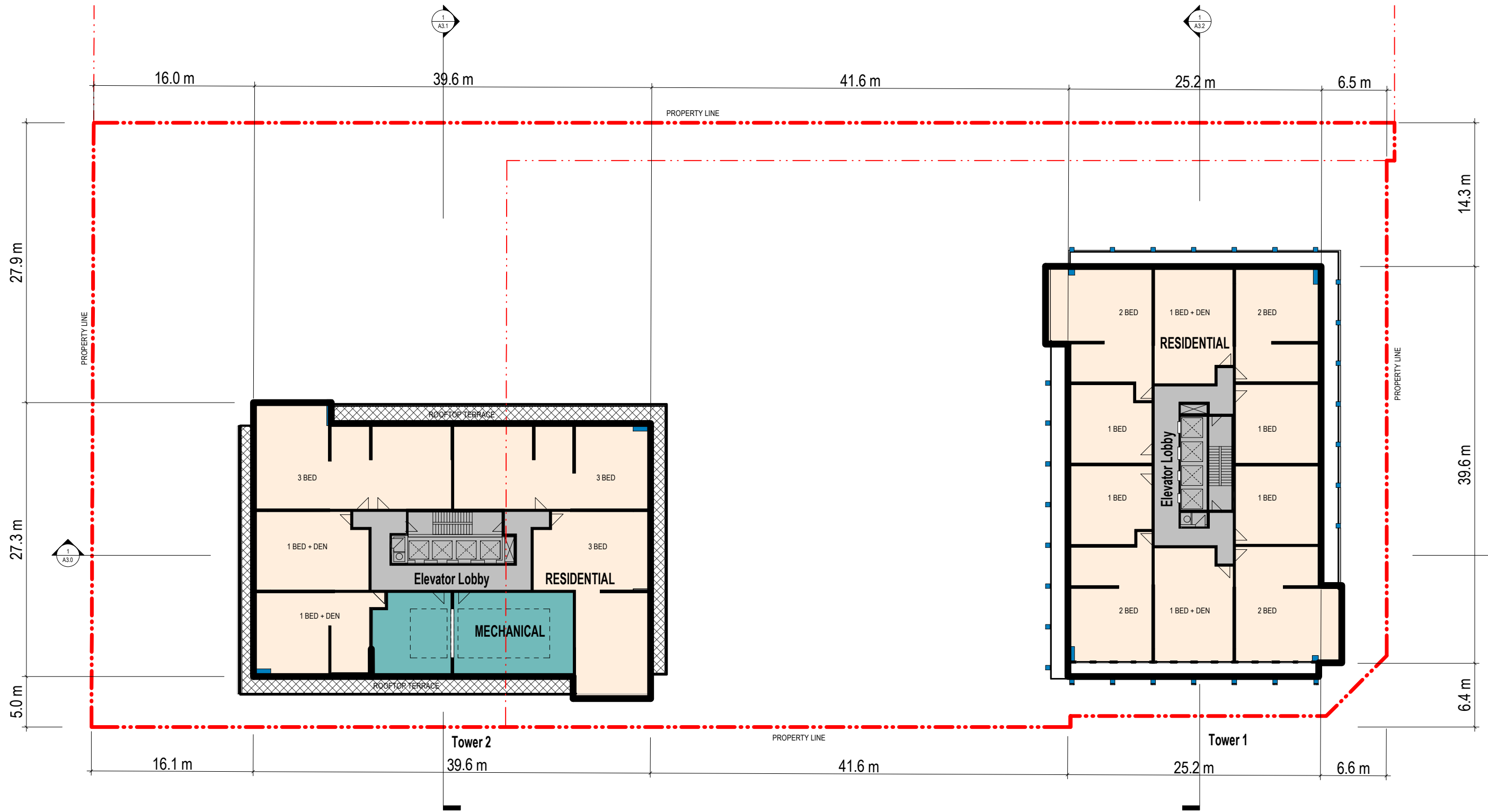
--- LIMIT OF HERITAGE DESIGNATION  
 --- EXTENT OF UNDERGROUND PARKING  
 -.-.- PROPERTY LINE





**Tower 1 - Residential / 10 units (1035 SQM)**  
**Tower 2 - Residential / 10 units (1035 SQM)**

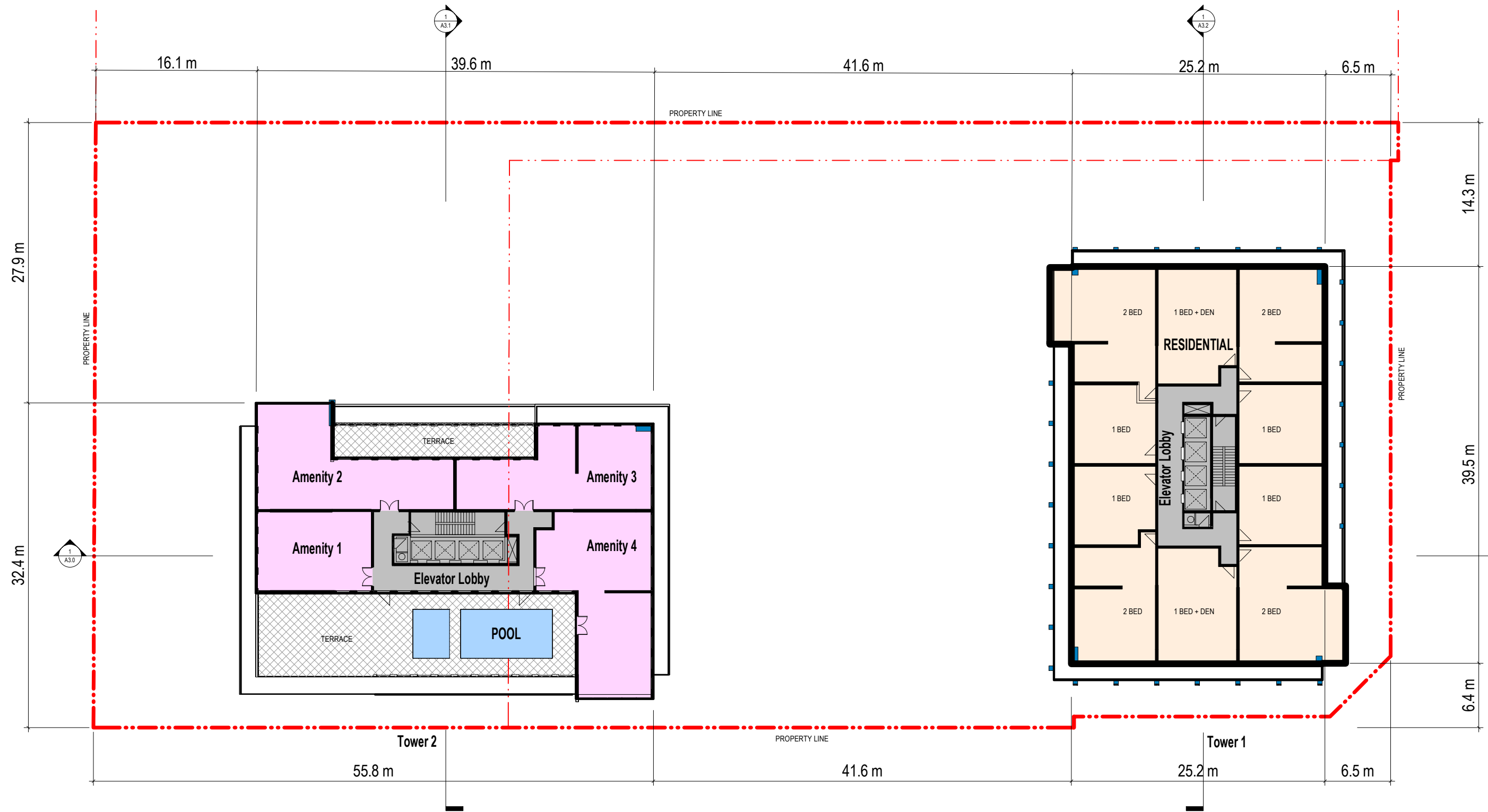
- - - LIMIT OF HERITAGE DESIGNATION
- - - EXTENT OF UNDERGROUND PARKING
- . - . - PROPERTY LINE



**Tower 1 - Residential / 10 units (1035 SQM)**  
**Tower 2 - Residential / 5 units (850 SQM)**  
 - Mechanical (175 SQM)

--- LIMIT OF HERITAGE DESIGNATION  
 --- EXTENT OF UNDERGROUND PARKING  
 - - - PROPERTY LINE

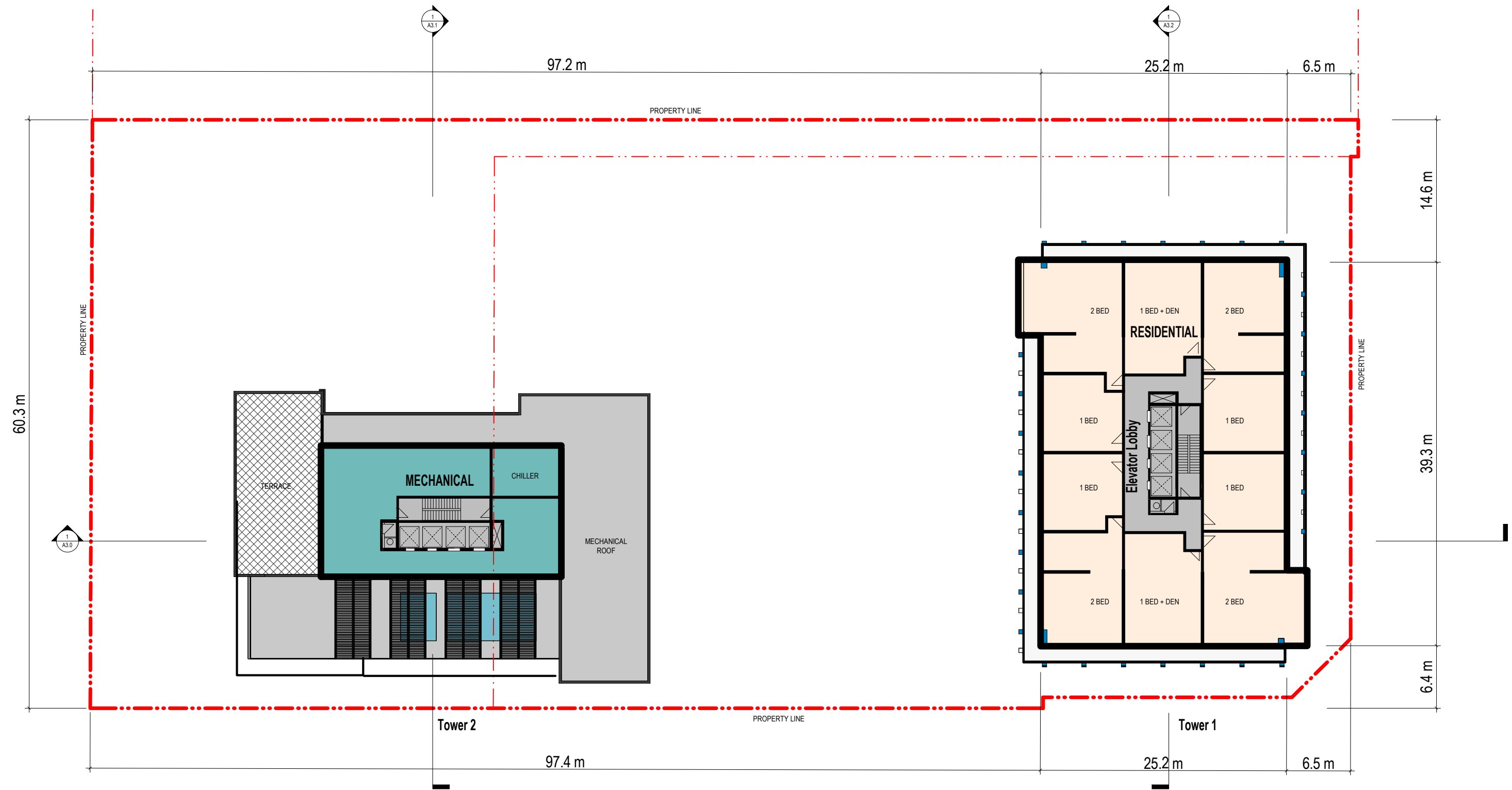




**Tower 1 - Residential / 10 units (1035 SQM)**  
**Tower 2 - Amenity (700 SQM)**

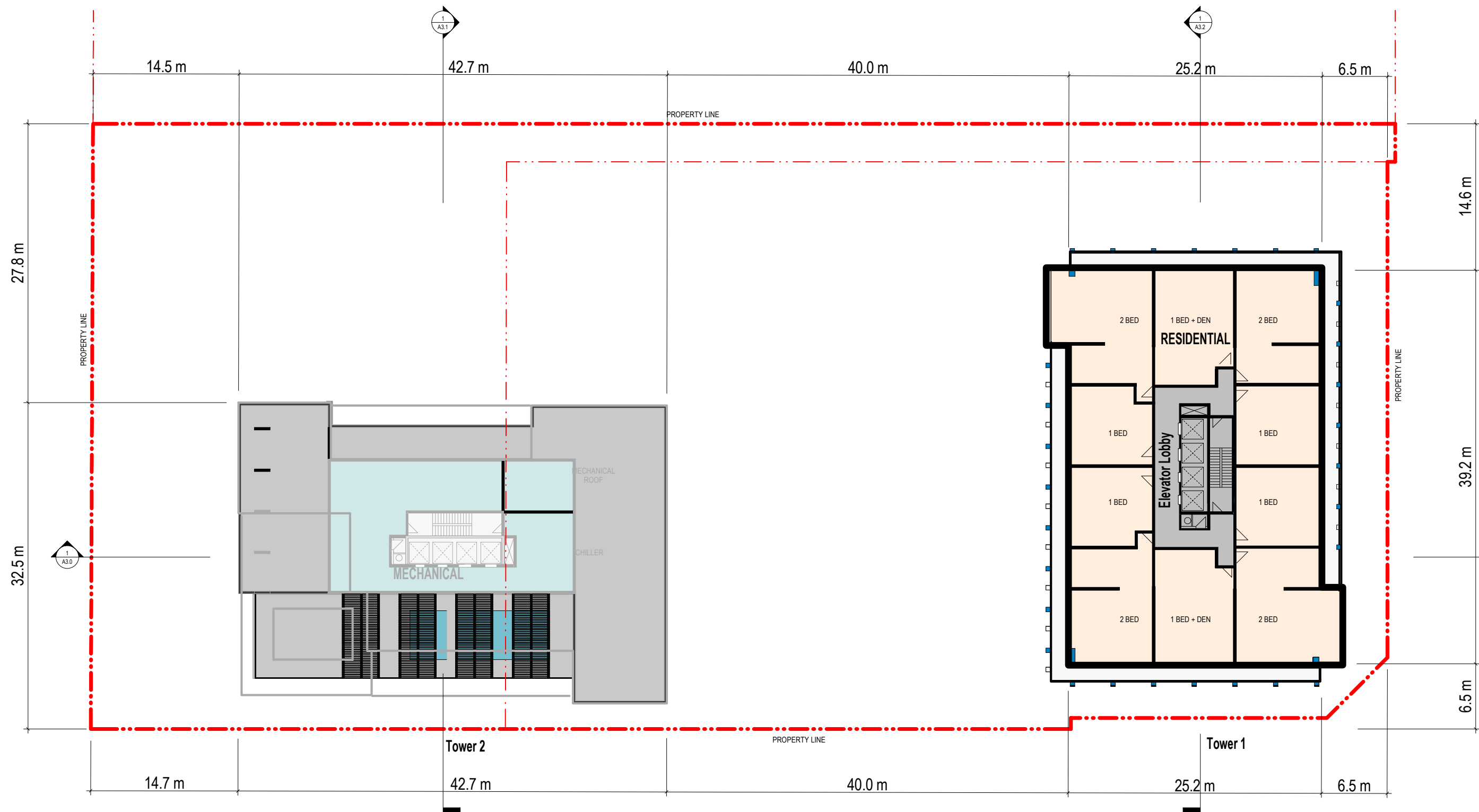


- - - LIMIT OF HERITAGE DESIGNATION
- - - EXTENT OF UNDERGROUND PARKING
- - - PROPERTY LINE



**Tower 1 - Residential / 10 units (1035 SQM)**  
**Tower 2 - Mechanical (335 SQM)**

- - - LIMIT OF HERITAGE DESIGNATION
- - - EXTENT OF UNDERGROUND PARKING
- - - PROPERTY LINE



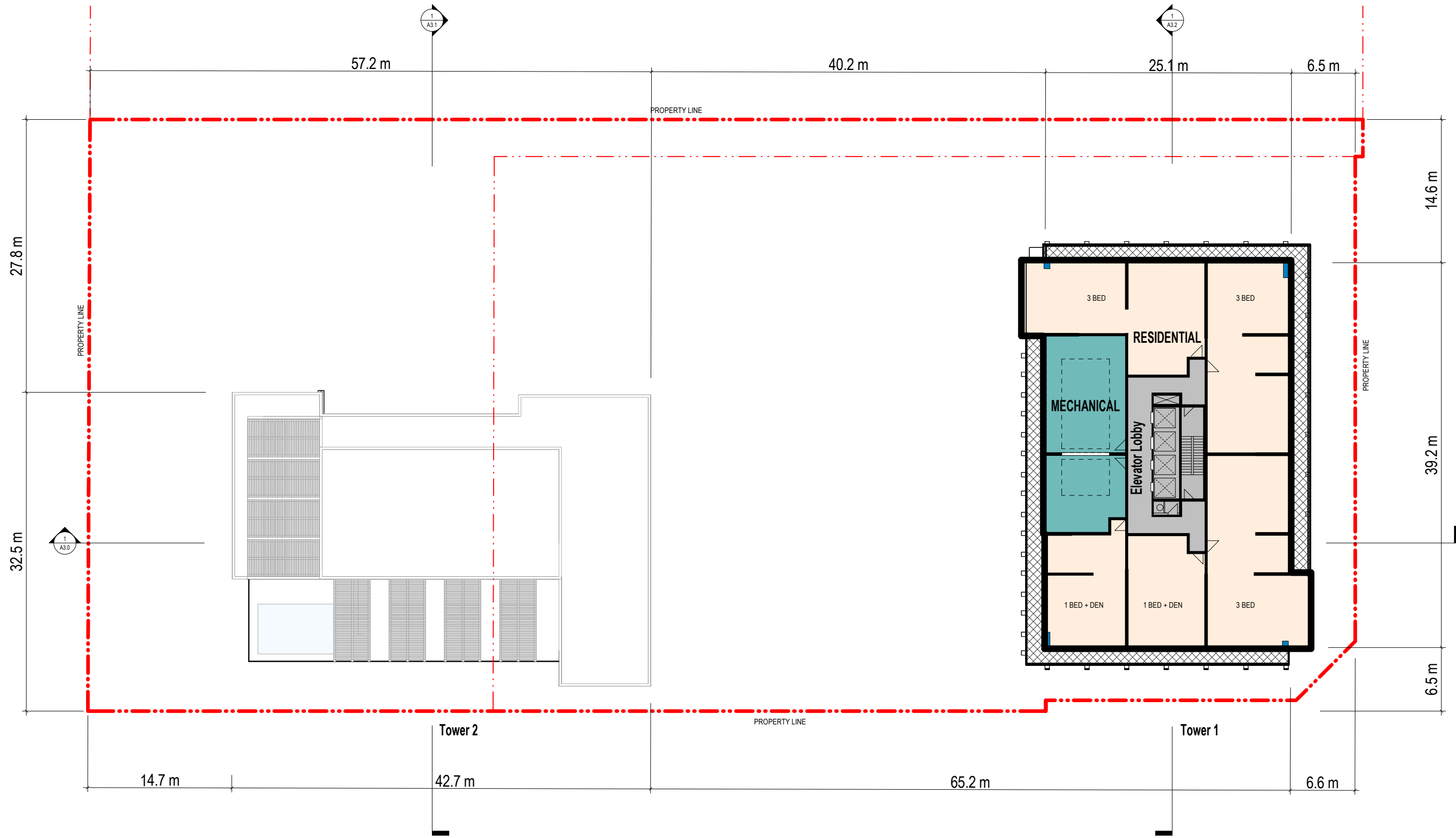
**Tower 1 - Residential / 10 units (1035 SQM)**

--- LIMIT OF HERITAGE DESIGNATION

--- EXTENT OF UNDERGROUND PARKING

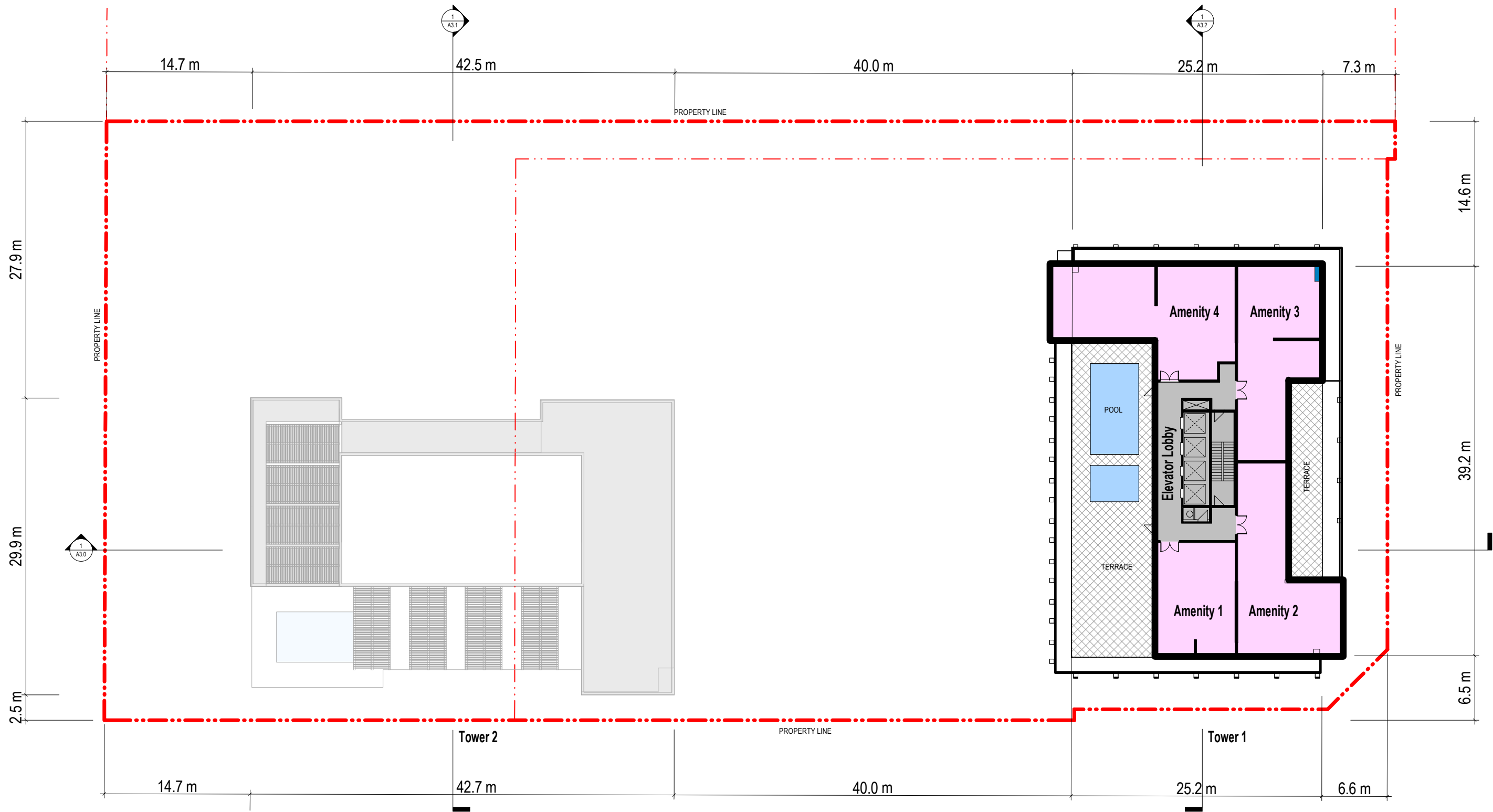
--- PROPERTY LINE





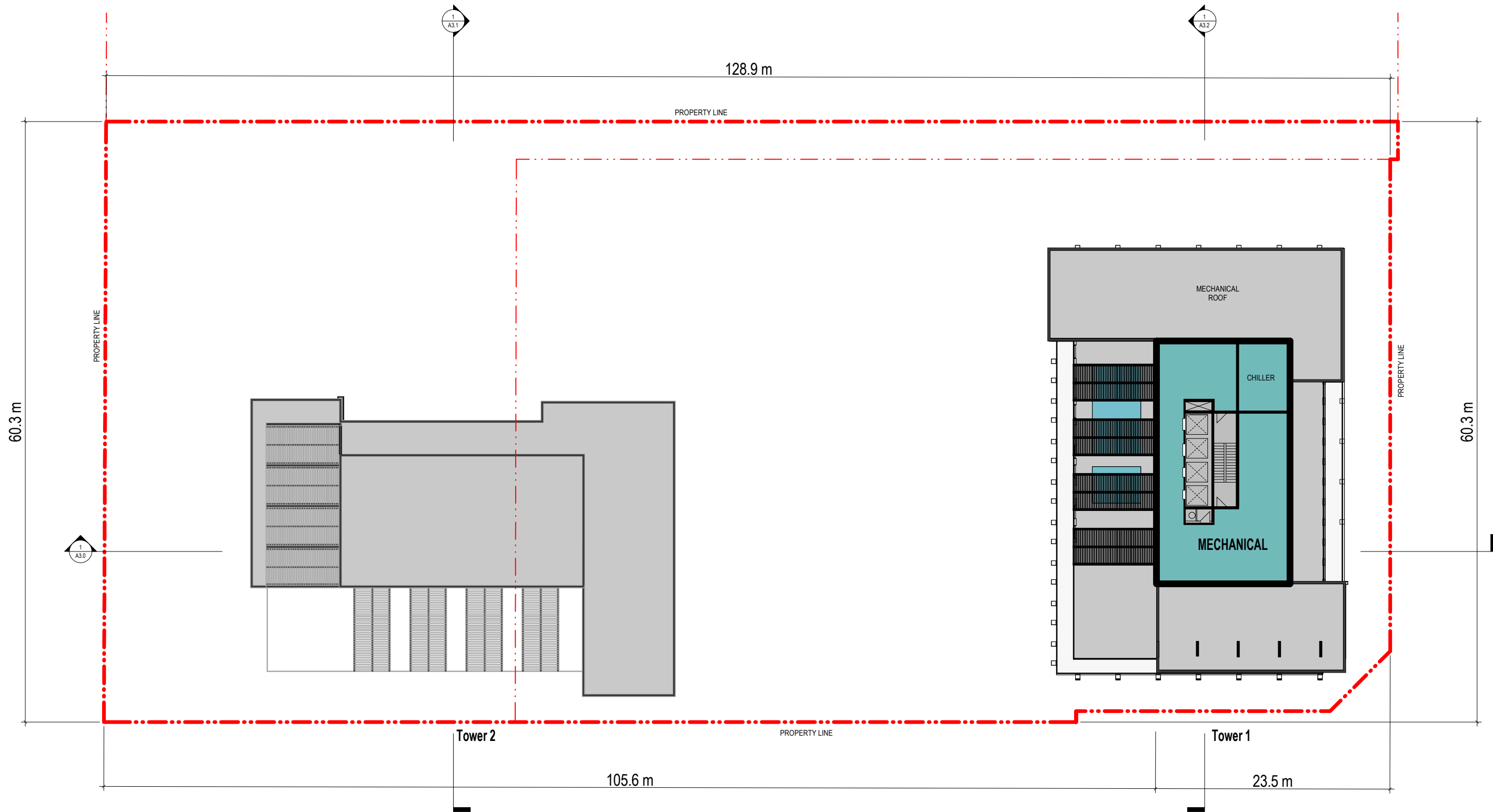
**Tower 1 - Residential / 5 units (850 SQM)**  
 - Mechanical ( 175 SQM)

- LIMIT OF HERITAGE DESIGNATION
- EXTENT OF UNDERGROUND PARKING
- .-.- PROPERTY LINE



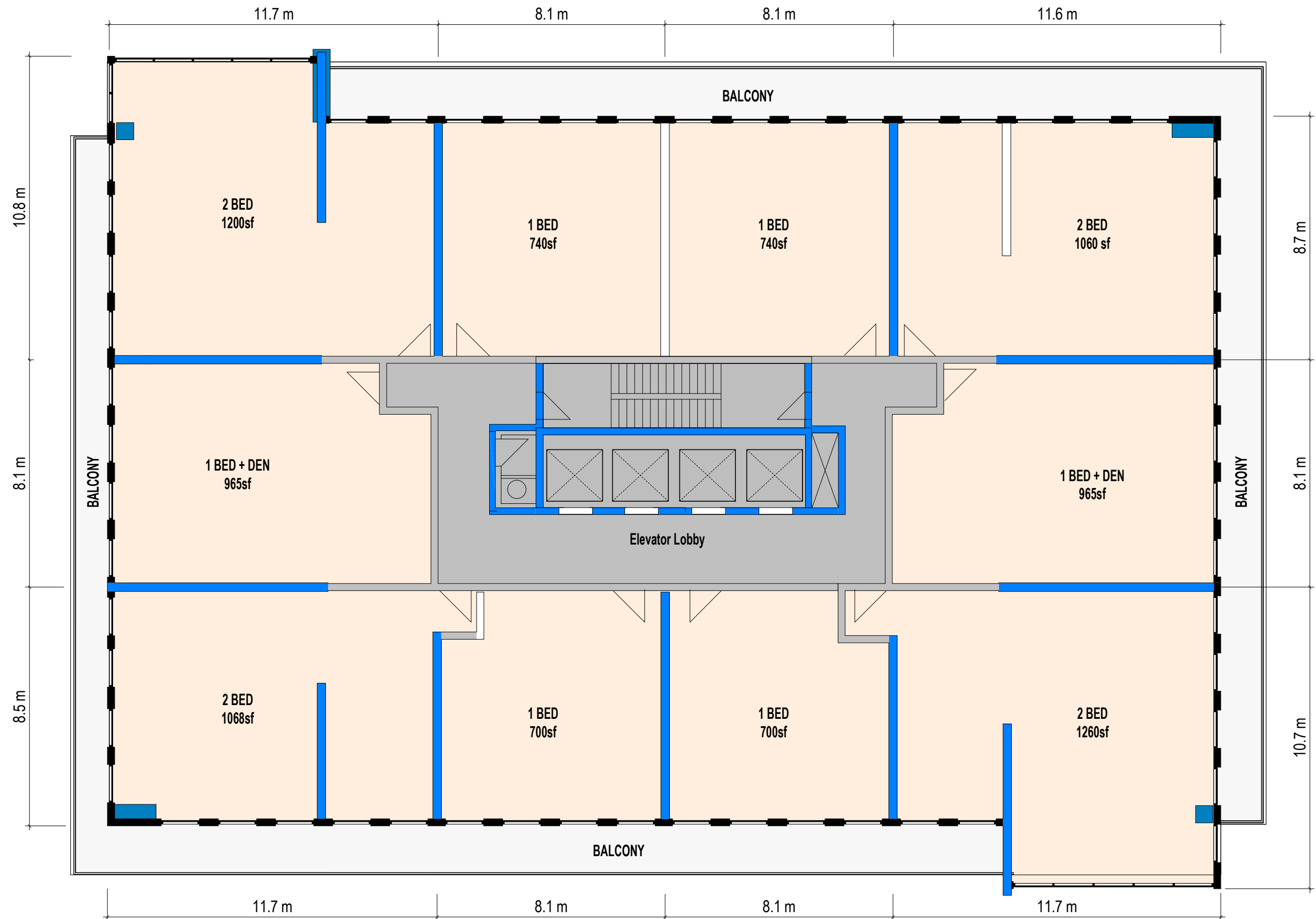
**Tower 1 - Amenity (700 SQM)**

- - - LIMIT OF HERITAGE DESIGNATION
- - - EXTENT OF UNDERGROUND PARKING
- · - · - PROPERTY LINE

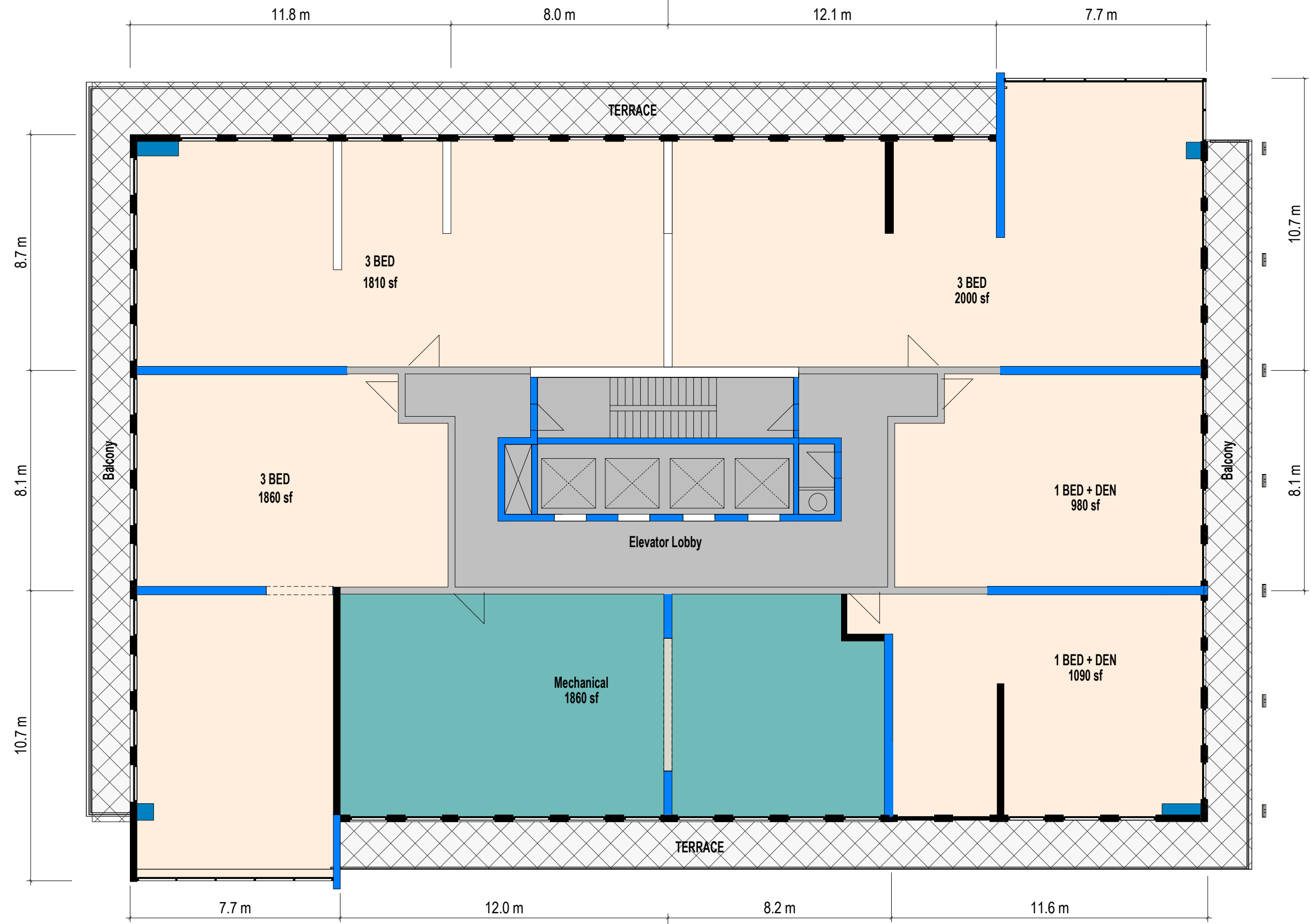


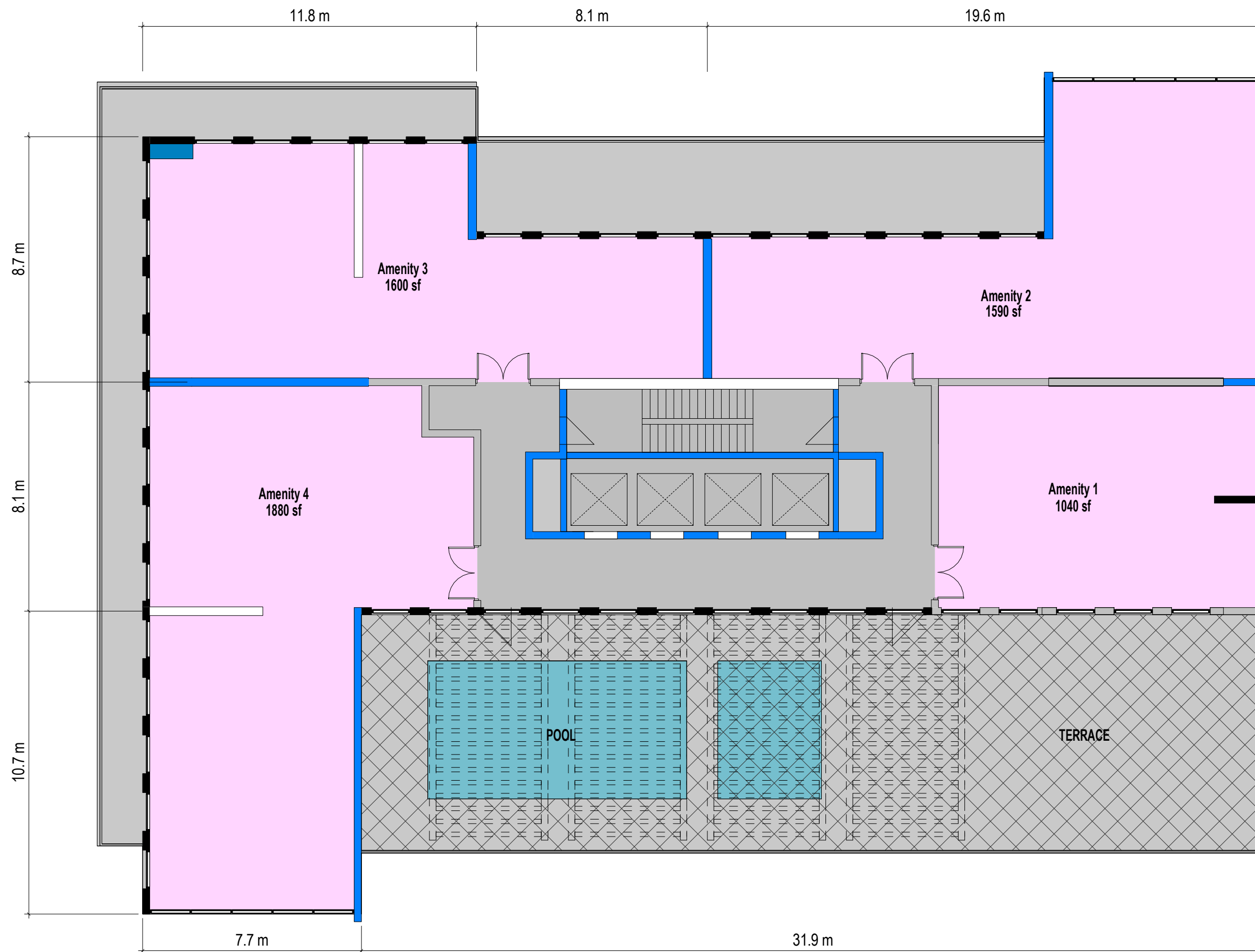
**Tower 1 - Mechanical (335 SQM)**

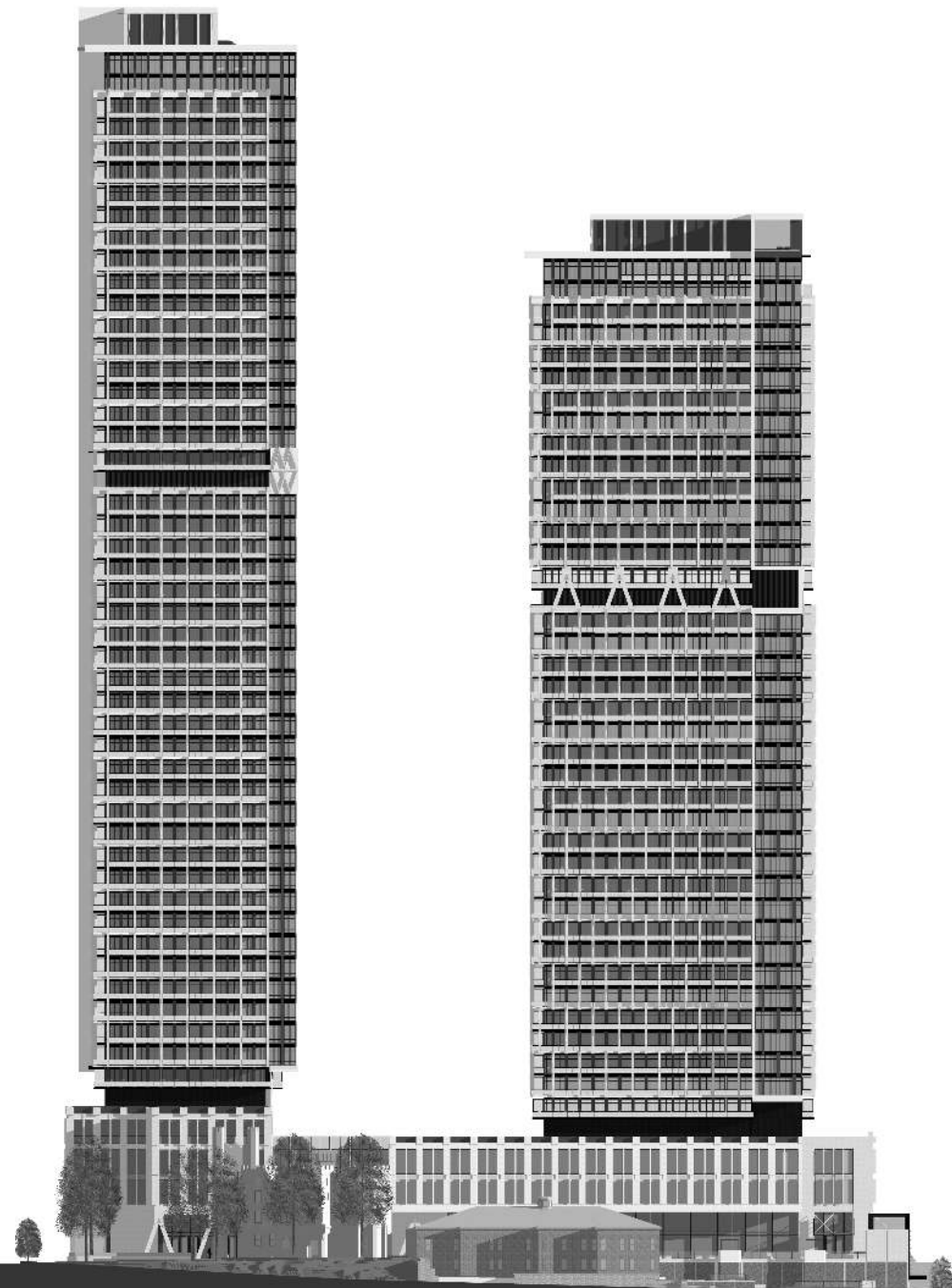
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- EXTENT OF UNDERGROUND PARKING
- .-.- PROPERTY LINE

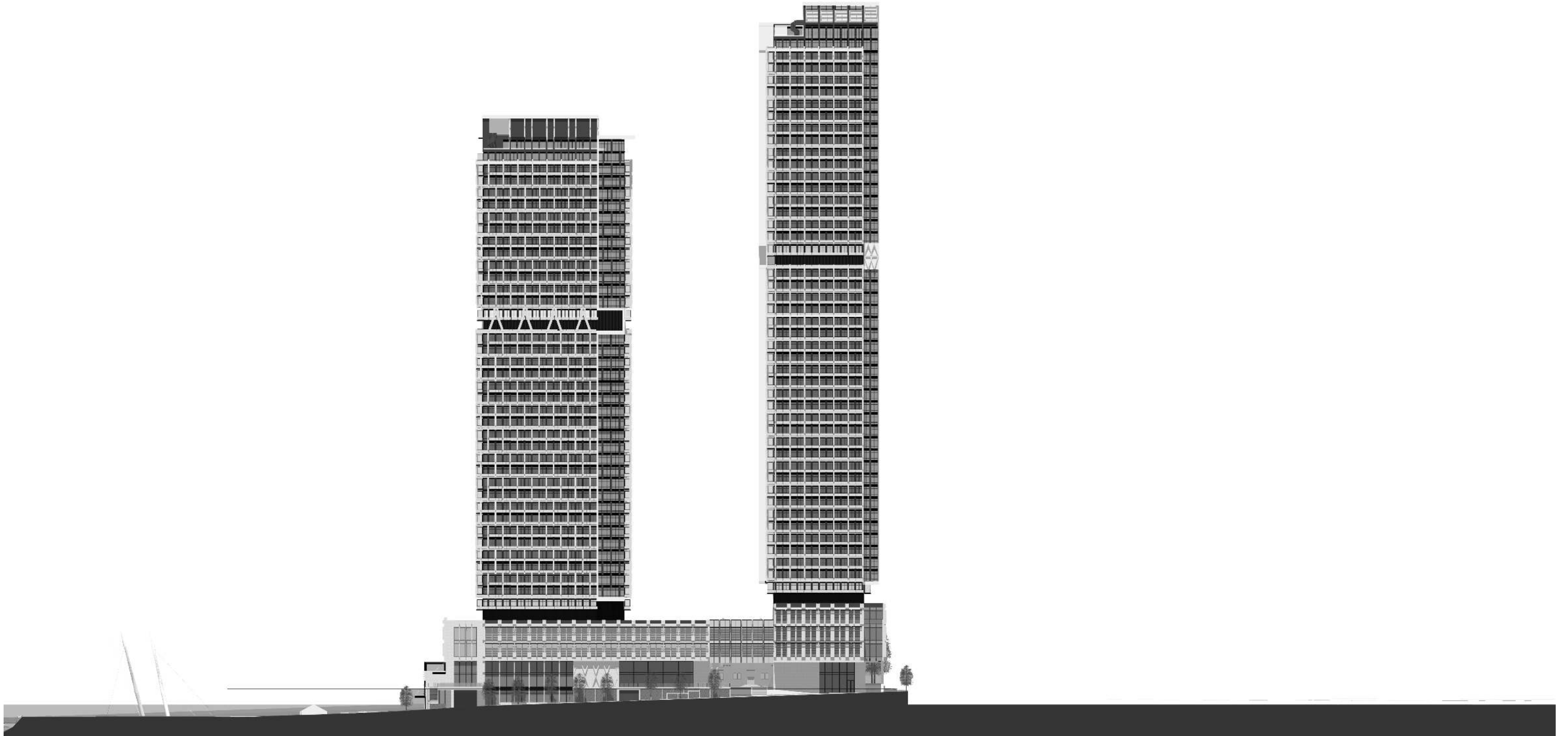


TYPICAL RESIDENTIAL FLOORPLATE 11,115sf

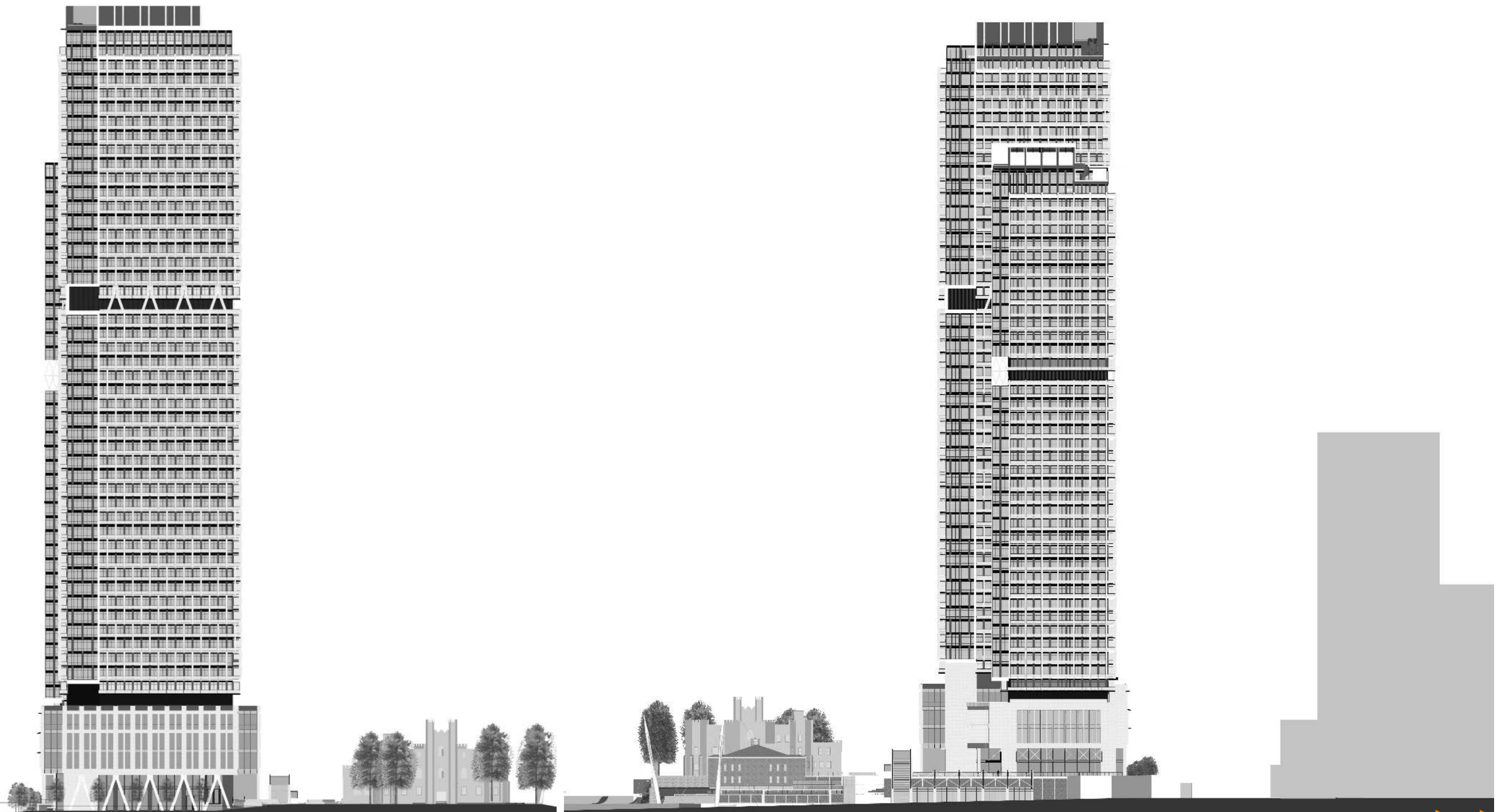


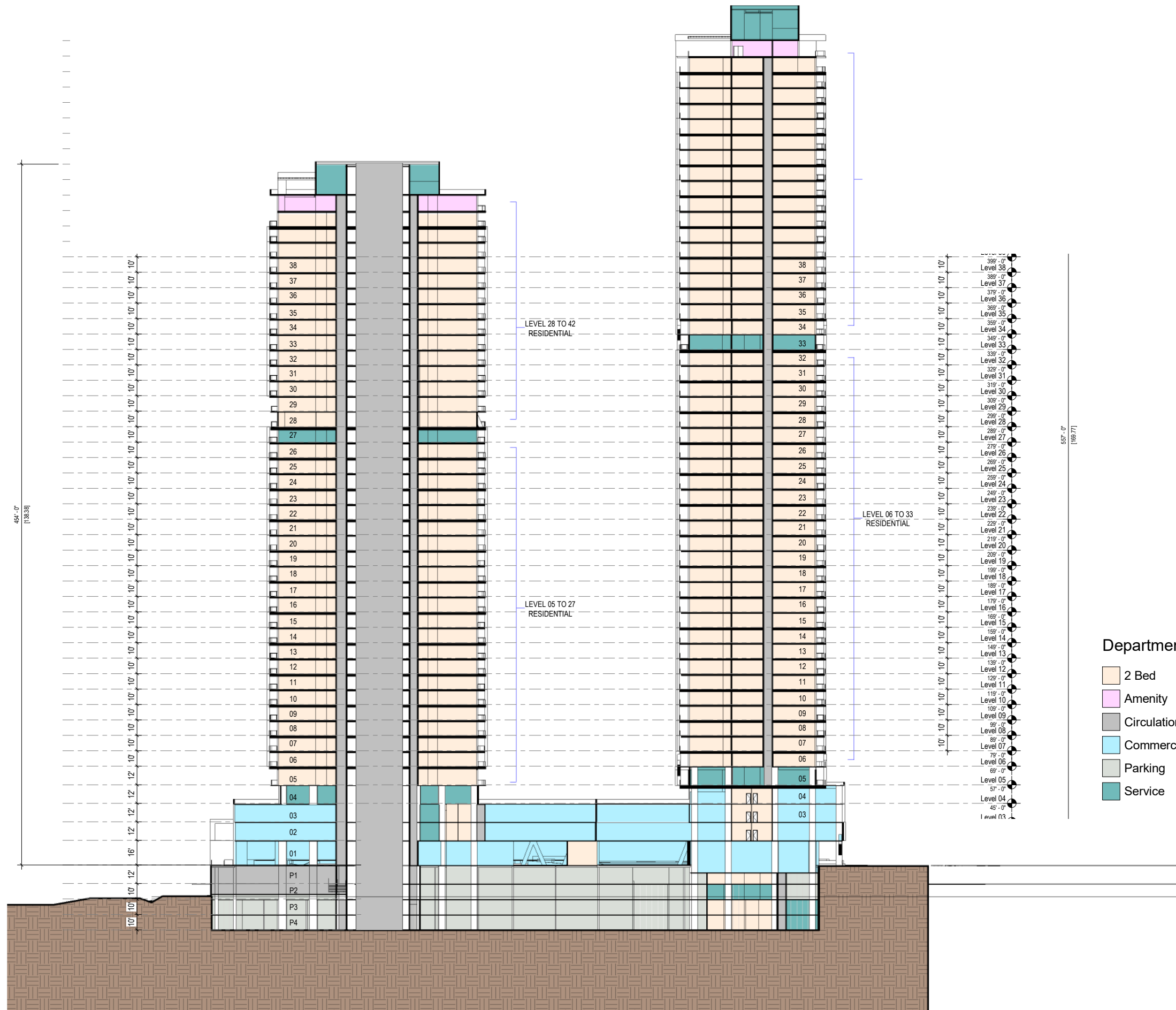


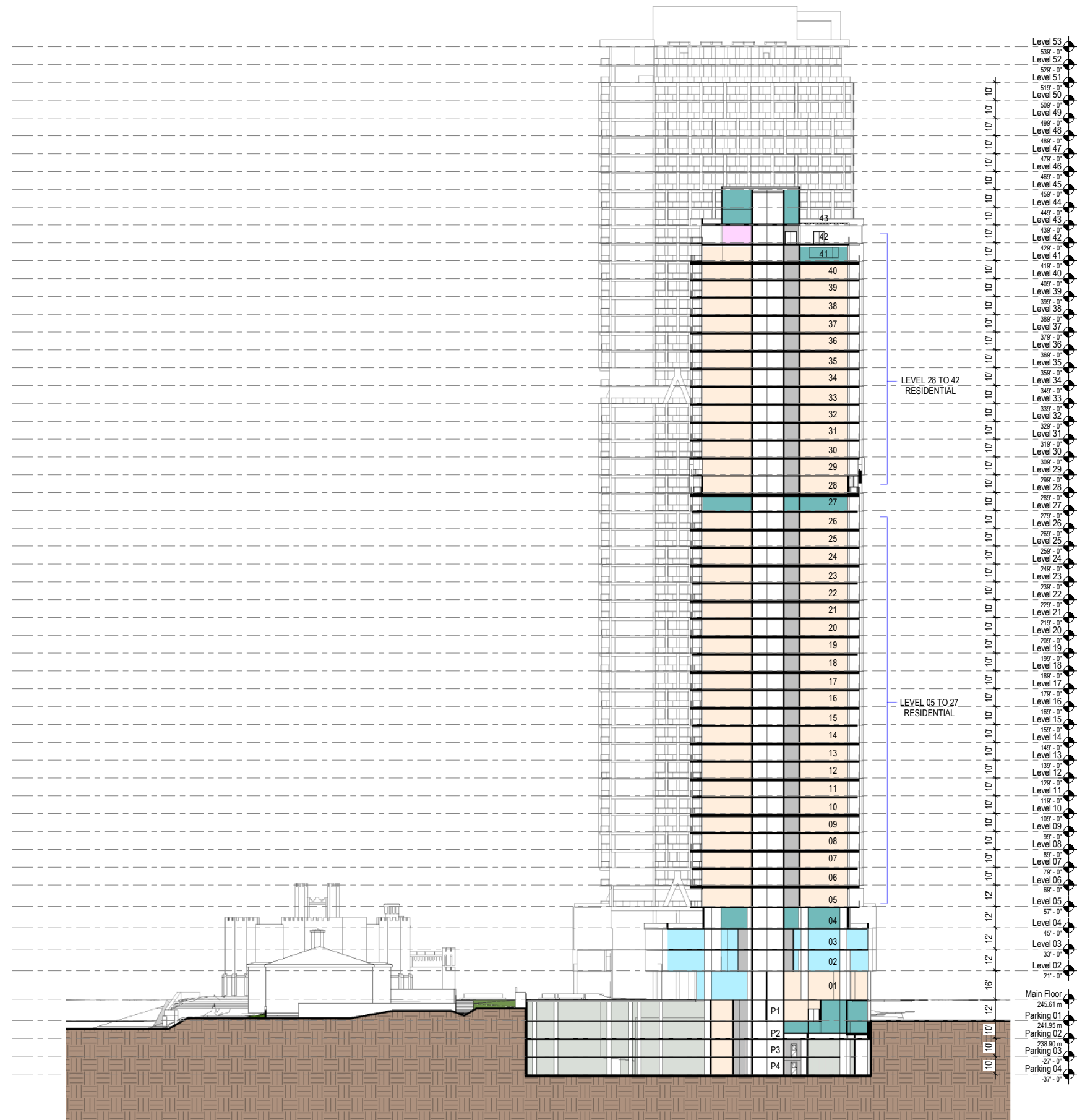


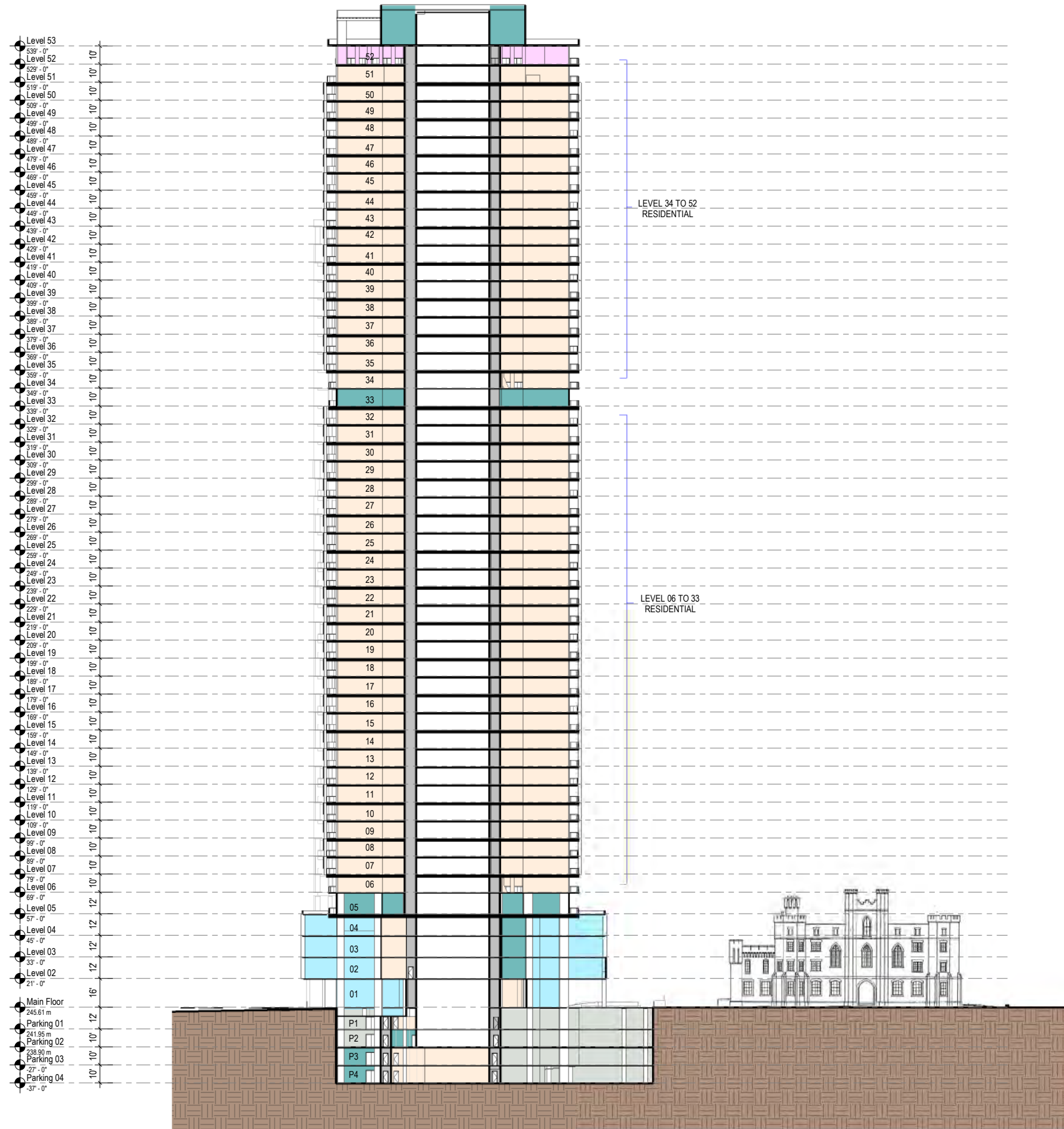








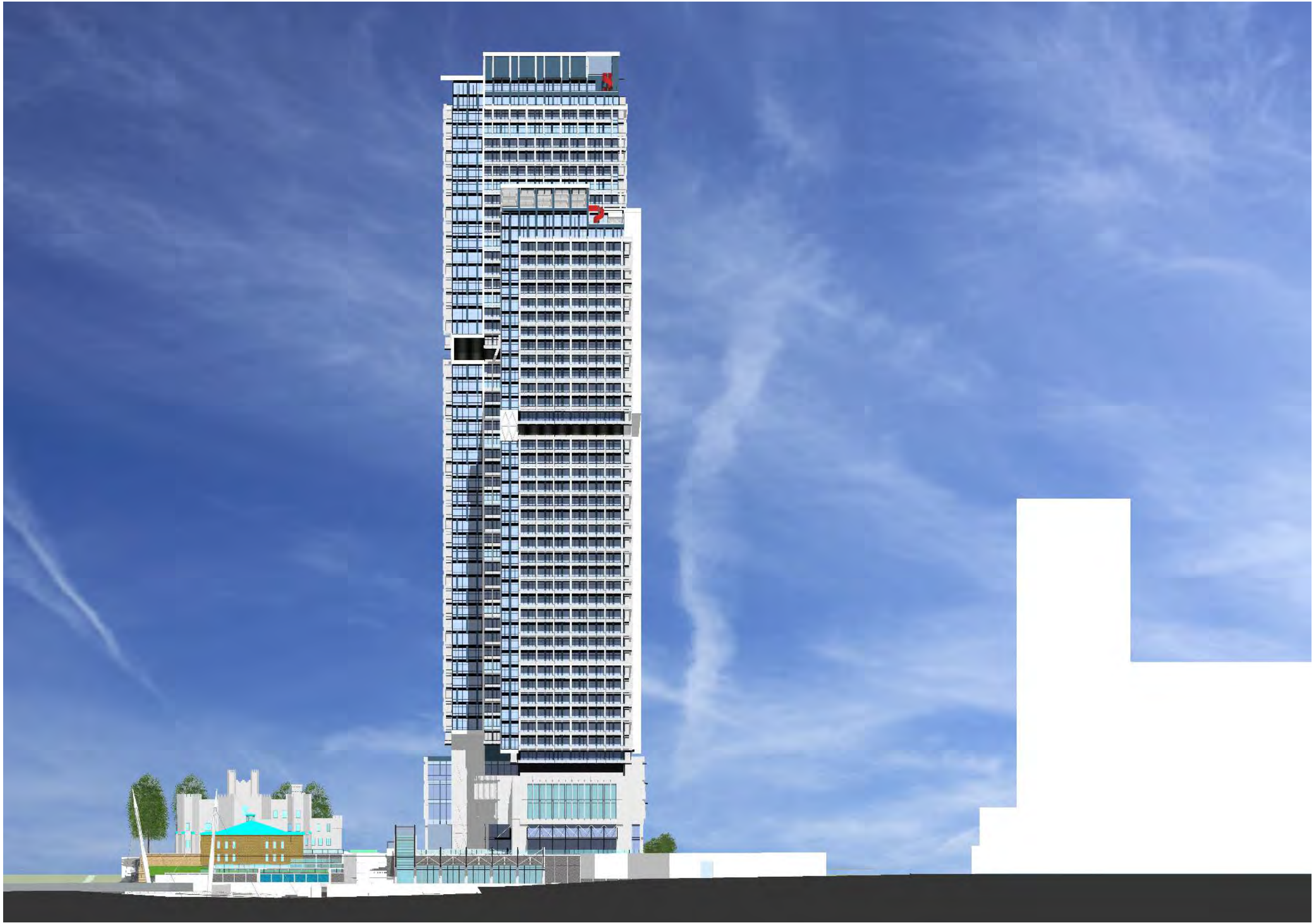








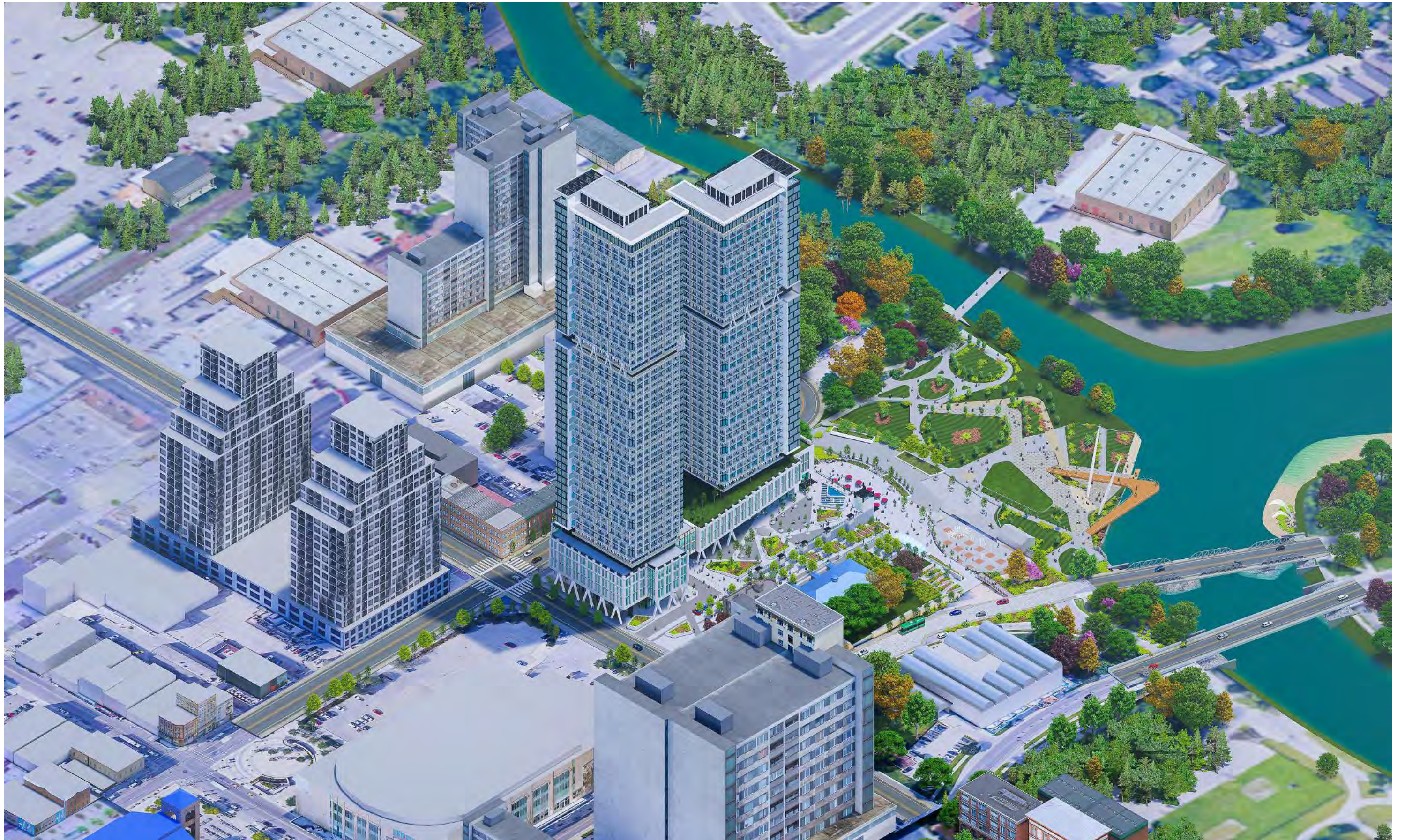
































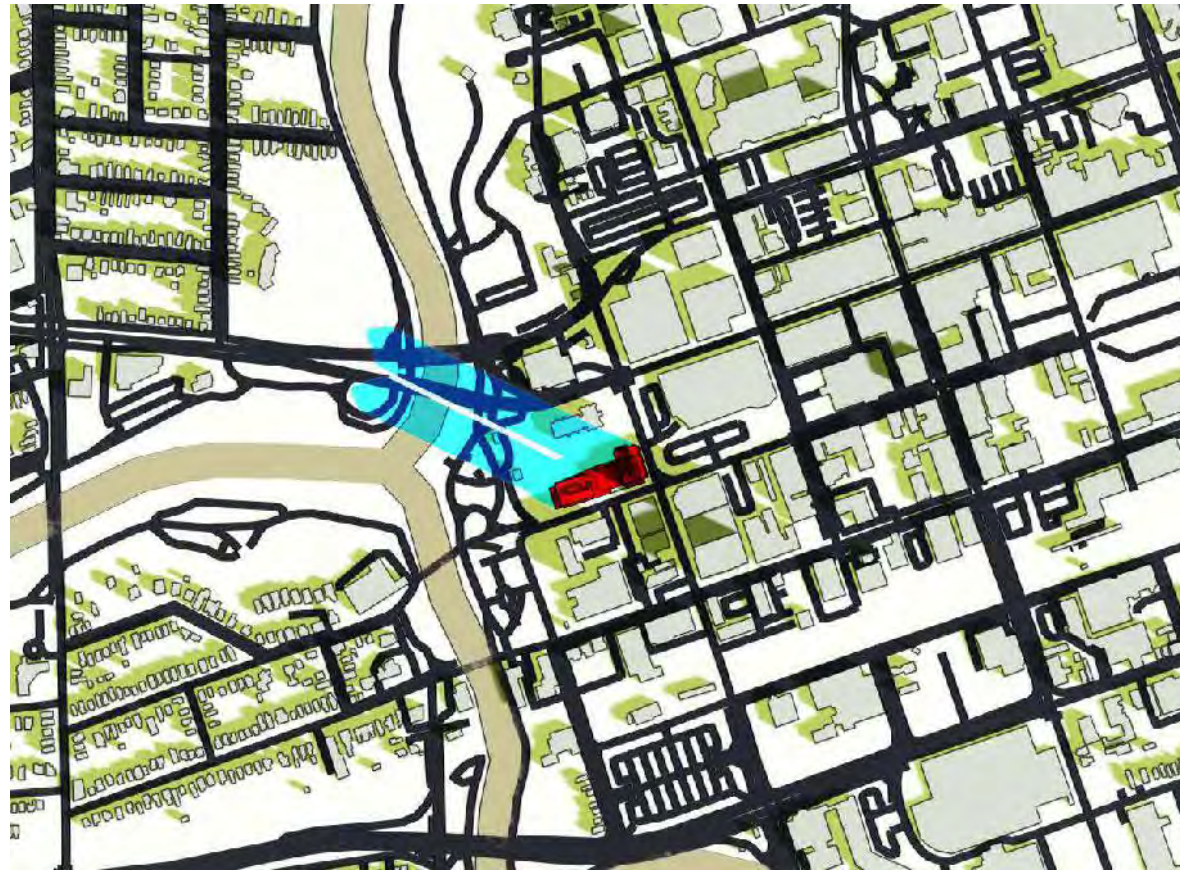




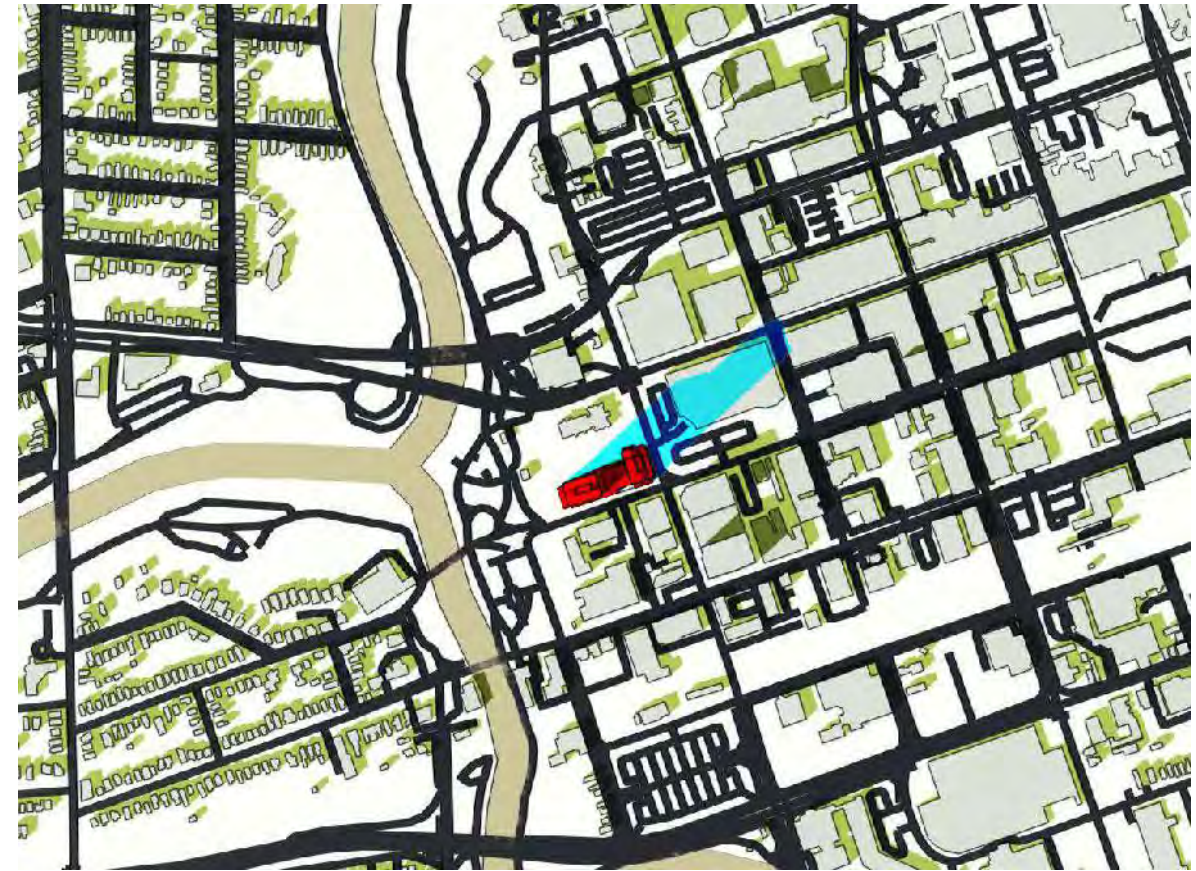




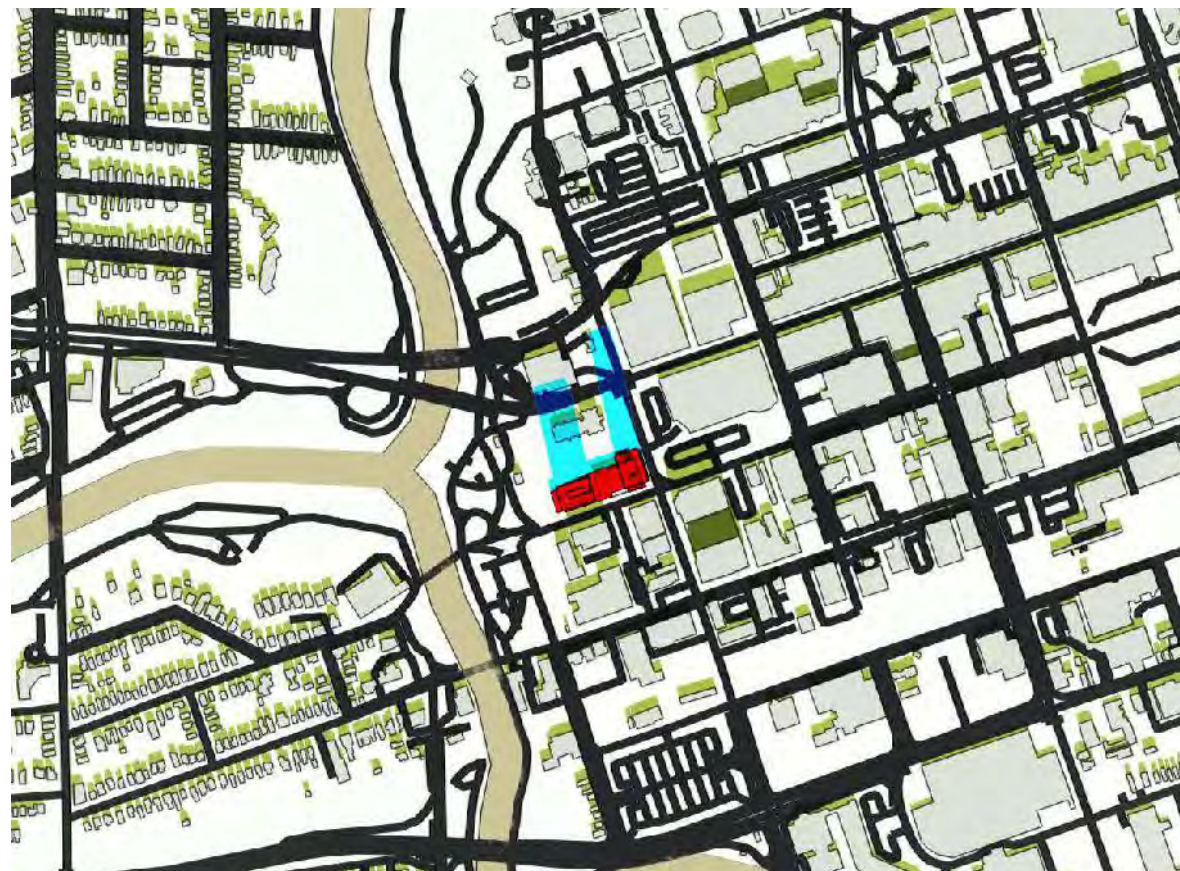









MARCH 21 900 AM

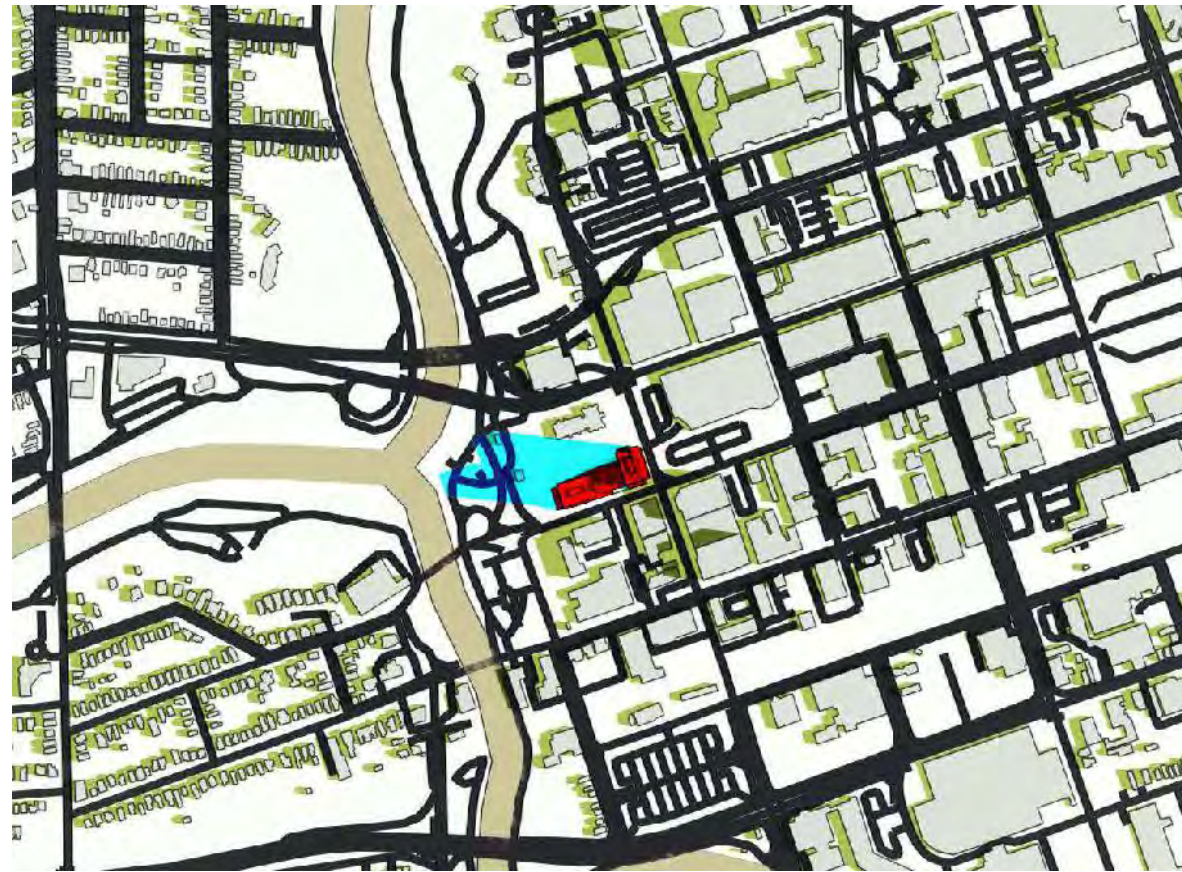


MARCH 21 300 PM

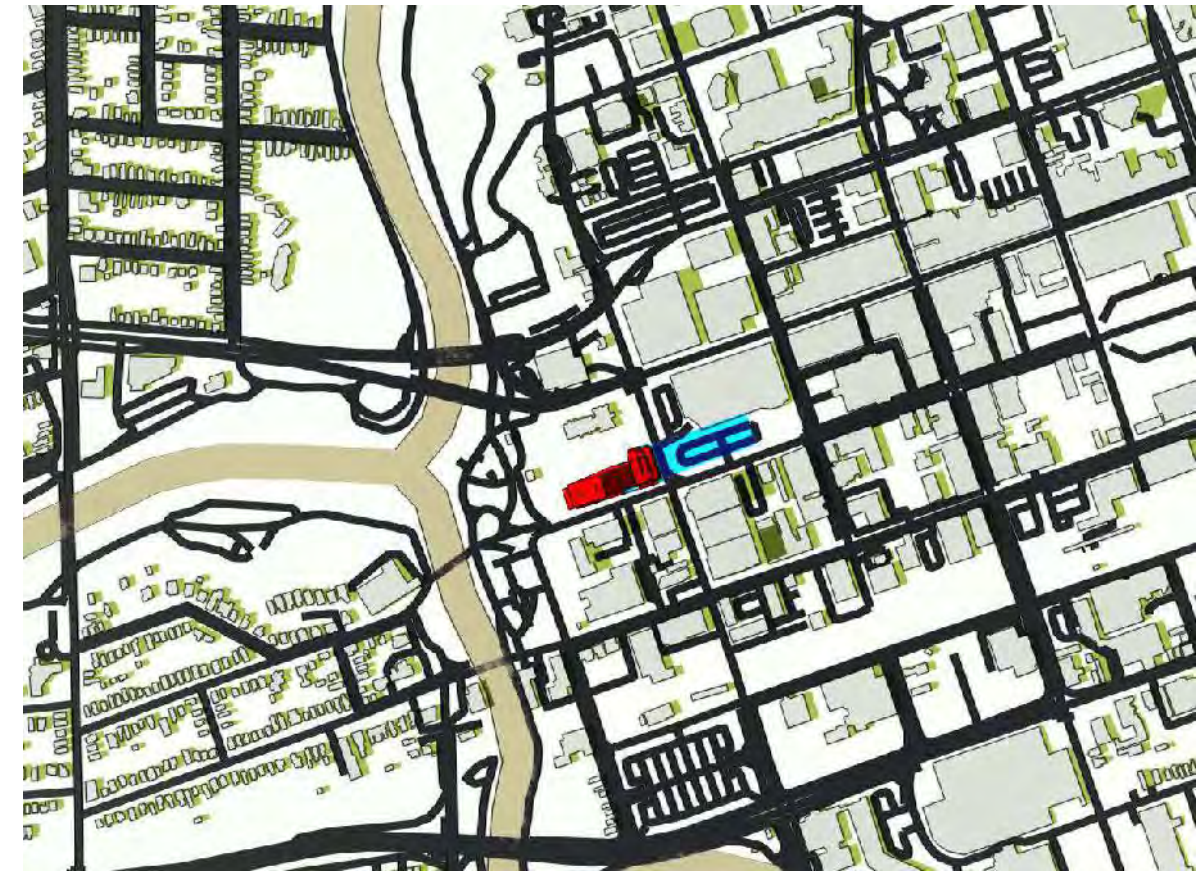


MARCH 21 1200 PM

LEGEND	
	EXISTING BUILDINGS
	EXISTING ROADS
	SHADOWS PROJECTED BY EXISTING BUILDINGS
	PROPOSED BUILDING
	SHADOWS PROJECTED BY PROPOSED BUILDING








JUNE 21 900 AM



JUNE 21 300 PM



JUNE 21 1200 PM

LEGEND	
	EXISTING BUILDINGS
	EXISTING ROADS
	SHADOWS PROJECTED BY EXISTING BUILDINGS
	PROPOSED BUILDING
	SHADOWS PROJECTED BY PROPOSED BUILDING








DECEMBER 21 900 AM



DECEMBER 21 300 PM



DECEMBER 21 1200 PM

LEGEND	
	EXISTING BUILDINGS
	EXISTING ROADS
	SHADOWS PROJECTED BY EXISTING BUILDINGS
	PROPOSED BUILDING
	SHADOWS PROJECTED BY PROPOSED BUILDING

# Appendix C- Designation By-laws for 399 Ridout Street North, London

HAP



FOR OFFICE USE ONLY

NUMBER **753702**  
**CERTIFICATE OF REGISTRATION**

86 DEC 29 AM 11:37

MIDDLESEX EAST  
No. 33  
LONDON

*[Signature]*  
LAND REGISTRAR

(1) Registry  Land Titles  (2) Page 1 of 4 pages

(3) Property Identifier(s) Block Property

(4) Nature of Document

By-law No. L.S.P.-2917-501

(5) Consideration

(6) Description

All that portion of Lots 22, 23, and 24, south of Dundas Street, and Lots 22, 23 and 24 north of King Street in the City of London and County of Middlesex, more particularly described as follows:

Premising that all bearings herein are astronomic and are referred to the bearing north 68 degrees 30 minutes east of the northerly limit of the said Lots 22, 23 and 24;

CONTINUED ON SCHEDULE

(7) This Document Contains: (a) Redescription New Easement Plan/Sketch  (b) Schedule for: Description  Additional Parties  Other

HOUSING DIVISION RECEIVED  
JAN 16 1987  
REF. \_\_\_\_\_  
Dollars \$ \_\_\_\_\_

New Property Identifiers

Additional: See Schedule

Executions

Additional: See Schedule

(8) This Document provides as follows:

A certified copy of the by-law is attached.

Continued on Schedule

(9) This Document relates to instrument number(s)

(10) Party(ies) (Set out Status or Interest)  
Name(s)

Signature(s)

Date of Signature  
Y M D

THE CORPORATION OF THE CITY OF LONDON  
Applicant

*[Signature]*

1986 11 18

Name: K. W. Sadler  
Title: City Clerk

(11) Address for Service

P.O. Box 5035, London, Ontario, N6A 4L9

(12) Party(ies) (Set out Status or Interest)  
Name(s)

Signature(s)

Date of Signature  
Y M D

(13) Address for Service

(14) Municipal Address of Property

Not Assigned

(15) Document Prepared by:

City Clerk's Department  
City Hall  
300 Dufferin Avenue  
London, Ontario  
N6A 4L9

Fees and Tax	
Registration Fee	
<b>Total</b>	

FOR OFFICE USE ONLY

Additional Property Identifier(s) and/or Other Information

Commencing at a point in the northerly limit of the said Lot 22, distant 176.38 feet measured south 68 degrees 30 minutes west along the northerly limit of Lot 21 south of Dundas Street and the northerly limit of the said Lot 22, from the northeast corner of the said Lot 21;

Thence south 18 degrees 47 minutes 07 seconds east 212.54 feet;

Thence south 68 degrees 34 minutes 10 seconds west 210.74 feet;

Thence north 20 degrees 09 minutes 40 seconds west 212.10 feet, more or less, to the northerly limit of the said Lot 24;

Thence north 68 degrees 30 minutes east along the northerly limit of the said Lots 24, 23 and 22 a distance of 215.85 feet, more or less, to the point of commencement.

Bill No. 592  
1986

By-law No. L.S.P.-2917-501

A by-law to designate the Middlesex County Gaol, south-west corner of Dundas Street and Ridout Street to be of historic and architectural value.

WHEREAS pursuant to The Ontario Heritage Act, R.S.O. 1980, c. 337 the Council of a municipality may by by-law designate a property including buildings and structures thereon to be of historic or architectural value or interest;


AND WHEREAS notice of intention to so designate the property known as the Middlesex County Gaol, south-west corner of Dundas Street and Ridout Street has been duly published and served and no notice of objection to such designation has been received.

The Municipal Council of The Corporation of the City of London enacts as follows:

1. There is designated as being of historic and architectural value or interest the real property, more particularly described in Schedule "A" hereto, at the Middlesex County Gaol, south-west corner of Dundas Street and Ridout Street, for the reasons set out in Schedule "B" hereto.
2. The City Clerk is authorized to cause a copy of this by-law to be registered upon the title to the property described in Schedule "A" hereto in the proper Land Registry Office.
3. The City Clerk is authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in the London Free Press, and to enter the description of the aforesaid property, the name and address of its registered owner, and short reasons for its designation in the Register of all properties designated under The Ontario Heritage Act, R.S.O. 1980.
4. This by-law comes into force on the day it is passed.

PASSED in Open Council on November 17, 1986.

  
T. C. Gosnell  
Mayor

  
K. W. Sadler  
City Clerk

First reading - November 17, 1986  
Second reading - November 17, 1986  
Third reading - November 17, 1986

SCHEDULE "A"

to By-law No. L.S.P.-2917-501

All that portion of Lots 22, 23 and 24, south of Dundas Street, and Lots 22, 23 and 24 north of King Street in the City of London and County of Middlesex, more particularly described as follows:

Premising that all bearings herein are astronomic and are referred to the bearing north 68 degrees 30 minutes east of the northerly limit of the said Lots 22, 23 and 24;

Commencing at a point in the northerly limit of the said Lot 22, distant 176.38 feet measured south 68 degrees 30 minutes west along the northerly limit of Lot 21 south of Dundas Street and the northerly limit of the said Lot 22, from the northeast corner of the said Lot 21;

Thence south 18 degrees 47 minutes 07 seconds east 212.54 feet;

Thence south 68 degrees 34 minutes 10 seconds west 210.74 feet;

Thence north 20 degrees 09 minutes 40 seconds west 212.10 feet, more or less, to the northerly limit of the said Lot 24;

Thence north 68 degrees 30 minutes east along the northerly limit of the said Lots 24, 23 and 22 a distance of 215.85 feet, more or less, to the point of commencement.

SCHEDULE "B"

to By-law No. L.S.P.-2917-501

Historical Reasons

The Old Middlesex Gaol was erected between 1842 and 1846 when the prison facilities in the adjoining Court House (now Middlesex Municipal Offices and designated in 1980) became too small for the London district. Together the two buildings form an extremely important group at the Forks of the Thames. The Old Gaol was used as a prison until 1978.

Architectural Reasons

The gaol is built of red, yellow and buff bricks most of which were made nearby. Its architecture is utilitarian in concept with vestiges of Italianate design in its massing, fenestration and cupola. An original cell block, complete with metal doors and solitary confinement, and hanging hook and trap door are preserved.



By-law No. L.S.P.- 2534-582

A by-law to designate the Old Middlesex Court House, south-west corner of Dundas and Ridout Streets, of historic and architectural value.

WHEREAS pursuant to The Ontario Heritage Act, 1974, the Council of a municipality may by by-law designate a property including buildings and structures thereon to be of historic or architectural value or interest;

AND WHEREAS notice of intention to so designate the property known as the Old Middlesex Court House, south-west corner of Dundas and Ridout Streets, having been duly published and served, no notice of objection was received to such designation;

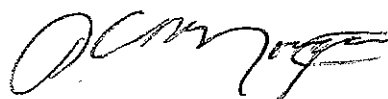
BE IT THEREFORE ENACTED by the Municipal Council of The Corporation of the City of London, as follows:

1. There is designated as being of historic and architectural value or interest the real property, more particularly described in Schedule "A" hereto, known as the Middlesex Court House at the south-west corner of Dundas and Ridout Streets, for the reasons set out in Schedule "B" hereto.
2. The City Solicitor is hereby authorized to cause a copy of this by-law to be registered upon the title to the property described in Schedule "A" hereto in the proper Land Registry Office.
3. The City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in the London Free Press, and to enter the description of the aforesaid property, the name and address of its registered owner, and short reasons for its designation in the Register of all properties designated under Part IV of The Ontario Heritage Act, 1974.
4. This by-law comes into force on the day of its final passing.

PASSED in open Council this third day of November, A.D., 1980.



M. A. Gleeson  
Mayor



P. C. McNorgan  
Deputy City Clerk

First reading - November 3, 1980  
Second reading - November 3, 1980  
Third reading - November 3, 1980

SCHEDULE "A"

to By-law No. L.S.P.- 2534-582

DESCRIPTION OF COURTHOUSE SITE FOR ONTARIO HERITAGE ACT DESIGNATION (REVISION 2)

All that portion of Lots 21 and 22, south of Dundas Street and Lots 21 and 22, north of King Street, formerly in the Town of London, now in the City of London, in the County of Middlesex, in the Province of Ontario and described as follows:

Premising that all hearings herein are astronomic and are referred to the bearing north 68 degrees, 30 minutes east of the northerly limit of the said Lots 21 and 22, south of Dundas Street;

Commencing at the northeast corner of the said Lot 21, south of Dundas Street;

Thence south 68 degrees, 30 minutes west along the northerly limit of the said Lots 21 and 22 a distance of 176.38 feet;

Thence south 18 degrees, 47 minutes, 07 seconds east 212.54 feet;

Thence north 68 degrees, 34 minutes, 10 seconds east 82.23 feet;

Thence north 21 degrees, 26 minutes, 30 seconds west 68.08 feet;

Thence north 68 degrees, 34 minutes, 10 seconds east 104.00 feet more or less to the easterly limit of the said Lot 21, south of Dundas Street;

Thence north 21 degrees, 26 minutes, 30 seconds west along the said easterly limit 144.44 feet more or less to the point of commencement.

SCHEDULE "B"

to By-law No. L.S.P.- 2534-582

Architectural Reasons:

The Court House was completed in 1829 and its architecture represents progressive interpretation of the Gothic Revival style in London, Ontario between 1827 and 1911.

Historical Reasons:

For almost a century and a half, this building has served as a focal point for much of the history of London and the administration of justice in Middlesex County.

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File Sec Thi

BY-LAW NUMBER L.S.P.-2534-582

No. **587605**  
Registry Division of Middlesex East (No. 33)  
I CERTIFY that this instrument is registered as of  
**1108A.M.**  
Registry Office **DEC 16 1980** in the  
at London,  
Ontario.

*David B. Swanson*  
REGISTRAR.

*ap.*

A by-law to designate the Old Middlesex Court House, south-west corner of Dundas and Ridout Streets, of historic and architectural value.

All of Lots 21 and 22, south of Dundas Street  
Lots 21 and 22, north of King Street

PASSED - November 3, 1980

City Clerk's Office  
City Hall  
London, Ontario

*21-*

# Appendix **D**—Ontario Heritage Trust Heritage Easement

THIS EASEMENT AGEEMENT made the 15th day  
of June, 1981.

B E T W E E N

THE CORPORATION OF THE  
COUNTY OF MIDDLESEX,  
hereinafter called the "Owner"

OF THE FIRST PART;

- and -

THE ONTARIO HERITAGE FOUNDATION,  
a body corporate continued by  
The Ontario Heritage Act, 1974,  
S. O. 1974, c. 122,

hereinafter called the "Foundation"

OF THE SECOND PART.

WHEREAS the Owner is the owner of certain lands and premises situated in the City of London in the County of Middlesex and Province of Ontario (hereinafter called the "Property"), being composed of part of Lots 21 and 22, South of Dundas Street and part of Lots 21 and 22, North of King Street, in the said City of London, which said lands and premises are more particularly described in Schedule "A" attached hereto;

AND WHEREAS the building situated on the property was formerly the site of the Middlesex County Court House;

AND WHEREAS by section 7(c) of The Ontario Heritage

Act, 1974, S.O. 1974, c.122, one of the objects of the Foundation is to support, encourage and facilitate the conservation, protection and preservation of the heritage of Ontario;

AND WHEREAS by section 10 (l) (b) of The Ontario Heritage Act, 1974, the Foundation is entitled to enter into agreements, covenants and easements with owners of real property, or interests therein, for the conservation, protection and preservation of the heritage of Ontario;

AND WHEREAS by section 22 of The Ontario Heritage Act, 1974, such covenants and easements entered into by the Foundation, when registered in the proper land registry office against the real property affected by them, shall run with the real property and may, whether positive or negative in nature, be enforced by the Foundation or its assignee against the owner or any subsequent owners of the real property, even where the Foundation owns no other land which would be accommodated or benefitted by such covenants and easements;

AND WHEREAS the Owner and the Foundation desire to conserve the aesthetic and scenic character and condition of the Property and the present historical, architectural, aesthetic and scenic character and condition of the exterior of the building on the Property (hereinafter called the "Facade");

AND WHEREAS to this end, the Owner and the Foundation desire to enter into this Easement Agreement (hereinafter called the "Agreement");

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the sum of TWO DOLLARS (\$2.00) of lawful money of Canada now paid by the Foundation to the Owner (the receipt of which is hereby acknowledged), and for other valuable consideration, and in further consideration of the granting of the easements herein and in further consideration of the mutual covenants and restrictions hereinafter set forth, the Owner and the Foundation agree to abide by the following covenants, easements and restrictions which shall run with the

Property forever.

1.0 Duties Of Owner

1.1 Normal Repairs And Alterations

The Owner shall not, except as hereinafter set forth, without the prior written approval of the Foundation, undertake or permit any demolition, construction, alteration, remodelling, or any other thing or act which would materially affect the appearance or construction of the Facade, as depicted in the copies of the photographs, drawings and other documents attached hereto and incorporated herein as Schedule "B", and in the originals or facsimiles thereof which are filed in, and may be examined at, the Archives of Ontario, wherever they may be from time to time located. The approval required to be obtained from the Foundation herein shall be deemed to have been given upon the failure of the Foundation to respond in writing to a written request for it within sixty (60) days of receiving such request at its address as set out in paragraph 7.1 of this Agreement. If the approval of the Foundation is given or deemed to be given under this paragraph, the Owner, in undertaking or permitting the construction, alteration, remodelling, or other thing or act so approved of or deemed to be approved of, shall use materials specified by the Foundation. The Owner shall be permitted, without the prior written approval of the Foundation, to undertake or permit the repair or refinishing of presently existing parts or elements of the Facade, damage to which has resulted from casualty, loss, deterioration, or wear and tear, provided that such repair or refinishing may not be performed in a manner which would materially affect the construction or appearance of the Facade, as depicted in the copies of photographs, drawings and other documents constituting Schedule "B" to this Agreement, and in the originals or facsimiles thereof filed in the Archives of Ontario.

1.2 Insurance

The Owner shall at all times during the currency of this Agreement keep the building insured against normal perils that are coverable by fire and extended coverage insurance in an amount equal to the replacement cost of the building. The Owner shall have a form as set out in Schedule "C" attached

hereto completed and certified by its insurance company and delivered to the Foundation within three (3) weeks of the execution of this Agreement, and thereafter evidence satisfactory to the Foundation of the renewal of insurance shall be delivered to the Foundation at least three (3) clear days before the termination thereof. If the Owner fails to so insure the building, or if any such insurance on the building is cancelled, the Foundation may effect such insurance as the Foundation reasonably deems necessary and any sum paid in so doing shall forthwith be paid by the Owner to the Foundation, or if not, shall be a debt due and owing forthwith to the Foundation and recoverable from the Owner by action in a court of law. All proceeds receivable by the Owner under any fire and extended coverage insurance policy or policies on the building shall, on the written demand and in accordance with the requirements of the Foundation, be applied to replacement, rebuilding, restoration or repair of the building to the fullest extent possible having regard to the particular nature of the building, the cost of such work and any existing or subsequent mortgages registered against the title to the Property. The Owner's financial liability to replace, rebuild, restore or repair the building if it has been damaged or destroyed shall not exceed the proceeds receivable by the Owner under any fire and extended coverage insurance policy or policies. In the event that the building is damaged or destroyed and the proceeds receivable by the Owner under any fire and extended coverage insurance policy or policies are insufficient to effect a partial or complete restoration of the Facade, the Foundation shall have the privilege, but not the obligation, of contributing additional monies towards the replacement, rebuilding, restoration, or repair costs in order to effect a partial or complete restoration of the Facade, provided that the Foundation shall notify the Owner of the Foundation's intention to do so within forty (40) days after receiving from the Owner (a) the written request for permission to demolish referred to in paragraph 1.5, or (b) all plans and specifications for the replacement, rebuilding, restoration or repair of the Facade, as the case may be.

### 1.3 Rights Of Mortgagees

The Owner's obligations to apply all proceeds receivable under any fire and extended coverage insurance policy or policies on the building to replace, rebuild, restore or repair the building shall be subject to the rights of any



mortgagees of the Property.

1.4 Assignment Of Interests Of Mortgagees

In the event that any mortgagee refuses to release to the Owner any monies payable under any fire and extended coverage insurance policy or policies after the building has been damaged or destroyed, thereby preventing the Owner from fulfilling its obligation to replace, rebuild, restore or repair the building with the proceeds receivable under any fire and extended coverage insurance policy or policies, the Owner shall use its best efforts, if so requested by the Foundation, to make whatever arrangements are necessary to allow the Foundation to take an assignment of such mortgagee's interests in the Property, thereby effectively assuring that the proceeds of insurance under any fire and extended coverage insurance policy or policies are made available to the Owner so that such proceeds may be applied by the Owner to replace, rebuild, restore or repair the building pursuant to the provisions of paragraphs 1.2, 1.6 and 1.7.

1.5 Demolition

The Owner shall notify the Foundation of any damage or destruction to the building within ten (10) clear days of such damage or destruction occurring. In the event that the building is damaged or destroyed and the replacement, rebuilding, restoration or repair of it is impractical because of the financial costs involved, or because of the particular nature of the building, or because a mortgagee has refused to release to the Owner any insurance monies payable under any fire and extended coverage insurance policy or policies and the Foundation has been unable to secure an assignment of a mortgage from a mortgagee as described in paragraph 1.4, the Owner shall, in writing within forty (40) days of the giving by the Owner of notice of such damage or destruction, request written approval of the Foundation to demolish the building, and in the event of receiving the approval in writing of the Foundation, be entitled to retain any proceeds from the insurance hereinbefore mentioned and to demolish the building. Such approval shall be deemed to have been received upon failure of the Foundation to respond in writing to a written request for it within forty (40) days of the receipt thereof.

1.6 Reconstruction By Owner

If the Foundation does not give the approval referred to in paragraph 1.5, or if the Owner has not requested the approval referred to in paragraph 1.5, the Owner shall replace, rebuild, restore or repair the building to the limit of any proceeds receivable under any fire and extended coverage insurance policy or policies on the building and of any additional monies contributed by the Foundation towards the replacement, rebuilding, restoration or repair of the Facade under the provisions of paragraph 1.2 to effect a partial or complete restoration of the building. Before the commencement of such work, the Owner shall submit all plans and specifications for the replacement, rebuilding, restoration or repair of the Facade to the Foundation for its written approval within one hundred and thirty-five (135) days of the damage or destruction occurring to the building. A refusal by the Foundation to approve any plans and specifications may be based upon choice of materials, unattractive appearance, nonconforming architectural style, or any other ground or grounds, including but not limited to purely aesthetic grounds, and the determination of the Foundation shall be final. The Owner shall not commence or cause restorative work to be commenced on the Facade before receiving the written approval of the Foundation of the plans and specifications for it, and such restorative work shall be performed upon such terms and conditions as the Foundation may stipulate. Such approval shall be deemed to have been received upon failure of the Foundation to respond in writing to a written request for it within thirty (30) days of the receipt of such request by the Foundation. The Owner shall cause all replacement, rebuilding, restoration and repair work on the Facade to be commenced within thirty (30) days of the approval by the Foundation of the plans and specifications for it and to be completed within nine (9) months of commencement, or as soon as possible thereafter if factors beyond its control prevent completion within the said nine (9) months, and the Owner shall cause all such work to conform to the plans and specifications approved of and terms and conditions stipulated by the Foundation.

1.7 Reconstruction By Foundation

In the event that the request to demolish the building is not submitted or is refused pursuant to the provisions of paragraph 1.5 and the Owner fails to submit plans and specifications for the replacement, rebuilding, restoration

or repair of the Facade pursuant to paragraph 1.6 which are acceptable to the Foundation within one hundred and thirty-five (135) days of the damage or destruction occurring to the building, the Foundation may prepare its own set of acceptable plans and specifications for the Facade. The Owner shall have thirty (30) days from receiving a copy of such plans and specifications to notify the Foundation in writing that it intends to replace, rebuild, restore or repair the Facade in accordance with those plans and specifications. If the Owner does not so notify the Foundation within the said thirty (30) days, the Foundation may prepare its own set of acceptable plans and specifications for the building and may proceed with replacing, rebuilding, restoring or repairing the building up to the value of any insurance proceeds receivable by the Owner under any fire and extended coverage insurance policy or policies and of any additional amount that the Foundation is prepared to contribute to effect a partial or complete restoration of the Facade. The Owner shall reimburse the Foundation for any expenses incurred by the Foundation thereby to an amount not to exceed any insurance proceeds receivable by the Owner under any fire and extended coverage insurance policy or policies.

In the event that the Foundation does not submit its own acceptable plans and specifications or does not proceed with replacing, rebuilding, restoring or repairing the building within sixty (60) days after it becomes so entitled, unless it is prevented from so doing by the action or omission of the Owner or any tenant or agent of the Owner, or by any other factors beyond its control the Foundation's rights under this paragraph shall automatically terminate and the Owner shall be entitled to retain the proceeds receivable under any fire and extended coverage insurance policy or policies and to demolish the building.

1.8 Maintenance Of The Building

The Owner shall at all times maintain the building in as good and sound state of repair as a prudent owner would normally do so that no deterioration in the present condition and appearance of the Facade shall take place.

1.9 Signs, Structures, Etc.

The Owner shall not erect or permit the erection on the Property or on the Facade of any signs, permanent storms and screens and awnings,

television aerials or other similar type objects without the prior written approval of the Foundation. Such approval may, in the sole discretion of the Foundation and for any reason which the Foundation considers necessary, be refused.

1.10 No Act Of Waste

The Owner shall not commit or permit any act of waste on the Property. In respect to the subject lands, the Owner shall not, except with the prior written approval of the Foundation,

- (a) grant any easement or right of way;
- (b) erect or remove or permit the erection or removal of any building, sign, fence, or other structure of any type whatsoever;
- (c) allow the dumping of soil, rubbish, ashes, garbage, waste or other unsightly, hazardous or offensive materials of any type or description;
- (d) except for the maintenance of existing improvements, allow any changes in the general appearance or topography of the lands, including and without limiting the generality of the foregoing, the construction of drainage ditches, transmission towers and lines, and other similar undertakings as well as the excavation, dredging or removal of loam, gravel, soil, rock, sand or other materials;
- (e) allow the removal, destruction or cutting of trees, shrubs or other vegetation except as may be necessary for (i) the prevention or treatment of disease, or (ii) other good husbandry practices;
- (f) allow the planting of trees, shrubs or other vegetation which would have the effect of (i) reducing the aesthetics of the Facade or the Property, or (ii) causing any damage to the building;
- (g) allow any activities, actions or uses detrimental or adverse to water conservation, erosion control and soil conservation.

1.11 Remedies Of Foundation

If the Foundation, in its sole discretion, is of the opinion that the Owner has neglected or refused to perform any of its obligations set out in this Agreement, the Foundation may, in addition to any of its other legal or equitable remedies, serve on the Owner a notice setting out particulars of the breach and of the Foundation's estimated maximum costs of remedying the breach. The Owner shall have thirty (30) days from receipt of such notice to remedy the breach or make arrangements satisfactory to the Foundation for remedying the breach. If within those thirty (30) days the Owner has not remedied the breach or made arrangements satisfactory to the Foundation for remedying the breach, or if the Owner does not carry out the said arrangements within a reasonable period of time, of which the Foundation shall be the sole and final judge, the Foundation may enter upon the Property and may carry out the Owner's obligations and the Owner shall reimburse the Foundation for any expenses incurred thereby, up to the estimated maximum costs of remedying the breach set out in the aforesaid notice. Such expenses incurred by the Foundation shall, until paid to it by the Owner, be a debt owed by the Owner to the Foundation and recoverable by the Foundation by action in a court of law.

1.12 Waiver

The failure of the Foundation at any time to require performance by the Owner of any obligation under this Agreement shall in no way affect its right thereafter to enforce such obligation, nor shall the waiver by the Foundation of the performance of any obligation hereunder be taken or be held to be a waiver of the performance of the same or any other obligation hereunder at any later time.

1.13 Extension Of Time

Time shall be of the essence of this Agreement. Any time limits specified in this Agreement may be extended with the consent in writing of both the Owner and the Foundation, but no such extension of time shall operate or be deemed to operate as an extension of any other time limit, and time shall be deemed to remain of the essence of this Agreement notwithstanding any extension of any time limit.

2.0

Use of Property

2.1

The Owner expressly reserves for itself, its representatives, successors and assigns the right to use the Property for all purposes not inconsistent with this Agreement.

3.0

Inspection Of The Property

3.1

Inspection By Foundation At All Reasonable Times

The Foundation or its representatives shall be permitted at all reasonable times to enter upon and inspect the Property and the building upon prior written notice to the Owner of at least twenty-four (24) hours.

4.0

Notice Of Easement

4.1

Plaque

The Owner agrees to allow the Foundation to erect a plaque on or in the building, or on the Property in a tasteful manner and at the Foundation's expense, indicating that the Foundation holds a conservation easement on the Property.

4.2

Publicity

The Owner agrees to allow the Foundation to publicize the existence of the easement.

5.0

Severability Of Covenants

5.1

Proper Covenants Not To Terminate

The Owner and the Foundation agree that all covenants, easements and restrictions contained in this Agreement shall be severable, and that should any covenant, easement or restriction in this Agreement be declared invalid or unenforceable, the remaining covenants, easements and restrictions shall not terminate thereby.

6.0 Dissolution Of Foundation

6.1 Transfer Of Foundation's Interests

In the event of the winding up or dissolution of the Foundation, all of the Foundation's interests herein shall be automatically assigned and transferred to Her Majesty the Queen in Right of Ontario or to any other entity specified by statute.

7.0 Notice

7.1 Addresses Of Parties

Any requests for approval required under this Agreement and the Foundation's replies to such requests shall be delivered in person or by prepaid ordinary mail to the parties at their respective addresses. The respective addresses of the parties for such purposes presently are as follows:

THE OWNER

The Corporation of the County of Middlesex,  
399 Ridout St. N.,  
London, Ontario.  
N6A 2P1  
Attn: Clerk-Administrator

THE FOUNDATION

The Ontario Heritage Foundation,  
Parliament Buildings,  
Queen's Park,  
Toronto, Ontario.  
M7A 2R9

The parties agree to notify each other immediately, in writing, of any changes of address from those set out above.

7.2 Service By Mail Except Where Postal Service Interrupted.

Except in the event of an interruption in the postal service, any notices to be given under this Agreement shall be delivered in person or sent by pre-paid registered mail addressed to the parties at their respective addresses as set out in paragraph 7.1. In the event that a notice is delivered in person, the party receiving the notice shall forthwith indicate receipt of the notice by signing a form

of acknowledgement of receipt, and in that event, the notice shall be deemed to have been received on the date on which the form of acknowledgement of receipt was signed. In the event that a party refuses to sign an acknowledgement of receipt of the notice, the person delivering the notice may swear an affidavit of service, and the notice shall be presumed to have been received on the date of service as set out in such affidavit. In the event that a notice is sent by pre-paid registered mail, it shall be deemed to have been received on the second clear day following the day on which the notice was sent.

### 7.3 Service Where Postal Service Interrupted

In the event of any interruption in the postal service, notice may be given to either party at its respective address as set out in paragraph 7.1, either in person or by special courier. The party receiving the notice shall indicate the receipt of it by signing a form of acknowledgement of receipt, and the notice shall be deemed to have been received on the date on which the form of acknowledgement of receipt was signed. In the event that either party refuses to sign an acknowledgement of receipt of the notice, the person delivering the notice may swear an affidavit of service, and the notice shall be presumed to have been received on the date of service as set out in such affidavit.

### 8.0 Costs

8.1 In the event that a dispute arises between either of the parties hereto because of this Agreement, each party shall be responsible for its own legal fees, court costs and all other similar type expenses which may result from any such dispute.

### 9.0 Indemnification

#### 9.1 Non-Liability Of Foundation

The Owner shall hold the Foundation harmless against and from any and all liabilities, suits, actions, proceedings, claims, causes, damages, judgments or costs whatsoever (including all costs of defending such claims) arising out of, incidental to, or in connection with any injury or damage to person or property of every nature and kind (including death resulting therefrom), occasioned



by anything done pursuant to this Agreement by the Owner, save and except for any such liabilities and claims for or in respect of any act, deed, matter or thing made or done by the Foundation, its agents, servants or workmen pursuant to paragraphs 1.7 and 1.11.

10.0 Entirety

10.1 No Extraneous Agreements Between The Parties

This written Agreement embodies the entire agreement of the parties with regard to the matters dealt with herein, and no understandings or agreements, verbal or otherwise, exist between the parties except as herein expressly set out.

11.0 Subsequent Instruments

11. Subsequent Instruments To Contain These Provisions

Notice of these covenants, easements and restrictions shall be inserted by the Owner in any subsequent deed or other legal instrument by which it divests itself either of the fee simple title to or of its possessory interest in the Property or the building.

11.2 Notice To Foundation

The Owner shall immediately notify the Foundation in the event that it divests itself of the fee simple title to or of its possessory interest in the Property or the building.

12.0 Headings

12.1 The headings in the body of this Agreement form no part of the Agreement but shall be deemed to be inserted for convenience of reference only.

13.0 Enurement

13.1 Covenants To Run With The Property

The covenants, easements and restrictions set out in this

Agreement shall run with the Property and shall enure to the benefit of and be binding upon the parties hereto and their successors and assigns.

IN WITNESS WHEREOF the parties hereto have hereunto set their hands and seals.

SIGNED, SEALED AND DELIVERED  
in the presence of:

) THE CORPORATION OF THE  
) COUNTY OF MIDDLESEX  
)

Per:

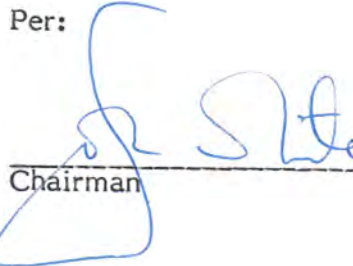
)   
) \_\_\_\_\_  
) Warden

c/s

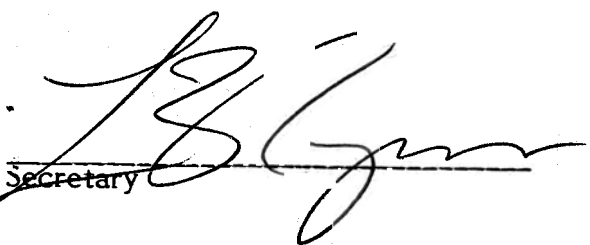
)   
) \_\_\_\_\_  
) Clerk

) THE ONTARIO HERITAGE  
) FOUNDATION  
)

Per:

)   
) \_\_\_\_\_  
) Chairman

c/s

)   
) \_\_\_\_\_  
) Secretary

SCHEDULE "A"

ALL AND SINGULAR that certain parcel or tract of land and premises, situate, lying and being in the City of London, in the County of Middlesex and in the Province of Ontario and being composed of part of Lots 21 and 22, South of Dundas Street and part of Lots 21 and 22, North of King Street, in the said City of London, and which said parcel or tract of land may be more particularly described as follows:

PREMISING that all bearings herein are referred to the southerly limit of Dundas Street as shown on an Ontario Department of Public Works drawing number 765-IL to have a bearing of North  $63^{\circ} 30'$  East and relating all bearings herein thereto;

COMMENCING at a standard iron bar in the easterly limit of the said Lot 21 south of Dundas Street, said iron bar being distant 30.00 feet measured South  $21^{\circ} 25'$  East from the northeast corner of the said Lot 21;

THENCE South  $21^{\circ} 25'$  East along the said easterly limit of Lot 21 south of Dundas Street and along the easterly limit of Lot 21 north of King Street a distance of 178.24 feet to an iron bar;

THENCE South  $68^{\circ} 30'$  West, 178.65 feet to a point;

THENCE North  $21^{\circ} 28' 50''$  W to, along and beyond the easterly face of the easterly wall of the existing building, a distance of 208.24 feet to a point in the northerly limit of Lot 22, said northerly limit being also the southerly limit of Dundas Street;

THENCE North  $68^{\circ} 30'$  East along the said southerly limit of Dundas Street, a distance of 148.89 feet to a point, said point being the most westerly angle of the lands shown as part 1 on reference plan 32R-15;

THENCE South  $66^{\circ} 27' 30''$  East along the southerly limit of the said part 1 a distance of 42.41 feet to the Point of Commencement.

NOTE: Reduction  
Not to Scale

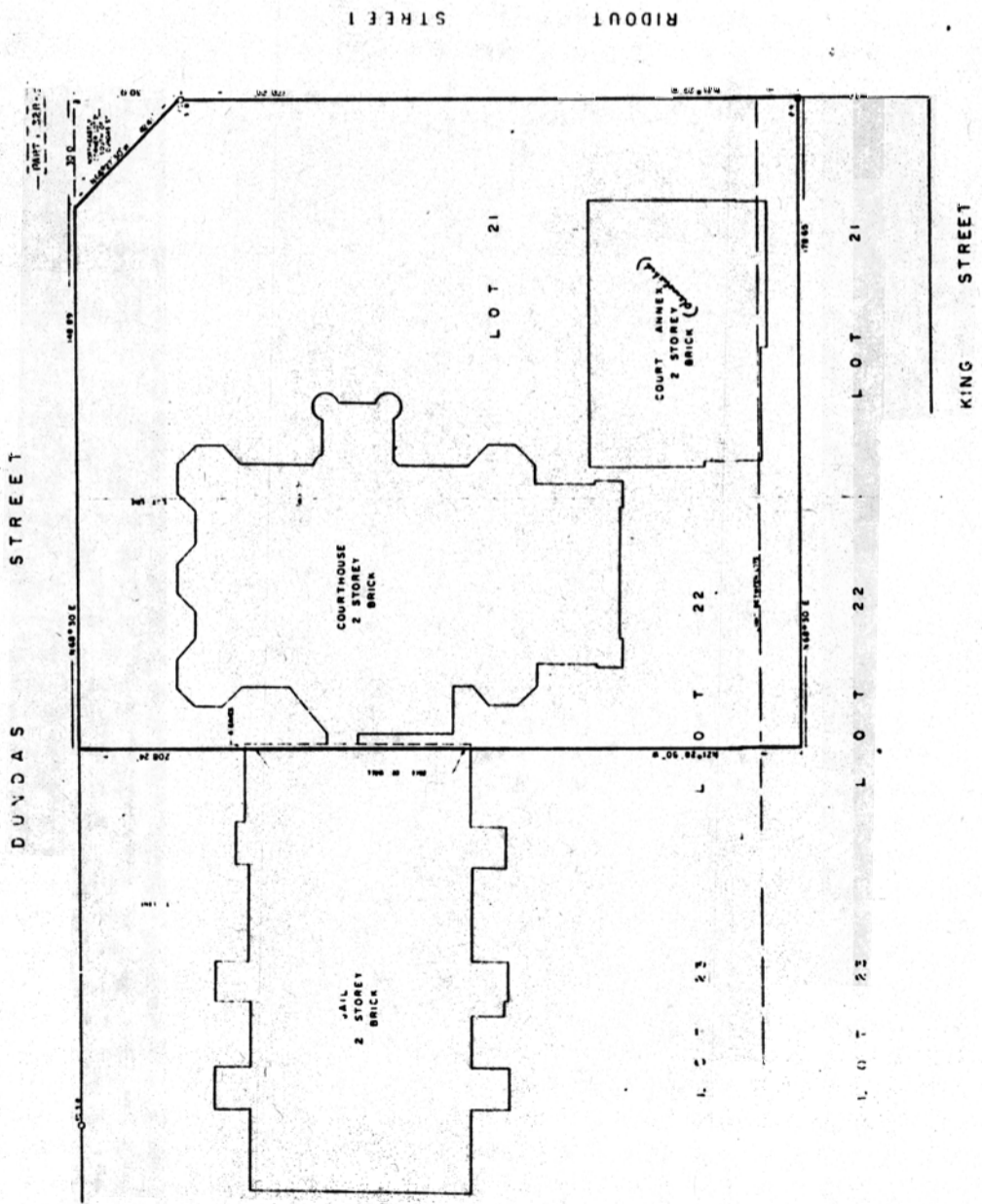
SKETCH SHOWING  
PART OF LOTS 21 & 22  
SOUTH SIDE OF DUNDAS STREET  
AND  
PART OF LOTS 21 & 22  
NORTH SIDE OF KING STREET  
CITY OF LONDON  
COUNTY OF MIDDLESEX  
SCALE 1" = 20'  
ANSLEY, CLARKE LTD  
1979

DATED OCTOBER 22, 1979

ANSLEY, CLARKE LTD  
1400 SHEPPARD AVENUE EAST  
SUITE 100  
SCARBOROUGH, ONTARIO  
BY *Deborah A. Williams*  
REGISTERED PROFESSIONAL SURVEYOR

BEARING REFERENCE

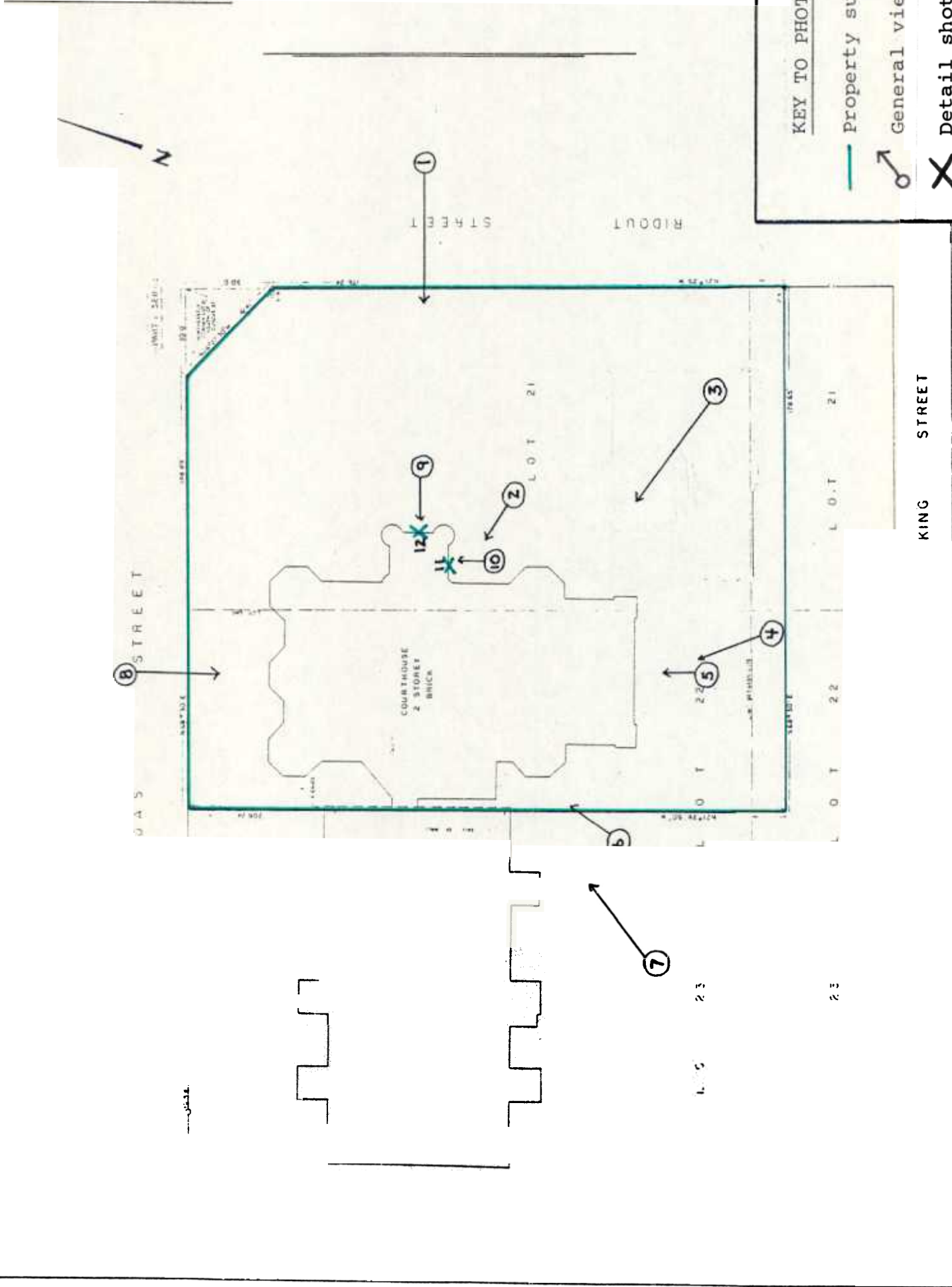
Bearings are astronomic and referred to the southern end of Dundas Street  
and the northern end of King Street as shown on Public Works Plans 187-1-1,  
and bearing a bearing of 186° 30' 0" E



ANSLEY, CLARKE LTD 1400 SHEPPARD AVENUE EAST SUITE 100 SCARBOROUGH, ONTARIO		DATE: 10/22/79	FILE: 2956
DEPT: R.O.T.		CO-OP: B.P.	

SCHEDULE "B"

FORMER MIDDLESEX COUNTY  
COURT HOUSE  
399 Ridout Street N.  
London, Ontario



KEY TO PHOTOGRAPHS

— Property subject to easement

↗ General views

✕ Detail shots

KING STREET

RIDOUT STREET

B STREET

STREET

COURT HOUSE  
2 STOREY  
BRICK

LOT 21

LOT 21

LOT 22

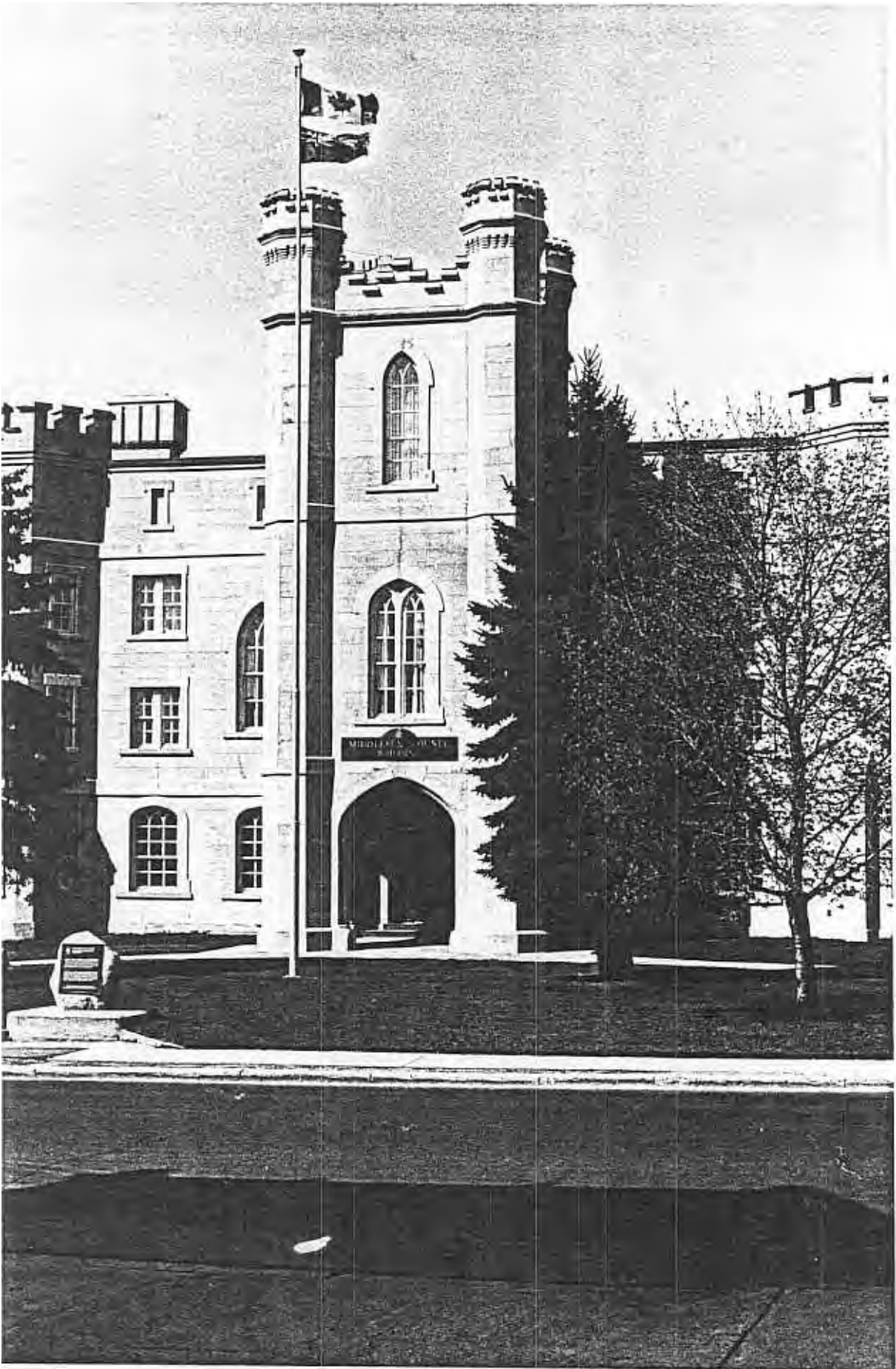
LOT 23

LOT 23

SCALE

SCHEDULE "B"

Photograph #1



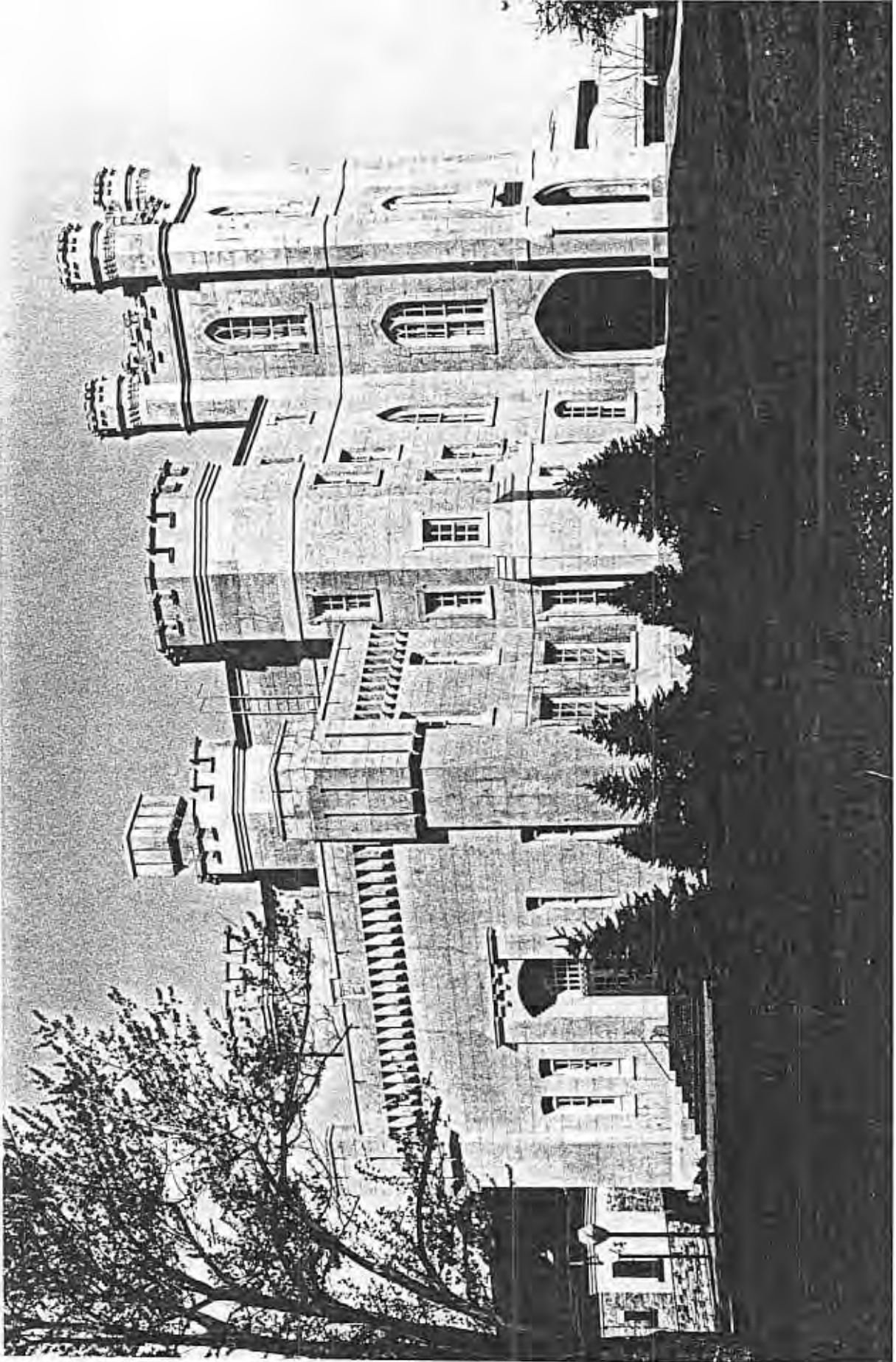
Main (east) facade of the former Middlesex  
County Court House, from across Ridout Street.

Photograph #2



SCHEDULE "B"

Photograph #3

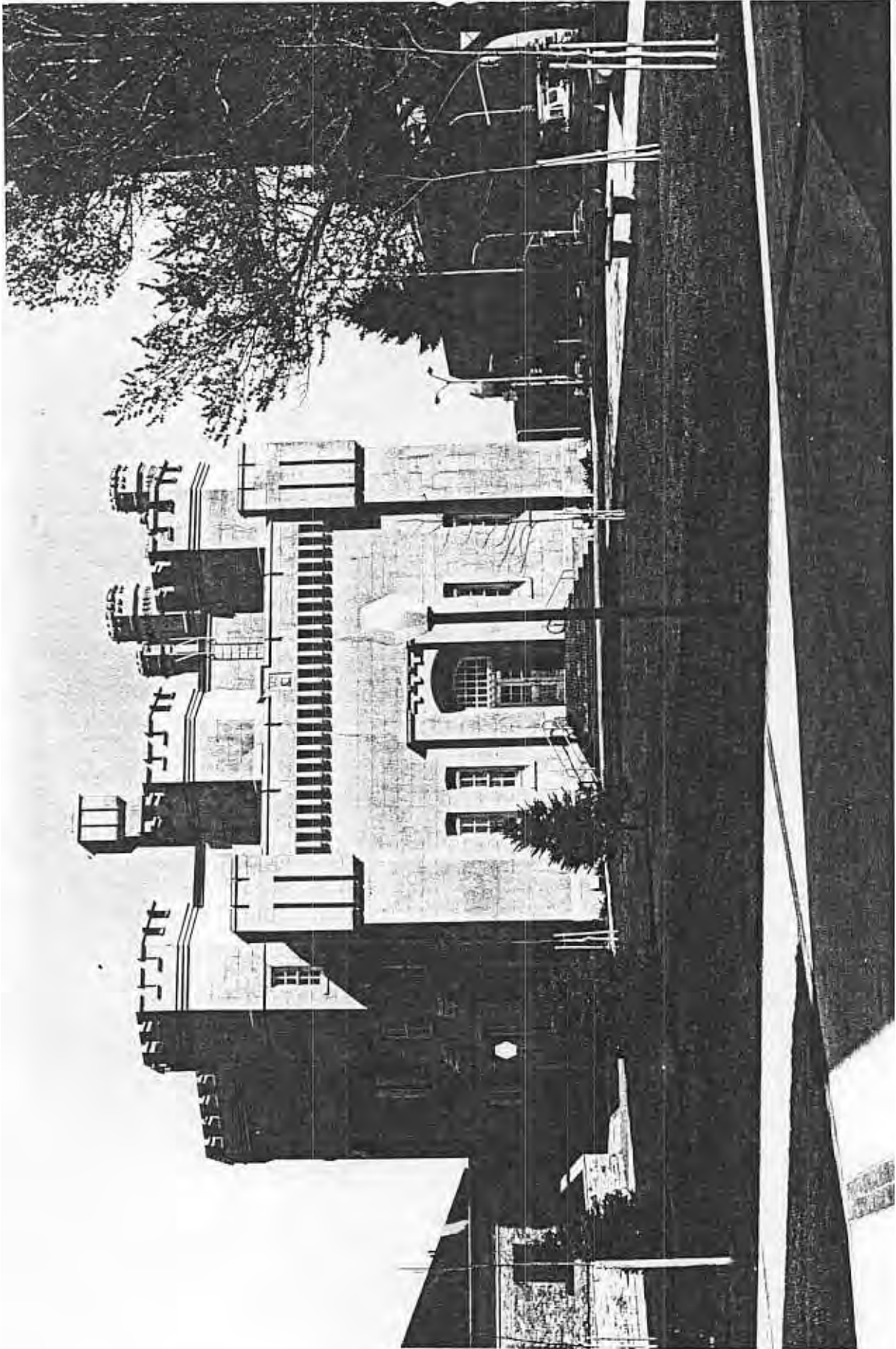


Main (east) and south facades.



SCHEDULE "B"

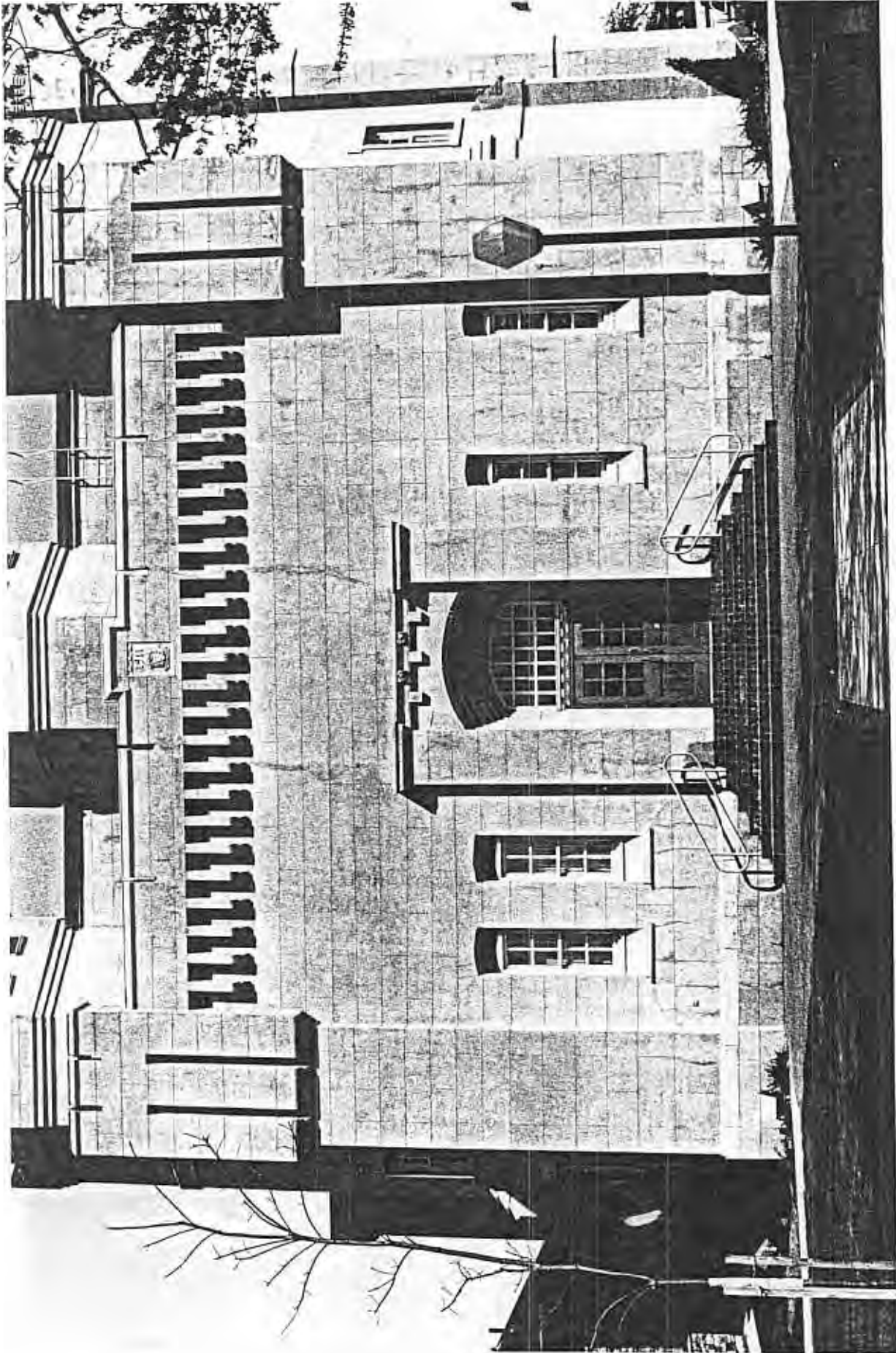
Photograph #4



South facade.

SCHEDULE "B"

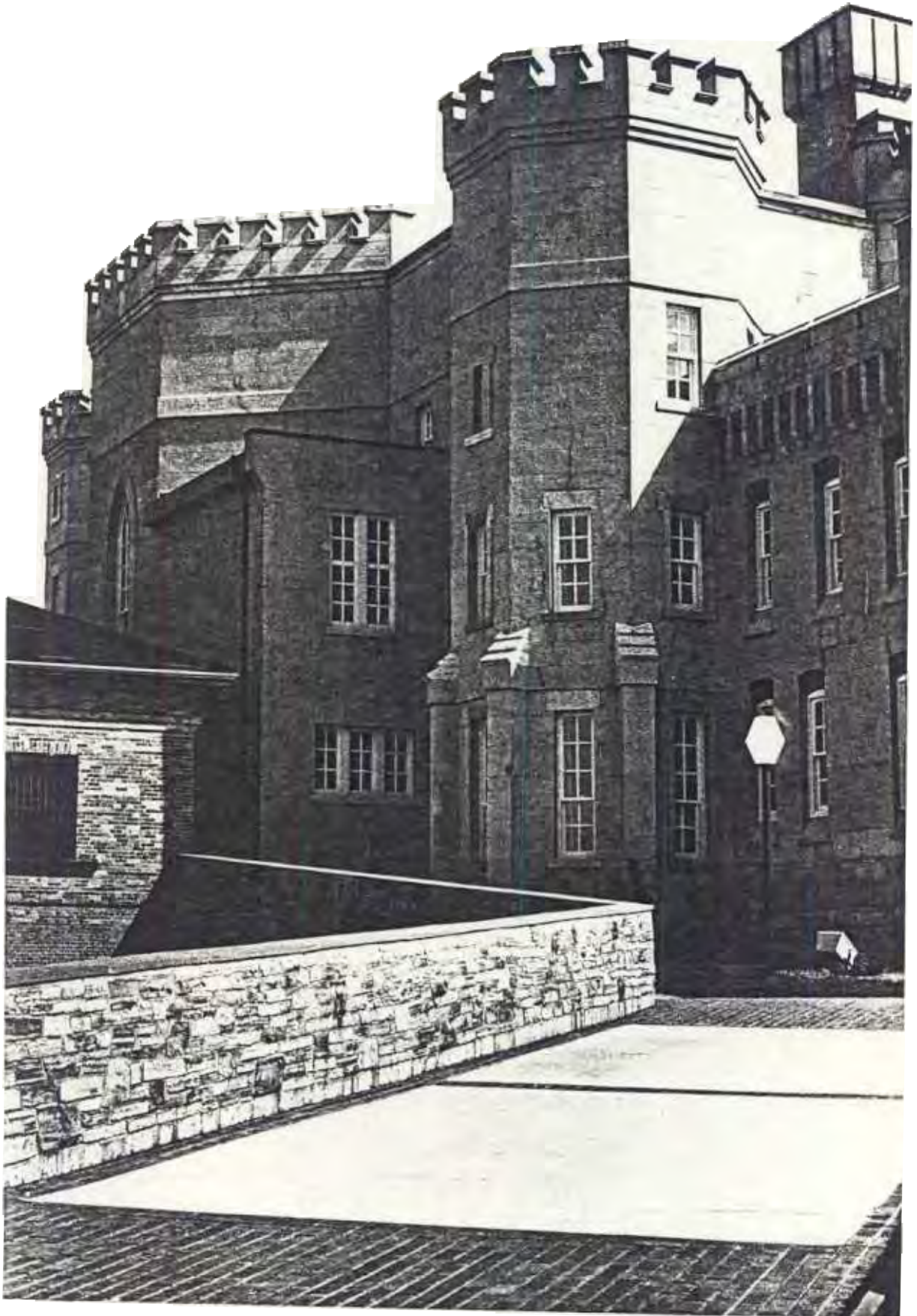
Photograph #5



South facade of 1911 addition.

SCHEDULE "B"

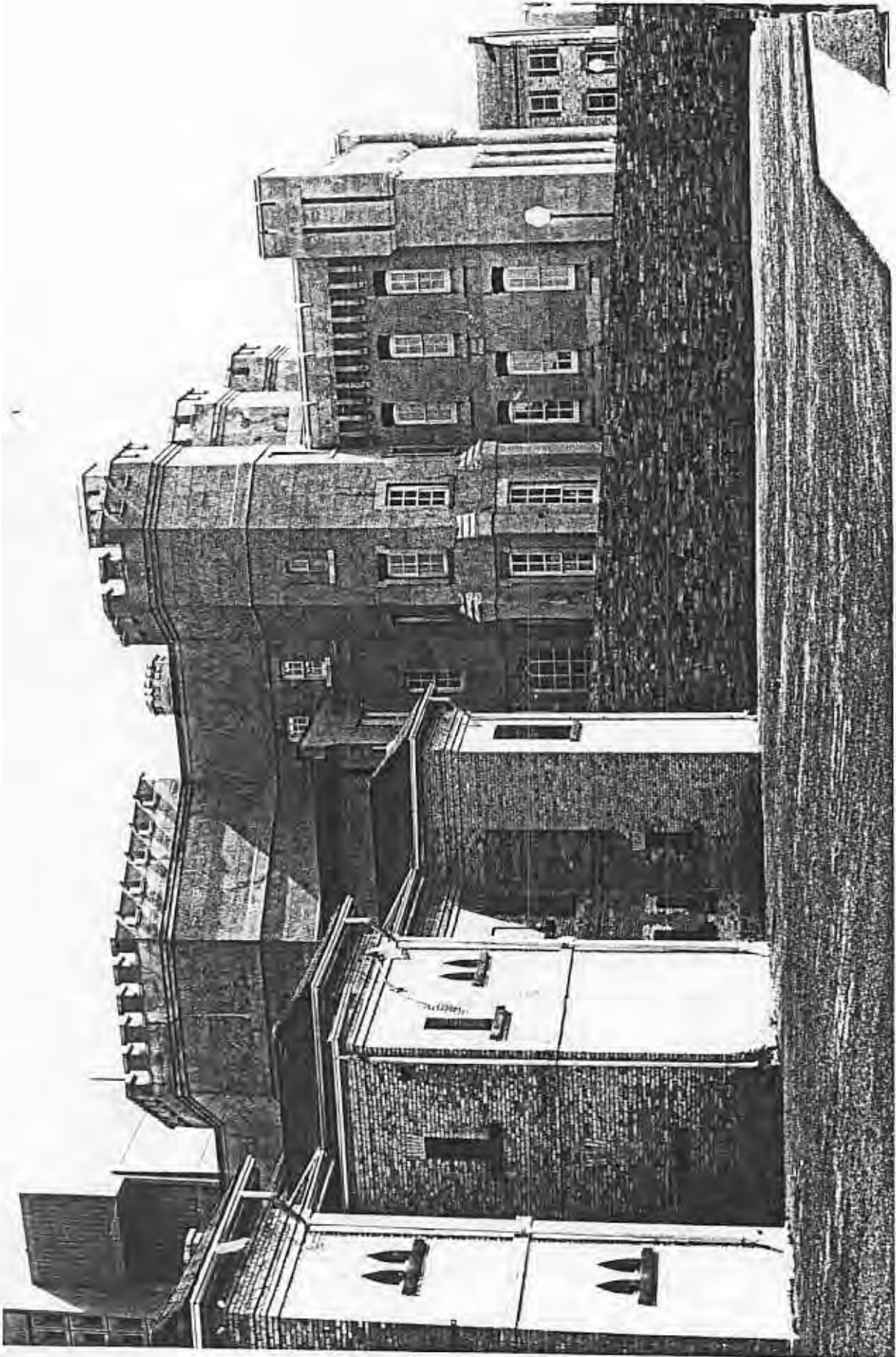
Photograph #6



Rear (west) facade, showing proximity of former jail building.

SCHEDULE "B"

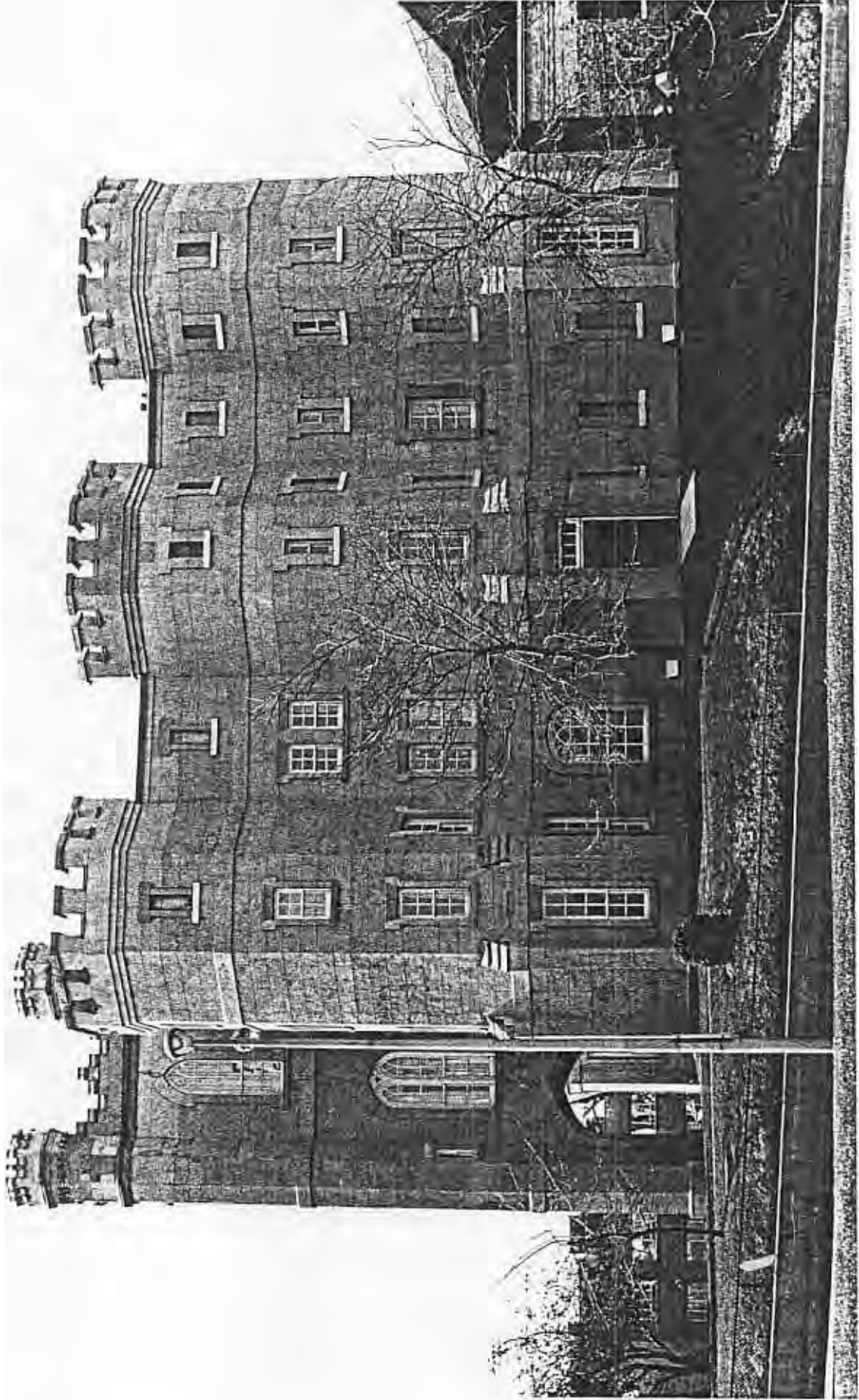
Photograph #7



Rear (west) facade, from former jail yard.  
Former jail building in left foreground.

SCHEDULE "B"

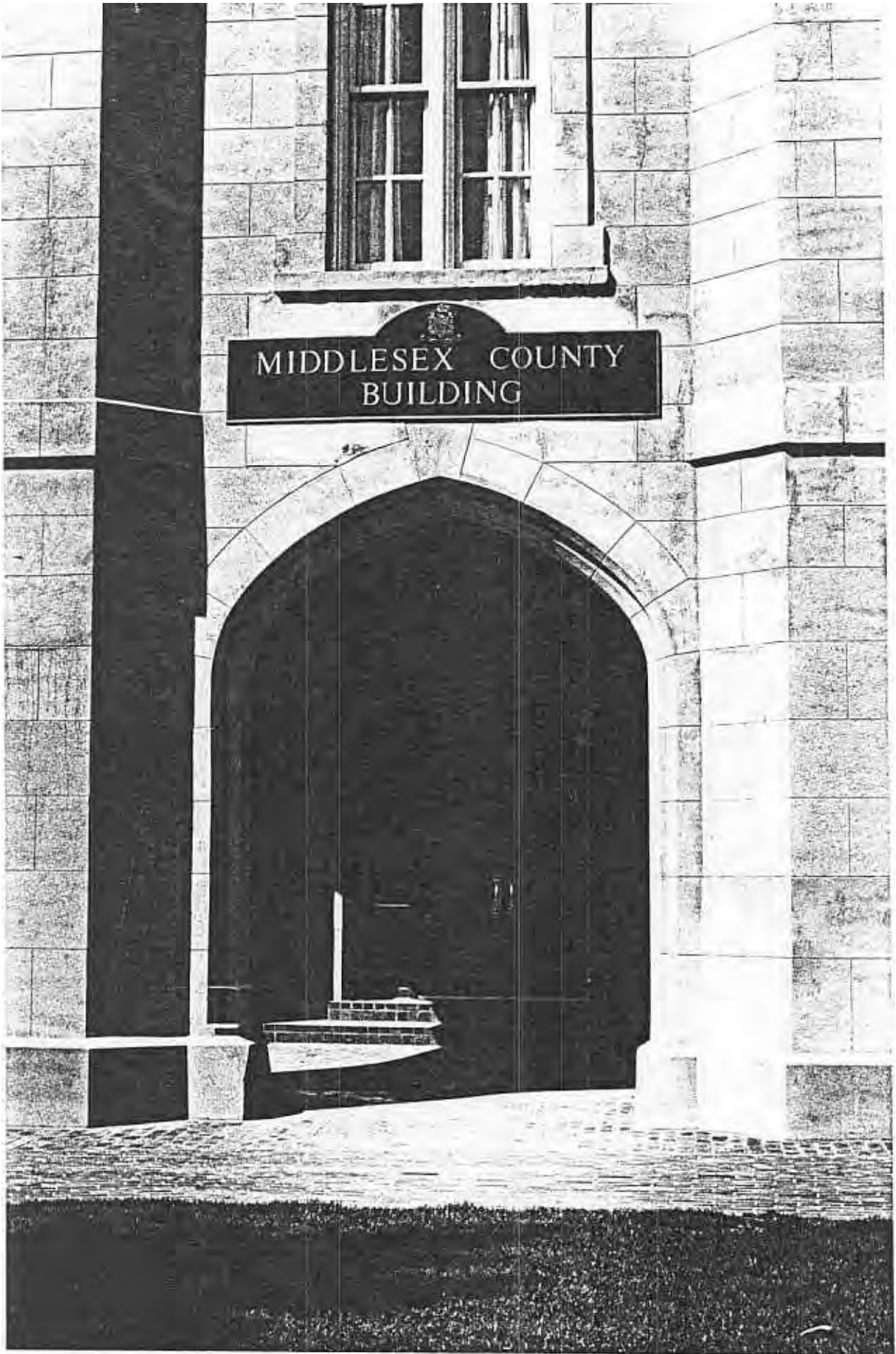
Photograph #8



North facade.

SCHEDULE

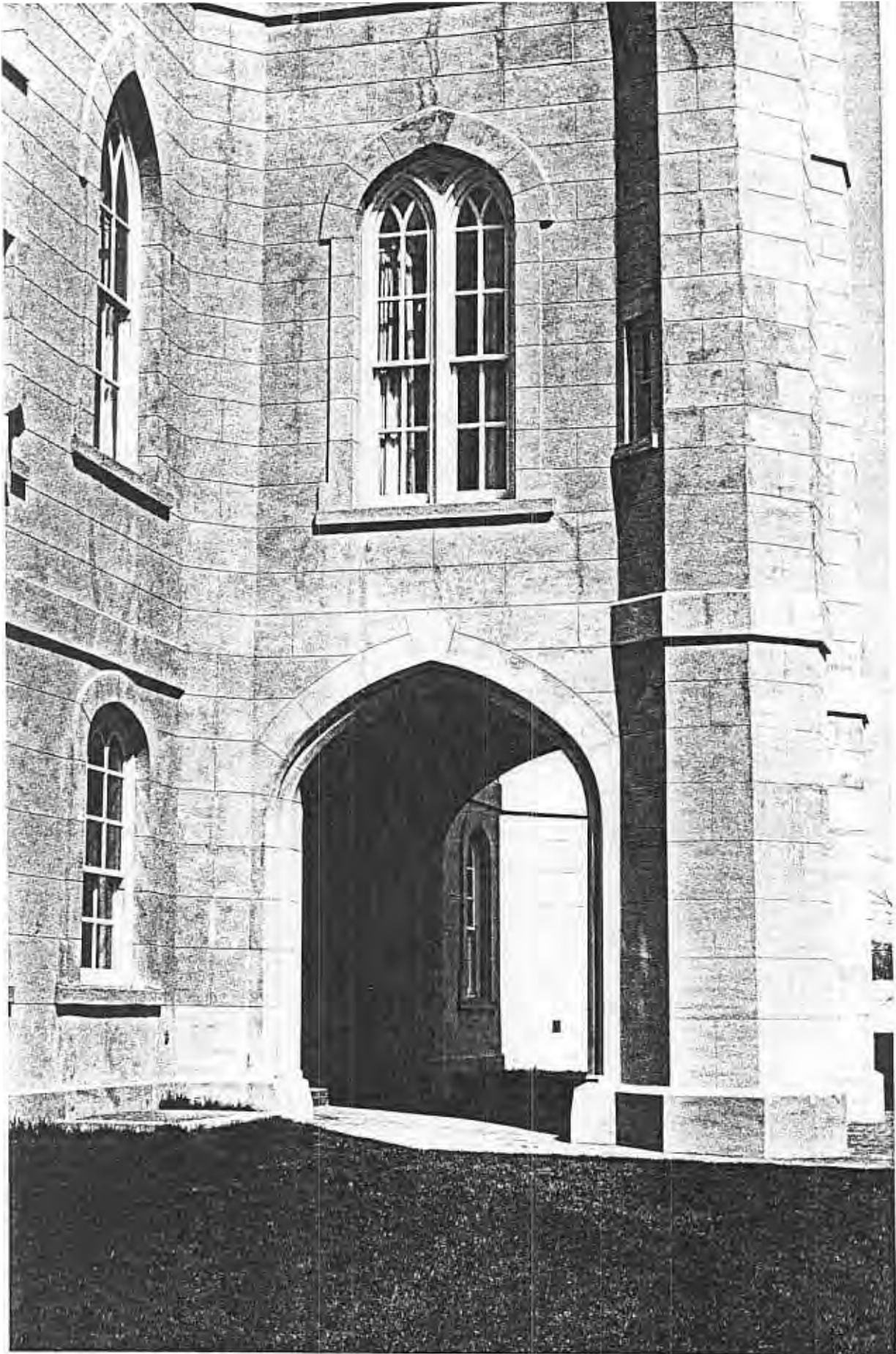
Photograph #9



of ng d

CHEJUL

Photograph #10



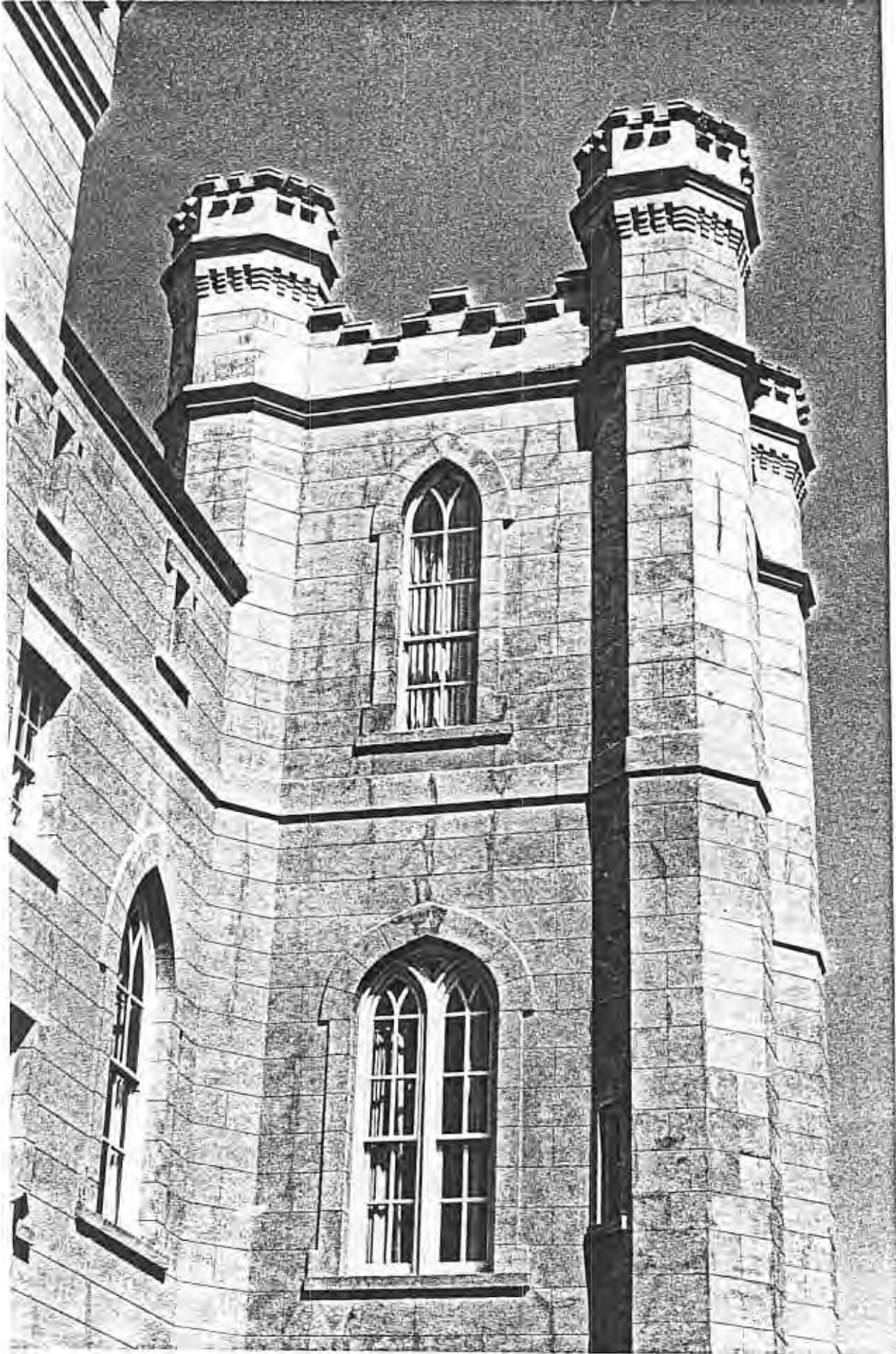
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SCHEDULE

Photograph #11

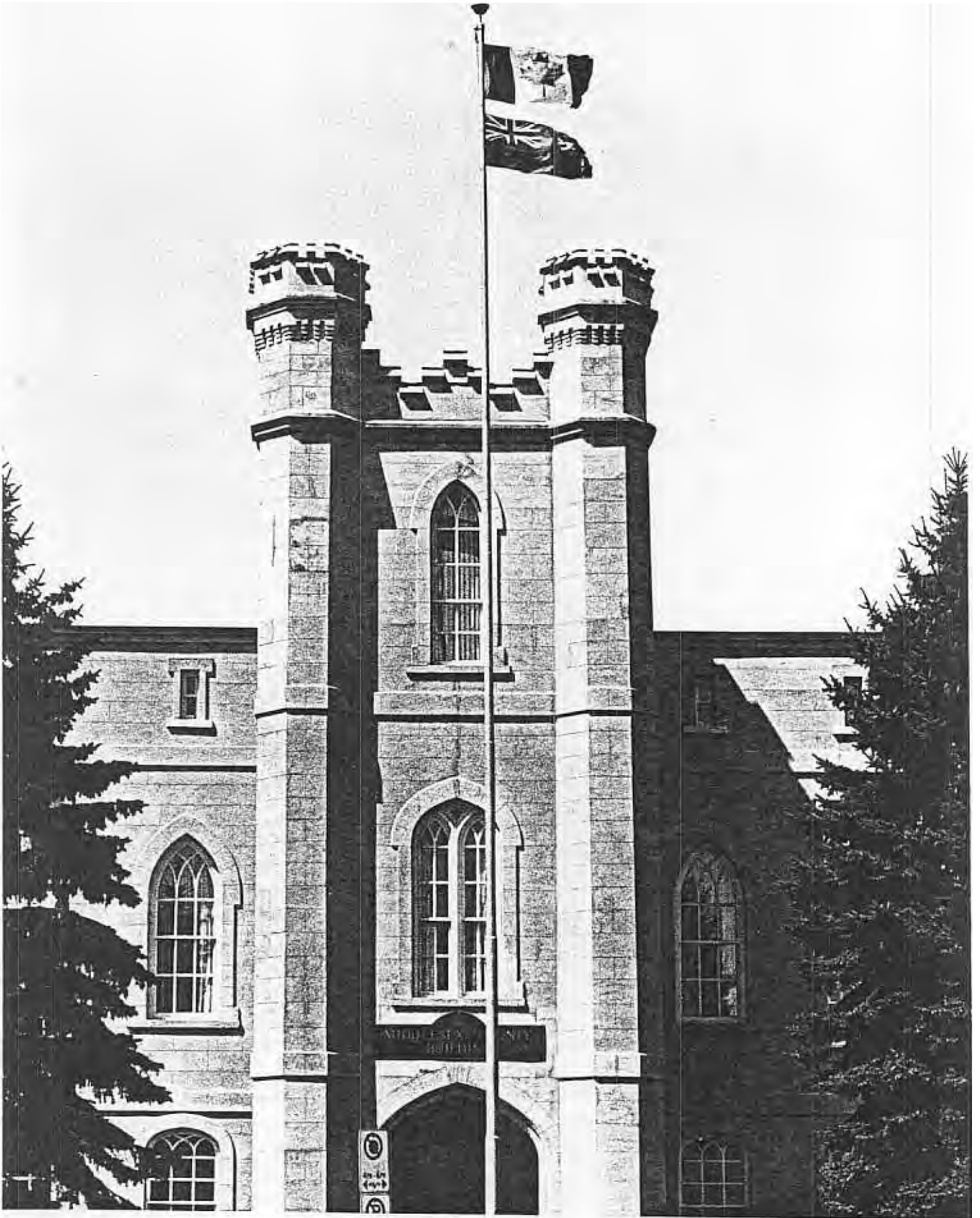


De of of



SCHEDULE "B"

Photograph #12



Detail of main (east) face of tower.

The Land Transfer Tax Act, 1974

AFFIDAVIT OF RESIDENCE AND OF VALUE OF THE CONSIDERATION

IN THE MATTER OF THE CONVEYANCE OF (insert brief description of land) . . . . an Easement on part Lots 21 and 22 South of Dundas Street and part Lots 21 and 22, North of King Street, in the City of London, in the County of Middlesex . . . . .

BY (print names of all transferors in full) . . . . . THE CORPORATION OF THE COUNTY OF MIDDLESEX . . . . .

TO (see instruction 1 and print names of all transferees in full) . . . THE ONTARIO HERITAGE FOUNDATION

I, (see instruction 2 and print name(s) in full) Anne Byzko, Law Clerk,

MAKE OATH AND SAY THAT:

- 1. I am (place a clear mark within the square opposite that one of the following paragraphs that describes the capacity of the deponent(s)): (see instruction 2)
(a) A person in trust for whom the land conveyed in the above-described conveyance is being conveyed;
(b) A trustee named in the above-described conveyance to whom the land is being conveyed;
(c) A transferee named in the above-described conveyance;
(x) (d) The authorized agent or solicitor acting in this transaction for (insert name(s) of principal(s)) The Ontario Heritage Foundation . . . . . described in paragraph(s) (d), (b), (c) above; (strike out references to inapplicable paragraphs)
(e) The President, Vice-President, Manager, Secretary, Director, or Treasurer authorized to act for (insert name(s) of corporation(s)) . . . . . described in paragraph(s) (a), (b), (c) above. (strike out references to inapplicable paragraphs)
(f) A transferee described in paragraph ( ) (insert only one of paragraph (a), (b) or (c) above, as applicable) and am making this affidavit on my own behalf and on behalf of (insert name of spouse) . . . . . who is my spouse described in paragraph ( ) . . . . . (insert only one of paragraph (a), (b) or (c) above, as applicable) and as such, I have personal knowledge of the facts herein deposed to.

2. I have read and considered the definitions of "non-resident corporation" and "non-resident person" set out respectively in clauses f and g of subsection 1 of section 1 of the Act. (see instruction 3)

3. The following persons to whom or in trust for whom the land conveyed in the above-described conveyance is being conveyed are non-resident persons within the meaning of the Act. (see instruction 4)

4. THE TOTAL CONSIDERATION FOR THIS TRANSACTION IS ALLOCATED AS FOLLOWS:

Table with 3 columns: Description, Amount, and Total. Rows include: (a) Monies paid or to be paid in cash \$ 2.00; (b) Mortgages (i) Assumed \$ nil; (ii) Given back to vendor \$ nil; (c) Property transferred in exchange \$ nil; (d) Securities transferred to the value of \$ nil; (e) Liens, legacies, annuities and maintenance charges to which transfer is subject \$ nil; (f) Other valuable consideration subject to land transfer tax \$ nil; (g) VALUE OF LAND, BUILDING, FIXTURES AND GOODWILL SUBJECT TO LAND TRANSFER TAX (TOTAL OF (a) to (f)) \$ 2.00; (h) VALUE OF ALL CHATTELS - items of tangible personal property \$ nil; (i) Other consideration for transaction not included in (g) or (h) above \$ nil; (j) TOTAL CONSIDERATION \$ 2.00

ALL BLANKS MUST BE FILLED IN. INSERT "NIL" WHERE APPLICABLE.

5. If consideration is nominal, describe relationship between transferor and transferee and state purpose of conveyance. (see instruction 5) . . . . . see paragraph 6 below . . . . .

6. Other remarks and explanations, if necessary . . . The Grantee of the Easement named in the within Instrument is an agent of Her Majesty by Section 11(1) of The Ontario Heritage Act, R. S. O. 1980, C. 337, accordingly, under Section 2(4) of The Land Transfer Tax Act, no tax is payable by the Grantee . . . . .

SWORN before me at the City of Toronto in the Municipality of Metropolitan Toronto } this 20 day of October 19 8/ }

Signature of Commissioner for taking Affidavits, etc.

PROPERTY INFORMATION RECORD

- A. Describe nature of instrument: HERITAGE EASEMENT AGREEMENT
B. (i) Address of property being conveyed (if available) 399 Ridout St. North, London, Ontario, N6A 2P1.
(ii) Assessment Roll No. (if available) not available
C. Mailing address(es) for future Notices of Assessment under The Assessment Act for property being conveyed (see instruction 6). Title not being conveyed
D. (i) Registration number for last conveyance of property being conveyed (if available) Crown Patent
(ii) Legal description of property conveyed: Same as in D.(i) above. Yes [ ] No [x] Not Known [ ]
E. Name(s) and address(es) of each transferee's solicitor: Dianne Saxe, Director of Legal Services, Ministry of Culture and Recreation, 77 Bloor St. W., 6th Floor, Toronto, Ontario; M7A 2R9

For Land Registry Office use only
REGISTRATION NO.
Land Registry Office No.
Registration Date




PROVINCE OF ONTARIO     )  
                                  )  
COUNTY OF                 )  
                                  )  
MIDDLESEX                 )  
                                  )

C O N S E N T

Pursuant to section 10 (1) (b) of The Ontario Heritage Act, 1974, S. O. 1974, c. 122, I, the undersigned Minister of Culture and Recreation for the Province of Ontario, do hereby consent to the execution by The Ontario Heritage Foundation of the attached Easement Agreement between THE CORPORATION OF THE COUNTY OF MIDDLESEX, of the first part, and THE ONTARIO HERITAGE FOUNDATION, of the second part, dated the 15th day of June, 1981, and do hereby certify that the said Easement Agreement is in accordance with the policies and priorities determined by me for the conservation, protection and preservation of the heritage of Ontario.

DATED at Toronto the 15th day of October, 1981.

  
\_\_\_\_\_  
Minister of Culture and Recreation  
for the Province of Ontario.

# Appendix E– Parks Canada, Directory of Federal Heritage Designations and Canada's Historic Places Register Listings



Directory of Federal Heritage Designations

Search the Directory

About the Directory

Recent Designations

Reviews of existing designations

Historic Sites and Monuments Board of Canada

Federal Heritage Buildings Review Office

Historic Railway Stations Protection Act

Heritage Lighthouses Program

Glossary

Contact the Registrar

## Middlesex County Court House National Historic Site of Canada

London, Ontario



General view  
(© Parks Canada Agency / Agence Parcs Canada)

**Address :** 399 Ridout Street North, London, Ontario

**Recognition Statute:** Historic Sites and Monuments Act (R.S.C., 1985, c. H-4)

**Designation Date:** 1955-05-10

**Date:** 1827 to 1829 (Construction)

1911 to 1911 (Additional alteration)  
1878 to 1878 (Addition)

**Event, Person, Organization:** John Graves Simcoe (Person)  
Thomas Talbot (Person)  
John Ewart (Architect)

**Other Name(s):** Middlesex County Court House (Designation Name)

**Research Report Number:** 1963-032, 1975-D Jun, 2007-CE0/SDC-018

### Plaque(s)

**Existing plaque:** Middlesex County Court House 399 Ridout Street North, London, Ontario  
Erected in 1955. This building was modelled after Malahide Castle, near Dublin, Ireland, the ancestral home of Colonel Thomas Talbot, founder of the Talbot Settlement. The site was a part of the town plot set aside by Lieutenant-Governor John Graves Simcoe after his visit to The Forks in February, 1793. Here he proposed to locate the provincial capital.

### Description of Historic Place

The Middlesex County Court House National Historic Site of Canada is an imposing structure located on a 1.6-hectare parcel of land in London, Ontario. Built in 1827, it is a very early example of the Gothic Revival style, pre-dating the earliest important Gothic Revival public building in England, the Houses of Parliament (1840-1865). Although significant alterations were made in the 1880s, the building retains its original Romantic Gothic Revival character. It features a central tower and Gothic Revival elements such as corner octagons, crenellation, pointed-arch openings and label mouldings. The designation refers to the building on its footprint.

### Heritage Value

The Middlesex County Court House was designated a national historic site of Canada in 1955 because, it is associated with the early administrative organization of the province, the site of the building having been proposed by Lieutenant-Governor John Graves Simcoe for the provincial capital. The building was constructed in 1827 as the District Seat under the leadership of Colonel Thomas Talbot, founder of the Talbot Settlement, and, it is a nationally significant example of the Gothic Revival Style of architecture in Canada.

In 1793, John Graves Simcoe, the first lieutenant-governor of Upper Canada reserved an area at the forks of the Thames for the proposed capital of the province. Although York (Toronto) was eventually chosen as the capital, the government retained the site for public purposes. The London district was created in the south-western part of Upper Canada in 1800. A year later, Thomas Talbot, who had accompanied Simcoe as his private secretary during his tour of inspection of the province in 1793, immigrated to Upper Canada and received an extensive land grant in the new district. Talbot spent the next 40 years promoting the settlement of a huge area of present-day south-western Ontario along the north shore of Lake Erie, known as the Talbot Settlement.

In 1825, Upper Canada's parliament situated the new District Seat at the forks of the Thames and had a town plot surveyed for the town of London. In 1827 the Court House Building Committee under Talbot's leadership undertook to build a new courthouse and jail in the District Seat at London. Designed by John Ewart of York, the impressive Gothic Revival style structure was completed early in 1829. In 1846, a separate jail building was attached to the west side. By 1878, an eastward extension and a massive central tower were added. A law library was added to the south side in 1911.

Source: Historic Sites and Monuments Board of Canada, Minutes, July 2007.

### Character-Defining Elements

Key elements that contribute to the heritage character of the site include: its prominent location, bounded by Ridout, Dundas and King Streets; its siting, setback from the street in a park-like setting; its three-and-a-half-storey massing, symmetrical façade with 1911 library addition on the south façade; its solid brick construction with smooth stucco finish, its rectangular form, classical in inspiration, with base storey, piano nobile and attic storey, reflecting its early construction date and Romantic Gothic Revival character; its Gothic Revival exterior features, including its central tower, corner octagons, crenellation, pointed arch windows and doors, label mouldings and smooth surfaces; existing interior Gothic Revival features, such as the exposed timber ceiling in the court room; streetscapes along Ridout, Dundas and King streets, and towards the Thames River.

**Middlesex County Court House**  
 399, Ridout Street North, Ward 13, Ontario, N6A, Canada  
 Formally Recognized: 1981/11/16



**SEARCH THE CANADIAN REGISTER**



**Map**

**OTHER NAME(S)**  
 Middlesex County Court House  
 London District Court House  
 London District Judicial Centre

**LINKS AND DOCUMENTS**  
[Website of the Ontario Heritage Trust](#)

**CONSTRUCTION DATE(S)**  
 1827/01/01

**LISTED ON THE CANADIAN REGISTER: 2008/02/22**

**STATEMENT OF SIGNIFICANCE**

**DESCRIPTION OF HISTORIC PLACE**

The building at 399 Ridout Street North, commonly known as Middlesex County Court House, is situated south of Dundas Street, and north of King Street in the County of Middlesex in the City of London. The three-storey parged brick building has castle-like features and Gothic details. It was designed by architect John Ewart and was constructed in 1827-29.

The exterior of the building and the scenic qualities of the landscape, are protected by an Ontario Heritage Trust conservation easement. The property is also designated by the City of London under Part IV of the Ontario Heritage Act (By-law L.S.P.-2534582). The Middlesex County Court House was declared a National Historic Site in 1955 by the Government of Canada.

**HERITAGE VALUE**

Situated on a hill overlooking the Thames River, the Courthouse was built on a four-acre parcel of land chosen for its strategic and local defence purposes. Following its construction, the courthouse became an immediate landmark and focal point, due to its prominent position in the rapidly developing community. Historically the property was used for community events including markets and fairs. Public hangings often drew a large crowd to the Courthouse from the surrounding area. Today the courthouse is still an important landmark located south of Dundas Street, and north of King Street in downtown London. Other significant heritage buildings neighbouring the courthouse include: the former Middlesex County Gaol, the Old Middlesex County Jail, the Dr. Alexander Anderson House, as well as Eldon House (London Museum).

The Middlesex County Court House is significant for its association with the development and implementation of government and judicial systems in Ontario. In 1798 the Parliament of Upper Canada created the District of London. The centre of government was moved to Vittoria in 1815, and a courthouse and gaol was constructed. Vittoria was the administrative capital until 1825 when there was a

**NEARBY PLACES**

**Blackfriars Bridge**  
 0, Blackfriars Street, City of London, Ontario  
 The Blackfriars Bridge, a reinforced wrought-iron bowstring bridge, was constructed in 1875. It...

**Elsie Perrin Williams Memorial Library**  
 305, Queens Avenue, City of London, Ontario  
 The Elsie Perrin Williams Memorial Library is located at 305 Queens Avenue, on the south side of...

**First Christian Reformed Church**  
 513, Talbot Street, City of London, Ontario  
 The First Christian Reformed Church is located at 513 Talbot Street, on the west side of Talbot...

declared a National Historic Site in 1955 by the Government of Canada.

#### HERITAGE VALUE

Situated on a hill overlooking the Thames River, the Courthouse was built on a four-acre parcel of land chosen for its strategic and local defence purposes. Following its construction, the courthouse became an immediate landmark and focal point, due to its prominent position in the rapidly developing community. Historically the property was used for community events including markets and fairs. Public hangings often drew a large crowd to the Courthouse from the surrounding area. Today the courthouse is still an important landmark located south of Dundas Street, and north of King Street in downtown London. Other significant heritage buildings neighbouring the courthouse include: the former Middlesex County Gaol, the Old Middlesex County Jail, the Dr. Alexander Anderson House, as well as Eldon House (London Museum).

The Middlesex County Court House is significant for its association with the development and implementation of government and judicial systems in Ontario. In 1798 the Parliament of Upper Canada created the District of London. The centre of government was moved to Vittoria in 1815, and a courthouse and gaol was constructed. Vittoria was the administrative capital until 1825 when there was a massive fire that destroyed the Vittoria courthouse. The authorities in Upper Canada decided that instead of rebuilding the Vittoria courthouse, a larger courthouse should be built in a more central location in order to service the growing population. A location on a hill at a fork in the Thames River was chosen to build the London District Court House (now known as the former Middlesex County Court House). Colonel Thomas Talbot, who was the private secretary to Governor John Graves Simcoe, was an instrumental figure in the settling of the area that currently comprises the counties of Elgin, Essex, Haldimand, Kent, Middlesex and Norfolk. Talbot had an influence on the construction and design of the courthouse.

The courthouse is also linked to some important trials in Canadian history. In 1838 prisoners captured at Prescott and Windsor during the Rebellion of 1837 were tried in the Courthouse by a military court. Six of the men tried were convicted and hanged, while most of the rest were exiled to Van Dieman's Land (Tasmania). The courthouse is also known for its connection to the notorious Irish-Canadian family, the Donnellys. Five members of the Donnelly family were murdered on 4 February 1880 in the nearby town of Lucan by a mob of townsmen. There were two trials relating to the Donnellys' murders at the Courthouse. Both of the trials were dismissed.

Middlesex County Court House is significant for its unique design and its association to Toronto architect John Ewart, who also designed Osgoode Hall. The Middlesex County Court House was unlike any other courthouse built in Upper Canada at the time, and is one of three castellated judicial buildings built in Ontario. The courthouse's Gothic detailing resembles a castle, for it has a central pavilion with two side wings incorporating octagonal towers at each corner. The Courthouse has a stone foundation and brick walls covered with parging and scored to give the appearance of stone. The octagonal towers, polygonal bay, tall lancet windows, and distinctive crenellations all add to its fortress-like structure and authoritative presence. It is believed that the courthouse was modelled after Malahide Castle near Dublin, Ireland, which was the ancestral home of Colonel Thomas Talbot.

Source: OHT Easement Files

#### CHARACTER-DEFINING ELEMENTS

Character defining elements that contribute to the heritage value of the Middlesex County Court House include its:

- octagonal towers
- polygonal bay
- tall lancet windows
- large wooden doors
- distinctive crenellated parapets
- stone foundation
- parged brick walls that create a stone-like appearance
- resemblance to a castle
- prominent position on a hill
- location near the Thames River
- close proximity to other heritage properties in London, especially the Gaol

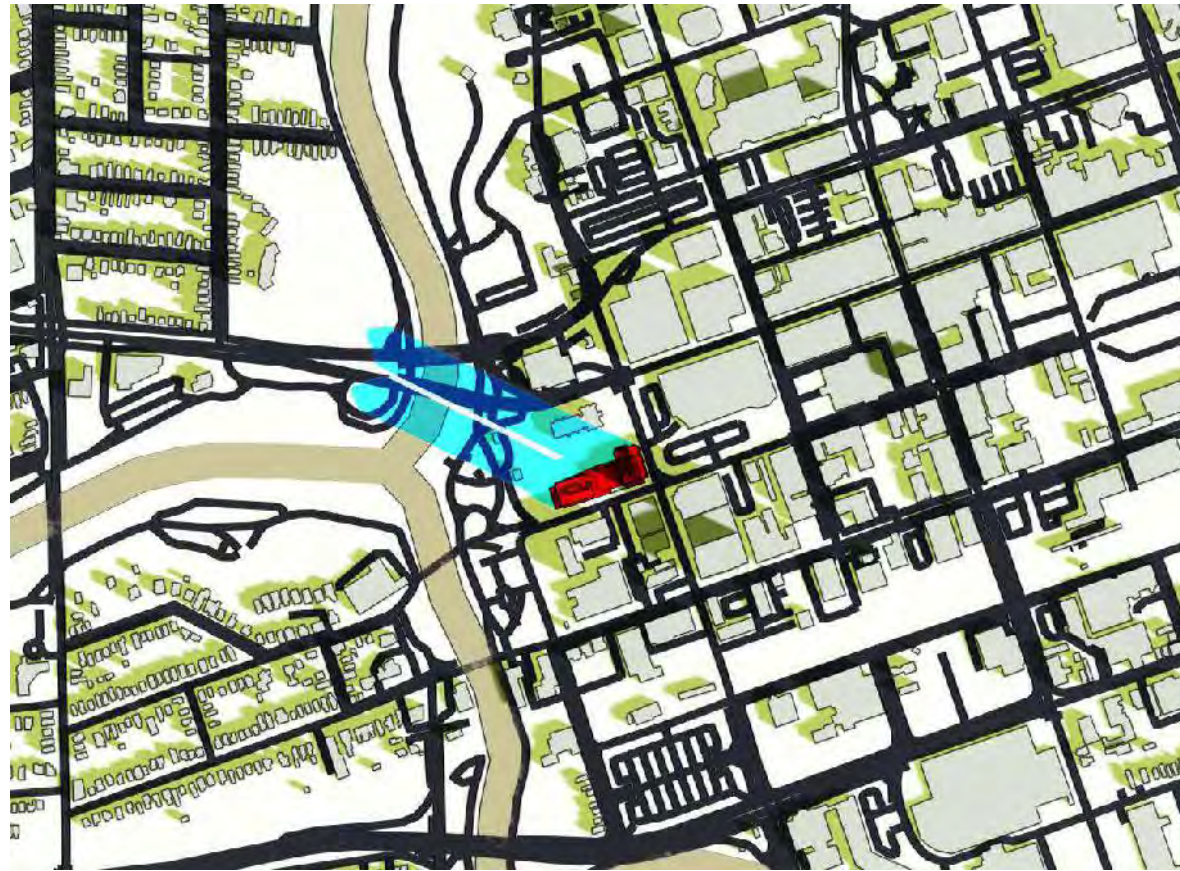
1 RECOGNITION

2 HISTORICAL INFORMATION

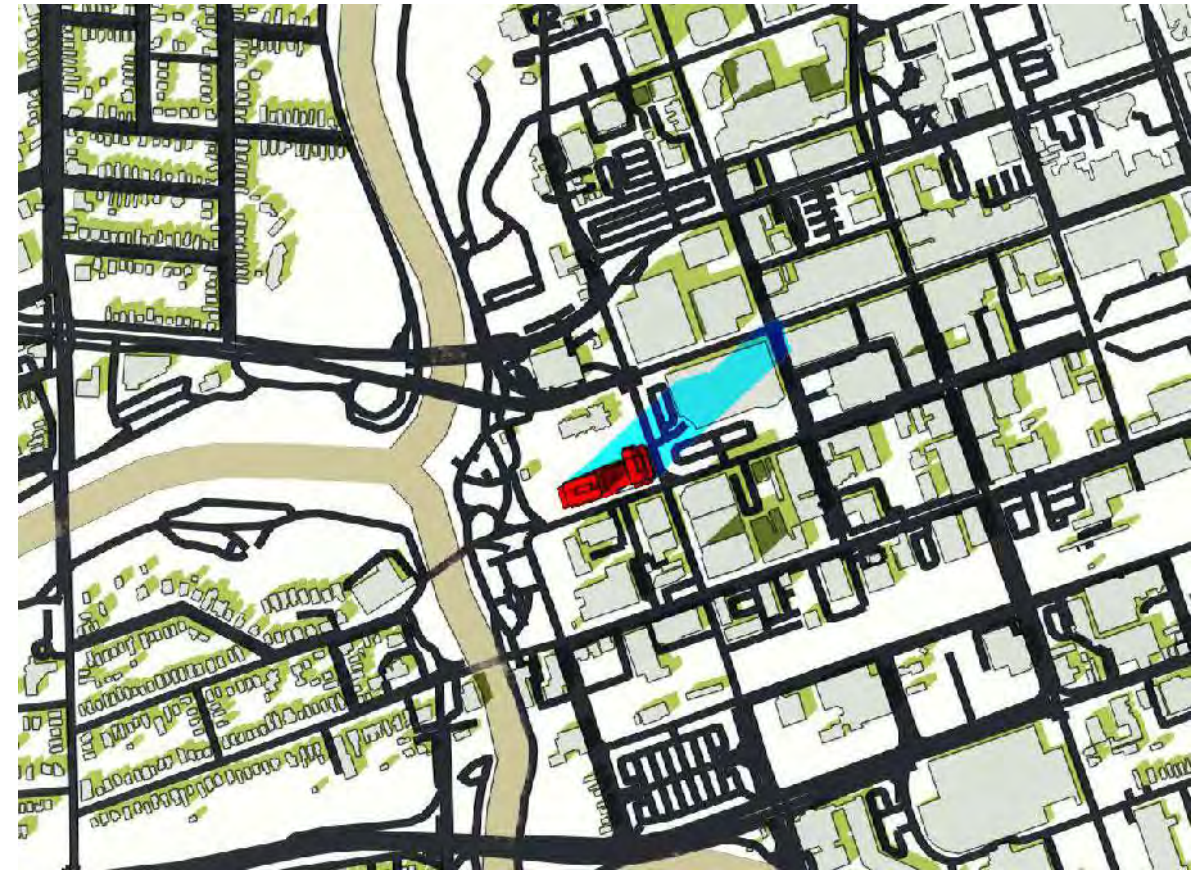
3 ADDITIONAL INFORMATION



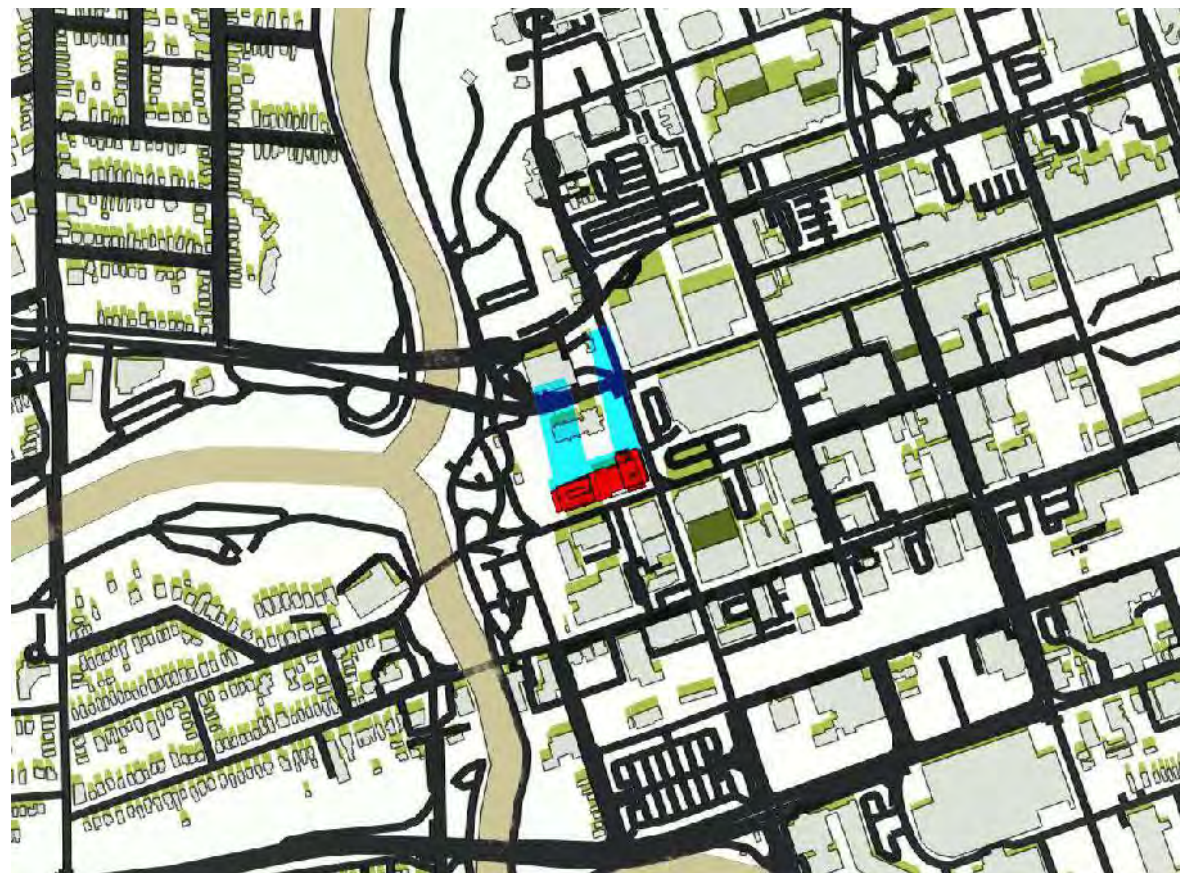
# Appendix **F**– Shadow Study








MARCH 21 900 AM

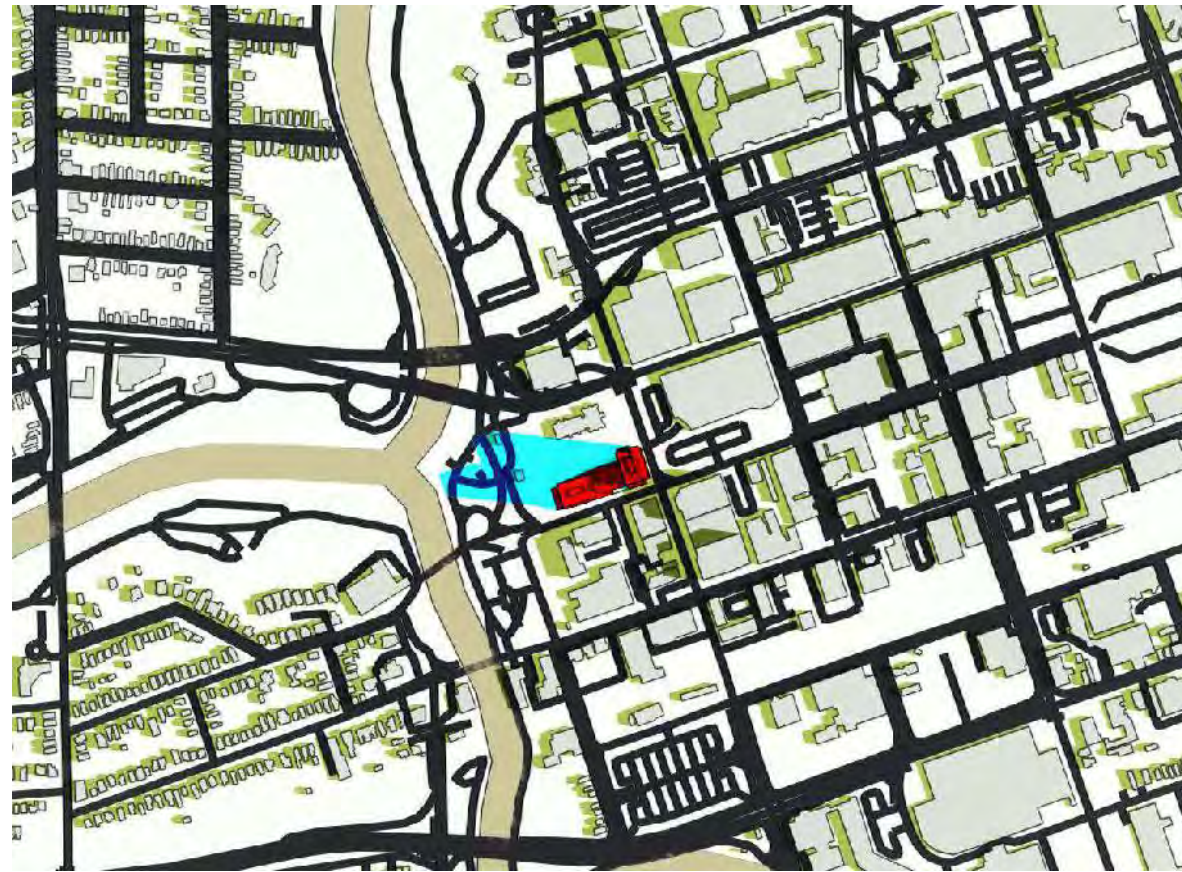


MARCH 21 300 PM

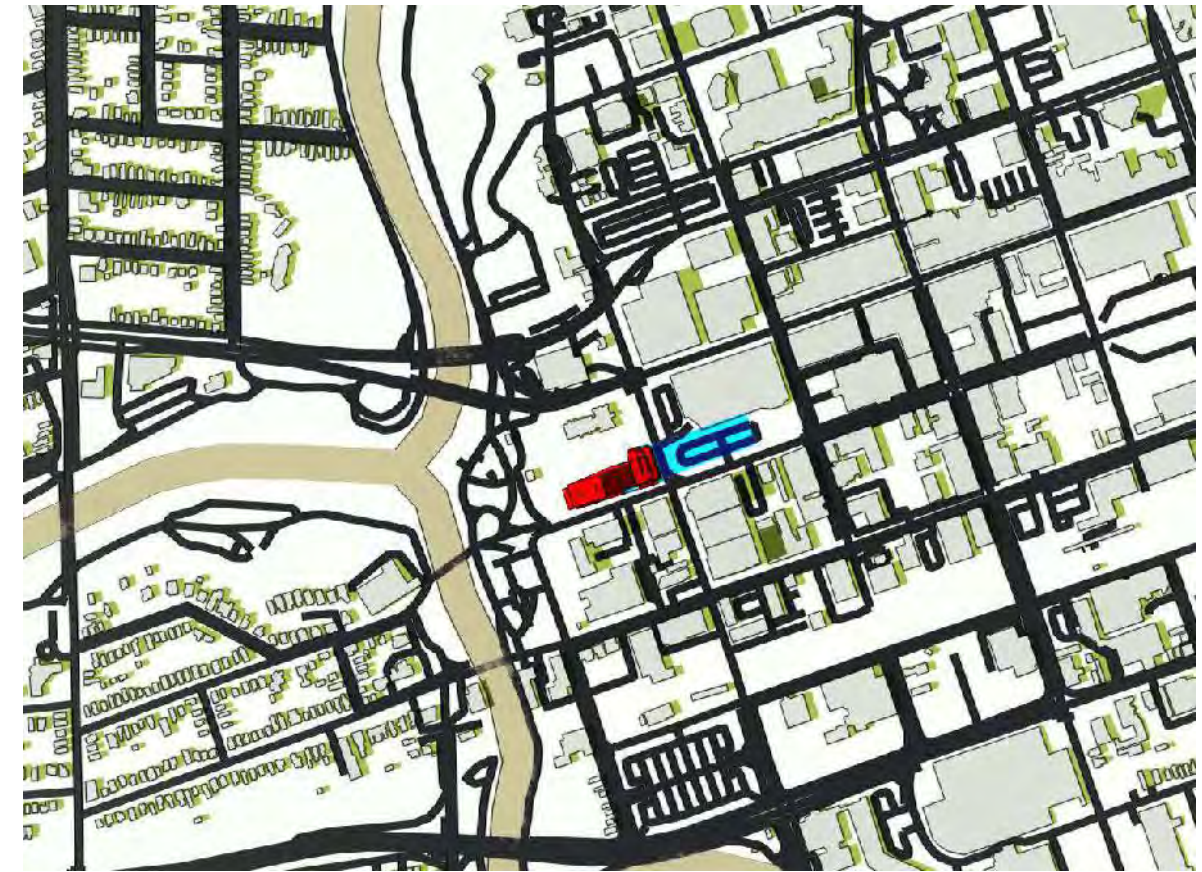


MARCH 21 1200 PM

LEGEND	
	EXISTING BUILDINGS
	EXISTING ROADS
	SHADOWS PROJECTED BY EXISTING BUILDINGS
	PROPOSED BUILDING
	SHADOWS PROJECTED BY PROPOSED BUILDING








JUNE 21 900 AM



JUNE 21 300 PM



JUNE 21 1200 PM

LEGEND	
	EXISTING BUILDINGS
	EXISTING ROADS
	SHADOWS PROJECTED BY EXISTING BUILDINGS
	PROPOSED BUILDING
	SHADOWS PROJECTED BY PROPOSED BUILDING








DECEMBER 21 900 AM



DECEMBER 21 300 PM



DECEMBER 21 1200 PM

LEGEND	
	EXISTING BUILDINGS
	EXISTING ROADS
	SHADOWS PROJECTED BY EXISTING BUILDINGS
	PROPOSED BUILDING
	SHADOWS PROJECTED BY PROPOSED BUILDING

# Appendix G – Curriculum Vitae



## CURRICULUM VITAE

### EDUCATION

2006  
Masters of Arts (Planning)  
University of Waterloo

1998  
Bachelor of Environmental Studies  
University of Waterloo

1998  
Bachelor of Arts (Art History)  
University of Saskatchewan

### Dan Currie, MA, MCIP, RPP, CAHP

Dan Currie, a Partner and Managing Director of MHBC's Cultural Heritage Division, joined MHBC Planning in 2009, after having worked in various positions in the public sector since 1997. Dan provides a variety of planning services for public and private sector clients including a wide range of cultural heritage policy and planning work including strategic planning, heritage policy, heritage conservation district studies and plans, heritage master plans, cultural heritage evaluations, heritage impact assessments and cultural heritage landscape studies.

### PROFESSIONAL ASSOCIATIONS

Full Member, Canadian Institute of Planners  
Full Member, Ontario Professional Planners Institute  
Professional Member, Canadian Association of Heritage Professionals

### SELECTED PROJECT EXPERIENCE

#### Heritage Conservation District Studies and Plans

Stouffville Heritage Conservation District Study  
Alton Heritage Conservation District Study, Caledon  
Port Stanley Heritage Conservation District Plan  
Port Credit Heritage Conservation District Plan, Mississauga  
Town of Cobourg Heritage Conservation District Plan updates  
Rondeau Heritage Conservation District Study & Plan, Chatham Kent,  
Barriefield Heritage Conservation District Plan Update, Kingston  
Victoria Square Heritage Conservation District Study, Markham  
Bala Heritage Conservation District Study and Plan, Township of Muskoka Lakes  
Downtown Meaford Heritage Conservation District Study and Plan  
Brooklyn and College Hill Heritage Conservation District Plan, Guelph  
Garden District Heritage Conservation District Study and Plan, Toronto

#### Heritage Master Plans and Management Plans

Town of Aurora Municipal Heritage Register Update  
City of Guelph Cultural Heritage Action Plan  
Town of Cobourg Heritage Master Plan  
Burlington Heights Heritage Lands Management Plan  
City of London Western Counties Cultural Heritage Plan

### CONTACT

540 Bingemans Centre Drive,  
Suite 200  
Kitchener, ON N2B 3X9  
T 519 576 3650 x 744  
F 519 576 0121  
dcurrie@mhbcplan.com  
www.mhbcplan.com

## CURRICULUM VITAE

Dan Currie, MA, MCIP, RPP, CAHP

### Cultural Heritage Evaluations

Morningstar Mill, St Catherines  
MacDonald Mowatt House, University of Toronto  
City of Kitchener Heritage Property Inventory Update  
Niagara Parks Commission Queen Victoria Park Cultural Heritage Evaluation  
Designation of Main Street Presbyterian Church, Town of Erin  
Designation of St Johns Anglican Church, Norwich  
Cultural Heritage Landscape evaluation, former Burlingham Farmstead, Prince Edward County

### Heritage Impact Assessments

Heritage Impact Assessment for Pier 8, Hamilton  
Homer Watson House Heritage Impact Assessment, Kitchener  
Expansion of Schneider Haus National Historic Site, Kitchener  
Redevelopment of former industrial facility, 57 Lakeport Road, Port Dalhousie  
Redevelopment of former amusement park, Boblo Island  
Redevelopment of historic Waterloo Post Office  
Redevelopment of former Brick Brewery, Waterloo  
Redevelopment of former American Standard factory, Cambridge  
Redevelopment of former Goldie and McCullough factory, Cambridge  
Mount Pleasant Islamic Centre, Brampton  
Demolition of former farmhouse at 10536 McCowan Road, Markham

### Heritage Assessments for Infrastructure Projects and Environmental Assessments

Heritage Assessment of 10 Bridges within Rockcliffe Special Policy Area, Toronto  
Blenheim Road Realignment Collector Road EA, Cambridge  
Badley Bridge EA, Elora  
Black Bridge Road EA, Cambridge  
Heritage and Cultural Heritage Landscape Assessment of Twenty Mile Creek Arch Bridge, Town of Lincoln  
Heritage Evaluation of Deer River, Burnt Dam and MacIntosh Bridges, Peterborough County

### Conservation Plans

Black Bridge Strategic Conservation Plan, Cambridge  
Conservation Plan for Log house, Beurgetz Ave, Kitchener  
Conservation and Construction Protection Plan - 54 Margaret Avenue, Kitchener

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## CURRICULUM VITAE

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Tribunal Hearings:

Redevelopment of 217 King Street, Waterloo (OLT)  
Redevelopment of 12 Pearl Street, Burlington (OLT)  
Designation of 30 Ontario Street, St Catharines (CRB)  
Designation of 27 Prideaux Street, Niagara on the Lake (CRB)  
Redevelopment of Langmaids Island, Lake of Bays (LPAT)  
Port Credit Heritage Conservation District (LPAT)  
Demolition 174 St Paul Street (Collingwood Heritage District) (LPAT)  
Brooklyn and College Hill HCD Plan (OMB)  
Rondeau HCD Plan (LPAT)  
Designation of 108 Moore Street, Bradford (CRB)  
Redevelopment of property at 64 Grand Ave, Cambridge (LPAT)  
Youngblood subdivision, Elora (LPAT)  
Downtown Meaford HCD Plan (OMB)  
Designation of St Johns Church, Norwich (CRB - underway)

### LAND USE PLANNING

Provide consulting services for municipal and private sector clients for:

- Secondary Plans
- Draft plans of subdivision
- Consent
- Official Plan Amendment
- Zoning By-law Amendment
- Minor Variance
- Site Plan

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## EDUCATION

2011

Higher Education Diploma

**Cultural Development/ Gaelic Studies**

Sabhal Mòr Ostaig, University of the Highlands and Islands

2012

Bachelor of Arts

**Joint Advanced Major in Celtic Studies and Anthropology**

Saint Francis Xavier University

2014

Master of Arts

**World Heritage and Cultural Projects for Development**

The International Training Centre of the ILO in partnership with the University of Turin, Politecnico di Torino, University of Paris 1 Pantheon-Sorbonne, UNESCO, ICCROM, Macquarie University

[www.linkedin.com/in/rachelredshaw](http://www.linkedin.com/in/rachelredshaw)

## CONTACT

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# CURRICULUM VITAE

## Rachel Redshaw, MA, H.E. Dipl., CAHP

Rachel Redshaw, a Senior Heritage Planner with MHBC, joined the firm in 2018. Ms. Redshaw has a Bachelor of Arts in Anthropology and Celtic Studies and a Master of Arts in World Heritage and Cultural Projects for Development. Ms. Redshaw completed her Master's in Turin, Italy; the Master's program was established by UNESCO in conjunction with the University of Turin and the International Training Centre of the ILO. Rachel is professional member of the Canadian Association of Heritage Professionals (CAHP).

Ms. Redshaw provides a variety of heritage planning services for public and private sector clients. Ms. Redshaw has worked for years completing cultural heritage planning in a municipal setting. She has worked in municipal building and planning departments and for the private sector to gain a diverse knowledge of building and planning in respect to how they apply to cultural heritage. Rachel enjoys being involved in the local community and has been involved in the collection of oral history, in English and Gaelic, and local records for their protection and conservation and occasionally lecturers on related topics. Her passion for history and experience in archives, museums, municipal building and planning departments supports her ability to provide exceptional cultural heritage services.

## PROFESSIONAL ASSOCIATIONS

Professional Member, Canadian Association of Heritage Professionals (CAHP)

## PROFESSIONAL HISTORY

2022 - Present Senior Heritage Planner,  
MacNaughton Hermsen Britton Clarkson Planning Limited

2018 - 2022 Heritage Planner,  
MacNaughton Hermsen Britton Clarkson Planning Limited

2018 Building Permit Coordinator, (Contract)  
Township of Wellesley

2018 Building Permit Coordinator (Contract)



# CURRICULUM VITAE

**Rachel Redshaw, MA, H.E. Dipl., CAHP**

RSM Building Consultants

- 2017 Deputy Clerk,  
Township of North Dumfries
- 2015-2016 Building/ Planning Clerk  
Township of North Dumfries
- 2009-2014 Historical Researcher & Planner  
Township of North Dumfries
- 2012 Translator, Archives of Ontario
- 2012 Cultural Heritage Events Facilitator (Reminiscence Journey) and  
Executive Assistant, Waterloo Region Plowing Match and Rural  
Expo
- 2011 Curatorial Research Assistant  
Highland Village Museum/ Baile nan Gàidheal

## PROFESSIONAL/COMMUNITY ASSOCIATIONS

- 2022-Present Professional Member, Canadian Association of Heritage  
Professionals
- 2017-2020 Member, AMCTO
- 2018-2019 Member of Publications Committee, Waterloo Historical Society
- 2018 Member, Architectural Conservancy of Ontario- Cambridge
- 2018 - 2019 Secretary, Toronto Gaelic Society
- 2012 -2017 Member (Former Co-Chair & Co-Founder), North Dumfries  
Historical Preservation Society
- 2011 - 2014 Member, North Dumfries Municipal Heritage Committee
- 2013 Greenfield Heritage Conservation District, Sub-committee,  
Doors Open Waterloo Region
- 2012 Volunteer Historical Interpreter, Doon Heritage Village, Ken  
Seiling Waterloo Region Museum
- 2008-2012 Member, Celtic Collections, Angus L. Macdonald Library
- 2012-2013 Member (Public Relations), Mill Race Folk Society

## CONTACT

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## CURRICULUM VITAE

### Rachel Redshaw, MA, H.E. Dipl., CAHP

- 2011 Member, University of Waterloo Sub-steering Committee for HCD Study, Village of Ayr, North Dumfries
- 2010-2011 Member (volunteer archivist), Antigonish Heritage Museum

#### AWARDS / PUBLICATIONS / RECOGNITION

- 2019 Waterloo Historical Society Publication, *Old Shaw: The Story of a Kindly Waterloo County Roamer*
- 2014 Master's Dissertation, *The Rise of the City: Social Business Incubation in the City of Hamilton*
- 2014 Lecture, *A Scot's Nirvana*, Homer Watson House and Gallery
- 2013 Lecture, *The Virtual Voice of the Past: The Use of Online Oral Accounts for a Holistic Understanding of History*, University of Guelph Spring Colloquium
- 2012-2013 Gaelic Events Facilitator, University of Guelph
- 2012-2015 Intermediate Gaelic Facilitator, St. Michael's College, University of Toronto
- 2012 *Nach eil ann tuilleadh: An Nòs Ùr aig nan Gàidheal* (BA Thesis)  
Thesis written in Scottish Gaelic evaluating disappearing Gaelic rites of passage in Nova Scotia.
- 2012 Waterloo Historical Society Publication, *Harvesting Bees and Feasting Tables: Fit for the Men, Women and Children of Dickie Settlement and Area, Township of North Dumfries*
- 2007-2012 25 historical publications in the Ayr News (access to some articles <http://ayrnews.ca/recent> )

#### PROFESSIONAL DEVELOPMENT COURSES

- 2021 Certificate for Indigenous Relations Training Program with University of Calgary
- 2020 Condo Director Training Certificate (CAO)
- 2018 Building Officials and the Law (OBOA Course)
- 2017-2018 AMCTO Training (MAP 1)
- 2017 AODA Training

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# CURRICULUM VITAE

**Rachel Redshaw, MA, H.E. Dipl., CAHP**

2010

Irish Archaeological Field School Certificate

## COMPUTER SKILLS

- Microsoft Word Office
- Bluebeam Revu 2017
- ArcGIS
- Keystone (PRINSYS)
- Municipal Connect
- Adobe Photoshop
- Illustrator
- ABBYY Fine Reader 11
- Book Drive

## SELECT PROJECT EXPERIENCE 2018-2022

### CULTURAL HERITAGE IMPACT ASSESSMENTS

- Promenade at Clifton Hill, Niagara Falls (Niagara Parks Commission)
- 16-20 Queen Street North, Kitchener (Former Economical Insurance Building)
- Peterborough Lift Lock and Trent-Severn Waterway (TSW), National Historic Sites, Development for 380 Armour Road, City of Peterborough
- Middlesex County Court House, National Historic Site, for development at 50 King Street
- McDougall Cottage and National Historic Site, for development at 93 Grand Avenue South, City of Kitchener
- City of Waterloo Former Post Office, Development for 35-41 King Street North, City of Waterloo, Phase II
- Consumers' Gas Station B, Development for 450 Eastern Avenue, City of Toronto
- 82 Weber Street and 87 Scott Street, City of Kitchener
- 39 Wellington Street West, City of Brampton

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## CURRICULUM VITAE

### Rachel Redshaw, MA, H.E. Dipl., CAHP

- 543 Ridout Street North, City of London
- 34 Manley Street, Village of Ayr, Township of North Dumfries
- Quinte's Isle Campark, 558 Welbanks Road, Prince Edward County (OLT)
- 174 St. Paul Street, Town of Collingwood (OLT)
- 45 Duke Street, City of Kitchener
- 383-385 Pearl Street, City of Burlington
- St. Patrick's Catholic Elementary School, (SPCES), 20 East Avenue South, City of Hamilton
- 250 Allendale Road, City of Cambridge
- 249 Clarence Street, City of Vaughan

#### *Specific for Relocation of Heritage Buildings*

- 1395 Main Street, City of Kitchener
- 10379 & 10411 Kennedy Road, City of Markham

#### CULTURAL HERITAGE SCREENING REPORT

Kelso Conservation Area, Halton County  
5<sup>th</sup> Side Road, County Road 53, Simcoe County  
Waterdown Trunk Watermain Twinning Project, City of Hamilton

#### CULTURAL HERITAGE EVALUATION REPORTS

- 52 King Street North, City of Kitchener
- Sarnia Collegiate Institute and Technical School (SCITS), 275 Wellington, City of Sarnia (Municipal contingency study)
- 10536 McCowan Road, City of Markham
- Former Burns Presbyterian Church, 155 Main Street, Town of Erin (Designation Report)
- Former St. Paul's Anglican Church, 23 Dover Street, Town of Otterville, Norwich Township (OLT)
- 6170 Fallsview Boulevard, City of Niagara Falls

#### CONSERVATION PLANS

- City of Waterloo Former Post Office, 35-41 King Street North, City of Waterloo
- 82 Weber Street East, City of Kitchener
- 87 Scott Street, City of Kitchener
- 107 Young Street, City of Kitchener

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### Rachel Redshaw, MA, H.E. Dipl., CAHP

- 1395 Main Street, City of Kitchener
- 10379 & 10411 Kennedy Road, City of Markham

#### *Cultural Heritage Conservation Protection Plans (Temporary protection for heritage building during construction)*

- 16-20 Queen Street North, Kitchener (included Stabilization, Demolition and Risk Management Plan)
- 12 & 54 Margaret Avenue, City of Kitchener
- 45 Duke Street, City of Kitchener
- 82 Weber Street West and 87 Scott Street, City of Kitchener
- 660 Sunningdale Road, London

#### DOCUMENTATION AND SALVAGE REPORTS

- 16-20 Queen Street North, City of Kitchener
- 57 Lakeport Road City of St. Catharines
- Gaslight District, 64 Grand Avenue South, City of Cambridge
- 242-262 Queen Street South, City of Kitchener
- 721 Franklin Boulevard, City of Cambridge

#### HERITAGE PERMIT APPLICATIONS

- 16-20 Queen Street North, Kitchener
- 50 King Street, London
- 35-41 King Street North, City of Waterloo (Old Post Office), Phase II (alteration to building with a municipal heritage easement, Section 37, OHA)
- 50-56 Weber Street West & 107 Young Street, City of Kitchener (demolition and new construction within HCD)
- 30-40 Margaret Avenue, City of Kitchener (new construction within HCD)
- 249 Clarence Street, City of Vaughan (alteration within HCD)
- 174 St. Paul Street, Town of Collingwood (demolition within HCD)

#### HERITAGE CONSERVATION DISTRICTS/ MASTER PLANS/ HERITAGE CHARACTER STUDY

- Elgin, Central and Memorial Neighbourhoods, Municipality of Clarington
- Stouffville Heritage Conservation District Study (Project Lead 2021-2022)
- Town of Aurora Heritage Register Update

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