

# Agenda Including Addeds

## London Advisory Committee on Heritage

4th Meeting of the London Advisory Committee on Heritage

April 13, 2022, 5:30 PM

Advisory Committee Virtual Meeting - during the COVID-19 Emergency

Please check the City website for current details of COVID-19 service impacts.

The City of London is committed to making every effort to provide alternate formats and communication supports for Council, Standing or Advisory Committee meetings and information, upon request. To make a request related to this meeting, please contact [advisorycommittee@london.ca](mailto:advisorycommittee@london.ca).

	Pages
<b>1. Call to Order</b>	
1.1. Disclosures of Pecuniary Interest	
<b>2. Scheduled Items</b>	
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a. Jana Kelemen, Manager, Urban Design and Heritage; and,	
b. Heather Garrett, Zelinka Priamo	
2.2. 5:45 PM Heritage Alteration Permit Application by S. Thompson at 18 Byron Avenue East, Wortley Village-Old South Heritage Conservation District	56
a. Michael Greguol, Heritage Planner; and,	
b. S. Thomson	
2.3. 6:00 PM Designation, 183 Ann Street and 197 Ann Street under Part IV of the Ontario Heritage Act	
a. Laura Dent, Heritage Planner	
b. <i>(ADDED) Staff Report</i>	143
c. <i>(ADDED) Carlos Ramirez</i>	
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	<i>a. (ADDED) Heritage Planners' Report</i>	229
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## Report to London Advisory Committee on Heritage

**To:** Chair and Members  
London Advisory Committee on Heritage  
**From:** Scott Mathers, MPA, P. Eng.,  
Deputy City Manager, Planning and Economic Development  
**Subject:** Request to Remove the Heritage Listed Property at 147-149  
Wellington Street by P. & S. Letsos  
**Date:** Wednesday April 13, 2022

## Recommendation

That, on the recommendation of the Director, Planning and Development, the property at 147-149 Wellington Street **BE REMOVED** from the Register of Cultural Heritage Resources.

## Executive Summary

The property at 147-149 Wellington Street was identified as a potential cultural heritage resource in 2018 and added to the Register of Cultural Heritage Resources by resolution of Municipal Council. As Municipal Council must believe a property to be of potential cultural heritage value or interest to be added to the Register of Cultural Heritage Resource, it must therefore be satisfied that a property is not of cultural heritage value or interest, through the completion of a comprehensive evaluation, prior to removing a property from the Register.

A Heritage Impact Statement was submitted in support of the request to remove the heritage listed property at 147-149 Wellington Street from the Register. The Heritage Impact Statement found that the property does not meet the criteria for designation under the *Ontario Heritage Act* in Ontario Regulation 9/06. Staff do not disagree with the evaluation of the property in the Heritage Impact Statement. As the property does not meet the criteria for designation, it should be removed from the Register.

While the property is recommended to be removed from the Register, that does not necessarily mean that the building will be demolished or removed.

## Linkage to the Corporate Strategic Plan

This recommendation supports the following 2019-2023 Strategic Plan areas of focus:

- Strengthening Our Community:
  - Continuing to conserve London's heritage properties and archaeological resources.

## Analysis

### 1.0 Background Information

#### 1.1 Property Location

The property at 147-149 Wellington Street is located on the southwest corner of Wellington Street and Grey Street (Appendix A).

#### 1.2 Cultural Heritage Status

The property at 147-149 Wellington Street is a heritage listed property. The property was added to the Register of Cultural Heritage Resources by resolution of Municipal Council on March 28, 2018.

#### 1.3 Description

There is a two-and-a-half storey residential-type building located on the property at 147-149 Wellington Street (Appendix B). It is a brick structure with a hipped roof and a front

gable. It has a buff brick chimney on the south slope of the roof. Over its history, the building has evolved and changed in its function to accommodate a restaurant through an addition(s) built onto the structure.

The residential-type dwelling demonstrates architectural influences of the Queen Anne Revival architectural style, which were popular at the end of the nineteenth century in London. Elements contributing to this identification include the form and massing of the building, the wood shingle imbrication and bargeboard in the decorated front gable, the Queen Anne style windows in the front gable, and the Queen Anne style window on the north upper façade.

The building has been altered to accommodate its current use as a restaurant (the Family Circle Restaurant). The addition which wraps the east and north façades and which continues at the rear of the building was constructed circa 1994. In about 2021, the buff brick exterior of the building was painted grey. It is hypothesized that the building may have been somewhat similar in appearance to the adjacent house at 143 Wellington Street, which is another buff brick two-and-a-half storey residential Queen Anne Revival building.

#### **1.4 History**

The Euro-Canadian history of the property at 147-149 Wellington Street begins with the original survey of the town plot of London, completed by Colonel Mahlon Burwell in 1826 under the direction of Surveyor-General Thomas Ridout. The original town site was bounded by North Street (later Queens Avenue), Wellington Street, and the Thames River.

No structure is shown on the property in the *Map of the City of London, Canada West* (1855) by Samuel Peters. However, by the *Bird's Eye View of London, Ontario, Canada* (1872), structures are shown. The *Bird's Eye View of London, Ontario Canada* (1890) provides a good view of the property (see Figure 2, Appendix B). The residential form building at 147 Wellington Street was likely built circa 1890. There appears to have been buildings prior to the existing building on this property.

The 1912, revised 1915 *Fire Insurance Plan* records the forms and details of structures on this block, including the property at 147 Wellington Street, the buildings that have been demolished, and the other buildings still extant (see Figure 3, Appendix B). Further research is required to confirm when the buildings north of 147 Wellington Street, now comprising the property at 147-149 Wellington Street, were demolished.

The property is located within the SoHo area, which has been identified as an area for future study as a potential Heritage Conservation District. It is part of a historically commercial streetscape, including purpose-built commercial buildings, institutional buildings, and residential-form buildings having been adapted to commercial uses. Nearby heritage landmarks include the former Wellington Street Methodist Church (156 Wellington Street, heritage listed property), former Christ Church Anglican (138 Wellington Street, heritage designated property), and the Red Antiquities Building (129-131 Wellington Street). There are numerous adjacent and nearby heritage listed properties.

The Family Circle Restaurant was opened on Wellington Street in about 1982 and expanded in about 1994. It was purchased by the current property owner in 2001.

#### **1.5 Previous Zoning By-law Amendment**

In 2018, a Zoning By-law Amendment (Z-8905) application was received, which included the property at 147-149 Wellington Street as well as properties at 253 Grey Street, 255 Grey Street and 257 Grey Street. The requested amendment was to permit a site-specific bonus zone to allow for an 18-storey (63 metre) L-shaped apartment building which was proposed to include 246 dwelling units (560 units per hectare). Two levels of underground parking were proposed to provide 162 parking spaces with another 38 spaces being provided at ground level.

As noted in the staff report (see link at the end of this report), the London Advisory Committee (LACH) and Heritage Planner expressed concerns with the original proposal and how it fits within the community. The LACH was consulted at its meeting on June 27, 2018, with its comments included in the staff report. The comments from the Heritage Planner were also included in the staff report.

With the staff recommendation, the Zoning By-law Amendment was passed by Municipal Council at its meeting on October 16, 2018. No appeals to the Local Planning Appeal Tribunal were received.

## **2.0 Discussion and Considerations**

### **2.1 Legislative and Policy Framework**

Cultural heritage resources are to be conserved and impacts assessed as per the fundamental policies of the *Provincial Policy Statement (2020)*, the *Ontario Heritage Act*, and *The London Plan*.

#### **2.1.1 Provincial Policy Statement**

Heritage Conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (2020)* promotes the wise use and management of cultural heritage resources and directs that “significant built heritage resources and significant cultural heritage landscapes shall be conserved” (Policy 2.6.1, *Provincial Policy Statement 2020*).

“Significant” is defined in the *Provincial Policy Statement (2020)* as, “resources that have been determined to have cultural heritage value or interest.” Further, “processes and criteria for determining cultural heritage value or interest are established by the province under the authority of the *Ontario Heritage Act*.”

Additionally, “conserved” means, “the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained.”

#### **2.1.2 Ontario Heritage Act**

Section 27, *Ontario Heritage Act* requires that a register kept by the clerk shall list all properties that have been designated under the *Ontario Heritage Act*. Section 27(1.2), *Ontario Heritage Act* also enables Municipal Council to add properties that have not been designated, but that Municipal Council “believes to be of cultural heritage value or interest” on the Register.

The only cultural heritage protection afforded to heritage listed properties is a 60-day delay in the issuance of a demolition permit. During this time, Council Policy directs that the London Advisory Committee on Heritage (LACH)<sup>1</sup> is consulted, and a public participation meeting is held at the Planning & Environment Committee. This process is used when a property owner requests the removal of their property from the Register.

Section 29, *Ontario Heritage Act* enables municipalities to designate properties to be of cultural heritage value or interest. Section 29, *Ontario Heritage Act* also establishes consultation, notification, and process requirements, as well as a process to appeal the designation of a property. Objections to a Notice of Intention to Designate are referred to Municipal Council. Appeals to the passing of a by-law to designate a property pursuant to the *Ontario Heritage Act* are referred to the Ontario Land Tribunal (OLT).

##### **2.1.2.1 Criteria for Determining Cultural Heritage Value or Interest**

*Ontario Heritage Act* Regulation 9/06 establishes criteria for determining the cultural heritage value or interest of individual properties. These criteria are:

1. Physical or design value:
  - i. Is a rare, unique, representative, or early example of a style, type,

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<sup>1</sup> At its meeting on February 15, 2022, Municipal Council reconstituted its advisory committees including the London Advisory Committee on Heritage (LACH). Until the new Community Planning Advisory Committee is composed, the LACH will continue to serve as the City’s municipal heritage committee.

- expression, material or construction method;
  - ii. Displays a high degree of craftsmanship or artistic merit; or,
  - iii. Demonstrates a high degree of technical or scientific achievement.
2. Historical or associative value:
    - i. Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;
    - ii. Yields, or has the potential to yield, information that contributes to an understanding of a community or culture; or,
    - iii. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.
  3. Contextual value:
    - i. Is important in defining, maintaining, or supporting the character of an area;
    - ii. Is physically, functionally, visually, or historically linked to its surroundings; or,
    - iii. Is a landmark.

A property is required to meet one or more of the abovementioned criteria to merit protection under Section 29 of the *Ontario Heritage Act*. Should the property not meet the criteria for designation, the heritage listed property should be removed from the Register. These same criteria are in Policy 573\_ of *The London Plan*.

### **2.1.3 The London Plan**

The Cultural Heritage chapter of *The London Plan* recognizes that our cultural heritage resources define our city's unique identity and contribute to its continuing prosperity. It notes, "The quality and diversity of these resources are important in distinguishing London from other cities and make London a place that is more attractive for people to visit, live or invest in." Policies 572\_ and 573\_ of *The London Plan* enable the designation of individual properties under Part IV of the *Ontario Heritage Act*, as well as the criteria by which individual properties will be evaluated.

Policies 575\_ and 576\_ of *The London Plan* also enable City Council to designate areas of the City under Part V of the *Ontario Heritage Act* as Heritage Conservation Districts. These policies include a set of criteria in the evaluation of an area. *Heritage Places 2.0* is a guideline document as a part of the Cultural Heritage Guidelines. The document describes potential heritage conservation districts and assigns a priority to these districts for consideration as heritage conservation districts.

### **2.1.4 Register of Cultural Heritage Resources**

Municipal Council may include properties on the Register of Cultural Heritage Resources that it "believes to be of cultural heritage value or interest." These properties are not designated but are considered to have potential cultural heritage value or interest.

The Register of Cultural Heritage Resources states that further research is required to determine the cultural heritage value or interest of heritage listed properties. If a property is evaluated and found to not meet the criteria for designation, it should be removed from the Register of Cultural Heritage Resources.

The property at 147-149 Wellington Street is included on the Register of Cultural Heritage Resources as a heritage listed property.

## **3.0 Financial Impact/Considerations**

None.

## 4.0 Key Issues and Considerations

### 4.1. Request to Remove from the Register of Cultural Heritage Resources

A written request to remove the heritage listed property at 147-149 Wellington Street from the Register of Cultural Heritage Resources was submitted by an agent for the property owner and was received by the City on April 4, 2022.

Municipal Council must respond to remove a heritage listed property from the Register of Cultural Heritage Resources within 60 days, or the request is deemed consented. During this 60-day period, the London Advisory Committee on Heritage (LACH) is consulted and, pursuant to Council Policy, a public participation meeting is held at the Planning and Environment Committee (PEC).

The 60-day period for the request to remove the heritage listed property at 147-149 Wellington Street from the Register of Cultural Heritage Resources expires on June 3, 2022.

#### 4.1.1 Heritage Impact Statement

A Heritage Impact Statement (Zelinka Priamo, August 2018) was submitted as part of the planning application for the property (Z-8905). The same Heritage Impact Statement was re-submitted as part of the request to remove the heritage listed property at 147-149 Wellington Street from the Register of Cultural Heritage Resources. The Heritage Impact Assessment is attached as Appendix C.

The LACH was previously circulated on the Heritage Impact Assessment at its meeting on June 27, 2018. Comments from the LACH, as well as the Heritage Planner, are included in the staff report for the planning application (Z-8905) (link at the end of this report).

### 4.2 Consultation

Pursuant to intent of the Council Policy, notification of the request to remove the heritage listed property from the Register of Cultural Heritage Resources request was sent to property owners within 120m of the subject property on April 5, 2022, as well as community groups including the Architectural Conservancy Ontario – London Region Branch, London & Middlesex Historical Society, the Urban League of London, and the SoHo Community Association. Notice was also published in *The Londoner* and on the City's website.

### 4.3 Evaluation

An evaluation of the property at 147-149 Wellington Street was completed using the criteria of Ontario Regulation 9/06 in the Heritage Impact Statement (Zelinka Priamo, August 2018). See Appendix C.

Staff have reviewed the Heritage Impact Assessment and its evaluation. Staff do not disagree with the evaluation of the property, finding that the property does not meet the criteria for designation under the *Ontario Heritage Act*.

## Conclusion

The property at 147-149 Wellington Street was identified as a potential cultural heritage resource and added to the Register of Cultural Heritage Resources in 2018. A Heritage Impact Statement was submitted in support of the request to remove the heritage listed property at 147-149 Wellington Street from the Register. Staff do not disagree with the evaluation of the property in the Heritage Impact Statement which found that the property does not meet the criteria for designation under the *Ontario Heritage Act*. The property at 147-149 Wellington Street is not a significant cultural heritage resource. As the property does not meet the criteria for designation, it should be removed from the Register of Cultural Heritage Resources.

**Submitted by:** Jana Kelemen, M.Sc.Arch., MUDS, MCIP RPP  
Manager, Urban Design, and Heritage

**Recommended by:** Gregg Barrett, AICP  
Director, Planning and Development

**Submitted by:** Scott Mathers, MPA, P. Eng.  
Deputy City Manager, Planning and Economic  
Development

**Link to Staff Report (Z-8905)**

Report to Planning and Environment Committee, JAM Properties Inc. 147-149  
Wellington Street, 253-257 Grey Street, October 9, 2018:

<https://pub-london.escribemeetings.com/filestream.ashx?DocumentId=51207>

**Appendices**

Appendix A Property Location

Appendix B Images

Appendix C Heritage Impact Statement (Zelinka Priamo, August 2018)

**Selected Sources**

Corporation of the City of London. *2019-2023 Strategic Plan*.

Corporation of the City of London. *Heritage Places 2.0*. 2019.

Corporation of the City of London. Property file.

Corporation of the City of London. *Register of Cultural Heritage Resources*. 2020.

Corporation of the City of London. *The London Plan*. 2021 (consolidated).

Ministry of Culture. *Ontario Heritage Toolkit: Heritage Property Evaluation*. 2006.

*Ontario Heritage Act*. 2019, c. 9. Sched. 11.

Zelinka Priamo Ltd. Heritage Impact Statement, 147-149 Wellington Street, JAM  
Properties Inc. Revised August 2018.



# Appendix A – Property Location

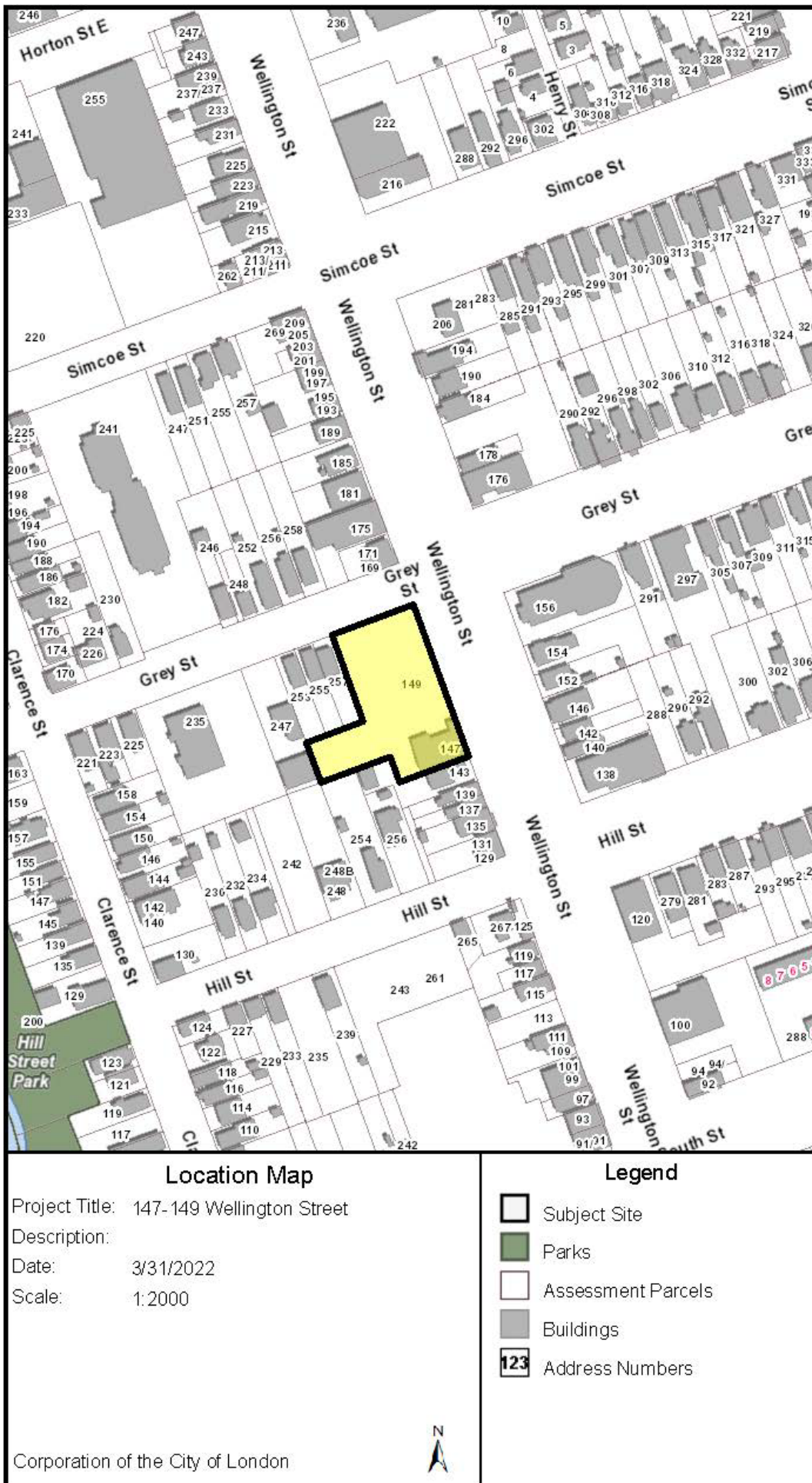


Figure 1: Location Map showing the property at 147-149 Wellington Street.

## Appendix B – Images



Figure 2: Excerpt from the Bird's Eye View of London, Ont. Canada (1890), showing the property at 147-149 Wellington Street (approximately circled in red). Where scale is often used to indicate importance, the large buildings across Wellington Street are Christ Church Anglican (138 Wellington Street, heritage designated property) and the Wellington Street Methodist Church (156 Wellington Street, heritage listed property). Courtesy Maps and Data Centre, Western University.

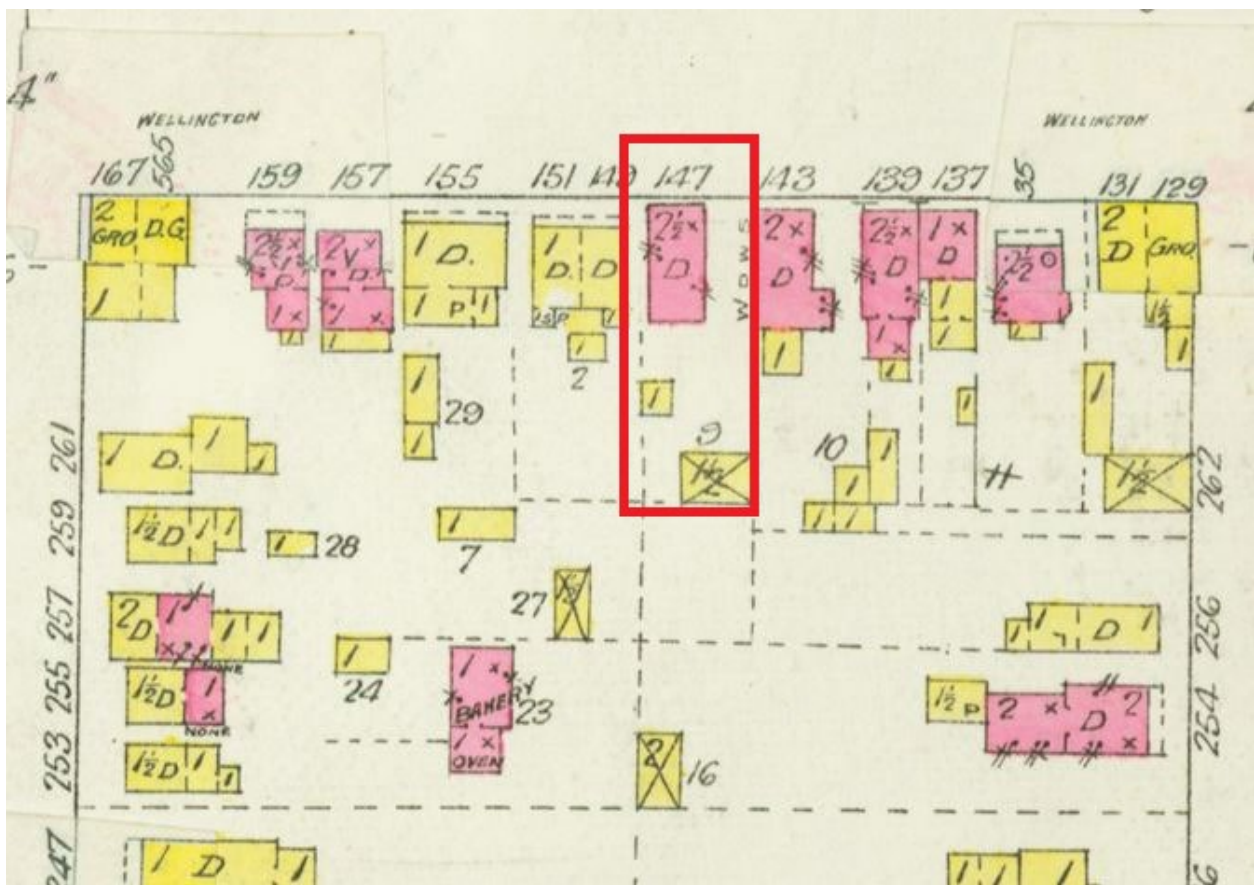


Figure 3: Detail of Sheet 28 from the 1912, revised 1915 Fire Insurance Plan, showing the property at 147 Wellington Street. The buildings shown to the left of 147 Wellington Street have been removed. To the far right of the property at 147 Wellington Street is the Red Antiquities Building at 129-131 Wellington Street (heritage designated property). Courtesy Maps and Data Centre, Western University.



Image 1: View looking northwest from Hill Street at Wellington Street, with the property at 147 Wellington Street on the far left.



Image 2: View of the historic front façade of the residential form building located at 147-149 Wellington Street.



*Image 3: View showing the north elevation of the existing building at 147-149 Wellington Street, seen across the large parking lot.*



*Image 4: Detail of the Queen Anne Revival detailing of the front gable, including the wood shingle imbrication, brackets, bargeboard, dentil moulding, and sunburst motif in the apex. The fenestration of the upper sash of the window is also in the Queen Anne Revival style.*



*Image 5: Detail of the Queen Anne Revival window on the north façade of the building at 147-149 Wellington Street.*

## **Appendix C – Heritage Impact Statement**

Heritage Impact Statement (Zelinka Priamo, dated August 2018) – *attached separately*

# Heritage Impact Statement

147-149 Wellington Street

JAM PROPERTIES INC.



Revised August 2018

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## **SECTION 1 - INTRODUCTION**

The requested revised Heritage Impact Statement (HIS) is in response to Mike Corby's email dated August 15, 2018 and Staff's memo dated July 31, 2018 regarding the April 2018 HIS for 147-149 Wellington Street (Z-8905).

The HIS that was submitted with the Zoning By-law Application on January 11, 2018 was prepared with the information that was available at that time. The subject lands were not listed on Register (Inventory of Heritage Resources) and the London Plan was under appeal. The subject lands were added to the Register (Inventory of Heritage Resources) and the London Plan partially came into effect between the time the application was submitted and deemed complete.

Below is an outline of the timing:

- Zoning By-law Application (Z-8905) submitted to City – January 11, 2018
- Subject Property (147 - 149 Wellington Street) and adjacent properties (152 and 143 Wellington Street) added to Register (Inventory of Heritage Resources) - Council Approval March 27, 2018
- The London Plan partially came into effect – March 29, 2018
- Revised material for application Z-8906 (including HIS) submitted to City – April 23, 2018
- Application Deemed Complete – April 25, 2018

The July 31, 2018 memo stated the April 2018 HIS was “exceedingly brief”, and the potential cultural heritage resource at 147-149 Wellington Street was not assessed. However, staff deemed the application complete on April 25, 2018 so we had no reason to believe the HIS was not sufficient. At the time the HIS was revised we were not aware 147-149 Wellington Street was added to the Registry. It was added through the London Advisory Committee of Heritage (LACH) review of the draft Cultural Heritage Screening Report (CHSR) – London Bus Rapid Transit System (WSP, February 6, 2018) which was not a public process; neither our office or our client were notified of this process.

Regardless, there were open discussions regarding the proposal between staff and the applicant well after 147-149 Wellington Street was added to the Registry and the London Plan Policy 586 came into effect. It is unclear why staff did not inform the applicant of these two items before the application was deemed complete.

## **SECTION 2 – SITE AND SURROUNDING AREA**

### **2.1 The Subject Lands**

The subject lands are located at the southwesterly corner of Grey Street and Wellington Street (Figure 1). The subject lands are comprised of four parcels of land known municipally as 147(149) Wellington Street, and 253-257 Grey Street, and have a combined area of approximately 0.44ha

(1.09ac), a frontage of approximately 72.2m (236.8 ft) on Wellington Street, and 66.9m (219.4 ft) on Grey Street.

Fire insurance plans show there were eleven structures on the subject lands that were mainly residential dwellings with the exception of a grocery store at the corner of Wellington and Grey Streets (Appendix 1).

Today, the subject lands consist of the Family Circle restaurant and three single-detached homes, as well as associated parking and open space.

None of the properties that make up the subject site are designated under the Ontario Heritage Act; however, 147(149) Wellington Street was added to the Register (Inventory of Heritage Resources) by Council on March 27, 2018. It was added as a result of the London Advisory Committee of Heritage (LACH) review of the draft Cultural Heritage Screening Report (CHSR) – London Bus Rapid Transit System (WSP, February 6, 2018).

The Stewardship Sub-Committee (SSC) of LACH reviewed the draft CHSR and recommended that further cultural heritage work be required for 439 properties that were identified by the draft CHSR. In addition, SSC recommended that further cultural heritage work be required for 30 properties which were not identified by the draft CHSR but which SSC believed to be of potential cultural heritage value or interest. The 147 - 149 Wellington Street lands were one of those 30 properties. In addition, 152 and 143 Wellington Street, which are adjacent to the subject lands, were added to the Registry.

Our client was not aware of this process nor was made aware by staff that 147-149 Wellington Street was added to the municipalities Register (Inventory of Heritage Resources).

An evaluation using Regulation 9/06 has been completed and it has been determined the property does not warrant designation under the Ontario Heritage Act. See Appendix 2 for Property Evaluation and Photo Review.

The existing restaurant at 147-149 Wellington Street has had several alterations and additions to all sides of the original structure; however, it was originally a two and a half storey, yellow brick, Queen Anne style single detached dwelling. The structure has a hip roof with an off centre front gable dormer and a tall chimney. Typically, the front elevation would consist of a front door with a small covered porch, with one window on the first floor, two on the second floor and small double windows in the attic gable.

Unfortunately, many changes that were done for the commercial use have resulted in the loss of many residential features. The first floor, including the front façade of the house, has undergone the largest transformation. It is hard to determine what the front of the house may have looked like or where the position of the original features, such as windows and the front door.

The second-floor façade remains intact with the original windows topped with a slight brick arch, with simple concrete sills.

The gable in the roof remains intact and contains bargeboards ornamented with rows of roundels and fields filled with scalloped wood shingles. The gable contains paired windows with wood

jamb and sills, rising from each jamb is a console bracket, fluted on the outside edge that supports a projecting board in the apex that features a sunburst design.

Some of the past owners of 147-149 Wellington Street are as follows:

- 1884 – John Morrison – Blacksmith @ 148 (150) Fullarton Street
- 1886 – Davide Chambers – Bookkeeper
- 1887 – Josiah Gould – Clerk @ J.H Chapman & Co. (Clothing Store) 126 Dundas Street
- 1895 – Frederick French – Cigar Maker
- 1900 – Ralph O’Neil – Shipper @ TB Escott & Co.
- 1901 – Henry G. Edsall – Clerk
- 1904 – Edward J Snider – Coremaker
- 1906 - 1910 – George Bawden – Plaster/clerk
- 1918 – 1955 – Olga and William Diplock – Seamstress and fish peddler
- 1955 – 1980 – Olga Diplock – Iris Shoppe/Yarn n Yarn Gardens
- 1990 – Present – Family Circle Restaurant

## 2.2 Surrounding Lands

The subject lands are located within the SoHo neighbourhood which has been identified as a potential Heritage Conservation District. A study of the neighbourhood has not been undertaken for the purposes of designating it as a heritage conservation district. See Appendix 3 for Images of Surrounding Areas.

The subject lands are not adjacent to any properties designated under Part IV Ontario Heritage Act but are adjacent to the following non-designated properties listed on the Register (Inventory of Heritage Resources):

- 171/169 Wellington Street – Commercial Building c. 1890
- 143 Wellington Street – Residential Building
- 146 Wellington Street – Residential Building c. 1879
- 152 Wellington Street – Residential Building
- 154 Wellington Street – Residential Building c. 1875
- 156 Wellington Street – Church – c. 1876
- 254 Hill Street – Residential Building – c. 1868

## SECTION 3 – POLICY REVIEW

### 3.1 Provincial Policy Statement 2014 (PPS)

The Provincial Policy Statement (PPS), issued under the authority of Section 3 of the Planning Act “provides policy direction on matters of provincial interest related to land use planning” in order to ensure efficient, cost-efficient development and the protection of resources. All planning applications are required to be consistent with these policies.

Policies in the 2014 PPS relevant to the subject lands are as follows:

*“Significant built heritage resources and significant cultural heritage landscape shall be conserved.” Section 2.6.1*

*“Planning authorities shall not permit development and site alteration on **adjacent lands** to **protected heritage property** except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.” Section 2.6.3*

#### 6.0 PPS Definitions:

**Built heritage resources:** means a building, structure, monument, installation or any manufactured remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Aboriginal community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the Ontario Heritage Act, or included on local, provincial and/or federal registers.

**Significant** (e) in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people.

**Adjacent lands** (d) means those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan.

**Protected heritage property** means *property designated under Parts IV, V, or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Site.*

**Heritage attributes** means *the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant views or vistas to or from a protected heritage property).*

### 3.2 The London Plan

The new City of London Official Plan (The London Plan) has been adopted by Council, but is subject of several appeals to the Ontario Municipal Board. Notwithstanding, consideration must be given to the following Cultural Heritage policies:

*565 “New development, redevelopment, and all civic works and projects on and adjacent to heritage designated properties and properties listed on the Register will be designed to protect the heritage attributes and character of those resources, to minimize visual and physical impact on these resources. A heritage impact assessment will be required for new development on and adjacent to heritage designated properties and properties listed on the Register to assess potential impacts, and explore alternative development approaches and mitigation measures to address any impact to the cultural heritage resource and its heritage attributes.” (Under Appeal)*

586 "The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved. (In Effect)

### 3.3 City of London Official Plan

Since policy 565 is subject to an appeal at the Ontario Municipal Board (LPAT) and is not in force, Section 13 of the existing in force Official Plan applies.

Section 13 provides policies regarding the cultural heritage value of properties in London. Consideration was given to the following policies in the Official Plan:

#### **Section 13.2.3. – Alteration, Removal or Demolition**

*"Where heritage buildings are designated under the Ontario Heritage Act, no alteration, removal or demolition shall be undertaken which would adversely affect the reason(s) for designation except in accordance with the Ontario Heritage Act."*

#### **Section 13.2.3.1 – Alteration or Demolition on Adjacent Lands**

*"Where a heritage building is protected under Parts IV, V or VI of the Ontario Heritage Act, development, site alteration or demolition may be permitted on adjacent lands where it has been evaluated through a Heritage Impact Statement, and demonstrated to the satisfaction of Council that the heritage values, attributes and integrity of the protected heritage property are retained. For the purposes of this section, adjacent lands shall include lands that are contiguous, and lands that are directly opposite a protected heritage property, separated only by a laneway or municipal road."*

### 3.4 Ontario Heritage Tool Kit

The Ontario Ministry of Tourism, Culture and Sport developed the Ontario Heritage Tool Kit as a guide to help understand the heritage conservation process in Ontario.

The tool kit provides guidelines for the preparation of heritage studies, such as Heritage Impact Statements and provides a list of possible negative impacts on a cultural heritage resource. These include, but are not limited to, the following impacts:

1. Destruction of any, part of any, significant heritage attributes or features;
2. Alteration that is not sympathetic, or is incompatible with the historic fabric and appearance;
3. Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
4. Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;
5. Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;

6. A change in land use where the change in use negates the property's cultural heritage value; and
7. Land disturbances, such as change in grade that alters soils and drainage patterns that adversely affect cultural heritage resources.

#### **SECTION 4 – PROPOSED DEVELOPMENT & SUMMARY OF REVISIONS**

The development proposes the demolition of the three existing single detached dwellings and the existing restaurant for the construction of an, L-shaped, 18-storey residential apartment building.

The building will be composed of a 3 to 5-storey podium along Wellington Street, and a 4 storey podium along Grey Street stepping up to an 18 storey tower (See Appendix 4). A total of 246 apartment units are proposed within the building at a residential density of 556 UPH.

A total of 200 parking spaces are proposed at grade and within a two-level underground structure. The underground levels accommodate 162 spaces, while the ground level accommodates 36 spaces, which includes 26 visitor parking spaces and 7 accessible parking spaces. The ground level parking has a proposed green roof canopy to screen the views of some of the surface parking from the apartment building. Access to the site is proposed off Grey Street through a tunnel through the main floor of the proposed building. From the at grade parking there is a covered pedestrian walkway that leads to Wellington Street and the main entrance of the building. The ramp to the parking levels is located to the rear of the building, out of view from the public.

Amenity space for the occupants of the building in the form of rooftop terrace is provided on the 9<sup>th</sup> and 18<sup>th</sup> floors; with other 'private' terraces provided on the 4<sup>th</sup>, 5<sup>th</sup>, 6<sup>th</sup>, 8<sup>th</sup>, and 16<sup>th</sup> floors, with views of Wellington Street and Grey Street. Landscaping is proposed along the Wellington Street and Grey Street frontages, as well as along the interior property lines abutting neighbouring properties.

The proposed building has gone through several revisions since the application was submitted on January 11, 2018. Please review the attached memo from Zedd Architecture for a summary of those changes.

#### **SECTION 5 – ANALYSIS AND MITIGATION**

##### **5.1 Provincial Policy Statement 2014 (PPS)**

The proposed development is consistent with the policies of the 2014 Provincial Policy Statement.

The alterations done to accommodate the commercial restaurant were not sympathetic to the potential heritage attributes and features of the single detached dwelling. The significant built heritage resource was altered and many of the principal residential features and elements that contribute to the property's cultural heritage value/ interest were lost.

The gable in the roof is the only potential heritage attributes that is intact; however, the feature is not rare and is out of context as the remaining portion of the structure has been greatly compromised.

There are no protected heritage properties adjacent to the subject lands as per the PPS definition of "protected heritage property".

Adjacent non-designated listed properties are not considered protected heritage properties. The PPS definition of a protected heritage property means *property designated under Parts IV, V, or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Site.*

## 5.2 The London Plan

The following consideration was given to the London Plan policy 586. Since policy 565 is subject to an appeal at the Ontario Municipal Board (LPAT) and is not in force, Section 13 of the existing in force Official Plan applies.

Policy 586 is a duplicate policy which was not appealed, and is in effect. It states that if a property is adjacent to heritage designated properties or properties listed on the Register the proposal must be evaluated to demonstrate that the heritage attributes of the heritage designated properties and properties listed on the Register are conserved.

There are no heritage designated properties adjacent to the subject lands; and the adjacent listed properties, being non-designated properties, do not have "heritage attributes". This is a defined term under the PPS, which does not apply to non-designated properties.

It is understood Section 4.9 of Provincial Policy Statement states the PPS represents minimum standards and a municipality may exceed those minimum standards provided doing so would not conflict with any policies of the Provincial Policy statements.

However, Policy 586 is not going beyond those standards, it is suggesting an arbitrary process that completely disregards the process of the Ontario Heritage Act.

In order to determine the heritage attributes of a property it must first be considered for protection under Section 29 of the Act. Listed non-designated properties are only candidates for protection and require further research and an assessment using a comprehensive evaluation that is consistent with Ontario Heritage Act Regulation 9/06.

The objective of Policy 586 is the protection, conservation and stewardship of cultural heritage resources.

Staff stated, in the July 31, 2018 memo, it is the obligation of the proponent to demonstrate that the potential heritage attributes of the adjacent non-designated properties are conserved.

Putting this obligation on the applicant of an adjacent property does not fit within the best practice for heritage conservation.

The key proponent in a designation of a property under the Ontario Heritage Act should be the property owner, not an applicant of a development that is adjacent.

### 5.3 City of London Official Plan

The proposed development is consistent with Section 13.2.3.1 of the City of London Official Plan. There are no lands that are contiguous, or that are directly opposite (separated only by a laneway or municipal road) that are protected under Parts IV, V or VI of the Ontario Heritage Act.

### 5.4 Ontario Heritage Tool Kit

As per the Ontario Heritage Tool Kit, there are no lands that are adjacent to the subject lands that are protected under Parts IV, V or VI of the Ontario Heritage Act. The tool kit states "...listing non-designated properties does not offer any protection under the Ontario Heritage Act..." It does state the Provincial Policy Statement does acknowledge listed properties, however, not adjacent listed properties. It acknowledges adjacent protected heritage property, which does not include listed non-designated properties.

The adjacent listed properties are not protected under the Ontario Heritage Act, therefore are not considered protected heritage properties as per the PPS.

## **SECTION 6 – RESPONSE TO JUNE 13, 2018 LONDON ADVISORY COMMITTEE ON HERITAGE (LACH)**

The following is a response to the comments from the June 13, 2018 meeting of the London Advisory Committee on Heritage regarding the Heritage Impact Statement dated April 2018:

### 6.1 **The lack of compatibility and sympathy with the adjacent heritage listed and designated properties with respect to setback, material and design, particularly as it relates to the property located at 143 Wellington Street.**

There are no designated properties adjacent to the subject lands. 131/129 and 138 Wellington Street are both designated under Part IV of the Ontario Heritage Act but are not considered adjacent as per the Provincial Policy Statement (PPS) definition of adjacent, which means those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan.

The definition of adjacent in the London Plan is subject to an appeal at the Ontario Municipal Board, therefore is not in force, Section 13 of the existing Official Plan shall apply.

As per Section 13.2.3.1 of the City of London Official Plan, 131/129 and 138 Wellington Street are protected under Part IV of the Ontario Heritage Act, but are not contiguous, and are not directly opposite (separated only by a laneway or municipal road) to the subject lands.

The subject property was adjacent to the following non-designated listed properties when the Zoning By-law Application was submitted to the City on January 11, 2018.

- 171/169 Wellington Street
- 146 Wellington Street
- 154 Wellington Street



- 156 Wellington Street
- 254 Hill Street

143 or 152 Wellington Street were not listed as a non-designated property on the Register (Inventory of Heritage Resources) at that time.

Regardless, adjacent non-designated listed properties are not considered protected heritage properties as per the definition in the PPS. Protected heritage property means *property designated under Parts IV, V, or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Site.*

PPS policy 2.6.3 does not apply to adjacent non-designated listed properties.

Policy 586 of the London Plan states that if a property is adjacent to heritage designated properties or properties listed on the Register the proposal must be evaluated to demonstrate that the heritage attributes of the heritage designated properties and properties listed on the Register are conserved.

There are no heritage designated properties adjacent to the subject lands; and the adjacent listed non-designated properties have not been evaluated.

Policy 586 states that "heritage attributes" of properties listed on the Register will be conserved, not "potential heritage attributes". Any heritage attributes identified by an evaluation can only be interpreted as draft or potential heritage attributes at this time.

## **6.2 It does not encourage active commercial uses at grade in order to continue to support the historically commercial streetscape.**

It is understood this area has been identified as a potential area for a Heritage Conservation District; however, a study has not been completed nor has a district plan been completed. Stating the area as a historically commercial streetscape is premature at this time.

Based on the research done for the HIS, historically this area of Wellington Street was not solely a commercial streetscape. Research of fire insurance mapping and business directories show some commercial uses in this area but it was not the dominant use. Other more dominating uses included single detached residential dwellings and institutional uses (churches). Historically this section of Wellington Street was a mixed-use streetscape of mostly residential with some commercial.

## **6.3 It does not properly consider the potential cultural heritage value of the on-site building at 147-149 Wellington Street.**

The subject property was not listed on the Register (Inventory of Heritage Resources) when the Zoning By-law Application was submitted to the City on January 11, 2018. It was added at a later time through the London Advisory Committee of Heritage (LACH) review of the

draft Cultural Heritage Screening Report (CHSR) – London Bus Rapid Transit System (WSP, February 6, 2018).

Our client was not aware of this process nor were made aware during discussions with staff prior to the acceptance of the Zoning By-law application.

An evaluation using Regulation 9/06 has been completed and it has been determined the property does not warrant designation under the Ontario Heritage Act.

## **SECTION 7 – CONCLUSION**

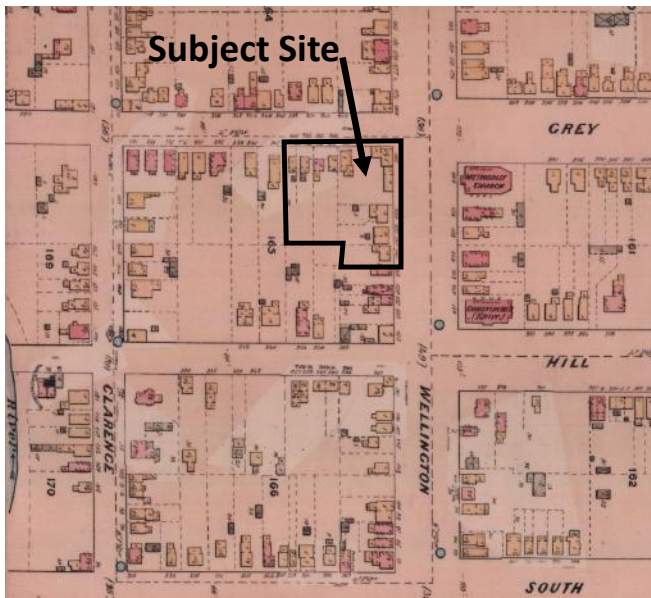
The proposed development is in keeping with the direction of the London Plan. It is not necessary that new development emulate existing built form or fabric; contrast is often an applauded solution, more so in an existing mixed-use context. The subject lands are situated within an area that is characterized by a mix of uses (residential, commercial, institutional, open space), densities (low-rise, high-rise residential), and architectural design. The subject lands are also within a Rapid Transit Corridor which are areas where intensification and higher densities are directed.

It is our opinion there are no cultural heritage resources on or adjacent to the subject lands.

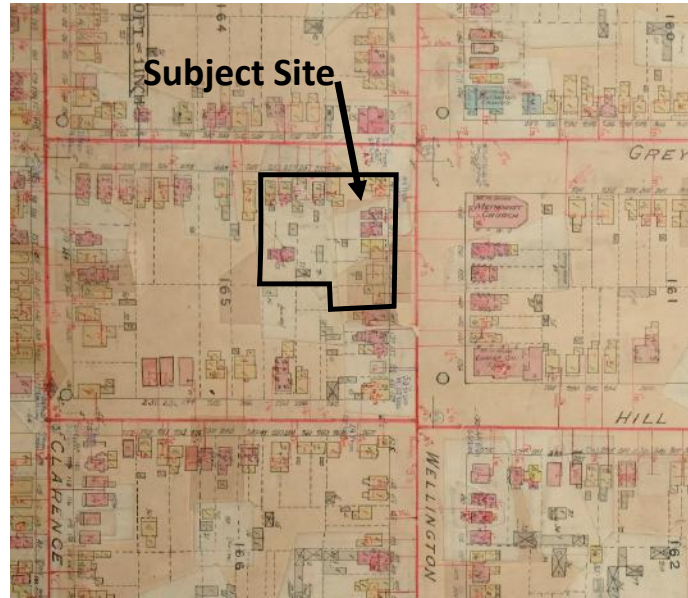
It has been demonstrated that none of the properties that make up the subject site are designated under the Ontario Heritage Act and 147–149 Wellington Street (Family Circle Restaurant) does not warrant designation under the Ontario Heritage Act. There is no heritage district plan in place, there are no adjacent designated heritage properties and the adjacent listed non-designated properties do not have heritage attributes because they have not been properly evaluated.

**Appendix 1-5**

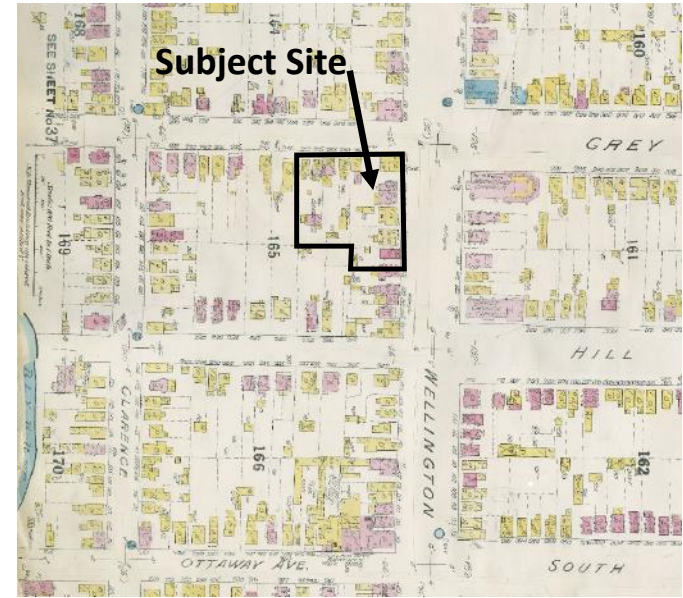
# Fire Insurance Mapping



1881 Rev. 1888 Insurance Plan



1892 Rev. 1902 Insurance Plan



1912 Rev. 1922 Insurance Plan

*Note: Boundaries of Subject Lands are Approximate*

Air Photos



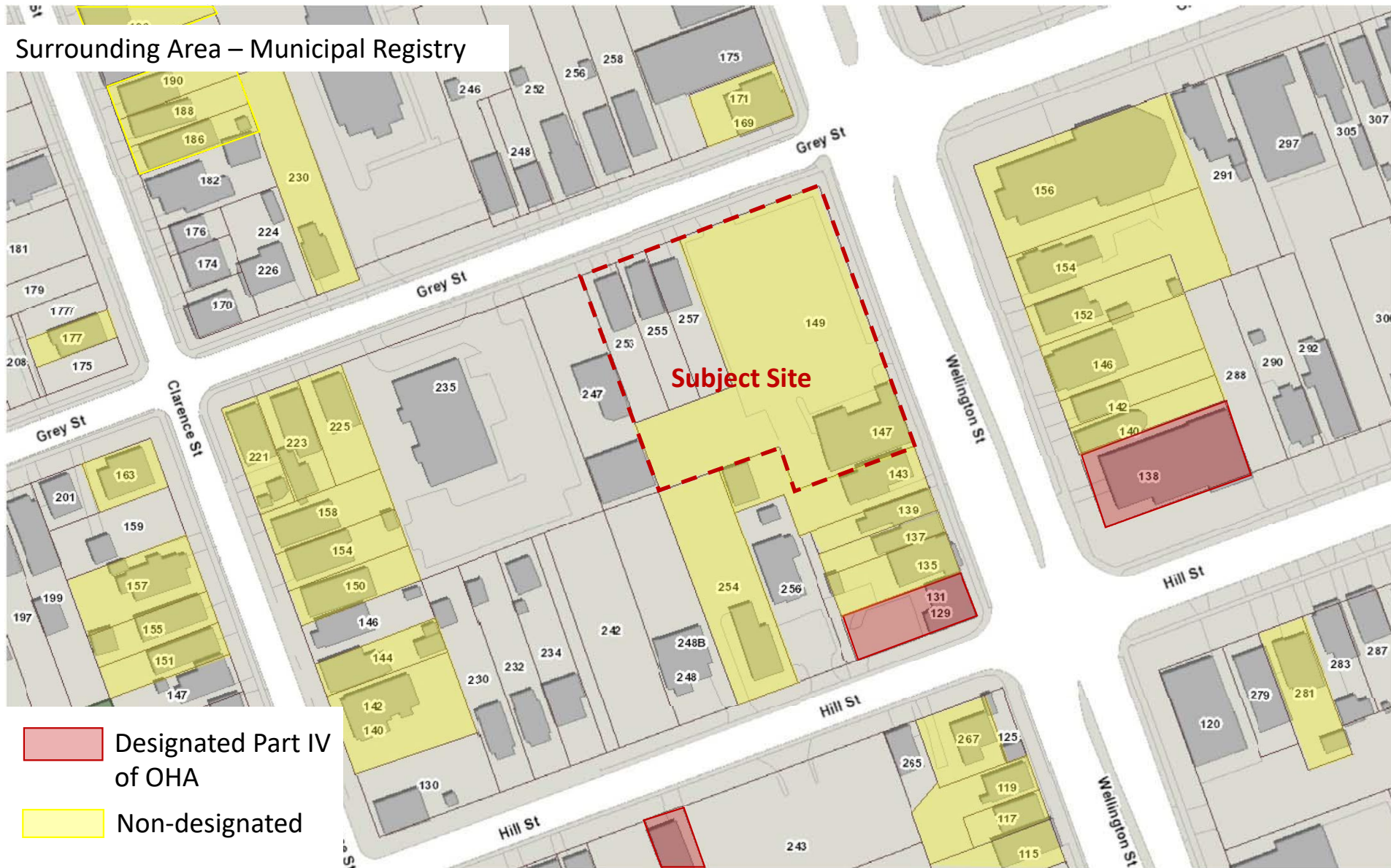
1922 Air Photo



1950 Air Photo

*Note: Boundaries of Subject Lands are Approximate*

### Surrounding Area – Municipal Registry



Evaluation of 147-149 Wellington Street using Ontario Heritage Act Regulation 9/06

Cultural Heritage Value	Criteria	Evaluation
The property has design value or physical value because it,	Is a rare, unique representative or early example of a style, type expression, material or construction method.	This type of architectural style is not a unique style in London and many better examples can be found throughout the City.
	Displays a high degree of craftsmanship or artistic merit	Any degree of craftsmanship or artistic merit that may have existed has been obscured or removed by the additions to the first-floor exterior. The gable in the roof remains intact and one of the only heritage features from the residential dwelling. It contains bargeboards ornamented with rows of roundels and fields filled with scalloped wood shingles. The gable contains paired windows with wood jambs and sills, rising from each jamb is a console bracket, fluted on the outside edge that supports a projecting board in the apex that features a sunburst design.
	Demonstrates a high degree of technical or scientific achievement	No evidence of a high degree of technical or scientific achievement was found.
	Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	Other than its relationship as part of the broader SoHo Neighborhood and early development in London, the building is not known to have any significant historical associations.
	Yields, or has the potential to yield, information that contributes to an understanding of a community or cultural	The property is not believed to yield, or have the potential to yield, information that contributes to an understanding of a community or culture.
	Demonstrated or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	The property is not known to demonstrate or reflect the work of an architect, artist, builder, designer, or theorist who is significant to a community.
	Is important in defining, maintaining, or supporting the character of an area	147-149 Wellington Street is located in the SoHo Neighborhood (identified as a future HCD study area) and contributes to a common residential style of that area. However, the original residential structure has been altered to accommodate a commercial use. It is not the best example of the Queen Anne style in this area.
	Is physically, functionally, visually, or historically linked to its surroundings	This property does not display any unique, significant, or outstanding links to its surroundings.
	Is a landmark	The property is not believed to be a landmark.

147 -149 Wellington Street



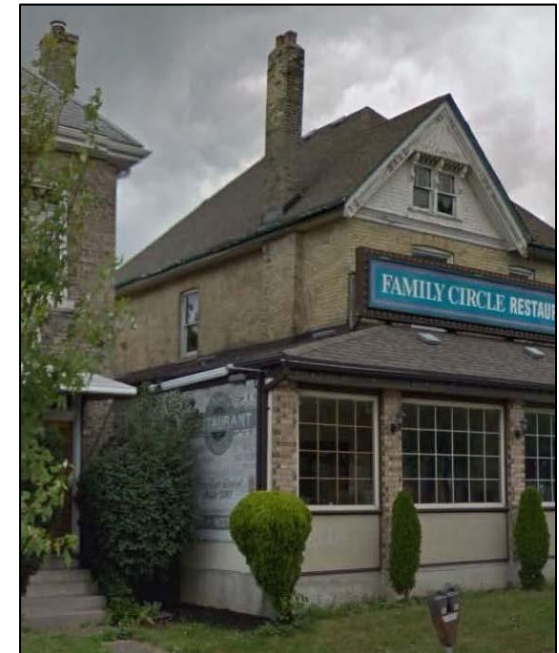
Outline of Original Residential Dwelling



Gable Detail



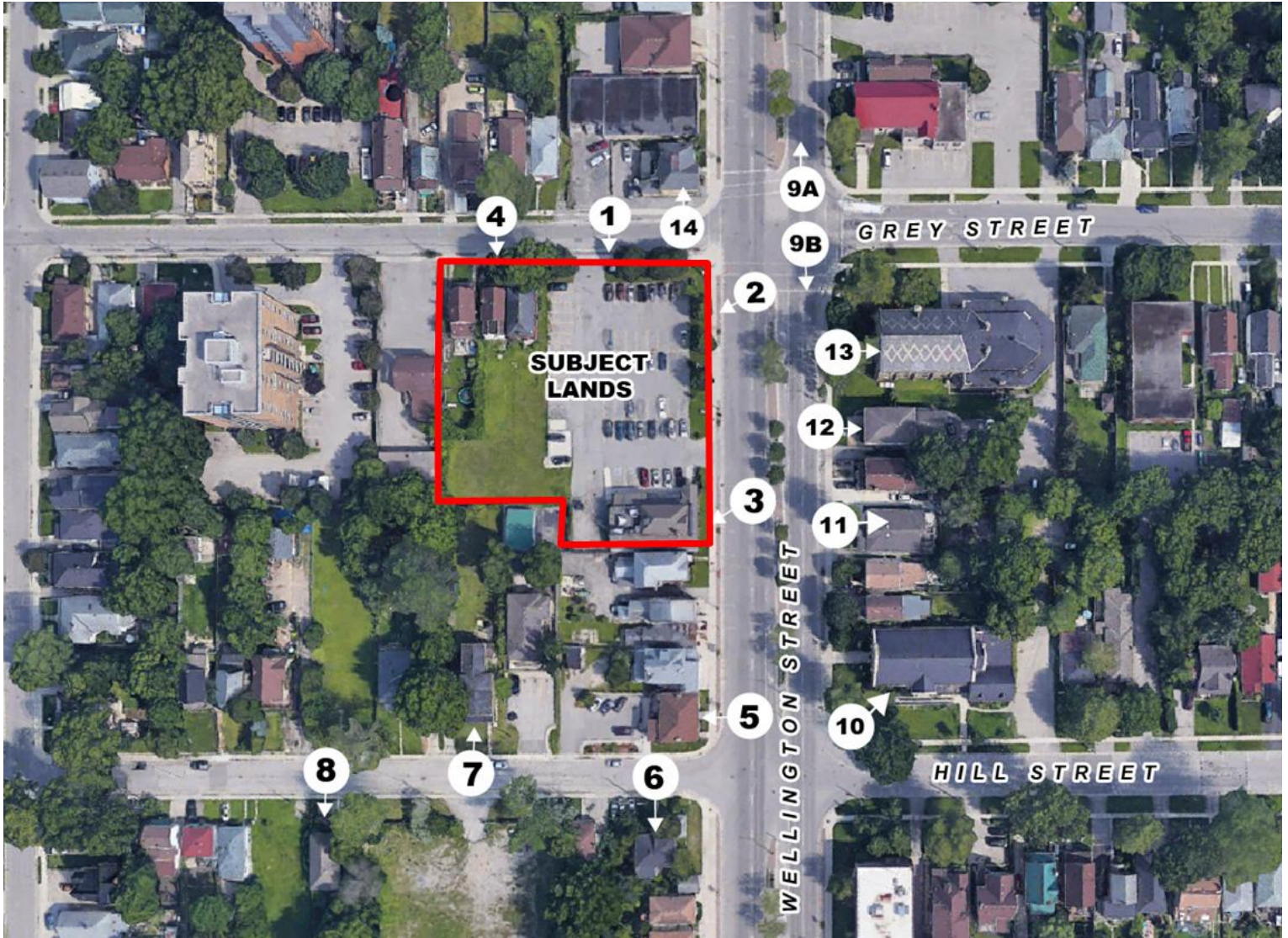
South side of Building showing original window





# PHOTO INDEX MAP

Heritage Impact Statement  
147 Wellington Street/253-257 Grey Street





1. Subject lands from Grey street, looking south



2. Subject lands from Wellington Street, looking southwest

## Appendix A - Photo Inventory

Page 1 of 8

Heritage Impact Statement – 147 Wellington Street/253-257 Grey Street



3. Family Circle restaurant in the south portion of the subject lands. To be demolished.



4. Single detached homes on Grey Street in the east portion of the subject lands. To be demolished.

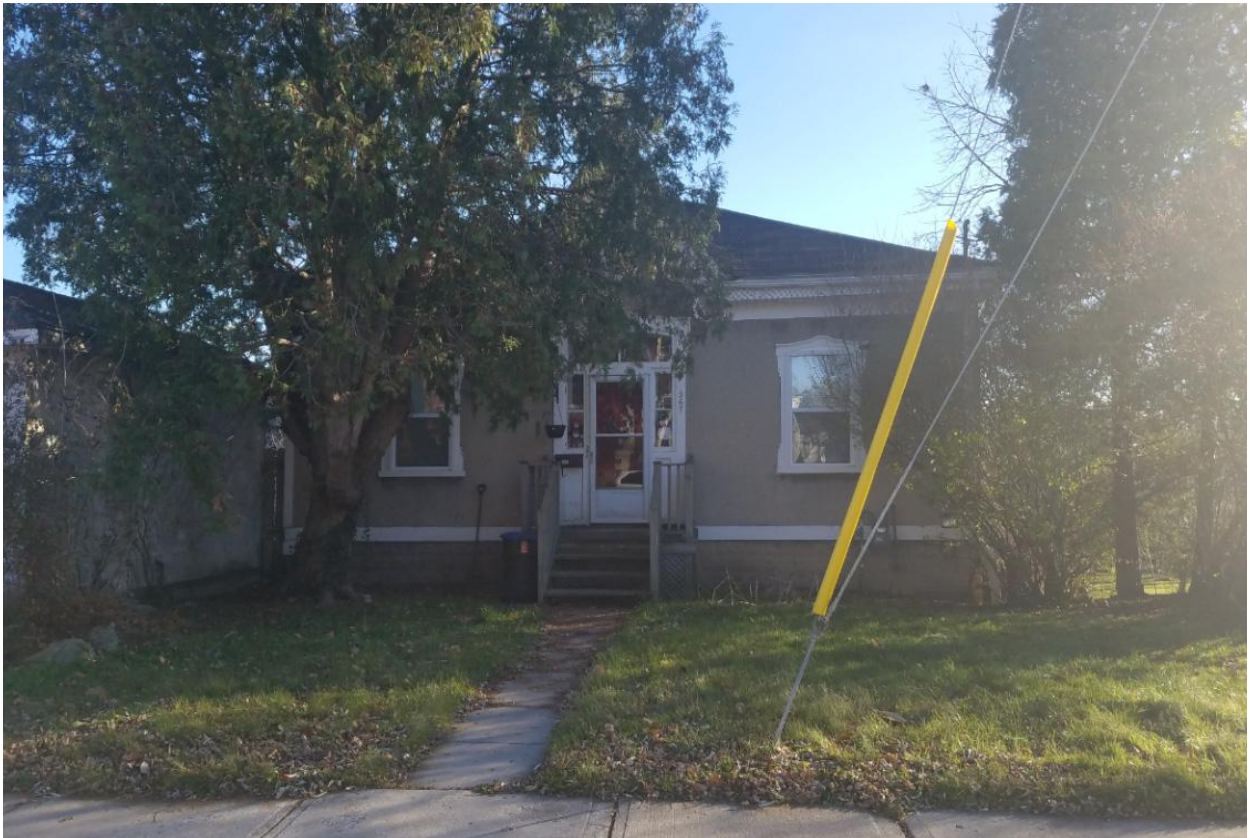
## Appendix A - Photo Inventory

Page 2 of 8

Heritage Impact Statement – 147 Wellington Street/253-257 Grey Street



5. 129, 131 Wellington Street looking west



6. 267 Hill Street looking south



7. 254 Hill Street looking north



8. 239 Hill Street looking south



9A. Wellington Street corridor facing north



9B. Wellington Street corridor facing south

**Appendix A - Photo Inventory**

Heritage Impact Statement – 147 Wellington Street/253-257 Grey Street



10. 138 Wellington Street looking east



11. 146 Wellington Street looking east

**Appendix A - Photo Inventory**

Heritage Impact Statement – 147 Wellington Street/253-257 Grey Street



12. 152 Wellington Street looking east



13. Adjacent place of worship use to the east of Wellington Street

## Appendix A - Photo Inventory

Page 7 of 8

Heritage Impact Statement – 147 Wellington Street/253-257 Grey Street





14. Adjacent commercial use to the north of the subject lands



### Parking Calculations

Total Below Ground for Residences	162 Spaces
Total Above Ground for Residences	5 Spaces
Total Spaces for Visitors (1 per 10 units)	26 Spaces
Total Accessible Parking (1 + 3% of parking) 7 Required	7 Spaces
<b>Total Overall</b> (Area 2 = 1 per unit)	<b>200 Spaces</b>

Total Bike Storage (0.75 per unit)	1,660 SF (154 sq.m.)
Total Gross Area for Parking	74,900 SF (6,958 sq.m.)

### Site Stats

Building Height:	204' (62.2 m) [18 Storeys]
Building Footprint:	14,670sf (1,363 sq.m.)
Lot Area:	47,584sf (4,421 sq.m.)
Lot Coverage:	31%
Landscape Open Space:	17% (8,150 SF [757 sq.m.])

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17-019 ONE FORTY SEVEN

Jam Properties Inc.

SITE - GFL

AUGUST 23rd, 2018 A-001



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www.zeddarchitecture.com info@zeddarchitecture.com



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Jam Properties Inc.

CORNER PERSPECTIVE

AUGUST 23rd, 2018

A-002

zedd

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WELLINGTON STREET ELEVATION

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WELLINGTON PERSPECTIVE

AUGUST 23rd, 2018 A-003

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- MIXED BRICK - DARK
- RIBBED CONCRETE PROFILE - ORANGE TINT
- GLASS GUARD
- SAND TEXTURED CONCRETE FINISH
- RIBBED CONCRETE PROFILE - ORANGE TINT

- DECORATIVE METAL CANOPY
- SAND TEXTURED CONCRETE FINISH
- MIXED BRICK - DARK
- RIBBED CONCRETE PROFILE - ORANGE TINT
- SPANDREL PANEL - DARK WITH WHITE FEATURE
- GLAZING SYSTEM - DARK MULLIONS
- GLASS GUARD
- OFF-WHITE MASONRY CAP
- MIXED BRICK - DARK
- EXTERIOR LIGHT FIXTURE - UP/DOWN SCNCE
- POWDER COATED BLACK STEEL CANOPY FRAME

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WELLINGTON ELEVATION

AUGUST 23rd, 2018 A-004

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- SAND TEXTURED CONCRETE FINISH
- MIXED BRICK - DARK
- GLASS GUARD
- RIBBED CONCRETE PROFILE - ORANGE TINT
- POWDER COATED BLACK STEEL CANOPY FRAME

- DECORATIVE METAL CANOPY
- MIXED BRICK - DARK
- RIBBED CONCRETE PROFILE - ORANGE TINT
- GLAZING SYSTEM - DARK MULLIONS
- SAND TEXTURED CONCRETE FINISH
- GLASS GUARD
- OFF-WHITE MASONRY CAP
- SPANDREL PANEL - DARK
- EXTERIOR LIGHT FIXTURE - UP/DOWN SCENCE
- MIXED BRICK - DARK

GREY STREET ELEVATION



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17-019 ONE FORTY SEVEN

Jam Properties Inc.

PODIUM

AUGUST 23rd, 2018 A-006

zedd

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## UDPRP Response – 147-149 Wellington Street – Jam Properties

Date of UDPRP Review – Zoning By-law Amendment – Review Date May 16, 2018.

	<u>UDPRP Comments</u>	<u>Zedd Response</u>
1	<p>A The Panel commends the high level of the Applicant's submission documents. Furthermore, presenting the evolution of the project was very helpful and offered insight into opportunities that could be explored</p> <p>B further to assist in breaking down the proposed massing.</p>	<p>A No Action Required</p> <p>B Further refinements in the overall design have occurred where the physical massing has been reduced on both Grey and Wellington Streets reinforcing distinct and significant stepping in the building façade and reducing the massing and floor plate of the tower. Further refinements in the articulation of materials has also contributed to additional contextual scale reduction.</p>
2	<p>A The Panel has concern over the massing of the proposed building on the site and its significant presence at the corner of Wellington Street and Grey Street.</p> <p>B Consideration should be made for additional volume at the entrance, and possible glazing, to mitigate this concern.</p>	<p>A The building has been significantly modified on both street frontages to reduce the overall massing of the building and in turn decreasing the tower floor plate to approx. 1000 meters sq. and number of units.</p> <p>B Glazing at the entry façade as well as a glazed canopy have reinforced the entrance area that in turn assists in a strong identifying entry feature and in turn breaks the building massing.</p>
3	<p>The Panel noted that the length of the tower wings on both Wellington Street and Grey Street seem out of scale to the existing and planned context of the site and neighbourhood, resulting in a large street wall affecting the public realm.</p>	<p>The tower wings are limited to 8 storeys on Wellington Street as per Planning recommendations and reduced to 7 storeys on Grey Street.</p> <p>In both instances the major setbacks are 3 meters. The Wellington Street podium is 5 storeys and the tower wing 3 storeys providing a well proportioned hierarchy of form. This is repeated on Grey Street with a 4 storey podium and 3 level tower wing. In addition the tower itself has reduced in mass providing a more subtle composition of the podium and tower wings.</p> <p>Grey Street has a podium of 4 storeys to respond to the narrower street and residential nature heading west – stepping to the 7 storeys – which is well below the adjacent existing apartment building consisting of 10 storeys.</p> <p>Wellington Street, with the BRT planned intensification anticipated in the London Plan, would see the context evolve to larger building forms.</p> <p>This is the first building to be incorporated within the Intensification Plan – and the need for a future vision is a necessary instrument in assessing the project in this location.</p>

4	<p>The Panel noted that the size and height of the podium massing is large in comparison to the surrounding residential neighbourhood, creating a disconnect between this development and its context. It was noted the podium would benefit from further articulation, to breakdown its scale, making it relate more to the context and reduce its presence on the streetscape.</p>	<p>The podium wings have been provided further design detailing with additional façade planes to create shadow and distinctive breaks in the façade. This and a material change now undulates the former linear form of the wings into a scale that is in keeping with the context of the historical streetscape.</p>
5	<p>The Panel noted that the overall massing would cast significant shadowing for an extended period on the surrounding low-rise residential neighbourhoods outside of the planned transit corridor.</p>	<p>An appropriate shadow study would be necessary to verify this comment of a '<i>significant affect outside the planned transit corridor</i>'.  The overall footprint of the tower has also been decreased to approx. 1000 meters sq.  Noting that this is a planned higher density BRT Corridor then the results of shadow affect would be expected as part of the results of increased development and height.  The shadow study provided as part of the submission indicates that western cast shadows at summer solstice June 21 8:a.m. have little affect on the Grey Street residences on the north side of Grey Street. The easterly cast shadows summer solstice June 21<sup>st</sup>. 6 pm - fall primarily over Wellington Street and the commercial buildings on the east side of Wellington Street.  While the tower component shadow extends further affecting 1 or 2 houses at a time in an easterly direction – It should be noted that the tower component the development has now been reduced to a 10,000 sq. ft. footprint reducing its shadow affect south east and west. This footprint is a Planning recommended and preferred size in order to mitigate the shadow affect.</p> <p>An updated shadow study would further define these parameters upon submission for SPA.</p>
6	<p>The Panel suggested considering warmer materials to better relate to the surrounding context.  The Panel commended the applicant on the design details that incorporate the orange accent colour and the texture, depth and articulation of the building.</p>	<p>The podium exterior will be brick in order to emulate the residential nature of the neighborhood that consists of a mixture of residential types both in brick and wood cladding.  As noted additional color and texture and depth in the materials and design will further articulate the building.</p>
7	<p>The Panel noted that the balcony features emphasize the horizontality of the building wings, seemingly extending the massing and length of the building – they may benefit</p>	<p>There are three or four types of exterior private spaces for the inhabitants of the building. The lower podium units incorporate a recessed balcony for the purposes of privacy to the street – cars and pedestrians. The</p>

	<p>from emphasizing the verticality of the project, reducing its perceived width.</p>	<p>tower and tower wings have both traditional slab balconies where they can tuck partially into the corner of the building and the articulated C-shaped balconies that are designed as vertical elements that are staggered on the building façade to draw your eye upward. These more expressive balconies incorporate the textured and colored panels noted in item 6 above by the Panel.</p> <p>The podium as noted above has been re-designed and is much more segmented and articulated to reduce significantly the linear form of the podium.</p>
8	<p>The Panel noted that the building would benefit from a simplification of form and elements, to help reduce its massing and reduce its presence on the site.</p>	<p>The building as noted has been re-designed to reduce the overall massing and incorporate many of the comments received from the Panel while maintaining the essence of the design and maintain a level of articulation in form, color and texture.</p>
9	<p>There is concern from the Panel about the proposed “bonusable” features that would support an increase in height from the allowable 12 storeys to 16 storeys, per the London Plan, let alone the proposed 18 storeys. The panel appreciates the underground parking and the level of design attention and detail given to this project. However, the Panel would recommend that the massing reduce to better relate to the surrounding public realm and be in keeping with the allowable building heights outlined in the London Plan.</p>	<p>“The “bonusable” features for the proposed development have been subject to ongoing discussions with City Staff and will be determined once the specifics of the development (ie. height, density, etc.) have been finalized.</p> <p>However, it should be noted that the bonusable features may extend beyond an enhanced building design, underground parking, etc. Other items or contributions that are deemed to be of benefit to the public may be included as well in order for the overall bonusing to be commensurate with the increased height and density for the project.</p>

Diagram 1 – Revisions to Building Design – April – August 2018



APRIL 18 2018 SUBMISSION



262 UNITS



REVISIONS - POST UDPRP PANEL - MAY 16 2018



ELEVATIONS PRESENTED AT PUBLIC MEETING JUNE 26 2018 246 UNITS



REVISIONS - POST MEMO PLANNING - JULY 31 2018



240 UNITS



AUGUST 24 2018 FINAL ELEVATIONS

## POST PLANNING MEMO JULY 31 2018 – DESIGN REVISIONS

### Podium Review

The variation in height for the podium is integral to the building design and specifically to the corner entrance at Wellington and Grey Streets.

Wellington Street is over 3 times the width of Grey Street, it is and shall be a much busier street with commercial based activities that warrants and can incorporate a taller podium level. Grey Street is much narrower and will and should be more residential in nature and scale. The podium levels respond to these two conditions and look to consciously avoid a standard datum line around the building that reinforces a linear mass.

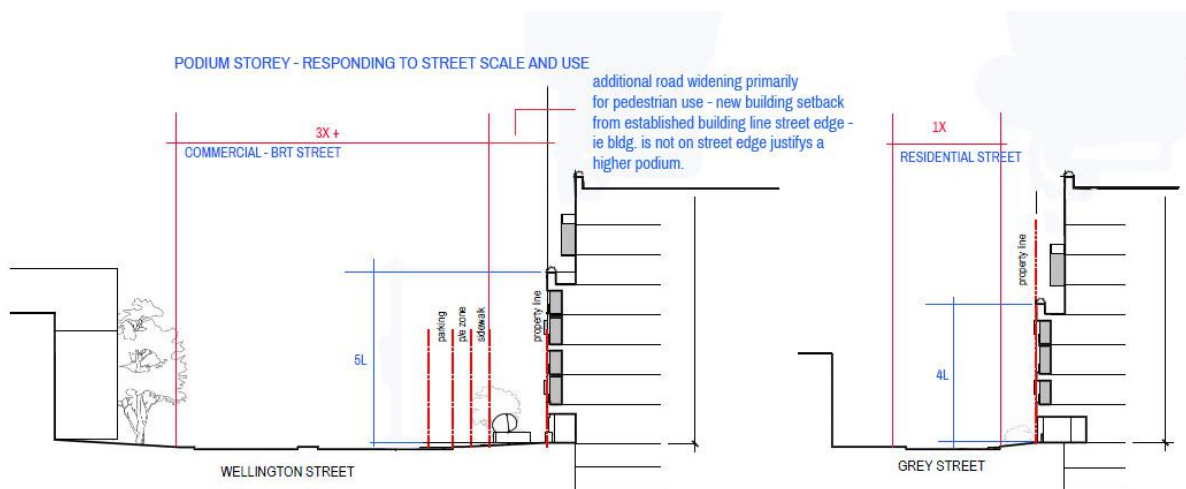
Further these two variations in levels are intentional in order to allow for an architectural transition at the entry that is fully glazed and in contrast to the brick faced podium. This creates tension and interest for the building and strengthens the corner building entry as a strong visual architectural statement.

The taller podium also serves to provide appropriate proportions to the massing elements along Wellington Street that would see a base of 5 storeys and the tower wings at 3 storeys running horizontally – that tie into the similar proportioned building cantilever running vertically. Changes to the podium to 4 storeys would simply cause an imbalance in this façade and has no merit in urban design nor architectural design as identified above. Grey Street podium maintains 4 storeys with a reduction to the tower wing to 3 storeys as well as being pronounced with an additional step in the façade.

The building has undergone several revisions responding to multiple requests for changes to address the massing while looking to maintain the integrity of the building design. These requests have been responded to with care noting that they have a significant domino affect on the design of the building which is now a very complex series of stepping forms both vertically and horizontally in elevation and plan that far exceeds any other building design in London to date. It is therefore imperative that an understanding of the design and the integrity of same is understood.

We trust the explanation and direction presented above as well as the diagrams below will provide that understanding.

Diagram 2 – showing Wellington and Grey Street – widths in comparison to podium heights.



**SOURCES**

City of London Fire Insurance Plans 1881 (revised 1888), 1892 (revised 1902) and 1912 (revised 1922), University of Western Ontario Libraries Map and Data Centre;

Aerial Photos, 1922 and 1950, University of Western Ontario Libraries Map and Data Centre;

Inventory of Heritage Resources 2006, City of London; and

Ontario Heritage Tool Kit, Ministry of Tourism, Culture and Sport.

## Report to London Advisory Committee on Heritage

**To:** Chair and Members  
London Advisory Committee on Heritage

**From:** Scott Mathers, MPA, P. Eng.,  
Deputy City Manager, Planning and Economic Development

**Subject:** Heritage Alteration Permit Application by S. Thomson at 18  
Byron Avenue East, Wortley Village-Old South Heritage  
Conservation District

**Date:** Wednesday April 13, 2022

## Recommendation

That, on the recommendation of the Director, Planning and Development, with the advice of the Heritage Planner, the application under Section 42 of the Ontario Heritage Act seeking approval for the proposed addition and alterations to the heritage designated property at 18 Byron Avenue East, within the Wortley Village-Old South Heritage Conservation District **BE REFUSED**.

**IT BEING NOTED** that the proposed addition and alterations do not comply with the *Wortley Village-Old South Heritage Conservation District Plan* policies, *The London Plan* policies, and the *Provincial Policy Statement*.

## Executive Summary

The property at 18 Byron Avenue East includes a one-storey cottage type dwelling which contributes to the heritage character of the Wortley Village-Old South Heritage Conservation District. As a “C-rated” property, the property’s form and massing belong to a historic grouping of buildings, that is noted for its representation as a modest design within the Wortley Village-Old South Heritage Conservation District. The owner of the property has submitted a Heritage Alteration Permit application seeking approval for the construction of a two-storey addition to the front, rear and side of the existing single storey cottage and attached garage. The alterations would result in irreversible impacts to the form, scale, mass, and style of the dwelling on the subject property, and would result in the construction of a dwelling that does not comply with the policies and guidelines of the Wortley Village-Old South Heritage Conservation District, *The London Plan*, and the *Provincial Policy Statement*. The recommended action is to refuse the application.

## Linkage to the Corporate Strategic Plan

This recommendation supports the following 2019-2023 Strategic Plan areas of focus:

- Strengthening Our Community:
  - Continuing to conserve London’s heritage properties and archaeological resources.

## Analysis

### 1.0 Background Information

#### 1.1 Property Location

The property at 18 Byron Avenue East is located on the north side of Byron Avenue East between Wharncliffe Road South and Birch Street (Appendix A).



## 1.2 Cultural Heritage Status

The property at 18 Byron Avenue East is located within the Wortley Village-Old South Heritage Conservation District, which was designated pursuant to Part V of the Ontario Heritage Act by By-law No. L.S.P.-3439-321 in 2015.

The property is identified within the Wortley Village-Old South Heritage Conservation District as a “C-rated” property. Properties located within the proposed boundary for the Wortley Village-Old South Heritage Conservation District were assessed and identified during the Study phase for the purposes of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*. “C-rated” properties were identified as:

- *The form and massing of the building belonged to a historical family of buildings; and,*
- *The building is a good example of a modest design representing the area or repeated in many locations.*

Further, Appendix A of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* notes that C-rated properties may “have been altered but still contribute to the overall streetscape” (Appendix A, *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*).

## 1.3 Description

The existing dwelling at 18 Byron Avenue East was constructed between 1883 and 1889 and is a one storey cottage, built on a rusticated concrete block foundation, with a hipped roof. The front façade of the dwelling includes a well-proportioned and balanced facade, a characteristic of the cottages found in the Wortley Village-Old South Heritage Conservation District and elsewhere in London. The exterior cladding of the dwelling consists of horizontal vinyl siding. However, an investigation under the siding suggests that the original wood siding may be extant under layers of modern siding. The porch across the front façade of the dwelling consists of a covered front porch with a small, centered gable peak. The four posts supporting the porch roof have been clad with aluminum siding, with the lintel beam of the porch clad in vinyl siding. The railing systems consists of a metal railing system (Appendix B).

The windows on the dwelling have been replaced with vinyl double-hung window units but most of the historic window openings remain in place. The dwelling also includes two small rear additions, the first being a single storey gable roof addition, and the second a smaller addition with a shed roof. Based on an analysis of historic Fire Insurance Plans, the first addition appears to have been constructed shortly after the dwelling was constructed. The second smaller addition was constructed by 1915.

A detached garage is also located to the east of the house. Consisting of a frame structure with a gable roof, the exterior of the garage is clad with plywood on the front elevation and standing seam metal siding on the other three elevations. The garage is visible on the 1957 Geodetic Survey of London.

The dwelling on the property is one of several single storey cottages located on Byron Avenue East and within the Wortley Village-Old South Heritage Conservation District which contribute to the streetscape of the Heritage Conservation District. Although the dwelling has been subject to some alterations, its scale, form, mass, and style contribute to the streetscape and the cultural heritage value of the Wortley Village-Old South Heritage Conservation District.

## 2.0 Discussion and Considerations

### 2.1 Legislative and Policy Framework

Cultural heritage resources are to be conserved and impacts assessed as per the policies of the *Provincial Policy Statement (2020)*, the *Ontario Heritage Act*, and *The London Plan*.

### **2.1.1 Provincial Policy Statement**

Heritage conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (2020)* promotes the wise use and management of cultural heritage resources. Policy 2.6.1 of the *Provincial Policy Statement (2020)* directs that “significant built heritage resources and significant cultural heritage landscapes shall be conserved.”

### **2.1.2 Ontario Heritage Act**

Section 42 of the *Ontario Heritage Act* requires that a property owner not alter, or permit the alteration of the property without obtaining Heritage Alteration Permit approval. The *Ontario Heritage Act* enables Municipal Council to give the applicant of a Heritage Alteration Permit:

- a) The permit applied for
- b) Notice that the council is refusing the application for the permit, or
- c) The permit applied for, with terms and conditions attached (Section 42(4), *Ontario Heritage Act*)

Municipal Council must make a decision on the Heritage Alteration Permit application within 90 days or the request is deemed permitted (Section 42(4), *Ontario Heritage Act*).

#### **2.1.2.1 Contraventions of the Ontario Heritage Act**

Pursuant to Section 69(1) of the *Ontario Heritage Act*, failure to comply with any order, direction, or other requirement made under the *Ontario Heritage Act* or contravention of the *Ontario Heritage Act* or its regulations can result in the laying of charges and fines up to \$50,000.

### **2.1.3 The London Plan**

The policies of *The London Plan* found in the Cultural Heritage chapter support the conservation of London’s cultural heritage resources. Policy 554\_ of *The London Plan* articulates one of the primary initiatives as a municipality to “ensure that new development and public works are undertaken to enhance and be sensitive to our cultural heritage resources.” To help ensure that new development is compatible, Policy 594\_ of *The London Plan* provides the following direction:

1. *The character of the district shall be maintained by encouraging the retention of existing structures and landscapes that contribute to the character of the district.*
2. *The design of new development, either as infilling, redevelopment, or as additions to existing buildings, should complement the prevailing character of the area.*
3. *Regard shall be had at all times to the guidelines and intent of the heritage conservation district plan.*

### **2.1.4 Wortley Village-Old South Heritage Conservation District**

#### **2.1.4.1 Additions**

The relevant policies included within Section 4.2.1 (Alterations and Additions) of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* note:

*4.2.1.b Minor exterior alterations and additions to single detached dwellings may be permitted, consistent with the scale and character of the buildings on adjacent properties and the streetscape; such alterations within front or side yards are discouraged. Significant alterations and/or additions should be to the rear or in areas not visible from the street.*

*4.2.1.f Additions shall be subordinate to the original structure to allow the original heritage features and built form to take visual precedence on the street.*

*4.2.1.g Design guidelines provided in Section 8 and 9 of this Plan will be used to review and evaluate applications for additions and alterations to ensure that the proposed changes are compatible and do not result in*

*the irreversible loss of heritage attributes or adversely impact the cultural heritage value or interest of the HCD.*

Guidelines are included in Section 8.3.2 (Additions) to illustrate these policies. Specifically, Section 8.3.2.1 (Recommended Practices and Design Guidelines) states:

*Additions that are necessary should be sympathetic and complementary in design and clearly distinguishable from the original construction by form or detail. The use of traditional materials, finishes and colours rather than exact duplication of form, can provide appropriate transition between additions and original structures.*

Further, Section 8.3.2.2 (Case Studies) includes a list of guidelines to follow when designing additions to dwellings:

- a) *Additions should be located away from principal façade(s) of heritage properties, preferably at the rear, to reduce the visual impact on the street(s).*
- b) *Form and details of the addition should be complimentary to the original construction, with respect to style, scale, and materials but still distinguishable to reflect the historical construction periods of the property.*
- c) *The height of any addition should be similar to the existing building and/or adjacent buildings to ensure that the addition does not dominate or adversely impact the original building, adjacent properties, the streetscape, and the HCD.*
- d) *Additions should not obscure or remove important heritage attributes, including architectural features, of the existing building.*
- e) *Additions should not negatively impact the symmetry and proportions of the building or create a visually unbalanced façade*
- f) *New doors and window should be of similar style, orientation and proportion as on the existing building. The use of appropriate reclaimed materials should be considered.*
- g) *New construction should avoid irreversible changes to original construction.*

#### **2.1.4.2 Garages**

The Wortley Village-Old South Heritage Conservation District Plan and Guidelines does not contain policies specific to the construction of new garages on existing heritage properties. However, guidance is provided in Section 4.1.1 (Development Pattern) of the Heritage Conservation District Policies identifies that the area is primarily residential with consistent front yard setbacks and no front (attached) garages). The guidance includes the following policies related to construction of garages as a part of new builds or infill buildings:

*g) Parking for new or replacement dwellings is to be located in the driveways at the side of the dwelling or in garages at the rear of the main building, wherever possible. New attached garages at the front of the building are discouraged. Garages shall not extend beyond the main building façade.*

#### **2.1.4.3 Porches**

Porches in the Wortley Village-Old South Heritage Conservation District are important heritage attributes that are to be conserved. Consistent with the Section 8 (Architectural Design Guidelines), porches “deserve to be carefully conserved using adequate research to determine the original character and identify appropriate conservation and restoration techniques.”

Further, relevant guidelines are included within the Section 9.5 (Porches and Verandahs) of the Conservation Guidelines within the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*. The relevant guidelines state:

- *Removal or substantial alteration to the size, shape and design of existing porches is strongly discouraged.*

- *Do not remove or cover original porches or porch details, except for the purpose of quality restoration. Prior to executing any repairs or restoration, photograph the existing conditions and research to determine whether the existing is original or an appropriate model for restoration. Use annotated photographs or drawings or sketches to represent the intended repairs.*
- *When restoring a porch that is either intact or completely demolished, some research should be undertaken to determine the original design which may have been much different from its current condition and decided whether to restore the original.*

#### **2.1.4.4 Siding**

Many of the original applications of wooden siding is noted in the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* as being composed of horizontal clapboard, typically in widths of 4 to 6 inches, and often of tongue-and-groove. The document includes relevant guidelines included within Section 9.4.5 (Wooden Siding):

- *Natural wood siding can be acquired and milled to profiles identical to the original profile and nailed in place and painted or stained to replicate the original appearance. This is the optimum solution where feasible.*
- *Vinyl and aluminum siding are popular now for new construction and renovation because they are very inexpensive alternatives. They are inexpensive because they are very thin sheet materials formed into plank-shaped profiles and finished in a range of standard colours. They perform well at keeping rain and weather out of the building, but because of the thin nature of the sheet material, they are very fragile in use and prone to damage from impact of vehicles, toys, and ladders used for maintenance. These materials are not recommended to cover or replace original wood siding.*

#### **2.1.4.5 Windows**

Windows are an important part of the heritage character of the Wortley Village-Old South Heritage Conservation District and are identified as heritage attributes. The policies of Section 5.10.1 of the *Wortley Village-Old South Heritage Conservation District Plan* require Heritage Alteration Permit approval for major alterations, including replacement of windows.

Section 8.2.7, Heritage Attributes – Windows, Doors and Accessories, of the *Wortley Village-Old South Heritage Conservation District Plan* notes,

*Doors and windows are necessary elements for any building, but their layout and decorative treatment provides a host of opportunities for the builder to flaunt their unique qualities and character of each building.*

Section 8.3.1.1.e, Design Guidelines – Alterations, provides the direction to:

*Conserve; retain and restore heritage attributes wherever possible rather than replacing them, particularly for features such as windows, doors, porches and decorative trim.*

Section 8.3.1.1.f, Design Guidelines – Alterations, states,

*Where replacement of features (e.g. doors, windows, trim) is unavoidable, the replacement components should be of the same style, size, proportions and material wherever possible.*

Regarding potential replacement of windows, the Conservation and Maintenance Guidelines of Section 9.6 of the *Wortley Village-Old South Heritage Conservation District Plan* states,

*The preservation of original doors and windows is strongly encouraged wherever possible as the frames, glass and decorative details have unique qualities and characteristics that are very difficult to replicate.*

### **3.0 Financial Impact/Considerations**

None.

## 4.0 Key Issues and Considerations

### 4.1. Heritage Alteration Permit Application (HAP22-016-L)

The property owner at 18 Byron Avenue East initiated consultation with the Heritage Planner beginning in March 2021 to obtain initial advice on how to best plan for an addition to the dwelling on the subject property. In discussion with the property owner, and in follow-up email correspondence on March 10, 2021, the Heritage Planner noted that “one-and-a-half, or two-storey additions to one storey dwelling in a Heritage Conservation District can present a number of design challenges.” The Heritage Planner further noted that “additions need to be designed in a manner to not overwhelm the scale, mass, and type of the dwelling.”

Throughout the summer and fall of 2021, the Heritage Planner provided feedback and consultation to the property owner with regards to the Heritage Alteration Permit process, and Minor Variance requirements. In addition, the Heritage Planner also provided various examples of rear additions that have been successfully designed to accommodate additional living space, while still conserving the cultural heritage value of the subject dwellings. Examples that have applied the policies and design guidelines of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* were provided to demonstrate best practice for designing additions on single storey dwellings in a compatible manner. Several of the examples included in Appendix D of this report were noted.

A complete Heritage Alteration Permit application was submitted to the City on March 9, 2022. The applicant has applied for a Heritage Alteration Permit seeking approval for:

- Removal of the existing rear additions;
- Removal of the entire existing hipped roof on the dwelling;
- Construction of a two-storey addition to the front, rear, and side of the existing one storey cottage to increase the overall height of the dwelling to 28' 4 5/32" (8.64m) with the following details:
  - Hipped roof, finished with asphalt shingles;
  - Exterior cladding to consist of 4" horizontal wood siding, intended to be salvaged from the rear of the existing dwelling and restored;
  - 4" corner trim on the sidings of the dwelling;
  - Replacement of existing vinyl windows on the ground floor with new double hung wood windows;
  - Addition of six new double hung wood windows on the second storey of the front façade)
- Alteration to existing garage including:
  - Removal of existing plywood and steel siding;
  - Installation of exterior cladding with 4" horizontal wood siding;
  - Integration into the expanded dwelling to accommodate a two-car garage;
  - Installation of new insulated steel garage doors.
- Replacement of the front porch including:
  - Replacement of existing posts with new squared 6"x6" wood posts with decorative trim details, including a 3' brick base;
  - Replacement of porch railing systems with squared wood pickets set in between a top and bottom rail according to EC-1 connection details of the SB-7 Supplementary;
- Replacement of the existing concrete block foundation with 3' "white brick base" to be used throughout the existing dwelling and new addition.

Architectural design drawings and additional materials submitted with the Heritage Alteration Permit application can be found in Appendix E.

Conditional approval for a Minor Variance for the property was obtained in September 2021 to address front and side yard setback for the proposed addition. The Minor Variance was requested to permit lesser setbacks from the front yard, as well as from the east and west interior side yards, and the garage. Heritage Alteration Permit approval is required as a condition of the Minor Variance.

An Archaeological Assessment was also required as a condition of the Minor Variance. The Archaeological Assessment and compliance letter issued by the Ministry of Heritage, Tourism, Sport, and Culture Industries (MHTSCI) has been received by the City.

#### **4.2 Heritage Impact Assessment**

As a condition of the Minor Variance application and as a requirement of the complete Heritage Alteration Permit application, a Heritage Impact Assessment (HIA) was completed. The Heritage Impact Assessment was required to assess the potential impacts of the proposed scope of work to the cultural heritage value of the property, adjacent heritage-designated properties, and the Wortley Village-Old South Heritage Conservation District. Where negative or adverse impacts are identified, mitigation strategies were to be identified.

The HIA was completed by a+LiNK Architecture Inc. titled *Heritage Impact Assessment, 18 Byron Avenue East, London, Ontario* (January 5<sup>th</sup>, 2022). In assessing the impacts of the proposed addition, the HIA states:

*“The historically integrated residential conversion at 18 Byron Avenue E. fits appropriately into the existing Wortley Village-Old South Heritage Conservation District. The addition has been designed to be contemporary, while being both subordinate to the original residence. Further, the addition respects the existing heritage fabric and characteristics of the district as a whole through the following design considerations: The rear addition will not conceal original parts of the building considered of value, as the elements that contribute to the streetscape and overall character of the HCD are found along the original/front/south elevation viewed from the street.”*

The Heritage Planner disagrees with much of the analysis, findings, and conclusions included within the Heritage Impact Assessment. In general, the HIA did not identify any potential impacts and did not recommend any appropriate mitigation measures. The following list includes several areas in which the Heritage Planner identified concerns with the HIA:

- The HIA does not adequately assess the potential impacts of the proposed addition and alterations on the cultural heritage value of the Wortley Village-Old South Heritage Conservation District as described in its Heritage Character Statement and its heritage attributes;
- The HIA inaccurately suggests that the single storey cottage is retained and incorporated into a larger addition. This is further positioned as a “mitigating factor” in the design of the addition.
  - The Heritage Planner disagrees with this conclusion because the single storey cottage is effectively lost with the addition of a second storey, and the rear and side addition overwhelm the existing dwelling. The original dwelling will no longer be visible or clearly distinguishable as a result of the addition and alterations.
- The HIA claims that the proposed addition will retain the “massing, form, and architectural merit” of the existing dwelling.
  - The Heritage Planner disagrees with this claim, as the massing and form of the existing dwelling will be extensively altered.
- The HIA suggests that the addition is “subordinate to the original residence.”
  - The proposed addition and alterations are much larger than the existing dwelling and will overwhelm the existing dwelling. The addition is not subordinate to the original residence.
- The HIA does not adequately assess the potential negative impacts included within Info Sheet #5 (Heritage Impact Assessments and Conservation Plans). Likewise, appropriate mitigation measures are not considered.

In general, the Heritage Planner disagrees with the findings and conclusions of the HIA, as the proposed addition and alterations will result in adverse impacts to the cultural heritage resources that have not been mitigated.

The Heritage Impact Assessment can be found in Appendix F.

### 4.3 Examples and Comparisons

As noted in consultation with the property owner and in previous applications, addition to one-storey cottages present a significant design challenge. In order to conserve the cultural heritage value of the subject dwelling the proposed addition or alteration must not overwhelm the cultural heritage resource of the property, and must be sympathetic and compatible with the scale, form, mass, and of the existing building.

Throughout the Wortley Village-Old South Heritage Conservation District, and elsewhere in London, best practices and policies and guidelines have been employed to achieve appropriate and compatibly designed additions that both conserves the cultural heritage value of a resource while also adding additional living space to existing homes. As previously noted, sensitively designing an appropriate addition to increase the living space of a one storey cottage is a careful design exercise that has been successfully achieved in many examples. The following properties are all good examples of single storey dwellings with large additions that appropriately conserve a cultural heritage resource. These properties have been altered with additions that are representative of the application of heritage conservation practices, policies, and guidelines:

- 43 Bruce Street, Wortley Village-Old South Heritage Conservation District;
- 41 Bruce Street, Wortley Village-Old South Heritage Conservation District;
- 34 Byron Avenue East, Wortley Village-Old South Heritage Conservation District;
- 44 Byron Avenue East, Wortley Village-Old South Heritage Conservation District;
- 50 Bruce Street, Wortley Village-Old South Heritage Conservation District;
- 33 Byron Avenue East, Wortley Village-Old South Heritage Conservation District;
- 139 Briscoe Street East, Part IV Designation;
- 198 Emery Street East, Part IV Designation;
- 479 Tecumseh Avenue East, heritage-listed.

Photographs of these dwellings can be found in Appendix D.

### 4.4 Analysis

Large additions to a one storey dwelling present various challenges for heritage designated properties, as noted in the policies and guidelines of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*. The review of the proposed addition at existing cottage 18 Byron Avenue East, included within this Heritage Alteration Permit application, considered the relevant policies and guidelines outlined in Section 4.2.1 (Alterations and Additions) and Section 8.3.2 (Additions) of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*. Further analysis of the proposed addition and its adherence to the relevant policies and guidelines is included below in Table 1.

*Table 1: Analysis of the relevant policies and guidelines of the Wortley Village-Old South Heritage Conservation District Plan and Guidelines for the proposed addition and alterations as a part of HAP22-016-L.*

Section	Policy or Guideline	Analysis
4.2.1	<i>b) Minor exterior alterations and additions to single detached dwelling may be permitted, consistent with the scale and character of the buildings on adjacent properties and the streetscape; such alterations within front or side yards are discouraged. Significant alterations</i>	b) The proposed second storey addition, rear addition and side addition to the single storey detached dwelling, and incorporation of the existing detached garage create a substantial addition to the existing cottage. The second storey addition effectively doubles the size of the dwelling, and the rear, side, and garage additions result in a massing that is not consistent with the scale

	<p><i>and/or additions should be to the rear or in areas not visible from the street.</i></p> <p><i>f) Additions shall be subordinate to the original structure to allow the original heritage features and built form to take visual precedence on the street.</i></p> <p><i>g) Design guidelines provided in Section 8 and 9 of this Plan will be used to review and evaluate applications for additions and alterations to ensure that the proposed changes are compatible and do not result in the irreversible loss of heritage attributes or adversely impact the cultural heritage value or interest of the HCD.</i></p>	<p>and character of the existing dwelling, adjacent properties or the Heritage Conservation District. The proposed addition and alterations include a side yard addition, which is discouraged by Policy 4.2.1 of the <i>Wortley Village-Old South Heritage Conservation District Plan</i>. The proposed addition and alteration are not limited to the rear of the dwelling, and is excessively visible from the street, a negative impact.</p> <p>f) The addition and alterations to the property are not subordinate to the original structure. The addition and alterations have not been designed in a in manner allowing the original heritage features (its size, scale, mass) of the existing dwelling to take visual precedence on the street. Contrary, they are substantial in nature. The addition results in the loss of the form, scale, and mass of the single storey dwelling. The construction of a two-storey dwelling with an attached garage, as proposed in this Heritage Alteration Permit application, is not consistent with the form of the Wortley Village-Old South Heritage Conservation District.</p> <p>g) The addition and alterations are not compatible with the design guidelines set out in Section 8 of the Wortley Village-Old South Heritage Conservation District Plan and Guidelines (see below). The addition and alterations will result in adverse impacts to the cultural heritage value or interest of the HCD that will not be mitigated.</p>
<b>8.3.2.1</b>	<p><i>Additions that are necessary should be sympathetic and complementary in design and clearly distinguishes from the original construction by form or detail. The use of traditional materials, finishes and colours rather than exact duplication of form, can provide appropriate transition between additions and original structures.</i></p>	<p>The proposed addition and alterations are not sympathetic and complementary in design to the existing dwelling, adjacent properties, or the Wortley Village-Old South Heritage Conservation District. The size, scale, and mass of the addition is overwhelming and will result in adverse impacts to the dwelling on the property, as well as adjacent properties. Though traditional materials and finishes are being proposed for the siding and windows, the application of those finishes on the substantial addition is not sufficient to mitigate the impacts of the proposed addition.</p>
<b>8.3.2.2</b>	<p><i>a) Additions should be located away from</i></p>	<p>a) The proposed addition is not located at the rear of the existing</p>



	<p><i>principal façade(s) of heritage properties, preferably at the rear, to reduce the visual impact on the street(s).</i></p> <p>b) <i>Form and details of the addition should be complimentary to the original construction, with respect to style, scale, and materials but still distinguishable to reflect the historical construction periods of the property.</i></p> <p>c) <i>The height of any addition should be similar to the existing building and/or adjacent buildings to ensure that the addition does not dominate or adversely impact the original building, adjacent properties, the streetscape, and the HCD.</i></p> <p>d) <i>Additions should not obscure or remove important heritage attributes, including architectural features, of the existing building.</i></p> <p>e) <i>Additions should not negatively impact the symmetry and</i></p>	<p>building, nor is it away from the main façade. The addition has been designed in a manner that is situated on the principal façade with no intent to minimize the visibility from the street.</p> <p>b) The form and details of the addition are not complimentary to the original construction of the existing dwelling, with respect to style and scale. Though some of the proposed materials for the addition/alteration include traditional finishes (e.g. wood siding, wood windows), the proposed addition is substantial in size and will not result in a dwelling that clearly distinguishes the historic dwelling from a compatible addition. The historic single storey cottage will effectively be subsumed into the large addition to the dwelling.</p> <p>c) The height of the addition will not be similar to the existing building. Rather, it will result in the addition of a full second storey, as well as a two-storey side and rear addition that will dominate and adversely impact the original building. The original dwelling will no longer be visible or apparent as a direct result of the form, scale, and massing of the proposed addition. The height of the proposed addition is similar to the adjacent buildings; however, the massing of the proposed additions will result in a dwelling that will be much larger than the adjacent buildings. This is anticipated to be particularly evident in the roof form. The outcome of the proposed addition and alteration to the existing dwelling will disrupt the pattern of historic cottages and historic two-storey dwellings on Byron Avenue East, which characterizes an important streetscape of the Wortley Village-Old South Heritage Conservation District.</p> <p>d) The proposed addition will destroy the single storey form, scale, and mass of the existing dwelling, an important part of the property's C-rating and contribution to the Wortley Village-Old South Heritage Conservation District.</p> <p>e) The existing dwelling is symmetrical and balanced in its proportions as a cottage-type building. The proposed addition will negatively impact the</p>
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	<p><i>proportions of the building or create a visually unbalanced façade</i></p> <p>f) <i>New doors and window should be of similar style, orientation and proportion as on the existing building. The use of appropriate reclaimed materials should be considered.</i></p> <p>g) <i>New construction should avoid irreversible changes to original construction.</i></p>	<p>symmetry and the proportions of the existing dwelling. The addition will create a visually unbalanced façade which is contrary to the heritage character of the existing dwelling and part of its contributions to the cultural heritage value of the Wortley Village-Old South Heritage Conservation District.</p> <p>f) The new windows on the addition are proposed to be double-hung, wood windows in order to be consistent with the existing window style of the historic dwelling. Salvage and retention of historic siding is also intended to be used.</p> <p>g) The new construction of the addition will constitute an overwhelming alteration to the dwelling. It is difficult to determine how the substantial addition to the historic cottage could be reversible. The construction of the proposed addition and alterations to the existing dwelling at 18 Byron Avenue East will result in changes that are irreversible, and therefore the proposed addition and alterations do not comply with this direction.</p>
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It is the Heritage Planner’s opinion that the proposed addition and alterations are substantial in terms of their potential impacts to the existing dwelling on the heritage designated property at 18 Byron Avenue East. The proposed addition and alterations are not consistent with the policies and guidelines of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* for addition and alterations. The proposed addition and alterations will result in adverse impacts to the dwelling on the subject property and the streetscape of the Wortley Village-Old South Heritage Conservation District. The negative impacts have not been mitigated.

In addition, Policy 594\_ of *The London Plan* states:

1. *The character of the district shall be maintained by encouraging the retention of existing structures and landscapes that contribute to the character of the district.*
2. *The design of new development, either as infilling, redevelopment, or as additions to existing buildings, should complement the prevailing character of the area.*
3. *Regard shall be had at all times to the guidelines and intent of the heritage conservation district plan.*

The proposed addition and alterations do not comply with Policy 594\_ of the *London Plan* as they will not retain the existing structure that contributes to the character of the district, will not complement the prevailing character of the area, and will not have regard to the guidelines and intent of the heritage conservation district plan.

Lastly, the proposed addition and alterations to the heritage designated property at 18 Byron Avenue East do not conserve this built heritage resource in accordance with Policy 2.6.1 of the *Provincial Policy Statement (2020)*.

There are many examples of compatible and sensitive designs that accommodate addition living space while conserving significant cultural heritage resources. The policies and guidelines of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* are not intended to prevent or preclude change in the area, but to manage change in a way that respects and conserves its cultural heritage value. The proposed addition and alterations at 18 Byron Avenue East do not achieve this fundamental objective.

A new design that is more compatible with the dwelling and demonstrates the application of the policies and guidelines of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines* is encouraged. The applicant is further encouraged to consider heritage designated properties that compatibly integrate the policies and guidelines of the Wortley Village-Old South Heritage Conservation District in design alternatives going forward.

## Conclusion

As a “C-rated” property the dwelling at 18 Byron Avenue East belongs to a historic grouping of buildings because of its form and massing. The building type is further noted as a “good example of a modest design representing the area” within the *Wortley Village-Old South Heritage Conservation District Study*. The proposed addition and alterations will result in irreversible alterations to the existing cultural heritage resource, as it will no longer be visible or discernible. The application would result in irreversible impacts to the form, scale, mass, and style of the existing dwelling at 18 Byron Avenue East, and would result in the construction of a dwelling that is not consistent with the policies and guidelines of the Wortley Village-Old South Heritage Conservation District. The Heritage Alteration Permit application should be refused as it is contrary to the policies and guidelines of the *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*, *The London Plan*, and the *Provincial Policy Statement*.

**Prepared by:** Michael Greguol, CAHP  
Heritage Planner

**Reviewed by:** Jana Kelemen, M.Sc.Arch., MUDS, MCIP RPP  
Manager, Urban Design and Heritage

**Recommended by:** Gregg Barrett, AICP  
Director, Planning and Development

**Submitted by:** Scott Mathers, MPA, P. Eng.,  
Deputy City Manager, Planning and Economic  
Development

### Appendices

- Appendix A Property Location
- Appendix B Images
- Appendix C Historic Documentation
- Appendix D Examples of Compatible Rear Additions
- Appendix E Drawings Submitted for Heritage Alteration Permit
- Appendix F Heritage Impact Assessment

### Selected Sources

- Corporation of the City of London. *Wortley Village-Old South Heritage Conservation District Plan and Guidelines*. 2014.
- Ministry of Culture. “Info Sheet #5: Heritage Impact Assessments and Conservation Plans” in *Heritage Resources in the Land Use Planning Process*. 2006.
- The London Plan*
- Provincial Policy Statement, 2020*.

# Appendix A – Property Location



Figure 1: Location of the subject property at 18 Byron Avenue East, located within the Wortley Village-Old South Heritage Conservation District.

## Appendix B – Images



*Image 1: Photograph of the dwelling located at 18 Byron Avenue East in the Wortley Village-Old South Heritage Conservation District (2021).*



*Image 2: Photograph showing the dwelling and existing detached garage located on the property at 18 Byron Avenue East (2021).*



*Image 3: Photograph of the subject dwelling located at 18 Byron Avenue East (2022).*



*Image 4: Photograph showing the subject property at 18 Byron Avenue East located within the Wortley Village-Old South Heritage Conservation District, showing adjacent property at 22 Byron Avenue East (2022).*



Image 5: Photograph of the rear of the dwelling at 18 Byron Avenue East showing the first rear addition on the existing dwelling (2022).



Image 6: Photograph of the rear of the dwelling at 18 Byron Avenue East showing the two rear additions, the detached garage, and the adjacent property at 16 Byron Avenue East (2022).



*Image 7: Photograph of the foundation of the dwelling at 18 Byron Avenue East, showing the rusticated concrete blocks (2022).*



*Image 8: View looking northeast along Byron Avenue East showing the context of the subject property including the small scale and massing of the dwelling within the surrounding area (2022).*



## Appendix C – Historic Documentation

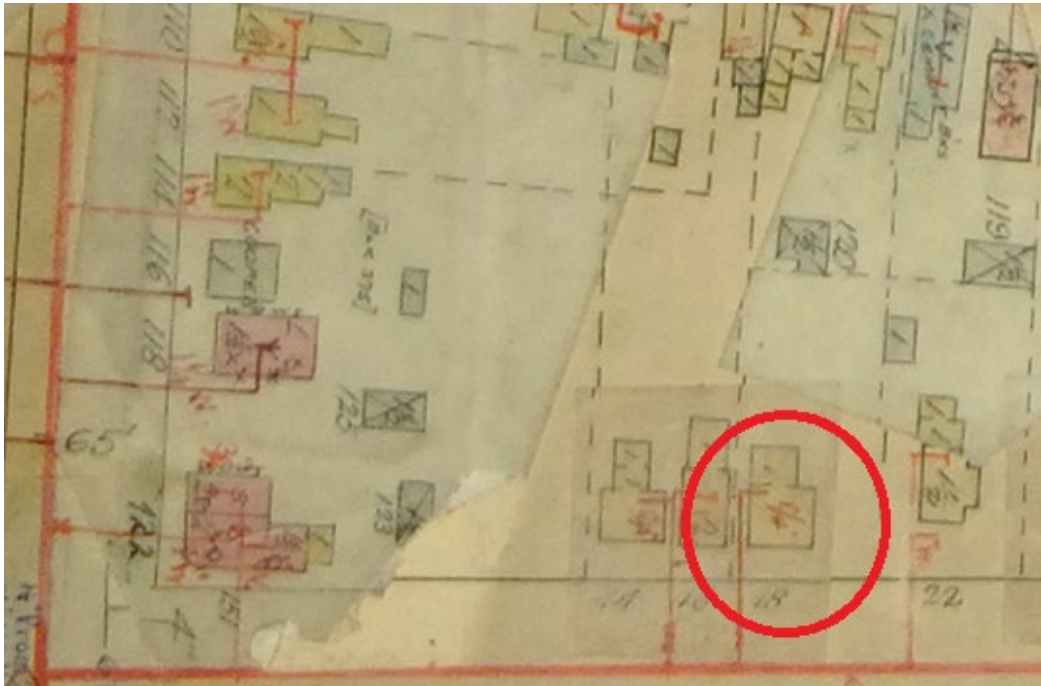


Image 9: Excerpt from the 1892, Revised 1907 Fire Insurance Plan showing the subject property at 18 Byron Avenue East. Note, this version of the Fire Insurance Plan series is sometimes found to be in error. Nonetheless, the plan depicts the dwelling as a single storey frame structure (Courtesy of Archives and Special Collections, Western University).



Image 10: Excerpt from the 1912, Revised 1915 Fire Insurance Plan showing the subject property at 18 Byron Avenue East. Note, by 1915 both additions on the rear appear to have been constructed (Courtesy of Archives and Special Collections, Western Archives).

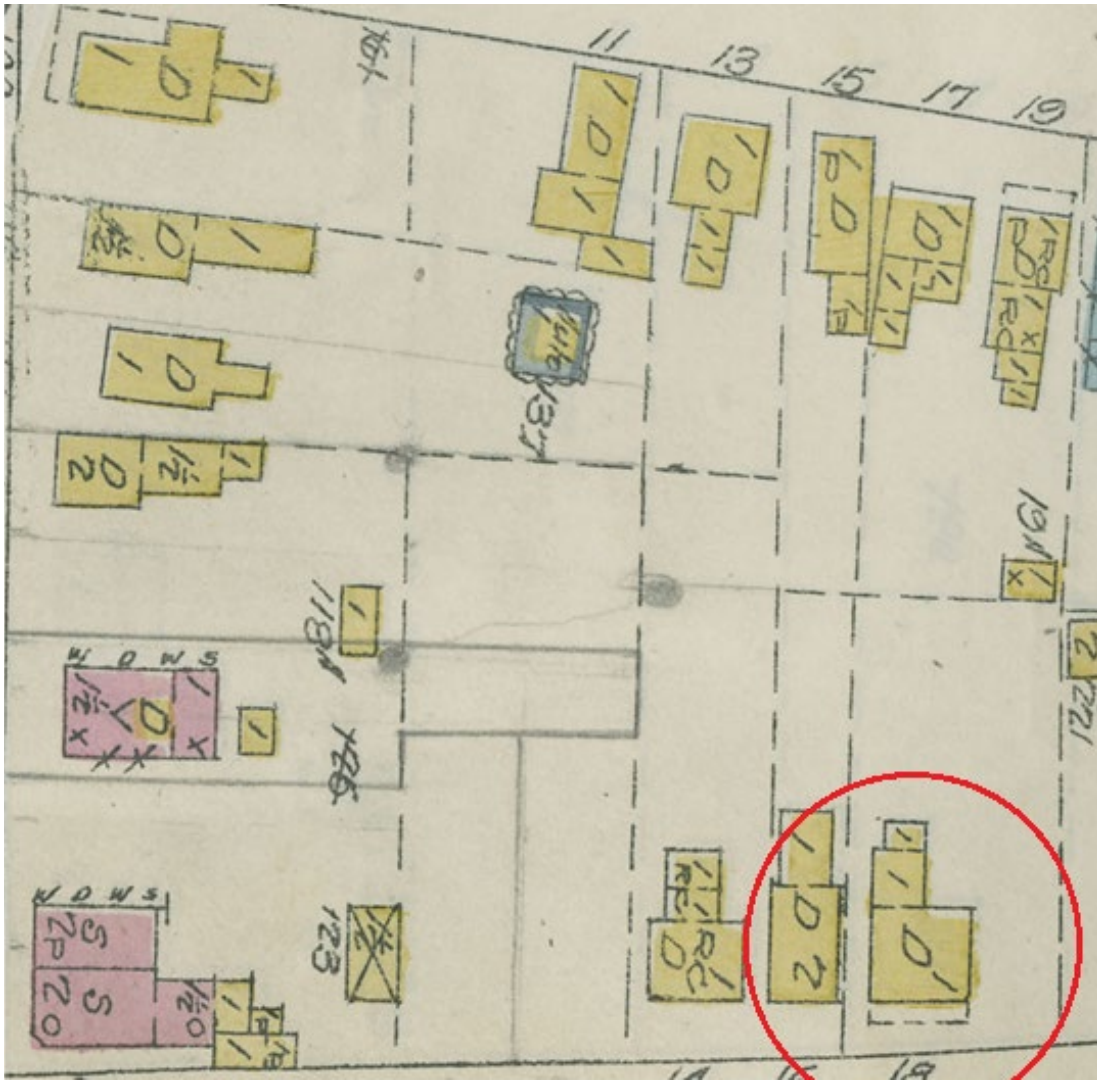


Image 11: Excerpt from the 1912 Revised 1922 Fire Insurance Plan showing the property at 18 Byron Avenue East. Note, by this time a porch has been added to the front of the dwelling (Courtesy of Archives and Special Collections, Western Archives).

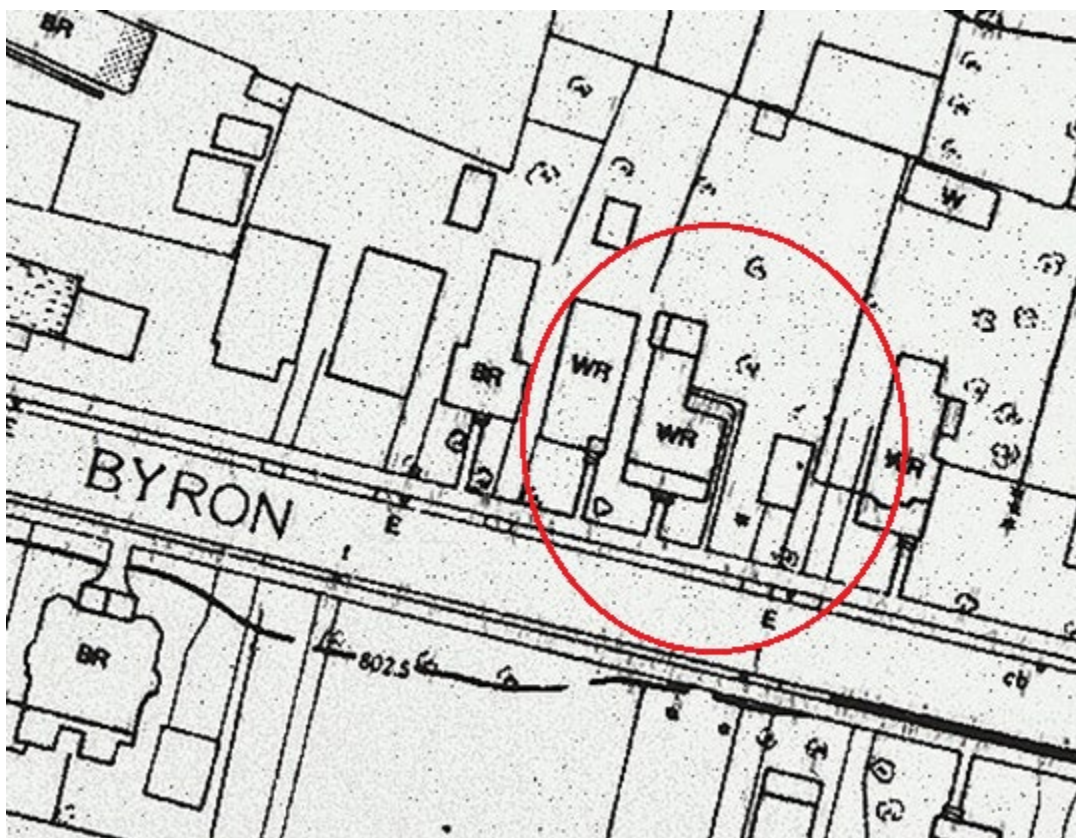


Image 12: Excerpt from the 1957 Geodetic Survey of London showing the subject property at 18 Byron Avenue East. Note, by this time a detached garage is shown on the property (Courtesy of Maps and Data Centre, Western University).

## Appendix D – Examples of Compatible Rear Additions



*Image 13: Photograph of the dwelling located at 43 Bruce Street showing a rear addition to the existing single storey cottage. In this compatible addition, the use of a cross-gable has been used to minimize the visibility of the increase in building height at the rear of the dwelling (2022).*



*Image 14: Photograph of the dwelling located at 41 Bruce Street showing a two-storey gable-roof addition added to the rear of the dwelling located at 41 Bruce Street. The side-hall plan cottage form of this property is clearly articulated through the massing of the building, and the addition at the rear is distinguishable from the original dwelling. The use of the roof shapes and forms help to minimize the visibility of the addition from street (2022).*



*Image 15: Photograph of the dwelling located at 34 Byron Avenue East showing a one storey cottage with a rear addition, well integrated and set back from the main portion of the dwelling. On this dwelling, the cottage's form has been retained while an addition has been added to the rear with a slightly taller roof height allowing the cottage to maintain its character and contribution to the streetscape (2022).*



*Image 16: Photograph of the dwelling at 44 Byron Avenue East showing a rear addition added to the existing one storey dwelling while also maintaining the scale, form, and mass of the single storey dwelling. In this example, a modest addition has been added to the rear of the cottage to add additional living space to the dwelling (2022).*



*Image 17: Photograph of the dwelling located at 50 Bruce Street showing a rear addition added to the rear of the dwelling in a manner that conserves the heritage attributes of the property. Though likely a historic addition, the cottage retains its form and the addition is situated at the rear of the dwelling (2022).*



*Image 18: 139 Briscoe Street East, a Part IV designated property with a compatible rear addition. In this example, the cottage form and type has been retained in its entirety and the addition has been added to the rear. Its location at the rear of the historic dwelling and its difference in colour helps to distinguish the original dwelling from the addition. The addition is clearly subordinate to the existing dwelling (2022).*



*Image 19: 198 Emery Street East, a Part IV designated property. In this example, the cross gable of the house helps to minimize the visibility of a rear addition (2021).*



*Image 20: 33 Byron Avenue East, located within the Wortley Village-Old South Heritage Conservation District. This example demonstrates the compatibility of a rear addition in that the historic two-storey dwelling maintains its articulation on Byron Avenue East. A small "pavilion"-like addition has been added to the rear of the dwelling to transition to a two-storey garage. In this example, the addition is clearly distinguishable from and subordinate to the historic portion of the dwelling (2022).*

## **Appendix E – Drawings Submitted for Heritage Alteration Permit**

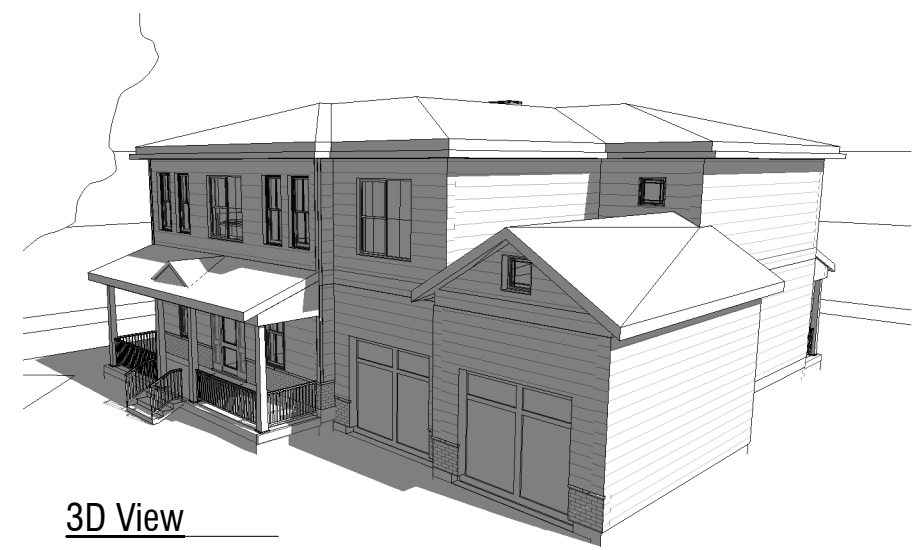
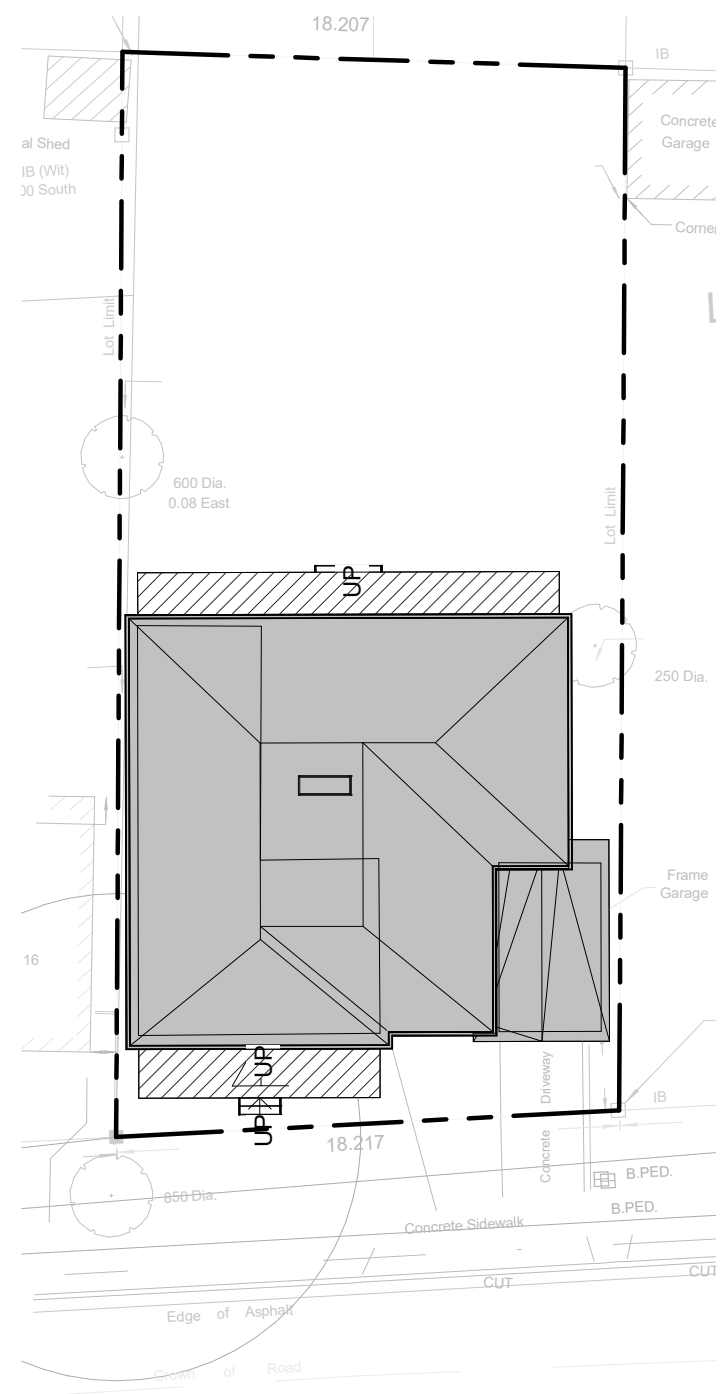
Drawings submitted for Heritage Alteration Permit, dated March 11, 2022 – *attached separately*

ZONING MATRIX: ZONNING R2-2

	REQUIRED SDD	PROPOSED SDD
(a) USE		
(b) LOT AREA (Min)	360 m2	697.8 m2
(c) Lot Frontage (SqM) (Min)	9 m	8.217 m
(d) Front Yard (Min) - PTA Section	4.3	2.88 m
Front Yard Garage (Min) - PTA Section 4.23	6.0 m	7.0 m
(e) Rear Yard (Min)	7 m	18.28 m
(f) Interior Yard (Min) - East	1.2 m	0.67 m
(g) Interior Yard (Min) - West	1.2 m	0.68 m
(h) Landscape Open Space (Min)	35%	. %
(i) Lot Coverage (%) (Max)	45%	43%
(j) Height 9m) (Max)	9 m	9 m
(k) Off-street Parking	2	2 (In garage)
(l) Parking Area Coverage (%) (Max)	25%	7.30 %
(m) Building Depth (%) (Max)	60%	16.61 m
(n) Garage Width (%) (Max)	50% of Frontage	7 m
(o) Driveway Width (Max) - Section 4.19	50% or 8m	7 m
(p) Yard Encroachments (Min) - Section 4.27		Porch is 1.90m Depth Setback is 1.22m from PL to Porch

BUILDING DATA:	PROPOSED
GROUND FLOOR AREA:	181.00 m2
GARAGE AREA:	51.30 m2
SECOND FLOOR AREA:	206.30 m2
BASEMENT AREA	
Existing to remain:	91.90 m2
New:	90.10 m2
TOTAL:	182.00 m2
TOTAL BUILDING AREA*:	387.30 m2
(EXCLUDING GARAGE and BASEMENT)	
FLOOR AREA RATIO:	55.50%

SITE DATA:	
18 Byron Ave. East - London (LOT#34)	
LOT DIMENSIONS:	
FRONT (SOUTH)	18.04 m
EAST SIDE	37.75 m
WEST SIDE	39.22 m
REAR (NORTH)	18.23 m
AREA	697.84 m2
LOT COVERAGE:	
LOT AREA:	697.84 m2



3D View

DRAWING LIST

A0.1	COVER SHEET
A0.2	GENERAL NOTES - WALL TYPES
A1.0	SITE PLAN
A1.2	BASEMENT FLOOR PLAN
A1.3	GROUND FLOOR LEVEL
A1.4	SECOND FLOOR LEVEL
A1.5	ROOF FLOOR LEVEL
A2.1	SOUTH ELEVATIONS
A2.2	NORTH ELEVATIONS
A2.3	EAST ELEVATION
A2.4	WEST ELEVATION
A4.1	SECTIONS
A4.2	SECTIONS
A4.3	SECTIONS
A4.4	SECTIONS
A5.1	WALL SECTIONS
A6.4	WINDOW SCHEDULE

# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

## COVER SHEET

A0.1

Scale (ANSI B) 3/64" = 1'-0"

Project number	107	ISSUED FOR: BUILDING PERMIT
Date	2022-03-11	
Drawn by	-	
Checked by	-	



**EXCAVATION AND BACKFILL**

- EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTIES AND UTILITIES.
- THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL.
- IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM DEPTH OF 11 3/4" EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 17 3/4".
- BACKFILL WITHIN 24" OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 9 7/8" IN DIAMETER.

**DAMP-PROOFING, WATERPROOFING AND DRAINAGE**

- IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMP-PROOFED OR WATERPROOFED. WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOF SYSTEM MUST BE SPECIFIED (RUB-R-WALL, VOLCLAY OR EQUAL).
- CONCRETE MASONRY UNITS USED IN FOUNDATION WALLS SHALL BE PARGED USING RESIN TYPE DURABOND PARGING.
- 4" FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 6" OF CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL OR SUMP PIT.
- DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.
- CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR.
- THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP AND ROOM DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

**FOUNDATION WALLS - FOOTINGS SLABS ON GRADE**

- REFER TO STRUCTURAL NOTES FOR STRUCTURAL DESIGN CAPACITIES AND SPECIFICATIONS.
- ALL FOUNDATION WALLS AND STRUCTURAL PIERS TO EXTEND A MINIMUM OF 8" ABOVE FINISHED GRADE.
- A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF FOUNDATION WALLS WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-11" BELOW EXTERIOR GRADE. REFER TO WALL SCHEDULE FOR WALL ASSEMBLY AND SYSTEM.
- FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY AS SPECIFIED IN STRUCTURAL NOTES.
- MAX. VERTICAL RISE FOR STEP FOOTINGS:  
FOR FIRM SOILS: 23 5/8"  
FOR SAND OR GRAVEL: 15 3/4"
- MIN. HORIZONTAL RISE FOR STEP FOOTINGS:  
23 5/8"
- REFER TO STRUCTURAL NOTES FOR CONCRETE SLAB DESIGN AND SPECIFICATIONS. REFER TO FLOOR ASSEMBLY FOR REQUIRED UNDERLYING GRANULAR MATERIAL.
- ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

**EXTERIOR WALLS**

- REFER TO WALL ASSEMBLY SCHEDULE FOR WALL CONSTRUCTION.
- 5/8" FIRE-RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN 3'-11" FROM PROPERTY LINES.
- REFER TO DRAWINGS FOR LOCATION OF REQUIRED NONCOMBUSTIBLE CLADDING AND CONSTRUCTION SPECIFICATIONS.

**WOOD FRAME CONSTRUCTION**

- REFER TO STRUCTURAL NOTES FOR LUMBER AND STRUCTURAL DESIGN SPECIFICATIONS.
- REFER TO WALL ASSEMBLIES AND STRUCTURAL LAYOUT FOR FRAMING AND SHEATHING DESIGN.
- MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION.
- WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 6 MIL POLYETHYLENE.

**ROOFING**

- FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 1/2" INTO ROOF SHEATHING.
- REFER TO ROOF ASSEMBLY NOTES FOR EAVE PROTECTION SPECIFICATIONS. EAVE PROTECTION SHALL CONSIST OF ROOFING MATERIAL LAID WITH MINIMUM 4" HEAD AND END LAPS CEMENTED OR ADHERED TOGETHER.
- OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 23 5/8" WIDE.
- FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF SHINGLE ROOFS WITH EXTERIOR WALLS AND CHIMNEYS.
- SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 1/16" LEAD, 0.013" GALVANIZED STEEL 0.018" COPPER, 0.018" ZINC OR 0.019" ALUMINUM.

**INSULATION & WEATHERPROOFING**

CEILING WITH ATTIC	R-60
ROOF WITHOUT ATTIC	R-31
EXTERIOR WALL	R-19+5
FOUNDATION WALL	R-20
EXPOSED FLOOR	R-31
SLABS ON GRADE (UNHEATED)	R-10
SLABS ON GRADE (HEATED)	R-10
SUPPLY DUCTS IN UNHEATED SPACE	R-12

- INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 6 MIL POLY IS SUFFICIENT FOR FIBERGLASS TYPE INSULATIONS.
- DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT.
- CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING.
- WEATHER STRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT OVERHEAD DOORS AND DOORS FROM A GARAGE TO THE EXTERIOR.
- EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR.

**NATURAL VENTILATION**

- EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO OR NOT LESS THAN 1/300TH OF INSULATED OR CEILING AREA.
- INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO OR NOT LESS THAN 1/150TH OF INSULATED AREA.
- ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED AND DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS.
- UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 1.1 FT² OF VENTILATION FOR EACH 538 FT².
- MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE:  
BATHROOMS: 0.97 FT²  
OTHER ROOMS: 3 FT²  
UNFINISHED BASEMENT: 0.2% OF FLOOR AREA

**GARAGE GASPROOFING**

- THE WALLS AND CEILING OF AN ATTACHED GARAGE SHALL BE CONSTRUCTED AND SEALED SO AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUMES.
- ALL PLUMBING AND OTHER PENETRATIONS THROUGH THE WALLS AND CEILING SHALL BE CAULKED.
- DOORS BETWEEN THE DWELLING AND ATTACHED GARAGE SHALL BE WEATHER STRIPPED AND HAVE A SELF CLOSER.

**HANDRAIL & GUARDS**

- A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS.
- GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600mm ABOVE THE ADJACENT LEVEL.
- INTERIOR AND EXTERIOR GUARDS MINIMUM 900mm HIGH. EXTERIOR GUARDS SHALL BE 1070mm HIGH WHERE ABOVE ADJACENT SURFACE EXCEEDS 1800mm.
- GUARDS SHALL HAVE NO OPENINGS GREATER THAN 100mm, AND NO MEMBER BETWEEN 140mm AND 900mm THAT WILL FACILITATE CLIMBING.

**ACCESS TO ATTICS AND CRAWL SPACES**

- ACCESS HATCH MINIMUM 20" X 28" BE TO PROVIDED TO EVERY CRAWL SPACE AND EVERY ROOF SPACE WHICH IS 108 FT2 OR MORE IN AREA AND MORE THAN 23 5/8" IN HEIGHT.

**COLUMNS, BEAMS & LINTELS**

- REFER TO STRUCTURAL NOTES FOR ALL COLUMN, BEAM AND LINTEL DESIGN AND SPECIFICATIONS.
- PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS.

**ALARMS AND DETECTORS**

- AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL.
- SMOKE ALARMS SHALL BE INTERCONNECTED AND LOCATED SUCH THAT ONE IS WITHIN 16'-5" OF EVERY BEDROOM DOOR AND NOT MORE THAN 48'-3" TRAVEL DISTANCE FROM ANY POINT ON A FLOOR.
- A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ON OR NEAR THE CEILING IN EVERY ROOM CONTAINING A SOLID FUEL BURNING FIREPLACE OR STOVE.

**STAIRS**

MAXIMUM RISE	200 mm	MINIMUM RISE	125 mm
MAXIMUM RUN	355 mm	MINIMUM RUN	210 mm
MAXIMUM TREAD	355 mm	MINIMUM TREAD	235 mm
MAXIMUM NOSING	25 mm		
MINIMUM WIDTH	860 mm		
MINIMUM HEADROOM	1950 mm		

- A LANDING MINIMUM 2'-11" IN LENGTH IS REQUIRED AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING, AND OTHER ENTRANCES WITH MORE THAN 3 RISERS.

**DOORS AND WINDOWS**

- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 6'-7" FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK.
- THE PRINCIPAL ENTRY DOOR SHALL BE EQUIPPED WITH DOOR BELL. SHOP DRAWINGS TO BE PROVIDED.
- INTERIOR DOORS SHALL BE UNDERCUT AS REQUIRED FOR MECH.

**MASONRY VENEER**

- MINIMUM 2 3/4" THICK IF JOINTS ARE NOT RAKED AND 3 1/2" JOINTS ARE RAKED.
- MINIMUM 1" AIR SPACE TO SHEATHING.
- PROVIDE WEEP HOLES @24" O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS.
- DIRECT DRAINAGE THROUGH WEEP HOLES WITH 20 MIL POLY FLASHING EXTENDING MINIMUM 6" UP BEHIND THE SHEATHING PAPER.
- VENEER TIES MINIMUM 0.030" THICK X 7/8" WIDE CORROSION RESISTANT STRAPS SPACED @23 5/8" VERTICALLY AND 15 3/4" HORIZONTALLY.
- FASTEN TIES WITH CORROSION-RESISTANT 0.125" Ø SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 1 3/16" INTO STUDS.

NOTE: IF ANY OF THE SPECIFICATIONS ALONG WITH THIS PACKAGE DIFFERS FROM THE MOST CURRENT VERSION OF THE ONTARIO BUILDING CODE, THE NEWEST VERSION OF THE OBC SHALL BE USED.

**W01**

- 1/2" Gybsum Wall Board
- Vapor Barrier
- 2x6 Wall Filled w/Insulation R-19
- 3/4" Sheathing
- Water Control Layer
- Continues Rigid Insulation R-5
- 1" Air Space
- White Cedar Wood Siding

**W05 (1HR Fire Rated)**

- 5/8" Type X Gypsum Wall Board
- Vapor Barrier
- Existing Wall sistered w/2x6 Wall Filled w/Insulation R-19
- 3/4" Sheathing
- Water Control Layer
- Continues Rigid Insulation R-5
- 1" Air Space
- White Cedar Wood Siding

**W02**

- 1/2" Type X Gybsum Wall Board
- Vapor Barrier
- 2x6 Wall Filled w/Insulation R-19
- 3/4" Sheathing
- Water Control Layer
- Continues Rigid Insulation R-5
- 1" Air Space
- White Cedar Wood Siding on 2'-4" High White Brick

**W06 (1HR Fire Rated)**

- 5/8" Type X Gybsum Wall Board
- Vapor Barrier
- Existing Wall sistered w/2x6 Wall Filled w/Insulation R-19
- 3/4" Sheathing
- Water Control Layer
- Continues Rigid Insulation R-5
- 1" Air Space
- White Cedar Wood Siding on 2'-4" High White Brick

**W03 (1HR minute Fire Rated)**

- 5/8" Type X Gybsum Wall Board
- Vapor Barrier
- 2x6 Wall Filled w/Insulation R-19
- 3/4" Sheathing
- Water Control Layer
- Continues Rigid Insulation R-5
- 1" Air Space
- White Cedar Wood Siding

**W07**

- 1/2" Gybsum Wall Board
- Vapor Barrier
- 2x6 Wall Filled w/Insulation R-20
- New Foundation Wall

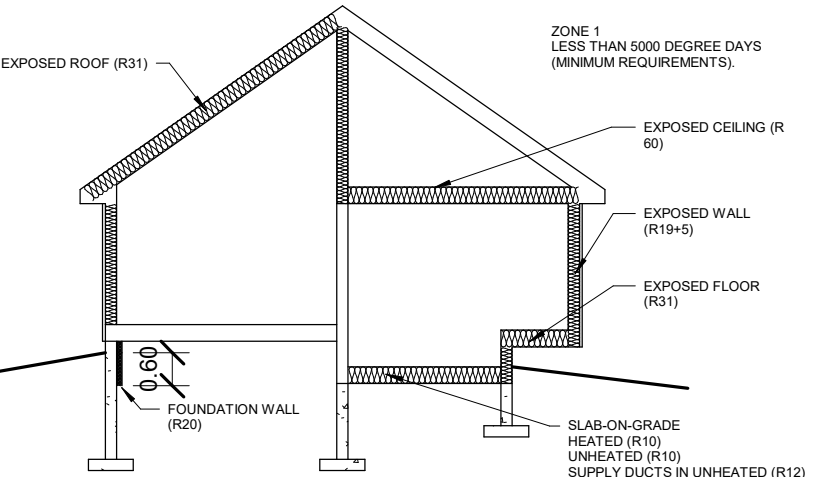
**W04 (1HR minute Fire Rated)**

- 5/8" Type X Gybsum Wall Board
- Vapor Barrier
- 2x6 Wall Filled w/Insulation R-19
- 3/4" Sheathing
- Water Control Layer
- Continues Rigid Insulation R-5
- 1" Air Space
- White Cedar Wood Siding on 2'-4" High White Brick

**W08**

- 1/2" Gybsum Wall Board
- Vapor Barrier
- 2x6 Wall Filled w/Insulation R-20
- New Foundation Wall
- Existing CMU Foundation Wall to Underpin

**Wall Types**  
1/4" = 1'-0"



**18 BYRON AVE. EAST - LONDON, ONTARIO**

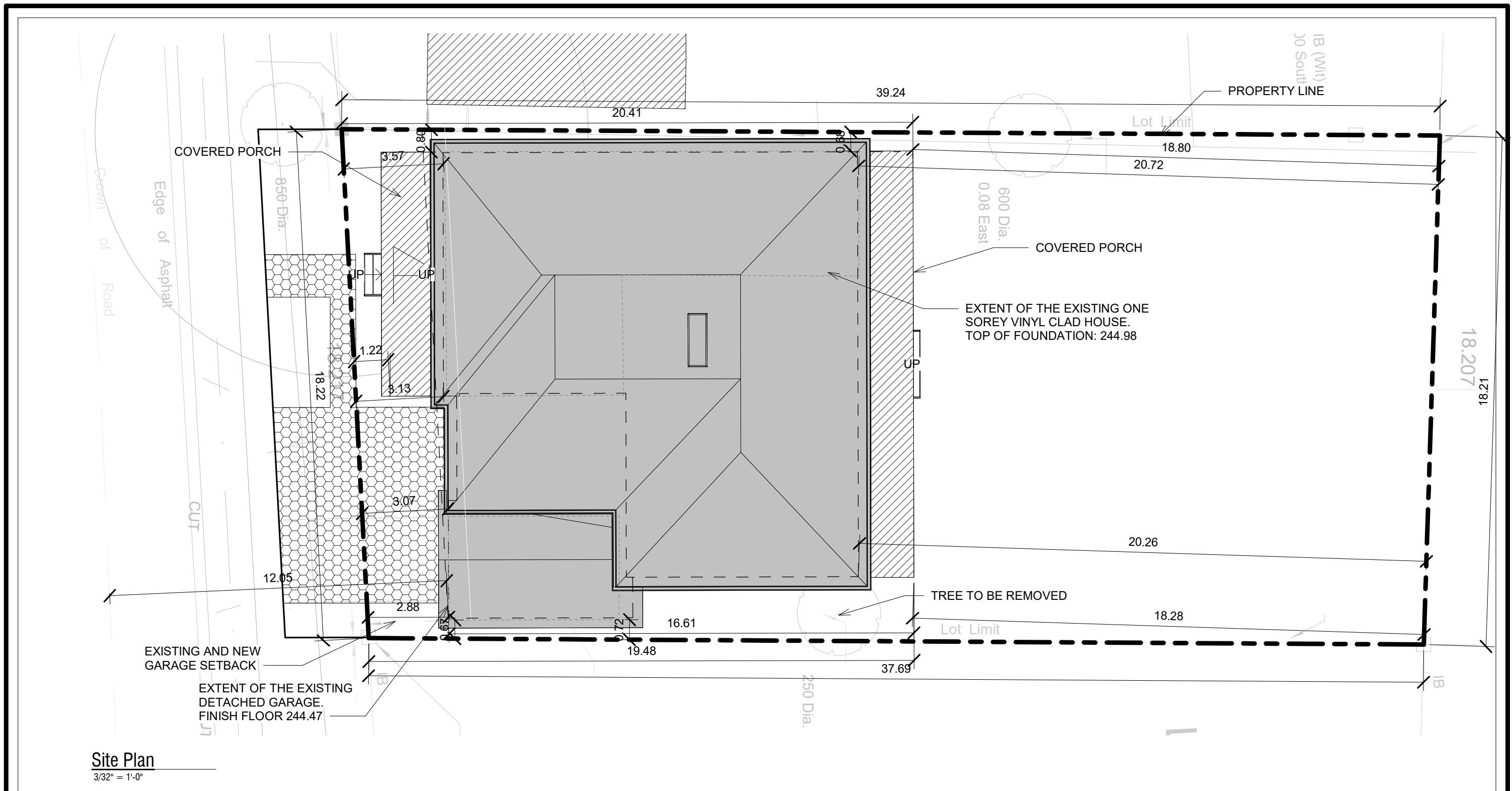
18 BYRON AVE. EAST - LONDON, ONTARIO

**GENERAL NOTES - WALL TYPES**

**A0.2**

Scale (ANSI B) As indicated

Project number	107	ISSUED FOR:  BUILDING PERMIT
Date	2022-03-11	
Drawn by	-	
Checked by	-	



Site Plan  
3/32" = 1'-0"

# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

## SITE PLAN

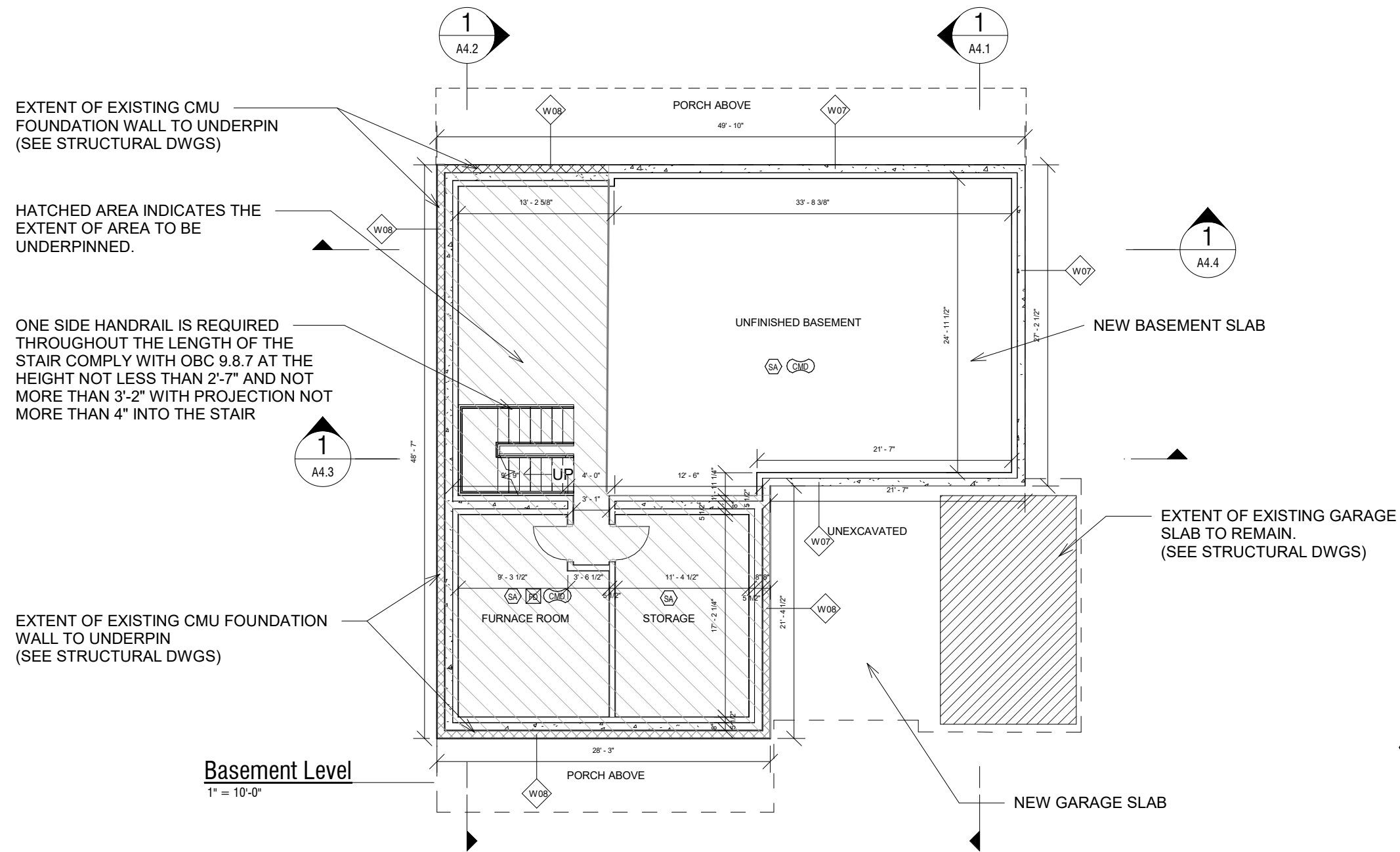
A1.0





Scale (ANSI B) 3/32" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:  
BUILDING PERMIT

NOTE: INTERIOR DIMENSIONS ARE FROM FACE OF WOODS AND EXTERIOR DIMENSIONS ARE FROM FACE OF EXTERIOR SHEATHING



-  SMOKE ALARM
-  FLOOR DRAIN
-  EXHAUST FAN
-  CARBON MONOXIDE DETECTOR

# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

## BASEMENT FLOOR PLAN

### A1.2

Scale (ANSI B) As indicated

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:  
BUILDING PERMIT

NOTE: INTERIOR DIMENSIONS ARE FROM FACE OF WOODS AND EXTERIOR DIMENSIONS ARE FROM FACE OF EXTERIOR SHEATHING

EXTENT OF EXISTING WALL TO REMAIN AND EXTEND TO UNDERSIDE OF THE SECOND FLOOR.  
(SEE STRUCTURAL DWGS)  
1HRmin FIRE RATED ASSEMBLY REQUIRED FOR THE ENTIRE WALL

ONE SIDE HANDRAIL IS REQUIRED THROUGHOUT THE LENGTH OF THE STAIR COMPLY WITH OBC 9.8.7 AT THE HEIGHT NOT LESS THAN 2'-7" AND NOT MORE THAN 3'-2" WITH PROJECTION NOT MORE THAN 4" INTO THE STAIR

INFILL EXISTING WINDOWS  
EXISTING WALL TO REMAIN

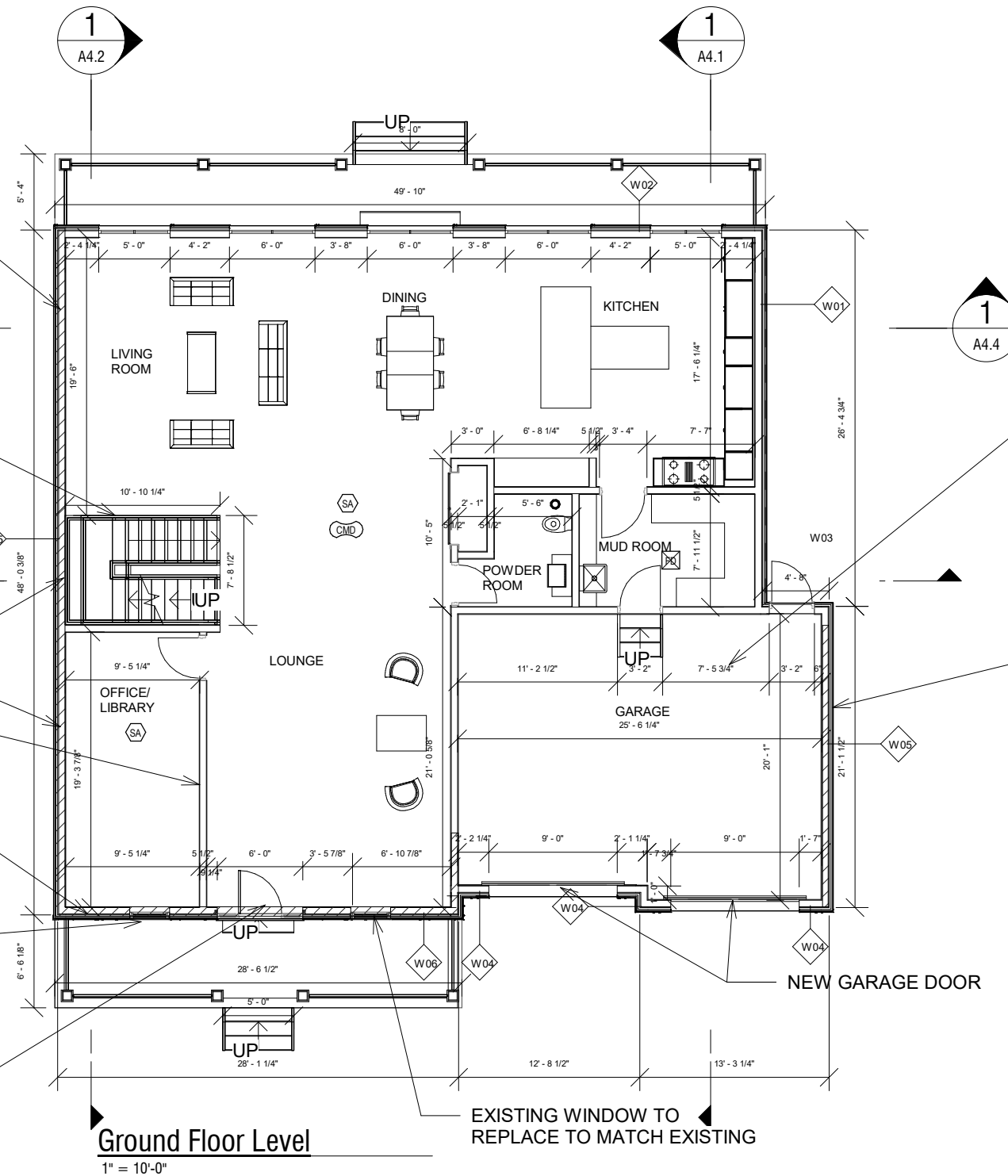
EXTENT OF EXISTING WALL TO REMAIN AND EXTEND TO UNDERSIDE OF THE SECOND FLOOR.  
(SEE STRUCTURAL DWGS)

EXISTING WINDOW TO REPLACE TO MATCH EXISTING

EXISTING WINDOW OPENING TO BE MODIFIED TO ACCOMMODATE NEW ENTRY DOOR.

NOT LESS THAN 5/8" TYPE X GYPSUM BOARD IN GARAGE. DOOR BETWEEN THE GARAGE AND DWELLING TO BE SMOKE SEALED W/SELF CLOSING DEVICE AND WEATHER STRIPPED. PENETRATION TO DWELLING TO BE CAULKED AND SMOKE SEALED.

EXTENT OF EXISTING WALL TO REMAIN AND REINFORCE TO ACCOMMODATE NEW ROOF STRUCTURE.  
(SEE STRUCTURAL DWGS)  
1HR FIRE RATED ASSEMBLY REQUIRED



# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

## GROUND FLOOR LEVEL

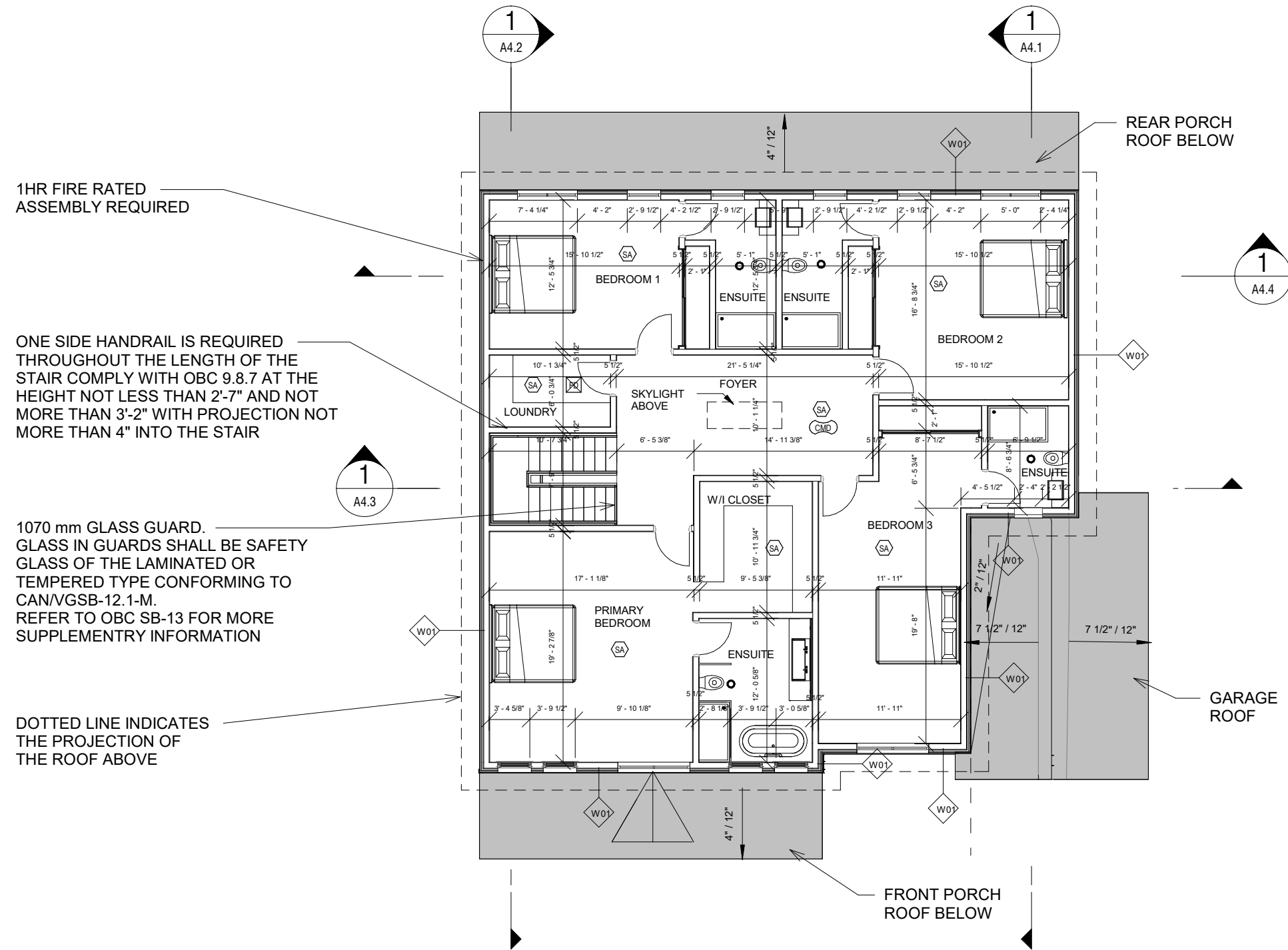
A1.3

Scale (ANSI B) As indicated

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:  
BUILDING PERMIT

NOTE: INTERIOR DIMENSIONS ARE FROM FACE OF WOODS AND EXTERIOR DIMENSIONS ARE FROM FACE OF EXTERIOR SHEATHING







1HR FIRE RATED ASSEMBLY REQUIRED

ONE SIDE HANDRAIL IS REQUIRED THROUGHOUT THE LENGTH OF THE STAIR COMPLY WITH OBC 9.8.7 AT THE HEIGHT NOT LESS THAN 2'-7" AND NOT MORE THAN 3'-2" WITH PROJECTION NOT MORE THAN 4" INTO THE STAIR

1070 mm GLASS GUARD. GLASS IN GUARDS SHALL BE SAFETY GLASS OF THE LAMINATED OR TEMPERED TYPE CONFORMING TO CAN/VGSB-12.1-M. REFER TO OBC SB-13 FOR MORE SUPPLEMENTRY INFORMATION

DOTTED LINE INDICATES THE PROJECTION OF THE ROOF ABOVE

**Second Floor Level**  
1" = 10'-0"

-  SMOKE ALARM
-  FLOOR DRAIN
-  EXHAUST FAN
-  CARBON MONOXIDE DETECTOR

# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

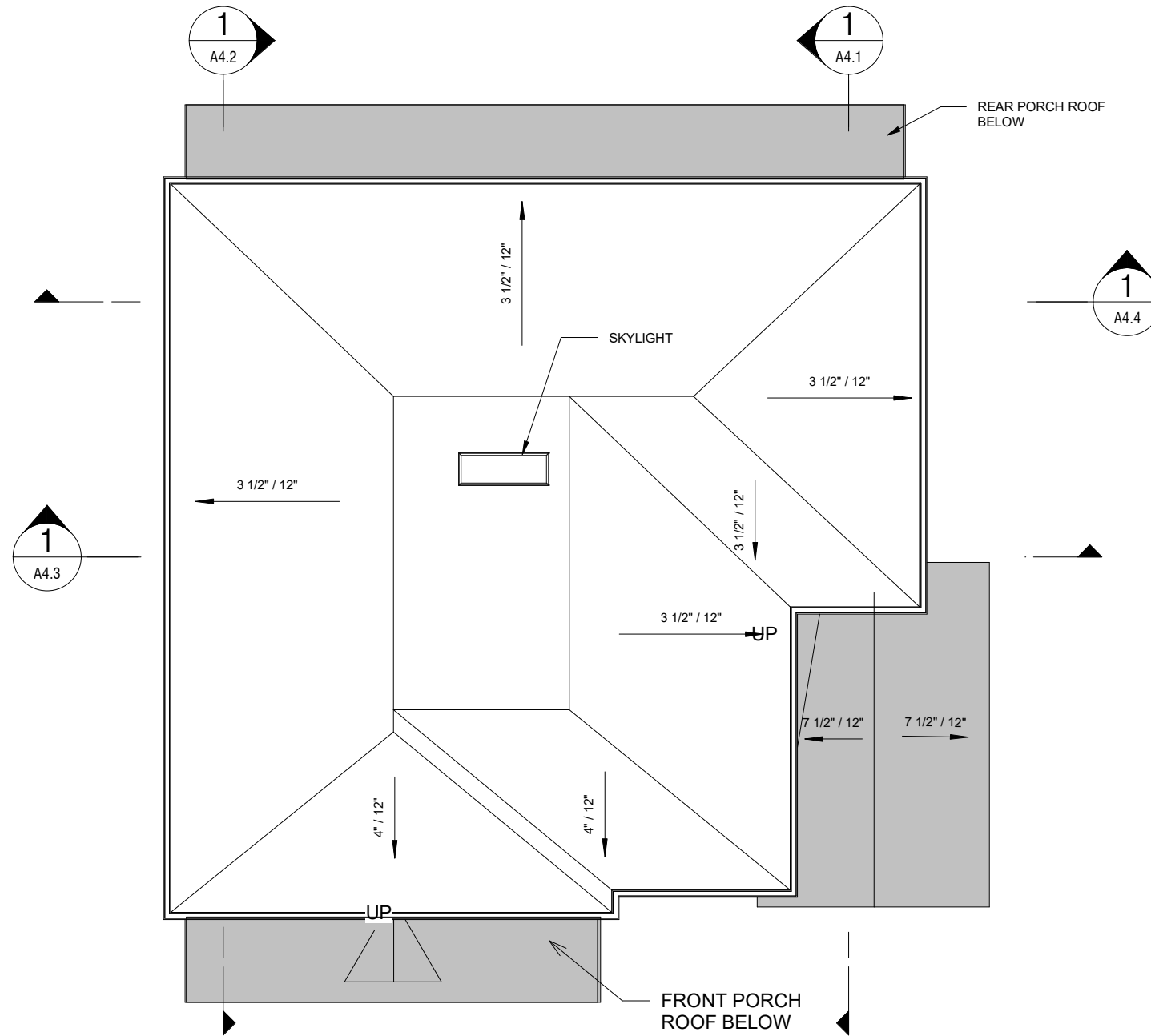
## SECOND FLOOR LEVEL

### A1.4

Scale (ANSI B) As indicated

Project number	107
Date	2022-03-11
Drawn by	-
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NOTES: REFER ALSO TO TACBOC DETAIL W06A FOR SLOPED ROOF CONSTRUCTION.

- SKYLIGHT THERMAL RESISTANCE TO COMPLY WITH OBC SB-12, U VALUE NOT GREATER THAN 3.0 BETWEEN -15 AND 30 DEGREE CELCIOUS AND 2.7 AT TEMPERTURE LOWER THAN -30 DEGREE CELECIIOUS. ALL ASPECTS TO COMPLY WITH OBC 9.7.1 THROUGH 9.7.6

- COLD PROCESS ROOF MEMBRANE TYPES ARE DEFINED AS ACCEPTABLE BY OBC TABLE 9.26.3.1 FOR ROOF SLOPES AS SHALLOW AS 1:25

- PROVIDE GUTTERS AND RAIN WATER LEADERS TO ENSURE WATER IS CONVEYED TO GRADE LEVEL.

- EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO OR NOT LESS THAN 1/300TH OF INSULATED OR CEILING AREA.

- ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED AND DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS.

**Roof Level**  
1" = 10'-0"

# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

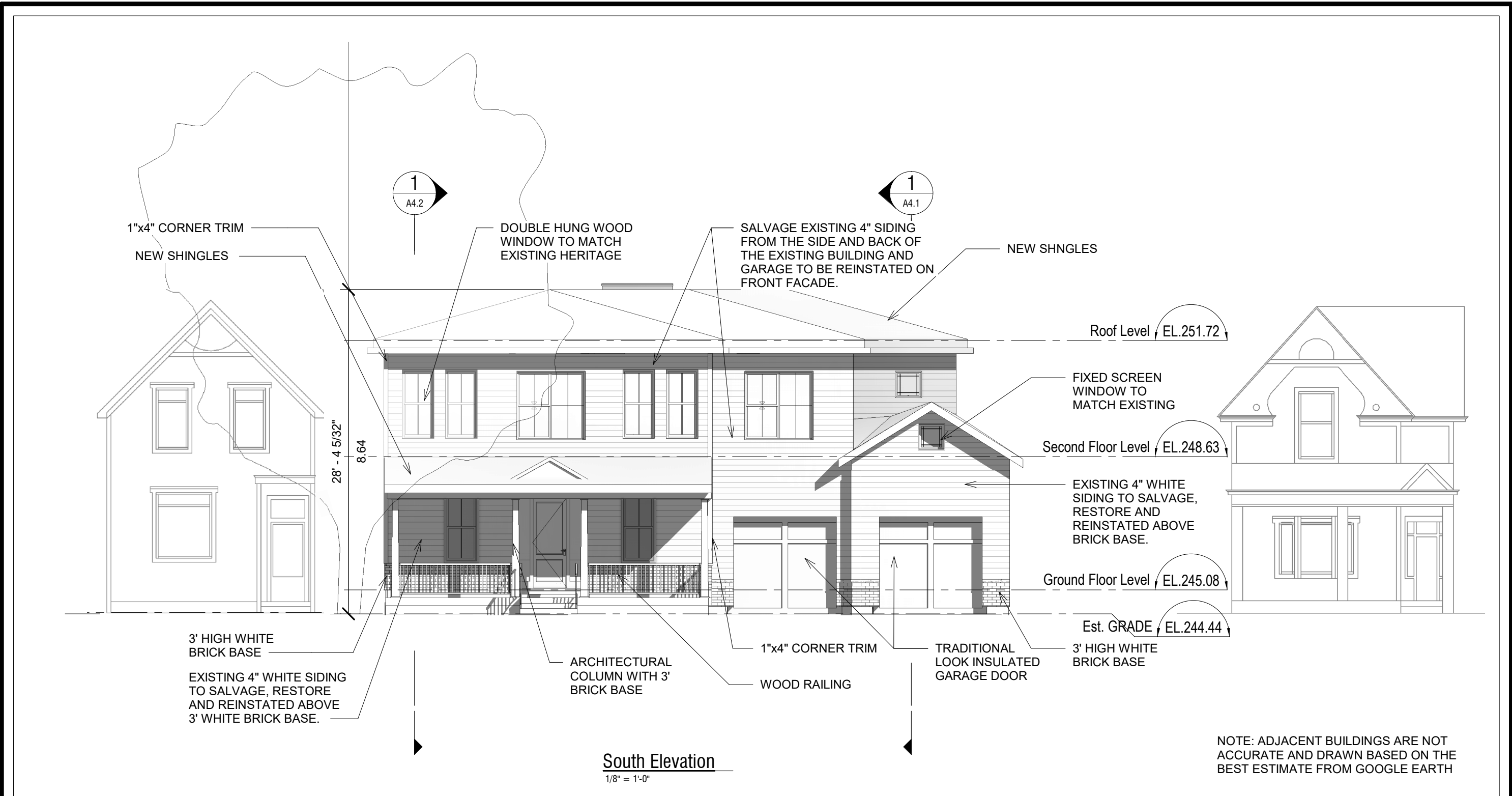
## ROOF FLOOR LEVEL

**A1.5**

Scale (ANSI B) 1" = 10'-0"

Project number	107
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NOTE: ADJACENT BUILDINGS ARE NOT ACCURATE AND DRAWN BASED ON THE BEST ESTIMATE FROM GOOGLE EARTH

# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

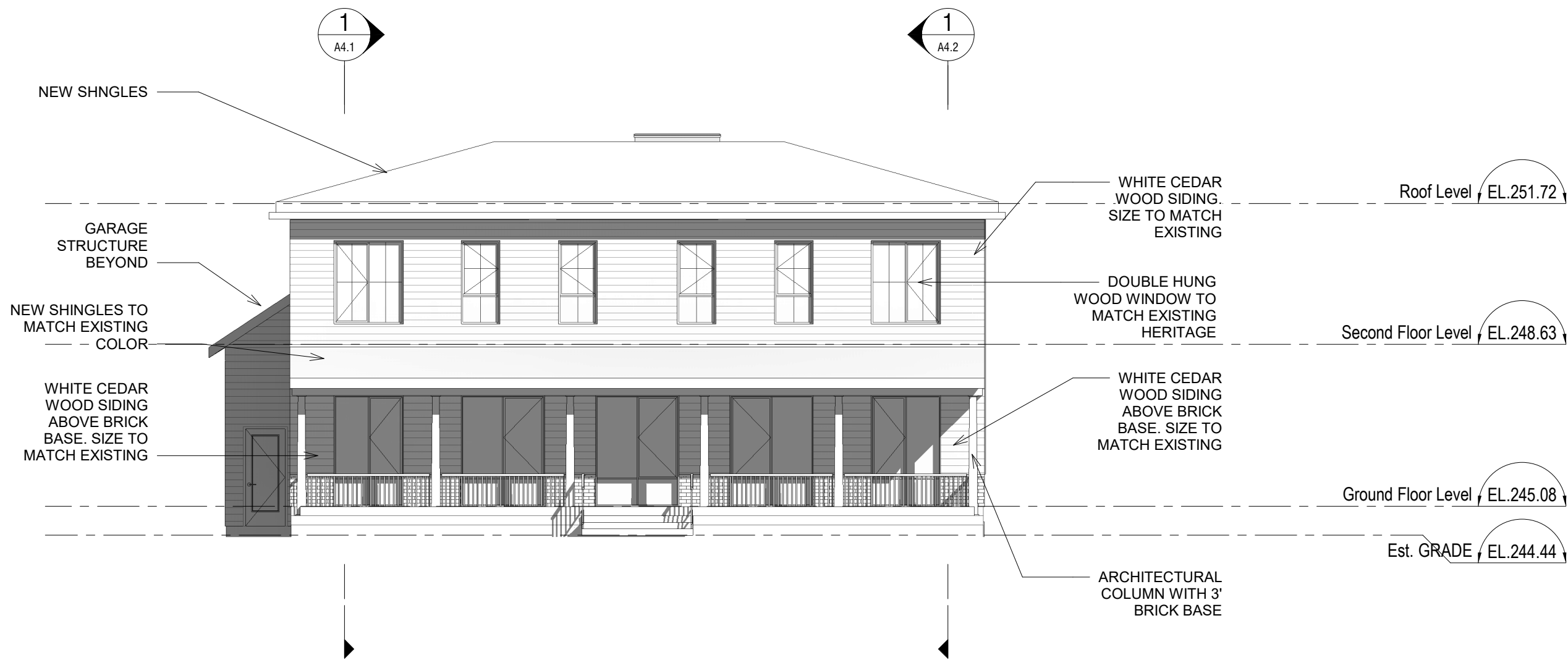
## SOUTH ELEVATIONS

**A2.1**

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
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**North Elevation**

1/8" = 1'-0"

# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

## NORTH ELEVATIONS

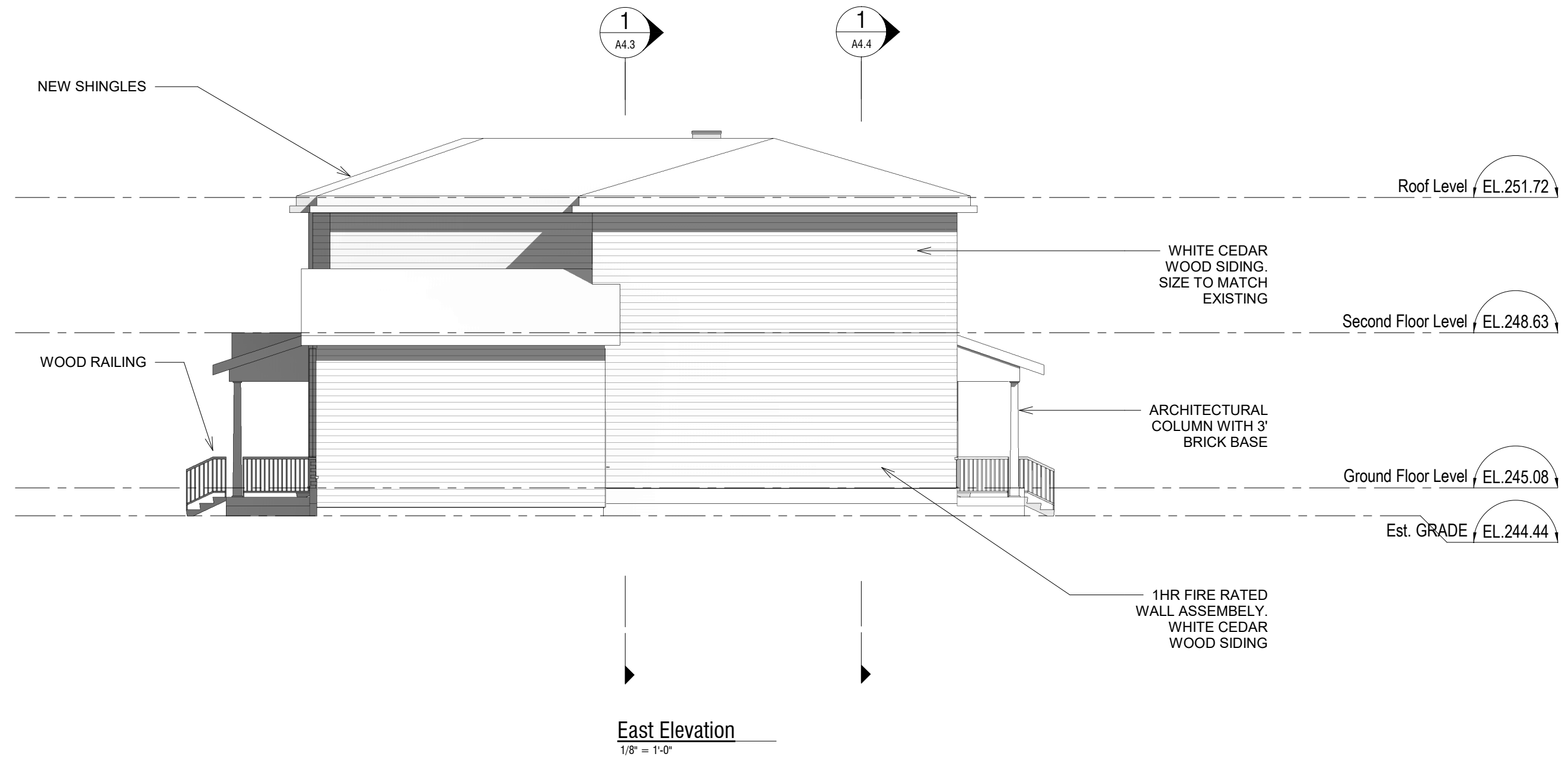
**A2.2**

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:  
BUILDING PERMIT





# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

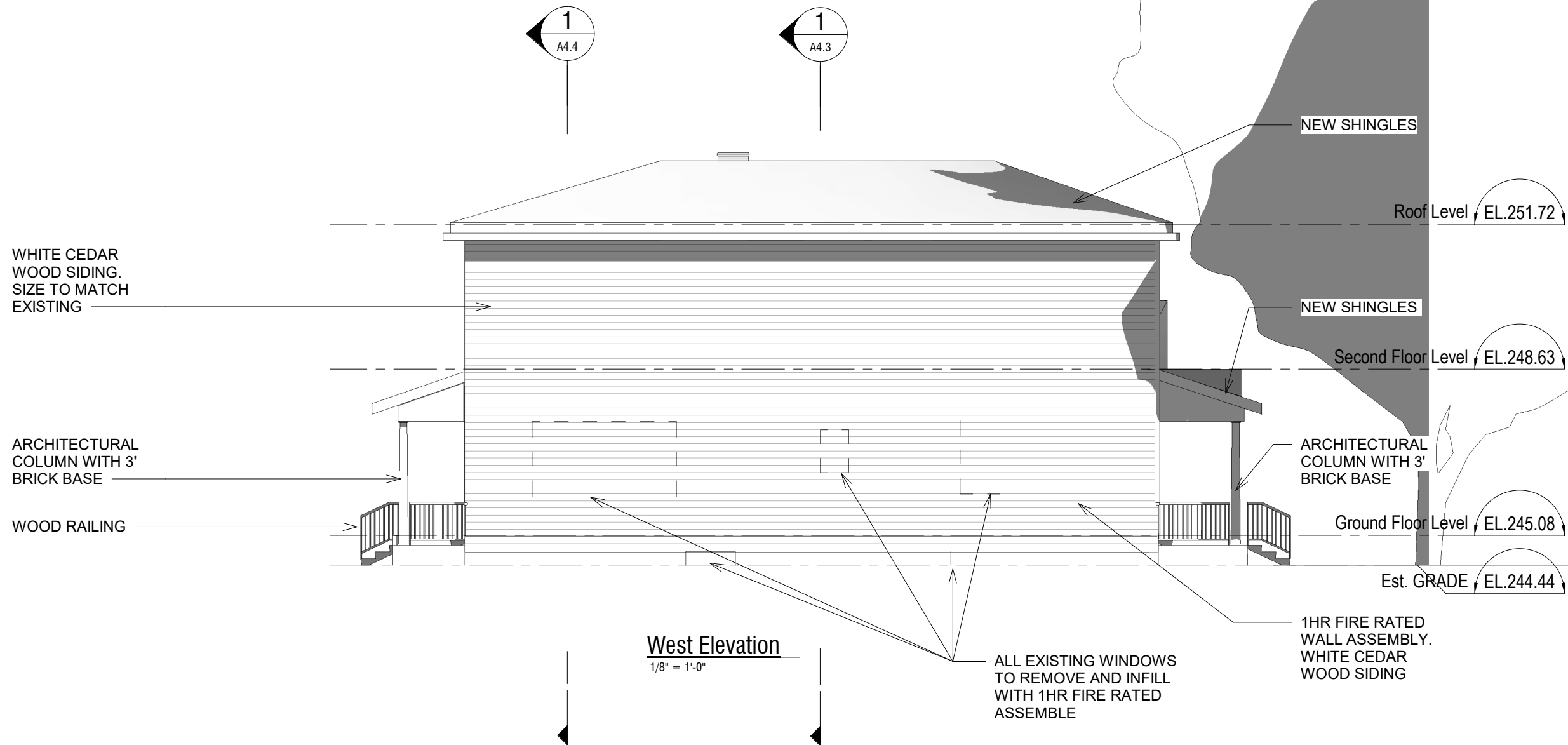
## EAST ELEVATION

**A2.3**

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:  
BUILDING PERMIT



# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

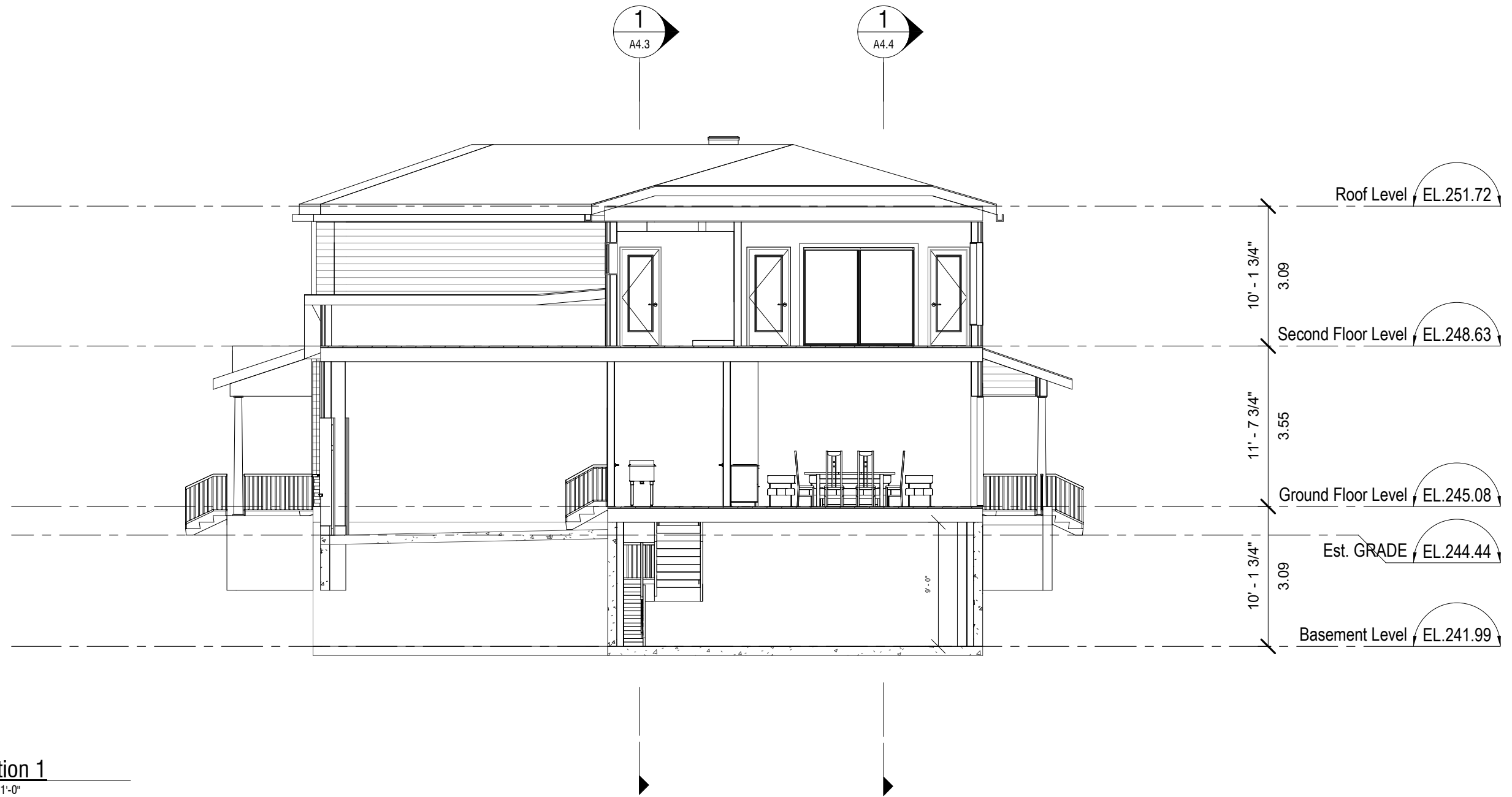
## WEST ELEVATION

**A2.4**

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

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**Section 1**  
1/8" = 1'-0"

## 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

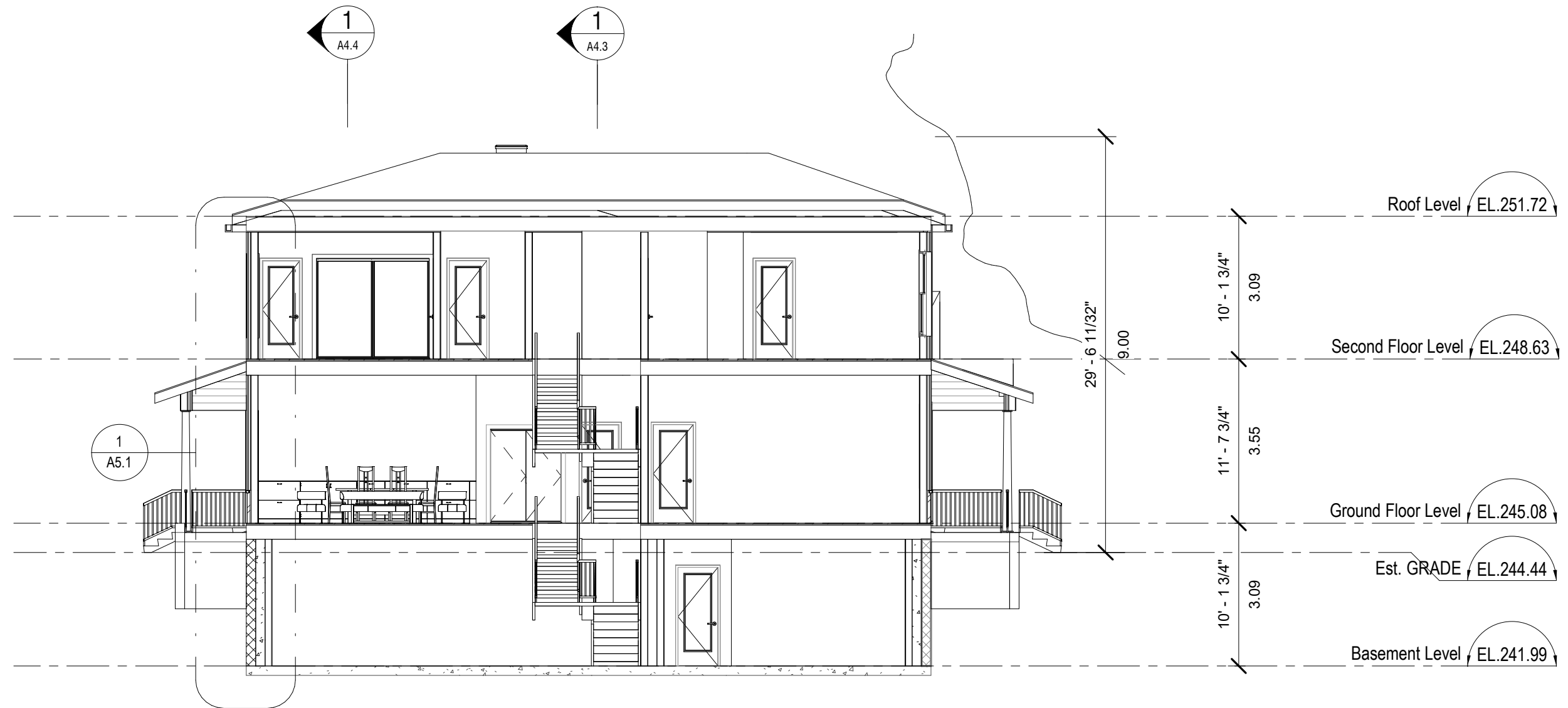
**SECTIONS**

**A4.1**

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
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**Section 2**  
1/8" = 1'-0"

# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

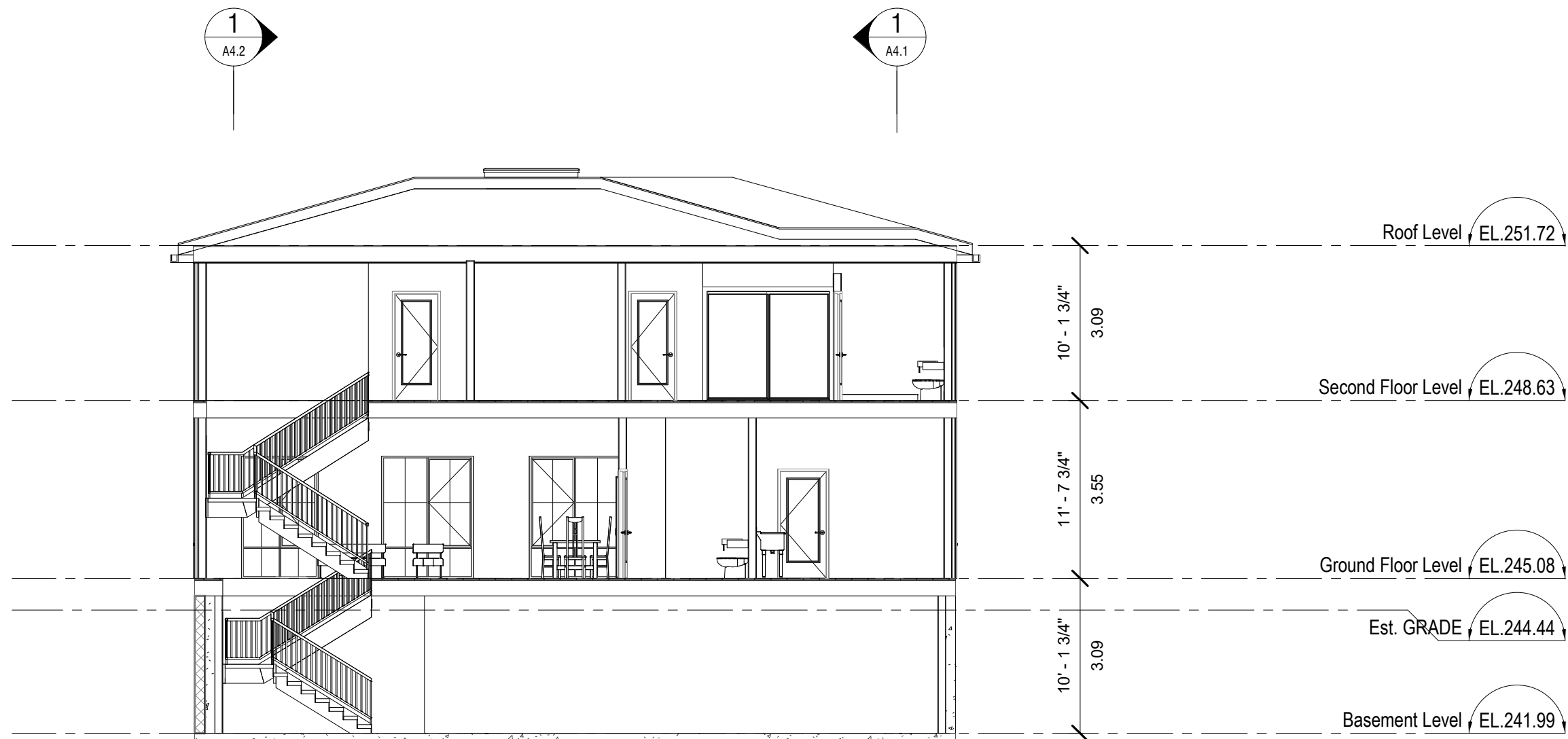
## SECTIONS

**A4.2**

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

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**Section 3**  
1/8" = 1'-0"

# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

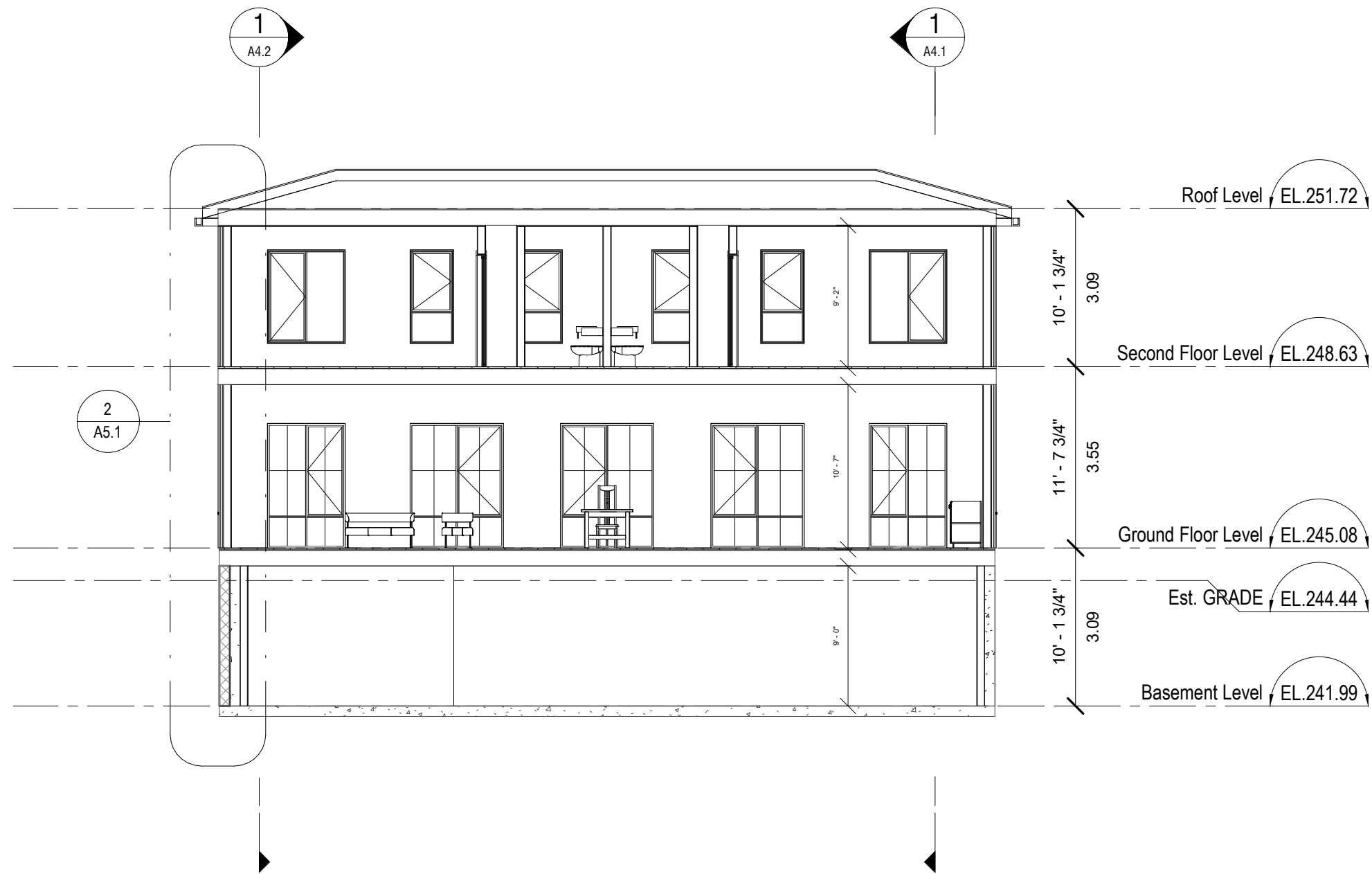
## SECTIONS

**A4.3**

Scale (ANSI B) 1/8" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

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**Section 4**  
1/8" = 1'-0"

# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

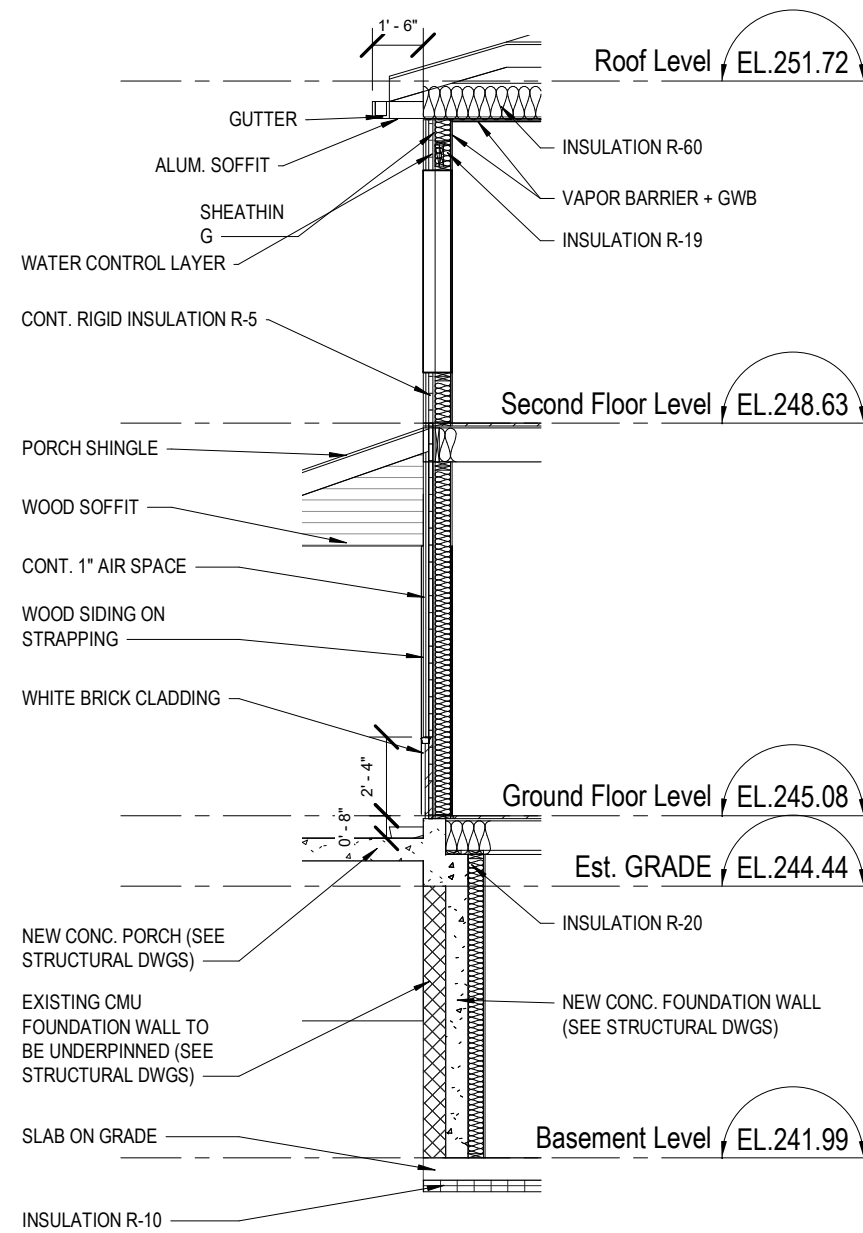
## SECTIONS

### A4.4

Scale (ANSI B) 1/8" = 1'-0"

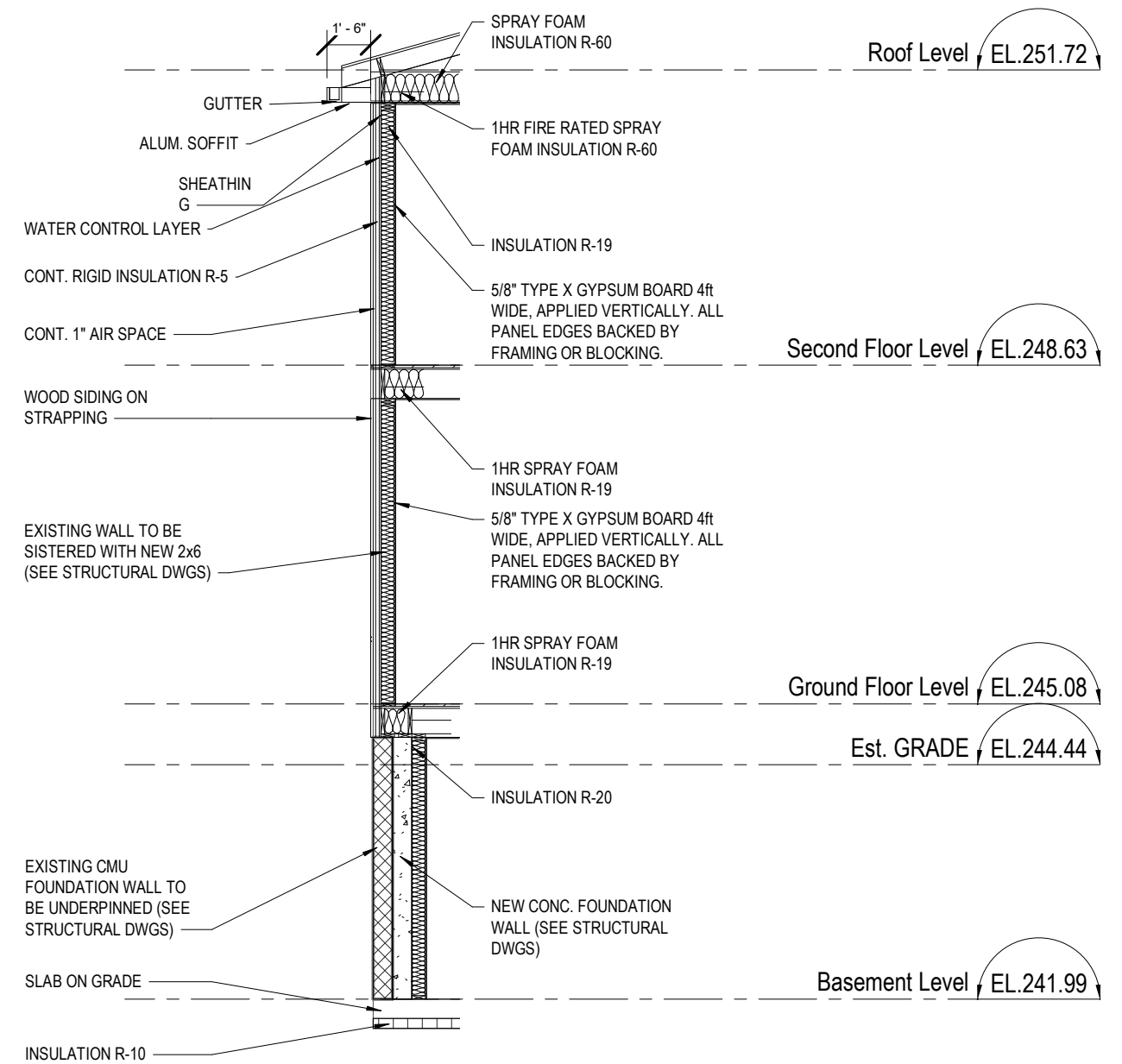
Project number	107
Date	2022-03-11
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**Wall Section 1**

3/16" = 1'-0"



**Wall Section 2**

3/16" = 1'-0"

# 18 BYRON AVE. EAST - LONDON, ONTARIO

18 BYRON AVE. EAST - LONDON, ONTARIO

## WALL SECTIONS

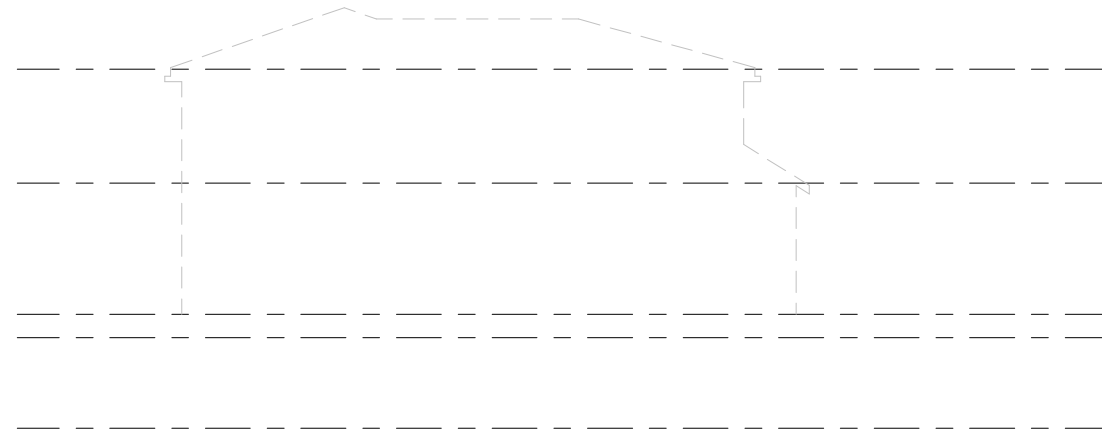
**A5.1**

Scale (ANSI B) 3/16" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

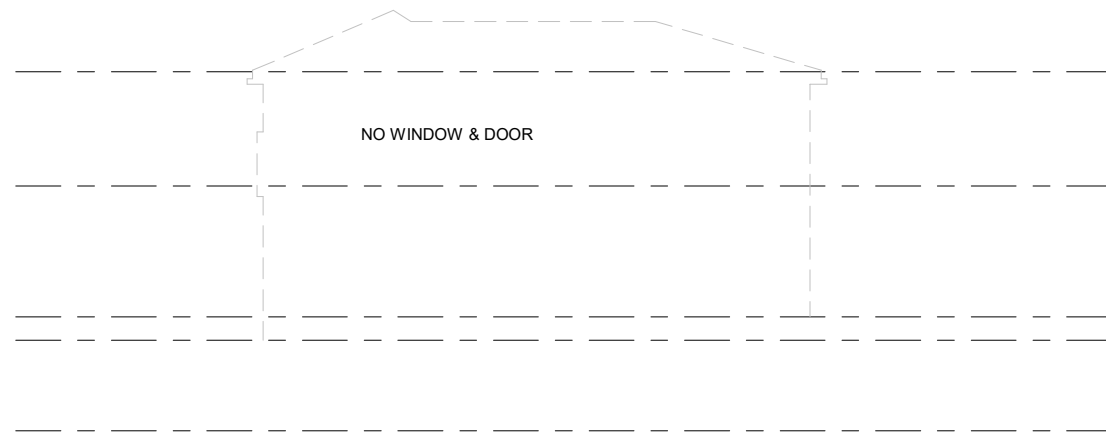
ISSUED FOR:  
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TOTAL AREA OF EXPOSING BUILDING FACE: 116 SqM  
 LIMITING DISTANCE: 12.05 M (to c/l of street)  
 AREA OF UNPROTECTED OPENING: 37.50 Sqm  
 AGGREGATE AREA OF UNPROTECTED OPENING: 32.32%



**South Elevation Windows**

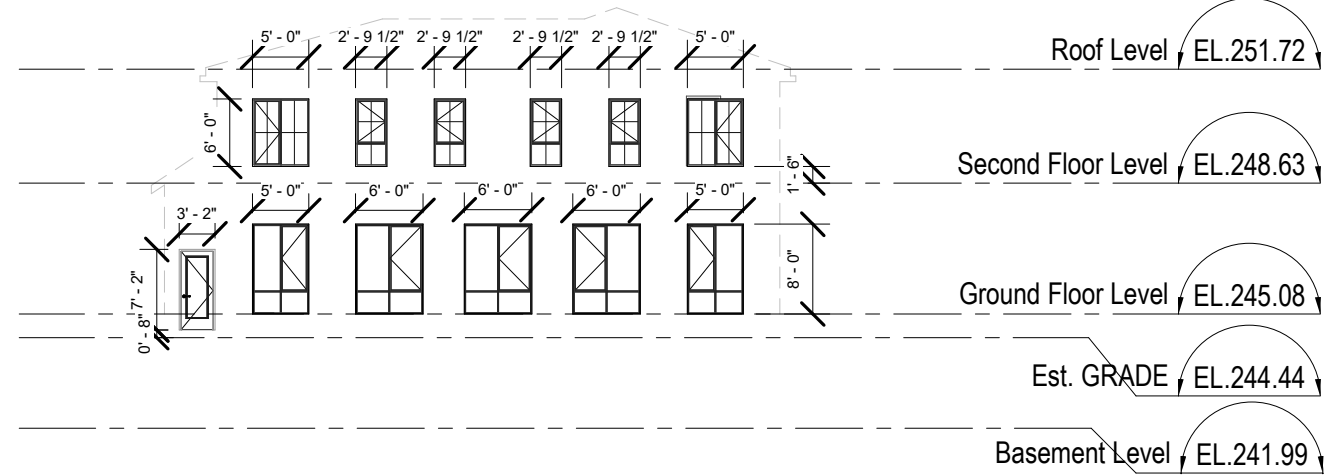
1/16" = 1'-0"



**East Elevation Windows**

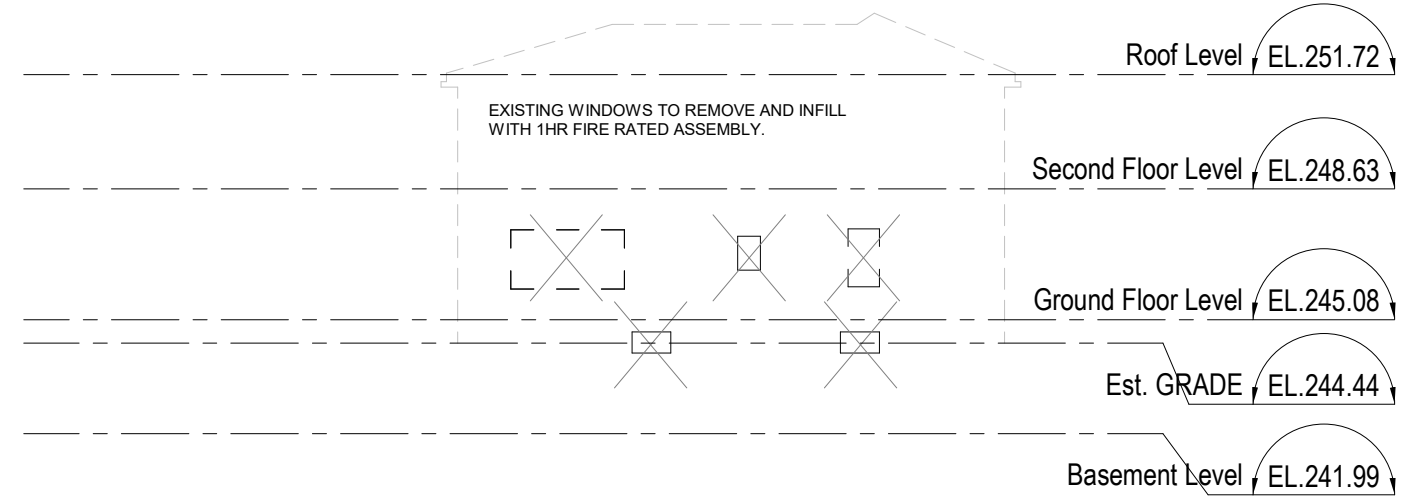
1/16" = 1'-0"

TOTAL AREA OF EXPOSING BUILDING FACE: 101 SqM  
 LIMITING DISTANCE: 20.26 M  
 AREA OF UNPROTECTED OPENING: 33.90 SqM  
 AGGREGATE AREA OF UNPROTECTED OPENING: 33.56%



**North Elevation Windows**

1/16" = 1'-0"



**West Elevation Windows**

1/16" = 1'-0"

Project number	107
Date	2022-03-11
Drawn by	-
Checked by	-

ISSUED FOR:  
 BUILDING PERMIT

**18 BYRON AVE. EAST - LONDON, ONTARIO**

18 BYRON AVE. EAST - LONDON, ONTARIO

**WINDOW SCHEDULE**

**A6.4**

Scale (ANSI B) 1/16" = 1'-0"



## **Appendix F – Heritage Impact Assessment**

Heritage Impact Assessment (a+LiNK Architecture Inc., dated January 5, 2022) –  
*attached separately*

# HERITAGE IMPACT ASSESSMENT

18 Byron Avenue East  
London, Ontario

Date:  
**Jan 5th, 2022**

Prepared for:  
**Mr. Scott Thomson**  
18 Byron Avenue East  
London, ON N6C 1C5

Prepared by:  
**a+LiNK Architecture Inc.**  
126 Wellington Road  
London, ON N6C 4M8  
T: 519.649.0220  
W: [www.alinkarch.ca](http://www.alinkarch.ca)

a+LiNK Project: 2138

**a+LiNK**  
architecture inc.  
preserve + create + sustain

05 JAN 2022

Project No. 2138

**Mr. Scott Thomson**

18 Byron Avenue East  
London, ON N6C 1C5

Re: Heritage Impact Assessment  
18 Byron Avenue East  
London, Ontario N6C 1C5

Dear Mr.

Attached is the Heritage Impact Assessment for the property located at 18 Byron Avenue East in regards to the residential addition and renovation proposal incorporating the existing house and garage, located within the Wortley Village-Old South Heritage Conservation District in London, Ontario.

We look forward to the opportunity to present this report to the City as you may require. Please do not hesitate to contact us with any questions or comments regarding this report.

Sincerely,



Ed van der Maarel  
Partner, Principal Architect + Heritage Consultant  
dipl. Arch., OAA, dipl. Arch.Tech., CAHP, OAHP

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## HERITAGE IMPACT ASSESSMENT - 18 BYRON AVENUE EAST

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APPENDIX A - *Existing Site Survey Drawing*

Archibald, Gray and McKay LTD. Plan, Survey, Engineer.  
October 15, 2020

APPENDIX B - *Proposed Drawings*

Third Layer Architects  
October 13, 2021

APPENDIX C - A-106-21: Report to London Committee of Adjustment.

City of London  
September 2, 2021

APPENDIX D - Stage 1 and Stage 2 Archaeological Assessment of

18 Byron Avenue East, London, ON....  
Thomas G. Arnold & Associates  
December 5, 2021

# 1. SUMMARY AND RECOMMENDATIONS

The client, Mr. Scott Thomson, owner of 18 Byron Avenue East in London, Ontario, has proposed an addition and renovation to the existing residence and garage, located in the Wortley Village-Old South Heritage Conservation District. The proposed alteration/addition retains and incorporates the existing one-storey residence and detached single-car garage into a larger addition. The addition connects the two existing structures and includes additional space by way of a new second storey and addition to the rear of the residence. The proposal retains the original structures, including the porch, in-situ and location of original doors and openings. The location of the site within the historic core of the Wortley Village-Old South Heritage Conservation District requires that a Heritage Impact Assessment of any potential impacts and mitigation strategies for those impacts be completed, as it relates to the property, surrounding heritage fabric and character of the area as a whole.

Significantly, the Stage 1 and Stage 2 Archaeological Assessment of 18 Byron Avenue East by Thomas G. Arnold & Associates did not recover any artifacts from the test pits completed during Stage 2. Therefore, the property no longer holds any archaeological potential or cultural heritage value.

The proposed addition and alteration to 18 Byron Avenue East, designated under Part V of the OHA, By-Law L.S.P.-3439-321, June 1, 2015., has been assessed through this HIA for potential impacts utilizing the Wortley Village-Old South Heritage Conservation District Plan Policies and Guidelines, and the mitigating approaches analyzed as per the Provincial Policy Statement (PPS) 2020. As with most additions and alterations to properties within a designated heritage district, location, height, density, and massing of proposed development provide the highest levels of impact on cultural heritage assets.

The proposed development will provide a low density, low scale addition and renovation to support the long term program of the property, improve its viability as a single family home, while also considering its impact on the streetscape of Byron Avenue East. Further, the proposal pays homage to the nearby and adjacent conditions of similar properties, with contemporary variations on the historical architectural detailing and massing through a sensitive addition linking the heritage residence and garage through an addition that continues on the second storey and at the rear. The proposed addition and renovation of the existing one storey home and garage into a larger, two storey residence, and the integration of the cultural heritage assets of the property within the proposed project provides the platform for the vibrancy and character desired within the Wortley Village-Old South Heritage Conservation District. The approach aims to reinforce the architectural merit of the C-Rated property, which although not individually designated, has a place in contributing to the historical, architectural and contextual value within the setting of the of the Wortley Village-Old South Heritage Conservation District.

The primary mitigating factors for the residential addition and renovation include; retaining the existing property as a key element contributing to the heritage of the streetscape along Byron Avenue East. Further, retaining its massing, form and architectural merit through retention of the original facade within the addition, maintaining the covered porch with triangular pediment at the entrance, and keeping the original location of openings. Further the addition is located between the existing residence and the existing garage, as well as above and beyond it to the north. The proposed height, massing and form are similar to that of the adjacent and nearby buildings, and in particular the use of a second storey datum that aligns with the property at 16 Byron Ave E. further helps to create references between existing heritage fabric and new design. The proposed design integrates the existing residence with a contemporary addition that is both subordinate to and steps back from the original buildings, utilizing modern cladding that is sympathetic to the heritage fabric of the original house and other properties nearby. The white cedar wood siding will improve the overall look of the renovated residence, removing the current vinyl cladding that is not in keeping with the goals of the HCD.

# 1. SUMMARY AND RECOMMENDATIONS

Importantly, the addition does not negatively affect the views, vistas or other heritage elements of nearby and adjacent properties outlined in Section 5.0 Heritage Context, specifically adjacent properties at 16 and 22 Byron Avenue East, or of the Victoria Public School yard, located opposite to the proposed site. While the proposed development achieves the majority of mitigation approaches identified in Section 7.0 of this document and of the PPS 2020, there are a few minor recommendations that would further assist in the mitigation process. New pedestrian and vehicular access as well as improved landscaping will contribute further to incorporating the proposed project into the cultural heritage context of the HCD. However, as per the HCD policies and guidelines, it is recommended that the proposed double lane driveway be instead considered as two single lane driveways with turf between the two to reduce the impact of the hard surface on the landscaping. It is also recommended that further clarification on the types of windows and the colours of trim and details be provided as required to further align the project with the character of the area.

In conclusion, the proposed addition and renovation meets the guidelines and mitigating measures for heritage properties outlined in the PPS 2020, the Ontario Heritage Act, the London Plan and, most importantly, the Wortley Village-Old South Heritage Conservation District Plan. While we recommend further refinements in the design details for consideration as the project proceeds, we believe the approach is a successful example of respecting and integrating an enlarged residence footprint within the surrounding heritage character of the district; the addition and renovation allows for a harmonious connection of the new and old, highlighting the role that heritage fabric and contemporary design can play within the HCD. Many low density, low scale residential addition and renovation projects have already been successfully integrated within the district to provide increased space for growing families. This project will join those in helping to provide longevity for an underutilized property that has great potential. The proposed addition and alterations to the C-Rated, Part V (OHA) designated property at 18 Byron Avenue East align with the key goals and principles of Wortley Village-Old South Heritage Conservation District and will contribute to the vibrancy and character of the historically significant area for years to come.

## 2. INTRODUCTION

a+LiNK architecture inc. was retained by the client, Mr. Scott Thomson, to provide a Heritage Impact Assessment (HIA) for the property located at 18 Byron Ave, London, Ontario, in regards to the proposed residential addition incorporating the original heritage house. This report has been prepared by Ed van der Maarel, Partner, Principal Architect and Heritage Consultant (OAA, CAHP). The proposal is being submitted as part of a Minor Variance for the property located at 18 Byron Ave, and the HIA is included as part of this process for the Committee of Adjustments.

The purpose of the Heritage Impact Assessment is to analyze the impact of the proposed addition and alteration on the heritage value of the property and the surrounding area. The building is designated under Part V of the Ontario Heritage Act (OHA), located within the Wortley Village-Old South Heritage Conservation District (HCD). The property itself is rated as a level C in terms of its significance on the Register of Cultural Heritage Resources for the City of London. Properties found within the HCD and listed on the Register are ranked as either A, B, C or D Rating in terms of significance, with A being most significant, and D being of lowest contributing value. There are also nearby and adjacent properties that are listed under Part V of the HCD under the OHA. These are also listed on the Register of Cultural Heritage Resources for the City of London and their value is similarly denoted utilizing the same aforementioned rating system.

The property and proposed addition are located approximately one block east of the Wharncliffe Road, in Old South/Wortley Village, on Byron Avenue East. Byron Avenue East runs east-west through the Wortley HCD; from Wortley Road, the avenue runs west across Wharncliffe to the west side, terminating at Orchard Street in the area known as *The Coves*. Currently the property houses the original one-storey residence and adjacent detached single-car garage, which are located on the south side of Byron Avenue East, across from Victoria Public School on the north side. The house was constructed circa 1881 in the vernacular/mixed style. Currently, the house is clad in a yellow-tone vinyl siding and the trim details are painted chocolate brown. The low roof is comprised of brown asphalt shingles and the windows appear to be vinyl and the door a replica, but the locations are original. The front porch extends the width of the house from east to west and a covered awing projects from the roofline sloped by triangular pediments that frame the east and west ends. A triangular pediment is located above the entrance to the porch. The lot is approximately 700.55 square meters, and the existing footprint of the one storey house and garage is approximately 115.26 square meters.

A renovation and addition is proposed for the property, which would convert the current one-storey residence with existing detached single-car garage into a two storey home with attached double garage. The proposed addition will incorporate the existing footprint of the home, and include rear and side additions, as well as a second storey, and inserts a second garage to create an attached double-car garage. The total building area proposed, excluding the garage and basement, is approximately 375.98 square meters. The original one-storey home and the existing covered porch along with the garage, will be retained in-situ, and included in the renovation proposed.

Because the property is located within a Heritage Conservation District (HCD), there are a number of policies and guidelines surrounding the proposed project on the site that deem the protection and integration of any proposed intervention as highly important. The design proposes changes to the property setbacks, requiring a Minor Variance. A Heritage Alteration Permit must also be obtained from the Municipality prior to the issuance of a building permit and the construction of the addition and alteration work.

This document outlines the observations of the proposed design and the impact of the development on the Part V designated property located at 18 Byron Avenue East, along with the impact on any nearby and adjacent designated Part V properties within the district. The document also provides insight into the context of the property, history and summarizes mitigation strategies that have been met by the proposal or suggested for implementation. The Stage 1 and 2 Archaeological Assessment by Thomas G. Arnold & Associates is also appended to this report.

### 3. POLICIES AND TERMS OF REFERENCE

The Provincial and the Municipality has set in place a number of policies and terms of reference for the purpose of protecting, preserving, and integrating cultural heritage resources within Ontario cities. The following Policies and Terms of Reference have been used in the preparation of the this Heritage Impact Assessment:

#### 1. THE PLANNING ACT AND PROVINCIAL POLICY STATEMENT (PPS) 2020

The Provincial Policy Statement (PPS) is the statement of the government's policies on land use planning. It applies province-wide and provides clear policy direction on land use planning to promote strong communities, a strong economy, and a clean and healthy environment.

The PPS is issued under Section 3 of the Planning Act and is utilized by municipalities to develop their official plans and to provide guidance and information in regards to planning matters. Specifically, and in regards to cultural heritage, the Planning Act has provisions respecting the province's cultural heritage. The PPS provides general guidance for municipalities for planning and development of communities in a number of ways by; encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes.

Section 2.6 of the Act, specifically 2.6.1, 2.6.3, 2.6.4 and 2.6.5 provides municipalities with rules as to the cultural resources within the community.

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5 Planning authorities shall consider the interests of Aboriginal communities in conserving cultural heritage and archaeological resources.

The PPS 2020 further provides definition to municipalities in regards to the terms used to describe cultural heritage.

**Built heritage resource:** means a building, structure, monument, installation or any manufactured remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Aboriginal community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the Ontario Heritage Act, or included on local, provincial and/or federal registers.

**Conserved:** means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-Provincial Policy Statement, 2020 | 42 maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.



### 3. POLICIES AND TERMS OF REFERENCE

**Cultural heritage landscape:** means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.

**Development:** means the creation of a new lot, a change in land use, or the construction of buildings and structures, requiring approval under the Planning Act, but does not include:

- a. activities that create or maintain infrastructure authorized under an environmental assessment process;
- b. works subject to the Drainage Act; or
- c. for the purposes of policy 2.1.4(a), underground or surface mining of minerals or advanced exploration on mining lands in significant areas of mineral potential in Ecoregion 5E, where advanced exploration has the same meaning as under the Mining Act. Instead, those matters shall be subject to policy 2.1.5(a).

**Heritage attributes:** means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant views or vistas to or from a protected heritage property).

**Protected heritage property:** means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

While the property is not designated under Part IV of the Ontario Heritage Act, it is located within the Wortley Village-Old South Heritage Conservation District, designated under Part V of the Ontario Heritage Act. As per City of London By-law for Heritage Alteration Permits, a Heritage Impact Assessment is required when a property within a Heritage Conservation District (HCD) is altered, and the PPS 2020 provides the tools necessary as a Terms of Reference for the document.

#### 2. THE ONTARIO HERITAGE ACT

The Ontario Heritage Act (OHA), R.S.O, 1990, c.0.18 is the legislation for the conservation of significant cultural heritage resources in Ontario. Part V of the OHA references Heritage Conservation Districts. Part V outlines the requirements for designation of a district and requires that all HCD's within a municipality be registered under that section. The HCD also helps to manage changes within a specified district while also protecting the cultural heritage value of the HCD. This Heritage Impact Assessment (HIA) will refer to these policies to determine the potential impacts, mitigation approaches and any conservation recommendations for the development alterations at 18 Byron Ave E. as they relate to the Wortley Village-Old South HCD principles, policies and guidelines. Ultimately, the goal of the HIA is to ensure that the new additions maintain compatibility within the neighbourhood, as well as the visual streetscape and essence of the community within Wortley Village and Old South.

### 3. POLICIES AND TERMS OF REFERENCE

#### 3. THE LONDON PLAN

The London Plan, Minister Approved, December 28, 2016, *'constitutes the Official Plan for the City of London, prepared and enacted under the authority of the provisions of Part III of the Planning Act, R.S.O. 1990, c. P.13. It contains goals, objectives, and policies established primarily to manage and direct physical change and the effects on the social, economic, and natural environment of the city.'*

The London Plan provides for provincial interest and is designed to include the requirements of the Provincial Policy Statement (PPS) 2014/2020. Section 24 of the Planning Act, R.S.O. 1990, c. P. 13, identifies that "no public work shall be undertaken and no by-law shall be passed for any purpose that does not conform with this Plan. This includes for approvals of planning and development applications such as official plan amendments, Zoning by-law Amendments, plans of condominium, site plans, consents to sever, and minor variances.

While 'The London Plan' is organized in nine (9) parts, Part 4 specifically outlines 'Cultural Heritage' in its City Building Policies. However other Parts, ie. Part 7 Secondary Plans contribute to the Planning Process and the preservation and integration of the City's cultural heritage.

The specific direction provided in The London Plan is to: *"Protect our built and cultural heritage, to promote our unique identity and develop links to arts and eco-tourism in the London region"* and *"Protect what we cherish by recognizing and enhancing our cultural identity, cultural heritage resources, neighbourhood character, and environmental features."*

The London Plan and its Policies apply to the proposed development site and there the preservation of the City's cultural heritage must align with these policies.

#### 4. CITY OF LONDON - TERMS OF REFERENCE: HERITAGE IMPACT ASSESSMENTS AND HERITAGE CONSERVATION DISTRICTS

The proposed development for the property located at 551-555 Waterloo Street is being submitted for re-zoning as part of the Site Plan Application (pre-consultation), and as part of the application, a Heritage Impact Assessment is required.

##### ***City of London Heritage Impact Assessment***

The City of London does not have specific Terms of Reference for the preparation of Heritage Impact Assessments. Generally, municipal Terms of Reference are based on Provincial Policy Statements' Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the PPS, and specifically Info Sheet #5. This document has provided the general terms of reference for this HIA.

##### ***City of London Heritage Conservation District - Wortley Village-Old South***

The City of London maintains By-Laws to protect areas considered of high heritage value within the city boundary. These areas are known as Heritage Conservation Districts. The site at 18 Byron Avenue is located within a Heritage Conservation District (HCD) called the *Wortley Village-Old South Heritage Conservation District*. The City of London Designated the area under Part V of the OHA, By-Law L.S.P.-3439-321, June 1, 2015. A Heritage Alteration Permit (HAP) is also required to adhere to the Heritage Conservation District Plan and By-Law when a proposed development permit is made for a property within the district. Presently there are policies and guidelines that

### 3. POLICIES AND TERMS OF REFERENCE

have been implemented to conserve the HCD, with the primary goal of the HCD to retain the original street facades of the historic homes and other buildings. The historical and architectural ‘Reasons for Designation’ (and the district boundary) identified under Part A, Section 2.0 of the HCD Plan are important in highlighting the specific conservation and preservation requirements for the site located at 18 Byron Avenue. Part A, Section 3.0 includes the key Heritage District Goals, Objectives and Principles. District Policies (4.0), Municipal Policies (5.0), and Heritage Alteration Permits (6.0) are provided in the plan under Part B, as well as Implementation (7.0). Part C, Sections 8.0, 9.0, and 10.0 detail the Guidelines for Architectural Design, Conservation and Landscape Conservation and Design, respectively. Finally, Part D provides resources, such as Homeowner’s Brochure, Draft Heritage Alteration Permit Application and Glossary and Definitions and Information and Reference Sources.

A summary of the Heritage District Goals, Objectives and Principles are listed below, as an overview to help inform this HIA. Specific District and Municipal policies (listed under Sections 4.0 and 5.0 of the HCD) as they relate to the property at 18 Byron Ave will be further outlined in the report, and applicable Architectural Design Guidelines found under Section 8.0 of the HCD. For the complete document, refer to the Wortley Village-Old South Heritage Conservation Plan.

#### Heritage District Goals, Objectives and Principles - Wortley Village-Old South

Section 3.1 of the HCD outlines the Goals and Objectives for the area. There are five key areas of goals and objectives that provide the framework for the conservation of the HCD over the longterm, including the conservation approach and the guidelines. The goals are listed below.

#### Goals and Objectives

##### *Overall Heritage Conservation District*

*Goal:* Recognize, protect, enhance and appreciate Wortley Village-Old South’s cultural heritage resources, including buildings, landscapes and historical connections, and value their contribution to the community by:

- Identifying an HCD that incorporates the key historical, architectural and contextual attributes of Wortley Village-Old South;
- Encouraging the retention, conservation and adaptation of the HCD’s cultural heritage resources and heritage attributes, as described in the Study and Plan, rather than their demolition and replacement;
- Providing guidance for change so that the heritage attributes and cultural heritage value of the HCD is conserved, maintained and, wherever possible, enhanced; and
- Identifying and building community awareness of unique or significant heritage attributes and appropriate means of conservation.

##### *Buildings*

*Goal:* Avoid the destruction and/or inappropriate alteration of the existing building stock, materials and details by:

- Establishing policies and design guidelines to ensure new development and alterations are sensitive to the heritage attributes and details of the District and are based on appropriate research and examination of archival and/or contextual information;
- Strongly discouraging the demolition of heritage buildings and the removal or alteration of distinctive architectural details;
- Encouraging individual building owners to understand the broader context of heritage preservation, and recognize that buildings should outlive their individual owners and each owner or tenant should consider

### 3. POLICIES AND TERMS OF REFERENCE

themselves stewards of the building for future owners and users;

- Encouraging sensitive restoration practices that make gentle and reversible changes, when necessary, to significant heritage buildings;
- Encouraging improvements or renovations to “modern era” resources that are complementary to, or will enhance, the HCD’s overall cultural heritage value and streetscape; and
- Providing homeowners with conservation and maintenance guidelines and best practices so that appropriate conservation activities are undertaken.

#### *Streetscape*

**Goal:** Maintain and enhance the visual, contextual and pedestrian oriented character of Wortley Village-Old South’s streetscape and public realm by:

- Recognizing that the HCD’s cultural heritage resources includes streets, parks, trees, open spaces, street furniture, signs and all manner of items that contribute to the visual experience of the community, whether public or privately owned;
- Maintaining existing street trees, vegetation and boulevards and develop replacement programs where necessary to ensure tree canopy retention over time;
- Establishing a common ‘language’ of streetscape elements that will complement the heritage attributes of the HCD and create greater continuity where disparate land uses and built forms exist; and
- Identifying opportunities for interpretive features that can bring awareness of the HCD’s heritage attributes to residents and visitors.
- Providing guidance for the development of new buildings to ensure that new development is compatible with, and supportive of the cultural heritage value or interest and heritage attributes of Wortley Village- Old South HCD.

#### *Land Use*

**Goal:** Maintain the low-density residential character of the Wortley Village-Old HCD as the predominant land use, while recognizing that certain areas of the HCD already have or are intended for a wider range of uses by:

- Ensuring that appropriate Official Plan policies, designations and zoning regulations are in effect that support the residential community;
- Establishing policies that will consider and mitigate the potential impacts of non-residential or higher intensity residential uses on the cultural heritage value or interest of low-density residential areas;
- Developing area or site-specific policies and guidelines for those areas intended for non- residential or higher intensity residential uses that will protect heritage attributes, while allowing greater latitude for potential alterations or redevelopment; and
- Ensuring that infill development or redevelopment is compatible with the cultural heritage value or interest and heritage attributes, and pedestrian scale of the HCD.

#### *Process*

**Goal:** Ensure that the Heritage Alteration Permit approvals process for the Wortley Village-Old South HCD is effective, streamlined and easily understood by:

- Describing which types of alterations or classes of alterations will and will not require a Heritage Alteration Permit.

### 3. POLICIES AND TERMS OF REFERENCE

- Providing property owners with relevant information (e.g. - terminology, checklists, graphics, etc.) to simplify applications for Heritage Alteration Permits, when required;
- Identifying potential funding, grant or rebate programs that exist or should be considered that will assist homeowners in completing heritage-appropriate conservation activities; and
- Clearly establishing the roles and responsibilities of those involved in the approvals and decision making process.

#### Principles

The following principles from the Wortley Village-Old South HCD outline the overall path to conservation that should be considered, particularly in situations where the policies and guidelines of the HCD do not specifically address a situation or issue. The principles provide the backbone for the plan, offering fundamental direction in lieu of applying specific guidelines or policies from the HCD. These have been adapted from the principles of both the *Venice Charter for Conservation* (1964), and Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*.

*Conserve the Historic Context* - A cultural heritage resource or cultural landscape represents the individuals and periods from history that have been associated with it. The building or landscape records the original architect, landscape architect and builder's intentions as well as the historic forces that were at play when it was created or built. Subsequent alterations also record the historic context at the time of the alterations. It is appropriate to acknowledge that a building is both a functional enclosure and a vehicle for history, as a landscape is both setting and historical record. As such, historical context is to be considered when planning restorations, alterations or redevelopment.

*Maintain and Repair* - All cultural heritage resources and landscapes require some continuous methods of conservation and maintenance as they are exposed to the constant deteriorating effects of weather, wear from use, or succumb to their natural life span. Owners are encouraged to undertake appropriate repair and maintenance activities of heritage properties. Plans for alterations and restoration should also consider the amount and type of maintenance that will be required. All maintenance and construction activity should involve an appropriate amount of research and planning to avoid irreversible mistakes.

*Find a Viable Social or Economic Use* - Cultural heritage resources that are vacant or under-utilized come to be perceived as undeserving of care and maintenance regardless of architectural or historic merit. City Council and staff should actively encourage and support appropriate forms of adaptive reuse when necessary to conserve cultural heritage resources.

*Conserve Traditional Setting* - A cultural heritage resource is intimately connected to its site and to the landscape. Spatial organization, site circulation, viewsheds and individual designed elements form a setting that should be considered during plans for restoration or change. An individual cultural heritage resource is perceived as part of a grouping and requires its neighbours to illustrate the original design intent. When resources need to change there is a supportive setting that should be maintained.

*Conserve Original Decoration and Fittings* - A cultural heritage resource fits into its larger setting and at a smaller scale is the frame for the decorations and fittings that completed the original design. For example, the original exterior decorations such as bargeboards, veranda trim, wood, metal or brick cornices and parapets are all subject to weathering and the whim of style. Avoid removing or updating the style of these features or replacing them with poor reproductions of the originals. Their form and materials are an inextricable part of the original design

and should enjoy the same respect as the whole building. Where practical, fittings and equipment should be conserved or re-used.

*Restore to Authentic Limits* - Do not embellish a restoration and add details and decorations that would not have been part of the history of the landscape or cultural heritage resource.

*Employ Traditional Repair Methods* - Deteriorated elements and materials that cannot be salvaged should be repaired or replaced with the same materials and inserted or installed in a traditional manner. In some cases, some modern technologies ensure better and longer lasting repairs than traditional methods and should be employed if proven to be an improvement.

*Respect Historic Accumulations* - A landscape or cultural heritage resource is both a permanent and a changeable record of history. The alterations that have been made since the original construction also tell part of the history of the place and the resource. Some of those alterations may have been poorly conceived and executed and research may determine that they can be removed. Other alterations and additions may have merits that warrant incorporating them into its permanent history. In many cases, it is difficult and unrewarding to fix a point in history as the target date for restoration. It is more appropriate to aim for a significant period in the history of the building, but be flexible in accommodating more recent interventions that are sympathetic and have improved the historical or functional nature of the building. Respect does not mean rigid.

*Make New Replacements Distinguishable* - The construction eras and historical progression should be self-evident. Although new work should be sympathetic to the original and match or mimic as appropriate, it should not attempt to appear as if built as part of the original construction.

Wortley Village-Old South Heritage Conservation District Plan, ecoplans et. all

## 4. DESCRIPTION OF SITE

### 4.1 CITY CONTEXT + NEIGHBOURHOOD CONTEXT: WORTLEY VILLAGE-OLD SOUTH HERITAGE CONSERVATION DISTRICT

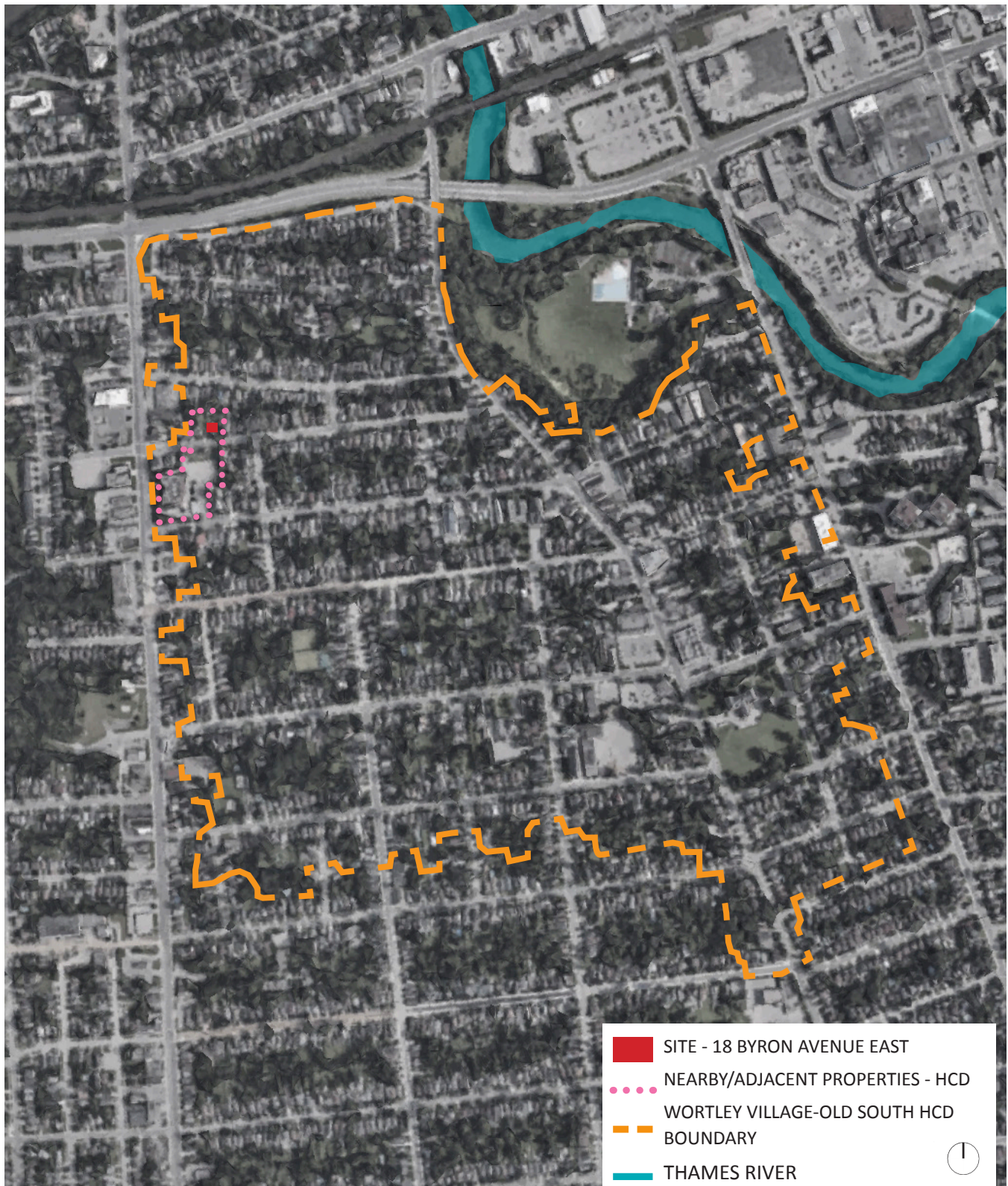
The site of 18 Byron Avenue is located in London, Ontario, approximately one block east of the Wharncliffe Road, in Old South/Wortley Village, on Byron Avenue. Byron Avenue runs east-west through the Wortley HCD; from Wortley Road, the avenue runs west across Wharncliffe to the west side, terminating at Orchard Street in the area known as The Coves. The property is located on the north side of Byron Avenue, across from Victoria Public School (on the south side). There are residential properties located to the east, north and west, all of which are designated within the Wortley Village-Old South HCD.

The site is located within the Wortley Village-Old South Heritage Conservation District, designated Part V of the OHA, under By-Law L.S.P.-3439-321, June 1, 2015. Wortley Village-Old South is considered to be one of the most significant areas within the City of London, and an area of high heritage value, encompassing a village character that is independent of the larger City context. Here there is a large proportion of residences constructed between circa 1850-1930 that are well preserved. There are also several significant commercial, retail, civic and institutional properties, and public spaces, particularly along Wortley Road. As described in the HCD, the boundary includes, "Horton Street and Thames Park to the north and to the properties located along Duchess Avenue and Tecumseh Avenue East to the south. The western boundary of the HCD follows the back property line of the properties fronting Wharncliffe Road South, while the eastern boundary jogs to incorporate properties fronting Ridout Street South from Ingleside Place to Elmwood Avenue East, where the boundary then turns to the west to follow the back of the properties fronting Ridout Street." (ecoplans et al, 2014, p7)



Image 1: City Context Map. Basemap: Google Earth, 2021.

## 4. DESCRIPTION OF SITE





## 4. DESCRIPTION OF SITE

### 4.2 SITE + PROPERTY CONTEXT

#### ***Existing Site - 18 Byron Avenue East - C Rating***

18 Byron Avenue East, lot #34, is located on the north side of Byron Avenue, across from Victoria Public School (on the south side). There are residential properties located to the east, north and west, all of which are designated within the Wortley Village-Old South HCD. Currently the property houses the original one-storey residence and adjacent detached single-car garage and double driveway. Walkways comprised of concrete sidewalk slabs connect the house to the garage and also lead north into the yard. The house was constructed between 1883 and 1889 by James O'Donnell and is the only house built on the lot. It was built in the vernacular style. Currently, the house is clad in a yellow-tone vinyl siding and the trim details are painted chocolate brown. The roof is comprised of brown asphalt shingles and the double-hung sash windows appear to be vinyl. The front porch extends the width of the house from east to west and a covered awing projects from the roofline sloped by triangular pediments that frame the east and west ends. Some original doors, windows, trimwork, and decorative elements may still be present on the property, while others appear to have been replaced with modern versions, such as the windows, siding and roofing material.

The lot is approximately 700 square meters, in a rectangular form with a deep yard and bounded by a fence on the north, east and west sides, with mature trees along the perimeter. The existing footprint of the one storey house and garage is approximately 115.26 square meters.

The site is currently zoned as R2-2. The property is owned by Mr. Scott Thomson. The property at 18 Byron Ave E is not designated under Part IV of the OHA, but is listed as a C-Rated property on the City of London's Register of Cultural Heritage Resources and in the HCD, and is designated under Part V of the OHA as part of the Wortley Village-Old South Heritage Conservation District.



Image 3: 18 Byron Avenue East, Front/South Elevation (present day). Note one storey massing, form, and covered porch with triangular pediment above the entrance steps to the porch as well as original location of double-hung sash windows, and wooden deck. While some original features appear to remain, many have been replaced, such as openings, roofing and cladding. Source: Google Streetview, 2021.

## 4. DESCRIPTION OF SITE

### **Nearby/Adjacent Properties - A + B Rating**

There are a few properties located adjacent to 18 Byron Ave E., that are designated as part of the HCD, and considered of heritage value. These properties have views from their side elevations to the existing site: 16 and 22 Byron Ave E. 16 Byron Ave E. is listed as a B-rated property on the City of London's Register of Cultural Heritage Resources, while 22 Byron Ave E. is listed as an A-rated property on the same register, and both are designated as part of the Wortley Village-Old South Heritage Conservation District, under Part V of the OHA. The two properties are historic residences built in the vernacular style, serving as either single-family and/or multi-tenant spaces. These two properties are of particular importance due to their close proximity and direct adjacency to 18 Byron Ave E.

### **Nearby/Adjacent Properties (Opposite Side of Byron Avenue East) - B Rating**

There is also one property located opposite 18 Byron Ave E., on the south side of the street that is included within the context of the site description, as the property is directly across from the proposed site. This property is Victoria Public School, listed as a B-Rated property within the HCD and on the City of London's Register of Cultural Heritage Value, and designated under Part V of the OHA. 18 Byron Ave E. can be seen from the rear of Victoria Public School and because of the size of the property and its prominent location, should be considered.

A site map identifying the nearby/adjacent properties in context of the existing property is provided below, as Image 4.

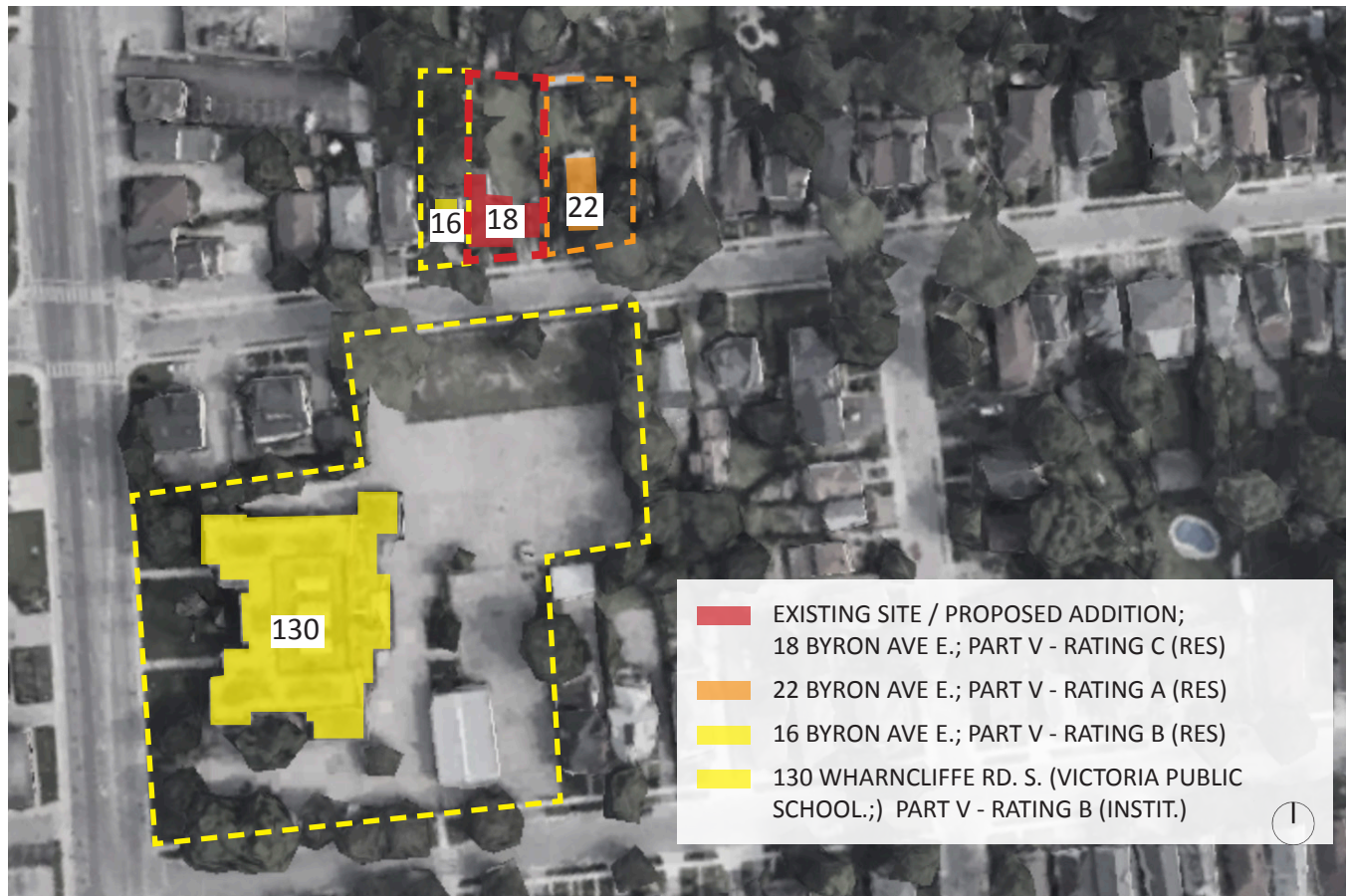


Image 4: Site + Property Context Map. Basemap: Google Earth, 2021.

## 5. HISTORICAL CONTEXT

### 5.1 NEIGHBOURHOOD HISTORICAL VALUE - WORTLEY VILLAGE-OLD SOUTH HERITAGE CONSERVATION DISTRICT (PART V, OHA)

The following Heritage Character Statement has been included in italics below, taken directly from the Wortley Village-Old South Heritage Conservation District Plan.

#### 5.1.1 HERITAGE CHARACTER STATEMENT

##### ***Historic Character***

*The area encompassed within the HCD has a long history as a residential suburb of London with an independent village character. This history is reflected in the concentration and stylistic mixture of historic properties dating from the area's formative years between circa 1850 and 1930. These generally well preserved historic homes and institutional buildings, along with the rather haphazardly incremental character of the Wortley Road commercial centre, give the area both visual and cultural distinctiveness required for an HCD.*

*From the time of London's founding just north of the Thames River, the area immediately south of the river, then in Westminster Township, functioned as a residential appendage to its more urban neighbour. First a pastoral home for the country estates of some of London's more privileged citizens, it gradually became a middle class suburb dominated by notably large houses built by the city's more successful entrepreneurs and stylish homes of a moderate size built to accommodate its successful civil servants and artisans; an Advertiser article dating from 1888 praised its "splendid residences," "fine views," and "magnificent grounds." By this time a process of intensification had begun which was to accelerate during the next half-century: one storey cottages began to proliferate along with more substantial two storey homes, all in then fashionable styles and usually on smaller lots as the older holdings were further subdivided. The lands within the boundaries of the HCD generally held recognizable suburban streetscapes by 1915 and had mainly achieved their present built form before World War II.*

*Commercial enterprises, mainly designed to cater to neighbourhood needs, began to be interspersed with homes along Wortley Road in the early 1870s. The HCD took on a more dominant commercial character during the second half of the twentieth century, with the interposition of more businesses, more large-scale buildings and, especially in recent decades, more enterprises seeking a city-wide clientele. Commercial activity developed somewhat later along Wharncliffe Road, to the west of the HCD, and catered earlier to citywide businesses depending on vehicular transport; buildings along Ridout Street, bordering the HCD to the east, are still largely residential.*

*With the exception of the modest Wortley Village Commercial Area, the surrounding neighbourhood has remained insistently residential. Most institutional and landmark buildings such as schools and churches were designed to service area residents. The most striking exception is the former Normal School, designed to educate teachers within the entire London region. It is perhaps somewhat ironic, therefore, that this impressive building has come to serve as the logo and its grounds as the gathering place for the Old South Community Organization.*

*Despite the fact that much of the area south of the Thames River was annexed to the City of London in 1890, Old South has retained a strong sense of its individual identity, and the Wortley Village area still serves as its focal point and gathering place. While most of the residential neighbourhood within the HCD is characterized by a high degree of architectural authenticity, the commercial strip along Wortley Road is a somewhat untidy mixture of altered residences and of old and new purpose-built structures built to differing scales. Unplanned and accidental as it appears, this very informality seems to foster the relaxed atmosphere that makes Wortley Village the social and commercial hub of the extended neighbourhood it serves and an increasingly inviting venue for the city beyond.*

## 5. HISTORICAL CONTEXT

### **Architectural Character**

*The architectural character of the HCD is established by the recurring use of consistent building materials, forms and details in the majority of the properties within the HCD. That character is to some extent shared with neighbouring areas of London that were built at the same time using similar materials and craftsmanship, but is also unique to the Wortley Village-Old South HCD, like a fingerprint or snowflake, with a combination of buildings and landmarks not repeated anywhere else. The building form and details are largely dictated by Victorian tastes, although there are many examples of other architectural styles.*

*Where there are exceptions to the consistent pattern, the exceptions are either not significant enough to detract from the prevailing pattern, or are noteworthy because of their added appeal to the architectural assets of the HCD.*

*The architectural character of the area is strengthened by the significant, large buildings forming the commercial area along Wortley, and the concentration of churches, schools and the London Normal School all close to the Wortley Road commercial area to form a visual core of landmark buildings. It is significant also that these major landmark buildings are all of the same vintage as each other and of the surrounding residential properties. The design details that embellish the exterior of the landmark buildings are repeated, sometimes in less grand scale, in the houses.*

*There is a slight concentration of the most significant buildings in the core area near Wortley Road, however, the presence of Victoria Public School on Wharncliffe provides a landmark bookend to identify the architectural and community western boundary to the HCD.*



Image 5: Views of the London Normal School from Wortley Road Circa 1920. The LNS is located just southeast of Wortley Road and the main village along Elmwood Ave. Source: Canada's Historic Places. London Normal School. <https://www.historicplaces.ca/en/rep-reg/place-lieu.aspx?id=8871>. Retrieved 2021.

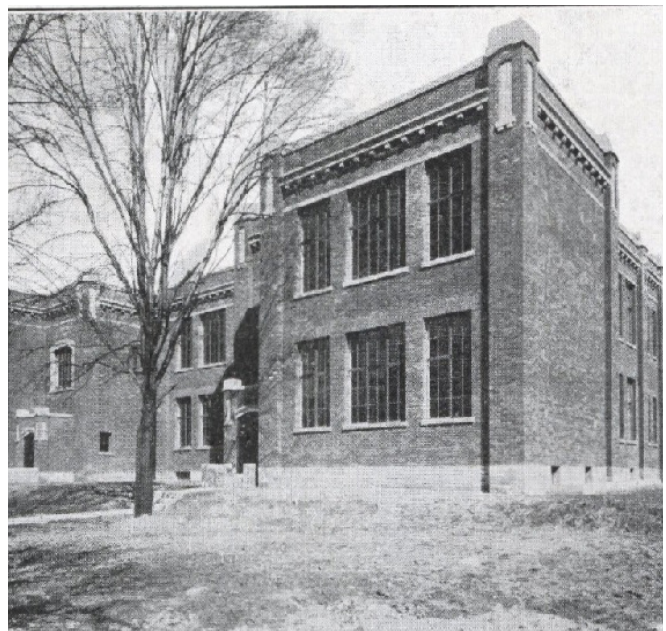


Image 6: Views of Victoria Public School at the west end of Askin Street, Circa 1922. Source: TVDSB - Victoria Public School. <https://victoria.tvdsb.ca/en/our-school/about-us.aspx>. Retrieved 2021.

## 5. HISTORICAL CONTEXT

### **Streetscape Heritage Character**

*With its grid of linear streets and generally consistent building scale and setbacks, there is a strong rhythm and coherent character within the streets of Wortley Village-Old South HCD. While the maturity and size of trees found on public property vary from large and majestic, to newly planted specimens, the combination of trees in the public realm and those that exist on private property contribute greatly to the leafy canopy lining the streets of the HCD; this combination of public and private trees gives most of the streets within the residential areas of the neighbourhood a generally enclosed feeling and contributes to the comfortable and friendly pedestrian environment of the neighbourhood.*

*Yards are well maintained with gardens and foundation plantings, trees and other landscape features including fences, hedges and pillars to delineate private space. The HCD contains a variety of open spaces, from the long standing neighbourhood parks located on Duchess Avenue and Victor Street, which provide green space for the local community, to the historical grounds associated with the Normal School and the Elmwood Lawn Bowling Club; there are also the gardens connected with many of the church properties, which offer smaller, more intimate places of outdoor refuge.*

*The exception to the consistent streetscapes within the HCD lies along Wortley Road itself. As the commercial spine of the village, it differs in use and appearance to the residential fabric of the neighbourhood. The commercial core is, however, congruent with the rest of the HCD in terms of its scale, its sense of place and its comfortable pedestrian character.*

*Overall, the Wortley Village-Old South HCD is rich with historical, architectural and landscape treasures that contribute to the cultural heritage value or interest of the HCD. The HCD has benefited from residents that highly value the history and the character of their neighbourhood, and the pride that they hold for their homes and their village is evident within its streetscapes. Change is, however, inevitable, and changes to built form and the streetscape have occurred for a number of reasons including adaptive re- use, infill, and utility upgrades; while often times these changes are sensitive to the cultural heritage value or interest of the HCD, there are also examples where the cultural heritage value or interest has been greatly altered and even lost. By designating the area as the Wortley Village-Old South HCD, valuable heritage resources can be both conserved and interpreted while still allowing for the necessary and appropriate evolution of the neighbourhood in a manner that links the past, present and future.*

### 5.1.2 KEY HERITAGE ATTRIBUTES OF THE DISTRICT

The following list of key attributes for residential properties is extracted from Section 8.2 Heritage Attributes of the Wortley Village-Old South Heritage Conservation District Plan. These are referenced in reviewing the heritage character of the property at 18 Byron Ave E., and nearby/adjacent properties in the following Sections 5.2 and 5.3 of this report.

- Building Form, Massing, Height, Width and Visible Depth
- Building Setting on Property
- Architectural Style
- Building Facade Elevation Layout and Shape, Projections and Reveals
- Porches
- Roof Style, Chimneys, Dormers, Gables, Eaves, Soffits and Turrets
- Windows, Doors and Accessories
- Building Materials, Textures, and Colours

## 5. HISTORICAL CONTEXT

### 5.1.3 HCD HISTORICAL VALUE - RATING SYSTEM

The Wortley Village-Old South Heritage Conservation District Plan provides the necessary references to help frame the understanding of the value of the property at 18 Byron Ave E., and nearby/adjacent properties, in relation to the HCD in a historical, architectural and streetscape context. The HCD also outlines the rating of each property within the district, using a scale of A, B, C and D. Properties listed as A or B meet at least one of the following criteria: maintain high heritage value, are designated under Part IV of the Heritage Act, or Listed on the Municipal Register of Cultural Heritage Resources, retain a fine level of architectural style and merit, exhibit unique qualities and details, are associated a significant event, person or storey, or contributes to the streetscape because of its sequence, grouping or location. The also have many of the key heritage attributes identified in Section 5.1.2, and are generally in good condition and well-maintained, even though they may not be individually designated under Part IV of the OHA. Properties with a C-Rating include buildings whose form and massing are historical as a part of a family of buildings, or the building is a good example of a modest design that is found repeated throughout the area. Finally, D-Rating includes those buildings in which the heritage qualities have been irreversibly lost or covered, or the original design lacks architectural merit to contribute to the HCD. This rating system helps to understand the historical value of 18 Byron Ave E., and of the nearby/adjacent properties in the context of heritage attributes and the contribution to the overall value of the Wortley Village-Old South HCD.

### 5.2 PROPERTY HISTORICAL VALUE: 18 BYRON AVENUE EAST (PART V, OHA)

#### 5.2.2 BRIEF HISTORY OF THE PROPERTY

According to the Archaeological Assessment of the property by Thomas G. Arnold and Associates, the property was originally owned by John Baptiste Askin. He had several children, including Charles James Stuart Askin, a prominent doctor and medical surgeon to whom his father bequeathed their lands upon his death. He subsequently subdivided the area into streets and buildings lots establishing the neighbourhood and the original name of Byron Avenue East was called Alma Street. Simpson Hackett Graydon, a barrister and councilor with the city completed the project for CJS Askin, and was then deeded parts of lot 4 (including now 18 Byron Ave E.). As per the report, "On June 17, 1872, he registered the plan of subdivision now known as Registered Plan 300. The study area is located on lot 34 of this plan. On July 17, 1872, twenty-two year old James O'Donnell purchased all of lot 34 on Plan 300 from Simpson H. Graydon (Table 1: Deed 11826 [of the Archaeological Report]). It was O'Donnell who eventually built the dwelling located today at 18 Byron Avenue East." (Arnold + Associates, 2021, p4)

The property has changed hands several times since the original home was constructed, having been deeded to children and then nieces of James O'Donnell, and then sold to new owners multiple times, and even rented out. Its was purchased by Scott Thomson on June 17, 2016 and he remains as the current owner.

#### 5.2.3 HERITAGE CHARACTER + ATTRIBUTES

The property located at 18 Byron Ave E. is rated as level C in terms of significance within the HCD and on the Register. Because it is not designated under Part IV, it is likely that the massing and form of the building at 18 Byron Ave E., highlights its program as a small cottage-like vernacular home typical of many modest residential homes found Byron Ave and in the area constructed in the late 1800's, and contributes to the overall streetscape of the HCD of Wortley Village-Old South because of its general architectural merit and its sequence, grouping or location, along the street.

# 5. HISTORICAL CONTEXT

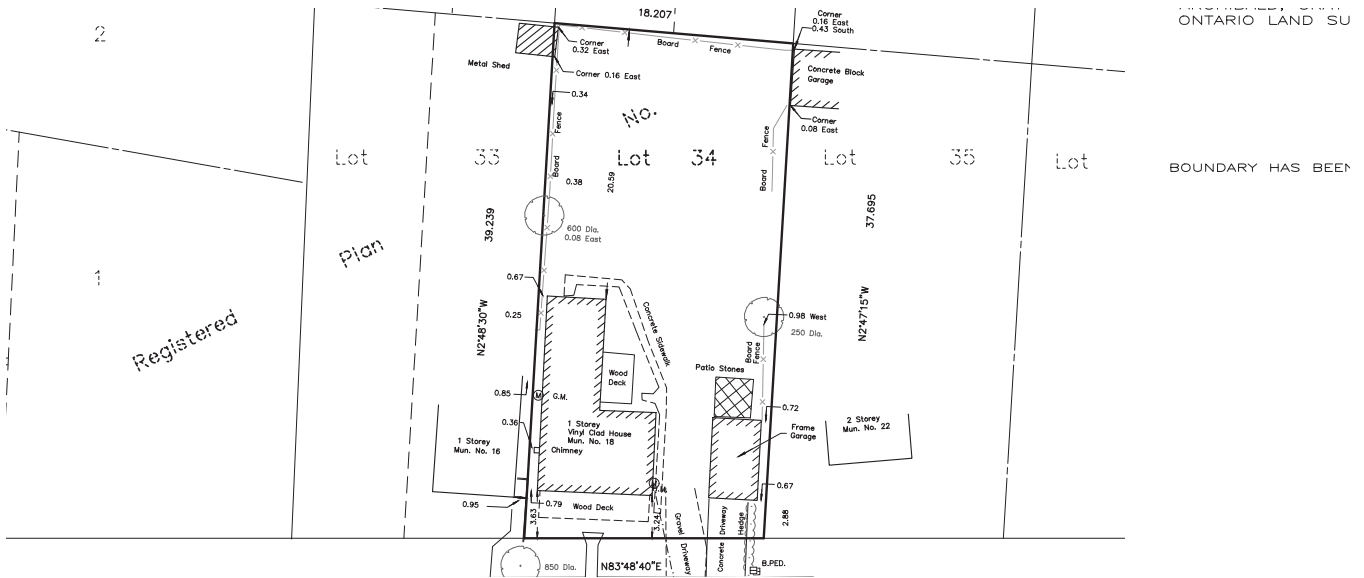
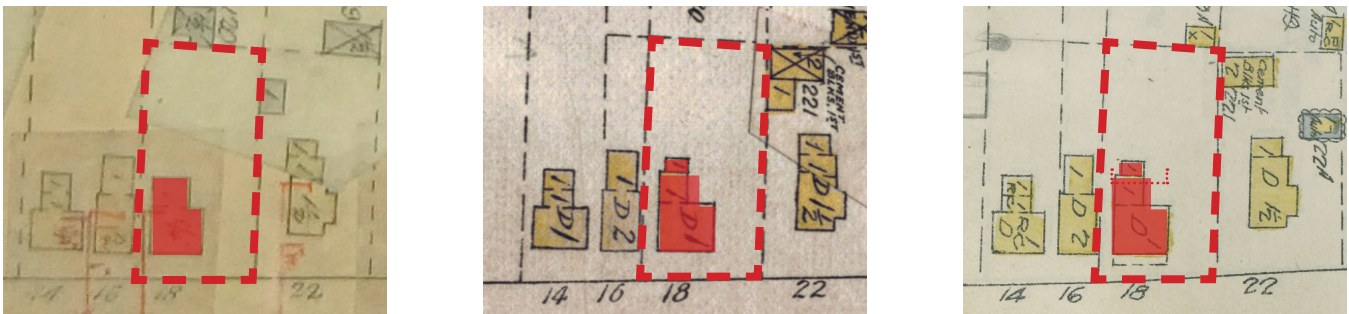


Image 7: 18 Byron Avenue East, existing site plan lot #34, showing location of the original one-storey residence and detached single garage (added later). Source: AGM Plan, Survey, Engineer. October 2020.

The residence maintains some of the key architectural characters of the district, as identified in Section 8.2 Heritage Attributes of the Wortley Village-Old South HCD plan. These include the form and massing (of a one storey, cottage-like residences) set in line with other, adjacent properties, the covered porch, simple wood details, small triangular pediment above the entrance, hipped roof, and window forms, style and details. The front porch dates to 1922, and extends the width of the house from east to west and a covered awing projects from the roofline sloped by triangular pediments that frame the east and west ends. The decking may be original along with some original doors, windows, trimwork, and decorative elements may still be present on the property, but the majority appear to have been replaced with modern versions, such as the windows, siding and roofing material, leaving the form as the major contributor to the HCD. The detached garage also appears to be original to the property but does not appear until 1922 and so was added after that time.

Refer to the Fire Insurance Maps below from Western University Archives (Images 8, 9, and 10), that indicate the presence of the home in 1907 as originally built by James O’Donnell in the earl 1880’s.



Images 8, 9 + 10: Fire Insurance Plans 18 Byron Ave E., 1892 (Rev 1907) , 1912 (Rev 1915) and 1922 (Rev 1922). Note that based on these records, the residence only included a smaller addition to the rear in 1892 and a second smaller addition added by 1922. A wooden covered porch (small dotted line) was also added by 1922. The garage does not appear on these plans, indicating it was added after 1922. Dashed red line indicates property boundary, and red blocking indicates building at 18 Byron Ave E. Source: Courtesy of Western University Archives, downloaded Dec 2021.

## 5. HISTORICAL CONTEXT

### 5.3 NEARBY/ADJACENT PROPERTIES HISTORICAL VALUE (PART V, OHA)

As noted previously, there are a few significant A-Rated and B-Rated properties located adjacent or opposite 18 Byron Avenue East, and listed on the Register; 16 Byron Ave E., 22 Byron Ave E. and 130 Wharncliffe Road S. (Victoria Public School). Their value must be considered in context of the historical value of the HCD and because of their vicinity to the property proposed to be developed at 18 Byron Ave E.

Refer to Image 3 for the site map indicating the location of the properties identified, their Rating as either A and B as part of the HCD (under Section 4.0 Description of Site), and their designation.

#### 5.3.1 HERITAGE CHARACTER + ATTRIBUTES

The properties located at 16 and 22 Byron Ave E. are rated as B and A, respectively, in terms of significance within the HCD and on the Register. The property at 130 Wharncliffe Road S. maintains a B-Rating in terms of its value within the HCD and on the Register. Although listed on the Municipal Register of Cultural Heritage Resources for their heritage character as part of the HCD (Part V, OHA), none of the aforementioned properties are designated under Part IV. Therefore it is likely that the properties are significant because they maintain many of the key characteristics of the district, as referenced in Section 8.2 Heritage Attributes of the Wortley Village-Old South HCD Plan.

It is likely that the age, massing and form of the building at 16 Byron Ave E. (1891), along with the architectural style as a two-storey vernacular home with well-maintained details along the exterior of the home regard it as warranted of a B-Rating, contributing to the overall streetscape of the HCD of Wortley Village-Old South. The home appears to be well kept and maintained, with several original features and details remaining. Similarly, the residence at 22 Byron Ave E. (Circa 1891) is in equally, if not better condition than 16 Byron Ave E., and maintains an excellent level of heritage value with many of its original features and details of a true vernacular-style home still intact. Decorative woodwork along the gable roofline and the triangular pediment above the entrance on the covered porch are in great condition and appear to be original, along with the cladding. Further, the landscaping along the front of the property is well maintained. Hence, this property has an A-Rating within the HCD for its architectural merit and contribution to the streetscape.

Finally, 130 Wharncliffe Road is considered within this report because of its prominence as a B-Rated Institutional Building within the community, service as Victoria Public School. The school is located along Wharncliffe road, but serves as the most westernly civic landmark to the village and is flanked by both Askin Street and Byron Ave E. The building was constructed in the Collegiate Gothic style in 1922, making it older than the other nearby heritage properties. The form, massing, details, uniqueness, scale, use of brick and stone, and significance as one of the earliest schools in the area warrants its B-Rating within the HCD. Its rear yard plays an important role in creating open space within the western edge of the HCD.

Refer to Image 11 on the following page, for the listing on the Register of Cultural Heritage Resources. Individual images with descriptions of the key heritage value of each property have also been provided after the Register excerpt as Images 12, 13, and 14.



# 5. HISTORICAL CONTEXT

## EXISTING SITE - 18 BYRON AVENUE EAST - C RATING

Row	Street Name	Address	Year Built	Architectural Style	Individual Designating By-law	Interior Attributes	Plaque	Heritage Conservation District	Designating By-Law	Rating	Property Name or Comment	Cultural Heritage Status	Alternate Addresses on the Property	Force and Effect Date
529	Byron Avenue East	18 Byron Ave E	1881					WV-OS	L.S.P.-3439-321	C		Part V Designated		June 1, 2015

## NEARBY / ADJACENT PROPERTIES - A + B RATING

Row	Street Name	Address	Year Built	Architectural Style	Individual Designating By-law	Interior Attributes	Plaque	Heritage Conservation District	Designating By-Law	Rating	Property Name or Comment	Cultural Heritage Status	Alternate Addresses on the Property	Force and Effect Date
528	Byron Avenue East	16 Byron Ave E	1891					WV-OS	L.S.P.-3439-321	B		Part V Designated		June 1, 2015
530	Byron Avenue East	22 Byron Ave E	1891	Vernacular				WV-OS	L.S.P.-3439-321	A		Part V Designated		June 1, 2015

## NEARBY / ADJACENT PROPERTY (SOUTH/OPOSITE SIDE OF BYRON AVENUE) - B RATING

587	Wharncliffe Road South	130 Wharncliffe Rd S	1922	Collegiate Gothic				WV-OS	L.S.P.-3439-323	B	Victoria Public School	Part V Designated		March 26, 2007
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Image 11: Excerpts from Register of Cultural Heritage Resources, City of London, 2021.

HERITAGE IMPACT ASSESSMENT  
18 BYRON AVENUE EAST, LONDON, ON

a+LiNK Architecture Inc.

## 5. HISTORICAL CONTEXT



Image 12: 16 Byron Ave E. South Elevation. Google Streetview, 2021.

### **16 BYRON AVE E.**

**Designation: PART V OHA (HCD), B-RATING**

*Date:* Constructed 1891

*Form/Massing:* Two storey gable roof

*Architectural Style:* Vernacular/Mixed

*Character Elements:* Decorative wood gables + details with quarter circle fan at gable peak; trim work around cladding, above door and inset/recessed covered porch appears original; some windows appear original: stained glass above ground level main window and sidelight above entrance door.

*Contribution to HCD:* Architectural and Contextual value to streetscape of Byron Ave E. and HCD



Image 13: 22 Byron Ave. E., South Elevation. Google Streetview, 2021.

### **22 BYRON AVE E.**

**Designation: PART V OHA (HCD), A-RATING**

*Date:* Constructed pre 1891

*Form/Massing:* Two storey, cross gable roof

*Architectural Style:* Vernacular

*Character Elements:* Horizontal wood cladding, Decorative wood gables + details with arched fan at gable; trim work original throughout exterior facade; wooden covered porch with original doric columns and triangular pediment above entrance, wood decking, double-hung sash window on second storey appear, sidelights above and around entrance door

*Contribution to HCD:* Architectural and Contextual value to streetscape of Byron Ave E. and HCD



Image 14: 130 Wharncliffe Road S. (Victoria Public School), West Elevation. Google Streetview 2021.

### **130 WHARNCLIFFE ROAD S.**

**Designation: PART V OHA (HCD), B-RATING**

*Date:* Constructed 1922

*Form/Massing:* Two and a half storey, flat roof with pilasters at corners, rectangular plan

*Architectural Style:* Collegiate Gothic

*Character Elements:* Red brick with decorative sandstone elements above windows and along roofline; arched windows and door openings, repetitive brackets along roofline, sandstone foundations, windows are not original but in keeping with style

*Contribution to HCD:* Architectural and Contextual value to streetscape of Wharncliffe Road S., Byron Ave E. and Askin Street; and HCD

# 6. PROPOSED DEVELOPMENT

## 6.1 PROPOSED DEVELOPMENT

The observations of this HIA are developed from the proposal documents for 18 Byron Avenue East, prepared by Third Layer Architects for the client, Mr. Scott Thomson. The proposal is seeking to allow for a renovation/addition in the form of a first (ground) and second storey addition, as well as a second garage connecting the current location of the detached garage, establishing an attached, two-car garage. The addition will also include an extension to the back of the house, and a rear porch. The overall usable space will be increased on the ground and second stories. The surrounding area is currently and historically comprised of single family and multi-residential dwellings, as well as some residences that have both been added to and renovated into larger homes. Others have been converted into commercial and retail spaces, while many have been adapted to commercial use, particularly within the corridor of Wortley Road (the village). Several properties within the Wortley Village-Old South HCD have utilized renovations/additions as a sensitive avenue to achieve enlarged homes within the district. The following outline provides the key concepts for the proposed design and addition for the property at 18 Byron Avenue East.

### 6.1.2 DESIGN CONCEPT - 18 BYRON AVENUE EAST

The proposed development combines the existing one storey residential home located within the Wortley Village-Old South Heritage Conservation District, with the existing detached single-car garage to the east of the home, by way of an addition on the first (ground) floor and the second floor. The renovation and addition proposes to retain the original foundations of the house, and fill in the connecting area with a new basement slab at the lower (basement) level. The main level will include the footprint of the original house, but the roof and the rear (north) elevation of the original house will be removed to accommodate the addition of the second storey and the addition to the north; a lounge and office will be included within the footprint of the original residence, while the main living/dining/kitchen and services, as well as staircase to the second level will be included in the rear addition. The stairs are located to the west side of the rear addition, and provide access to the second storey. The second storey proposes four separate bedrooms, including a primary bedroom, and a laundry room. All bedrooms upstairs will have en-suites. The total building area of the proposed project, including the existing house, addition and renovation is approximately 376 square meters.

On the exterior, the south elevation (front elevation) combines the original one storey residence with the proposed addition on the ground level and second storey. The addition and original house are tied seamlessly together through a brick base around the house up to three feet, with the remaining facade clad in white cedar wood siding. The existing front porch will remain in-situ, including the triangular pediment above the entrance steps to the porch; brick will be added to the supporting columns, and a new wood railing/guard provided around the porch replacing the existing modern metal railing/guard that is not original. Location of door and windows will be retained, but the windows and doors will be replaced with modern versions of the original style - double hung sash windows with grills. New shingles will be provided to “match existing”.

The existing garage will be retained in situ, and connected to the addition via the second garage (inserted between the existing garage and the original residence). The west and south walls of the garage will be removed to connect it with the second garage to the west, and to the house to the north through the mudroom. The exterior will be clad in white cedar wood siding to match the rest of the south facade. A double-lane driveway will be provided to accommodate the new two-car garage. A new square window will be provided to match the existing location of the window screen above the current garage.

The rear elevation includes a new covered porch and second storey windows that are similar to those found on the front elevation. The first storey of this north elevation includes five sets of glass windows that carry to the

## 6. PROPOSED DEVELOPMENT

floor. It is assumed that these will be doors. The rear addition will not be visible from the street. The distance from the rear addition to the houses behind the property to the north is significant, such that the rear addition will not negatively impact the views from those properties or from Euclid Ave to the north. The addition will be visible from east and west along Byron Ave E., from 16 Byron Ave E., and from 22 Byron Ave. E. The addition will be directly adjacent to the property at 16 Byron Ave E. It will also be visible from the rear school yard of Victoria Public School.

The addition will be sensitive to the existing residences and constructed in a way that is both subordinate to, and compatible with, the original property and nearby/adjacent properties. The massing of the addition aligns with the neighbouring two-storey residences to the east and the west. The massing is also consistent with that of the neighbourhood context in regards to elevation similarities, treatment of roof heights and existing site limitations/setbacks from the street. The design endeavours to use materials and colours that are common to the district, while also connecting the old with the new. The principle exterior cladding of the addition is horizontal cedar wood siding to maintain the existing architectural vocabulary of the original residence as well as the adjacent and nearby residences, and expressed in a white colour to align with many of the nearby properties that maintain lighter cladding. and blend into the background/rear of the property. The trim colours of the newly painted original residences will carry onto the addition to draw consistency between the two. Ultimately, improved streetscape presence, vibrancy and harmony with the HCD are conceptual goals within the proposed development.



Image 15: Site Plan of Proposed Addition/Renovation, 18 Byron Ave E. Green shaded area indicates new footprint of proposed residence (not include front and rear porches). Red dotted lines indicate location of original house and garage to be incorporated within the proposed addition and connected to create one larger residence. Diagram prepared by a+LiNK architecture inc (2021).

Sources; Basemap: Google Maps, 2021. Site Plan Drawing: Third Layer Architects, 2021.

# 6. PROPOSED DEVELOPMENT

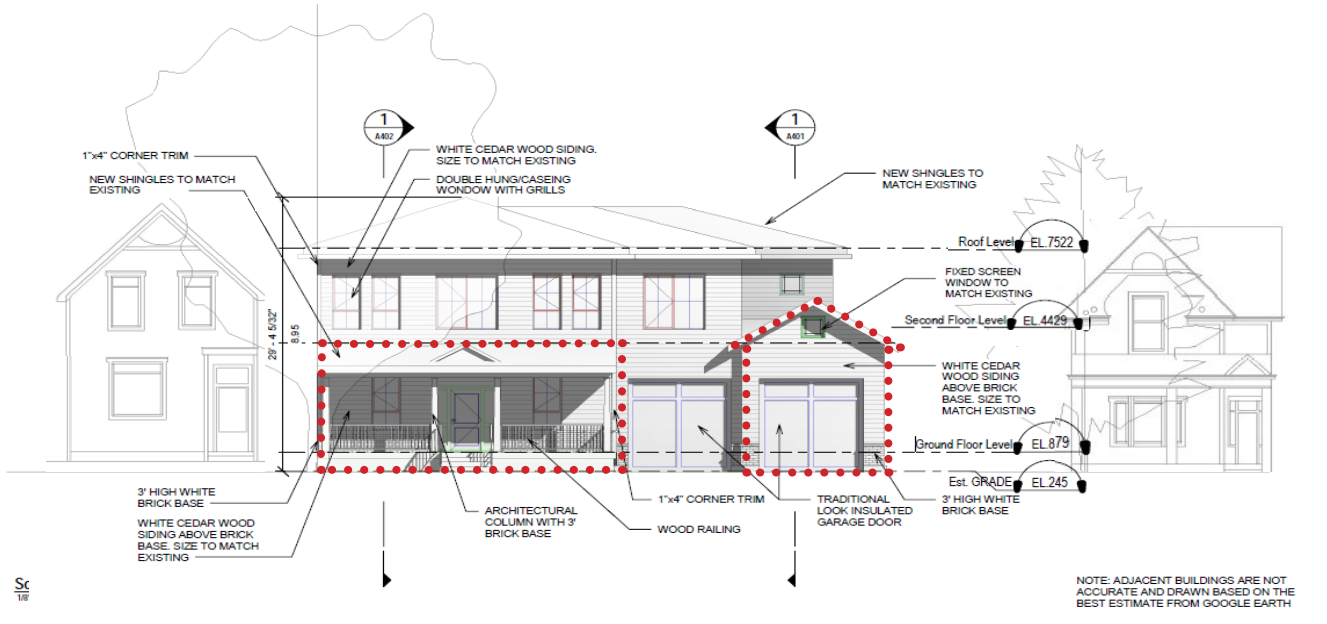


Image 16: Front/South Elevation. Red dotted lines indicate existing outline of original house and garage to be incorporated into proposed addition/renovation. Drawing by Third Layer Architects, 2021.

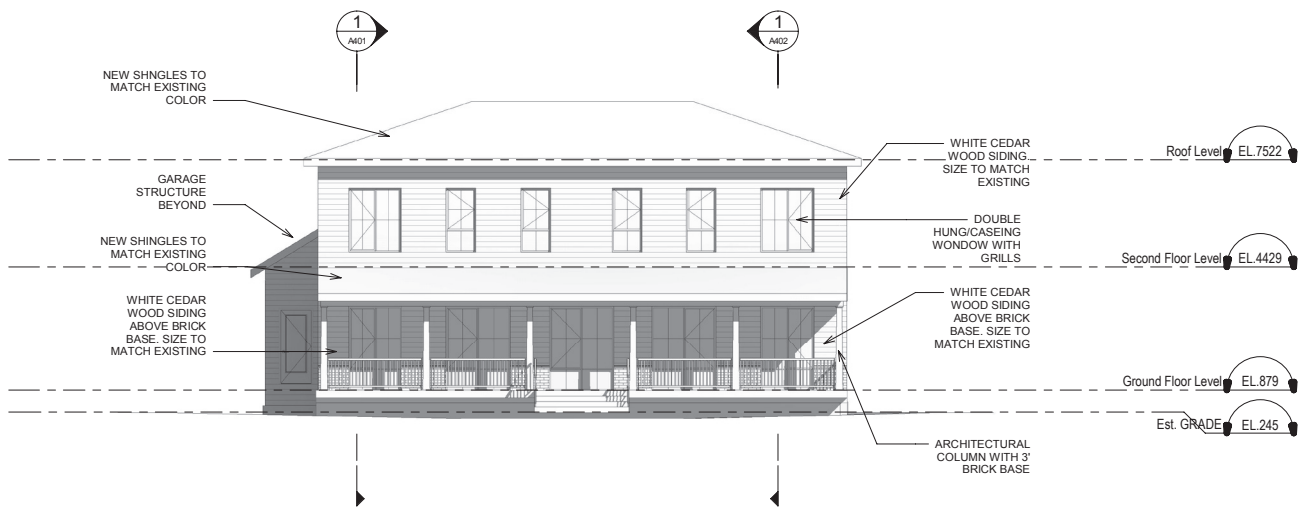


Image 17: Rear/North Elevation. New Addition at rear. Drawing by Third Layer Architects, 2021.

# 6. PROPOSED DEVELOPMENT

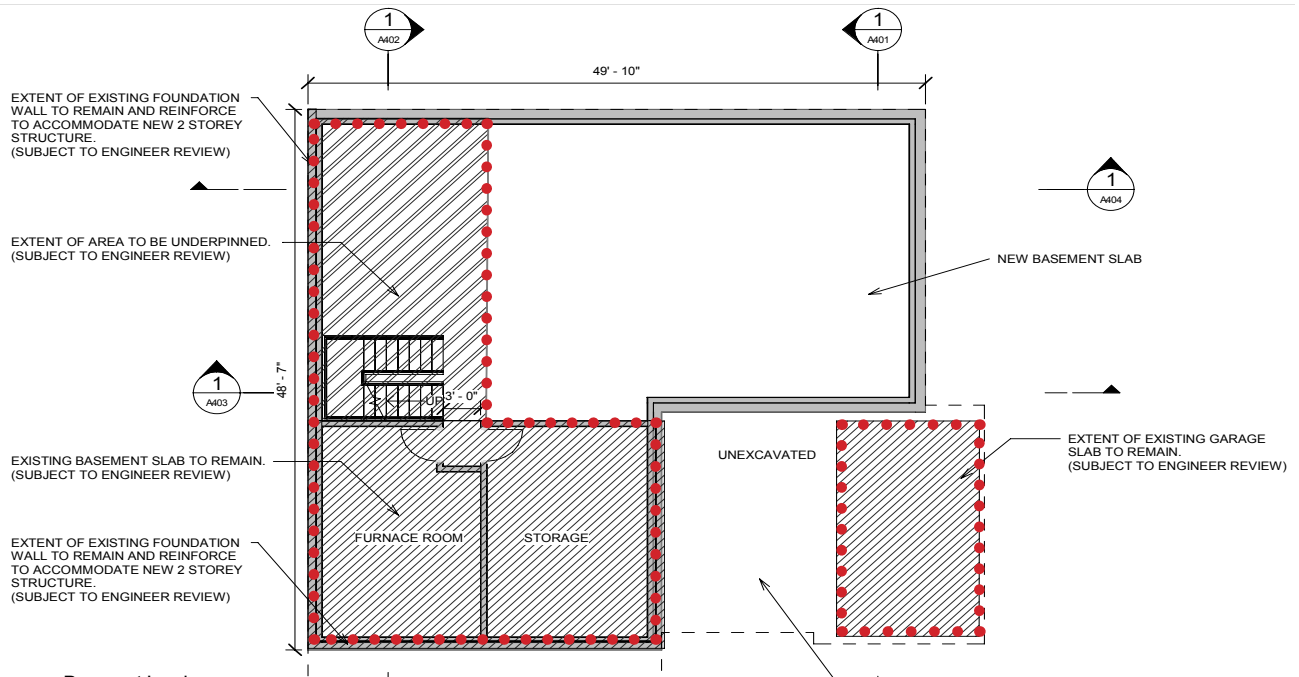


Image 18: Basement/Lower Level Floor Plan. Red dotted lines indicate existing footprint foundations to remain as part of proposed addition/renovation. Drawing by Third Layer Architects, 2021.

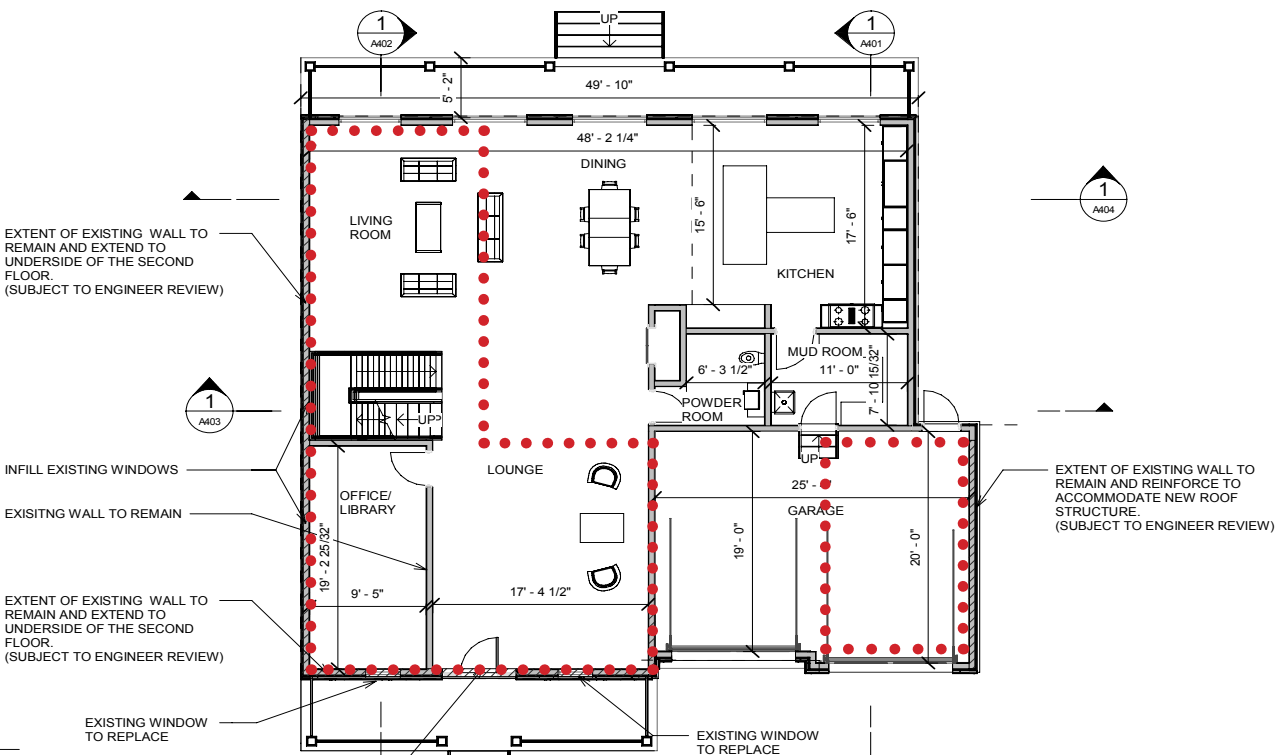


Image 19: Ground/First Level Floor Plan. Red dotted lines indicate location of original residence (footprint) to be incorporated into proposed addition/renovation. Drawing by Third Layer Architects, 2021.

# 6. PROPOSED DEVELOPMENT

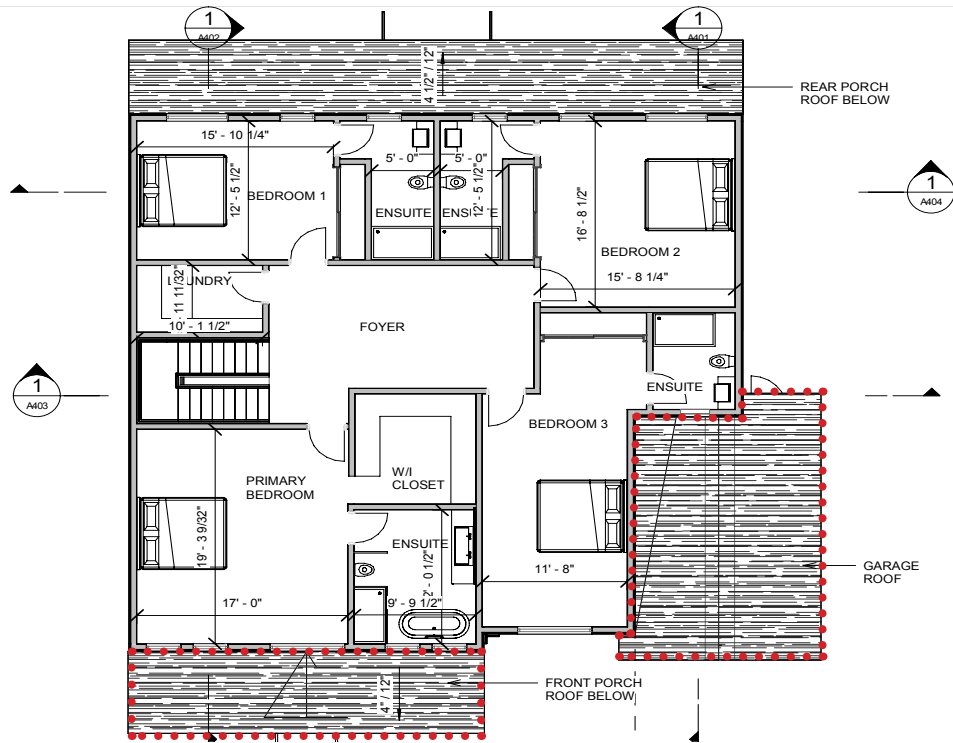


Image 20: Second Storey Floor Plan. New Addition. Red dotted line indicates location of existing roof of front and garage to be incorporated into addition/renovation. Roof lines appear below second storey. Drawing by Third Layer Architects, 2021.

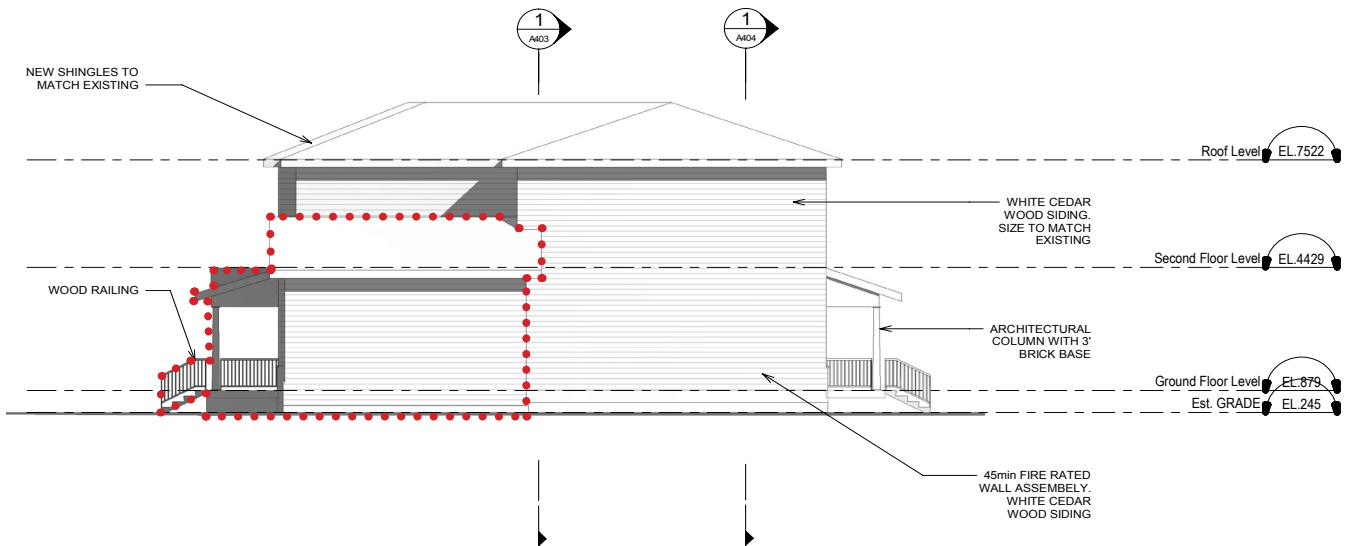


Image 21: East Elevation. Red dotted line indicates outline of existing garage and front porch (beyond) to be incorporated into proposed addition/renovation. Drawing by Third Layer Architects, 2021.

# 7. IMPACTS OF PROPOSED DEVELOPMENT

## 7.1 TREATMENT OF HERITAGE RESOURCES - WORTLEY VILLAGE-OLD SOUTH HERITAGE CONSERVATION DISTRICT PLAN

The property located at 18 Byron Ave E. is listed as a level C-Rating in terms of significance within the HCD and on the City of London's Register of Cultural Heritage Resources, and designated under Part V of the OHA. It is not a particularly strong individual example of architectural craftsmanship or historical value, and it has also been altered over time, which further diminishes its individual heritage value. This explains why it is not individually designated under Part IV of the OHA. However, in reviewing the existing site and historical context, it is understood that the property holds some heritage value, particularly in its age, scale and contribution to the streetscape of the HCD due to its sequence or location. It is also likely that its massing as an example of a cottage-like one storey home, typical of those found repeated throughout the area helps support its character. Beyond the property at 18 Byron Ave E., there are also other nearby and adjacent properties ranked as both A and B-Rating within the HCD, listed on the Register and designated under Part V of the OHA.

Given the two significant aspects of the proposed residential addition/renovation site: the C-Rating of 18 Byron Ave E., and the A+B-Rating of nearby/adjacent properties, all of which are designated under Part V of the OHA, a review of the impact of the proposed development on the existing property is necessary. Further, a understanding of the impact of the proposed development on those nearby/adjacent properties, and on the streetscape as a whole within the HCD, will be examined.

There are several sections within the Wortley Village-Old South Heritage Conservation District Plan that identify policies and guidelines applicable to the proposed addition/renovation for 18 Byron Ave E., in particular, aspects of Sections 4.0 District Policies, 5.0 Municipal Policies, 8.0 Architectural Design Guidelines, and 10.0 Landscape Conservation and Design Guidelines. A review of the key aspects of the HCD plan against the proposed design helps to identify areas of possible impact. The following is a summary of the impacts of the proposed design with specific reference to the aforementioned applicable sections of the HCD. For the complete guide, refer to the Wortley Village-Old South Heritage Conservation District Plan (WVOS HCD).

### 7.1.1 WVOS HCD - SECTION 4.0 HERITAGE CONSERVATION DISTRICT POLICIES

#### **4.1 Development Pattern**

There are several policies that fall into the category of Development Patterns. The proposed addition/renovation at 18 Byron Ave E. strives to adhere to these policies, including:

*Policies:*

*(a) Maintain the residential amenity and human scale by ensuring that the low rise, low density residential character remains dominant within and adjacent to the HCD.*

Proposal Impact (a): The proposed design supports low density residential land use in the form of a single family home with a sensitive addition that is low rise, and maintains the human scale.

*(b) New land uses that are not in keeping with the character of the residential area and/or may have a negative impact on the residential area are discouraged.*

Proposal Impact (b): The proposed use residential home is in keeping with the residential character of the HCD, with



## 7. IMPACTS OF PROPOSED DEVELOPMENT

several examples throughout the HCD of previous residences that have undergone additions/renovations and have successfully integrated within existing HCD.

*(c) Higher intensity uses or redevelopment opportunities shall be focused outside of the low rise residential area of the HCD, to areas designated by the City of London for higher density development (i.e. Ridout Street).*

Proposal Impact (c): The proposed use of the property does not include high intensity development.

*(d) Where new uses or intensification is proposed, adaptive reuse of the existing heritage building stock should be considered wherever feasible.*

Proposal Impact (d): The proposed program does not include new use; it will continue to be used as a residence.

*(e) Severances which would create new lots are strongly discouraged, unless the resulting lots are of compatible width and depth to adjacent lots.*

Proposal Impact (e): The proposed program does not include severing the property.

*(f) Where existing detached residential buildings are lost due to circumstances such as severe structural instability, fire or other reasons, the setback of replacement building(s) shall be generally consistent with the original building(s).*

Proposal Impact (e): The proposed program does NOT include replacing lost heritage fabric due to fire etc.

*(g) Parking for new or replacement dwellings is to be located in the driveways at the side of the dwelling or in garages at the rear of the main building, wherever possible. New attached garages at the front of the building are discouraged. Garages shall not extend beyond the main building façade.*

Proposal Impact (g): The design of the new garage blends into the facade; it is set back slightly from the original one-storey home that is being incorporated into the design, denoting its more prominent location on the site. The proposed design incorporates the existing detached garage along with an infill garage to connect the dwelling. The garage is aligned with the existing garage and does not extend beyond the main building facade of the original home.

### **4.3 Non-Heritage Properties**

#### **4.3.1 Alterations + Additions**

18 Byron Ave E. maintains a C-Rating, and is designated under Part V of the OHA, as it is located within the HCD. Therefore alterations and additions to the property must consider the policies related to alterations and additions, even though the property itself is not individually designated under Part IV of the OHA. These policies help to ensure that any alterations and additions do not detract from the heritage value of the property and the heritage context of the area, and should consider massing, scale, lot and street alignment. Design guidelines found in Section 8.0 of the HCD are also applicable to additions and alterations.

## 7. IMPACTS OF PROPOSED DEVELOPMENT

### *Policies:*

*(a) Exterior alterations and additions to commercial buildings may be permitted. These alterations or additions should maintain the scale and massing of the building on adjacent heritage properties, the character of the streetscape and HCD, and draw reference from nearby heritage properties. Additions that alter the streetscape shall be discouraged. New or additional front yard parking to support commercial uses shall not be permitted.*

Proposal Impact (a): N/A

*(b) Exterior alterations and additions to single detached dwellings may be permitted, consistent with the scale and massing of the buildings on adjacent heritage properties, the character of the streetscape and HCD, and draw reference from nearby heritage properties. Additions that alter the streetscape shall be discouraged.*

Proposal Impact (b): The proposed addition is consistent with the scale and massing of the buildings on adjacent heritage properties and does not alter the streetscape, but rather contributes to it.

The addition will be visible from the east and west of Byron Ave E., from 16 Byron Ave E., and from 22 Byron Ave. E. From 16 Byron Ave E., the addition will be directly adjacent to the property. To address the heritage style and scale of the adjacent residences, the datum line between the first and second storey of the proposed residence, along with the size and scale of the second storey windows, and the height of the proposed addition, will align with that of the residence at 16 Byron Ave E. The existing residence at 16 Byron Ave E. does not appear to have any major windows along the east elevation, so views of 18 Byron Ave addition will be minimal. Because the entrance porch is being retained, the setback and location of the entrance will be viewed the same as it is currently from the adjacent properties. The addition will also be visible from 22 Byron Ave E., located to the east of the proposed addition. The distance between the residences at 22 and 18 Byron Ave E., is greater than that between 16 and 18 Byron Ave E., and there is an existing driveway that helps buffer the distance, reducing the impact of the proposed addition. While the addition will create a second storey above the current one-storey garage, there are no windows proposed on the east elevation of the addition, and this will further help to reduce privacy concerns for the neighbouring property at 22 Byron Ave E. The proposed addition considers both residences adjacent at 16 and 22 Byron Ave in its design, scale and massing.

The addition will also be visible from the opposite side of Byron Ave East, specifically from the rear school yard of 130 Wharnccliffe Road S. (Victoria Public School). However, because this is an open space and not the front yards of opposing residences, the impact of the proposed addition on this property is low. The impact of views from across the property along Askin Street is minimal because of the significant distance from Askin Street to Byron Ave E. There is also a large tree located on the south side of Byron Ave within the school grounds opposite to 18 Byron Ave E., which helps to shield some views of the school from the yard towards the proposed site. The open space feel of the rear yard at Victoria Public School is not hindered by the integration of the proposed addition/renovation at 18 Byron Ave E. and the addition contributes to the overall streetscape by blending in with the surrounding heritage fabric.

*(c) Conversion of use will be permitted, if permitted by zoning. Conversions shall not significantly alter the street appearance of a building.*

Proposal Impact (c): The proposed program will not convert the use. It will remain as a single-family residence.

## 7. IMPACTS OF PROPOSED DEVELOPMENT

*(d) Major alterations to the exterior façade of non-heritage property facing a public street is permitted where the intent is to achieve the heritage objectives of either the HCD plan or the Official Plan.*

Proposal Impact (d): The intent of the proposed addition/renovation is to achieve the heritage objectives of the HCD, by retaining the location and form of the original heritage one-storey house and garage, and integrating it within the addition and renovation to create a larger and more livable family home. The cladding and form of the renovated home will help to blend into the surrounding context and character of the area, without competing with the adjacent and nearby heritage properties.

*(e) Design guidelines provided in Sections 8 and 9 of this Plan will be used to review and evaluate applications for additions and alterations to ensure that the proposed changes are compatible with the surrounding heritage properties and do not negatively impact the heritage attributes or the cultural heritage value or interest of the HCD.*

Proposal Impact (e): Sections 8 and 9 will be reviewed as applicable to determine and possible impacts of the proposed addition on the HCD.

*(f) Evaluation of additions and alterations to properties adjacent to the Wortley Village-Old South HCD will be required in order to demonstrate that the heritage attributes of the HCD will be conserved, in accordance with the Provincial Policy Statement. A Heritage Impact Assessment may be required.*

Proposal Impact (f): The proposed addition/renovation is within the HCD, and an HIA is being completed as part of the proposal.

### 7.1.2 WVOS HCD - SECTION 5.0 MUNICIPAL POLICIES

#### **5.3 Severances and Minor Variances**

Because the proposed addition/renovation requires changes to setbacks and zoning, a minor variance is required for the project. The following policies have been included to recognize the requirement for a minor variance.

*The Committee of Adjustment is responsible for addressing applications for minor variances and the Consent Authority is responsible for applications for severance in the City of London under the authority of the Planning Act and in consultation with various city departments. Applications for severances and minor variances should be considered in conjunction with the following policies:*

*Policies:*

*(a) The Heritage Planner shall be circulated with all severance and minor variance applications within the Wortley Village-Old South HCD and provide comments to be considered in the application process.*

Proposal Impact (a): Completed by the Municipality

*(b) Severances should not be considered where the result is a lot size and pattern not in keeping with the HCD and in accordance with the policies of the City's Official Plan.*

Proposal Impact (b): The proposed project does not include severing the property.

## 7. IMPACTS OF PROPOSED DEVELOPMENT

*(c) Where appropriate, in consultation with the Heritage Planner, a Heritage Impact Assessment, in accordance with the policies of the City of London, may be required in support of the creation of new lot(s) through Consent to Sever, depending on the context, location and potential impact of the severance.*

Proposal Impact (c): The proposed project does not include creating new lots.

*(d) The policies and guidelines of this plan shall be applied when reviewing applications for minor variances or consents to sever within the Wortley Village-Old South HCD.*

Proposal Impact (d): Completed by the Municipality

### 7.1.3 WVOS HCD - SECTION 8.0 ARCHITECTURAL DESIGN GUIDELINES

The recommendations provided in this section of the Wortley Village-Old South Heritage Conservation District Plan highlight considerations for major alterations and additions. These align with the objectives, principles and policies outlined in Section 3.0 of the same HCD Plan identified previously in this HIA under Section 3.0, Policies and Terms of Reference. Specifically, the Design Guidelines focus on 8.2.1 Alterations and 8.2.2 Additions, and reference the heritage attributes of the district outlined in Section 8.2 of the Wortley Village-Old South HCD Plan, and previously included in this HIA report under Section 5.0 Historical Context - 5.1.2 Key Heritage Attributes of the District. The heritage attributes have been reiterated below for reference:

#### **8.2 Heritage Attributes**

- *Building Form, Massing, Height, Width and Visible Depth*
- *Building Setting on Property*
- *Architectural Style*
- *Building Facade Elevation Layout and Shape, Projections and Reveals*
- *Porches*
- *Roof Style, Chimneys, Dormers, Gables, Eaves, Soffits and Turrets*
- *Windows, Doors and Accessories*
- *Building Materials, Textures, and Colours*

#### **8.3 Design Guidelines**

##### **8.3.1 Alterations**

Ensuring that alterations are mindful of and complementary to existing heritage fabric is essential to the survival of the heritage value in the context of an HCD. The following elements outline guidelines for consideration to alterations within the WVOS HCD and review of the proposed development at 18 Byron Ave E., with regards to impacts on heritage attributes in light of these guidelines:

##### Recommended Practices and Design Guidelines

*- Research the original style and appearance of the building to determine “authentic limits” of restoration or alteration so that the appropriate style is maintained.*

*- In the absence of historical data, use forensic evidence available from the building itself to suggest appropriate restoration or alteration.*

## 7. IMPACTS OF PROPOSED DEVELOPMENT

- *Seek similar properties (same age, same design, and same builder) for evidence of details that may still exist as samples for reconstruction.*
- *Avoid “new” materials and methods of construction if the original is still available. In some cases, after careful research, substitute materials may perform better than original materials, but beware of using materials that have not been tested for years in a similar application.*
- *C o n s e r v e ; Retain and restore heritage attributes wherever possible rather than replacing them, particularly for features such as windows, doors, porches and decorative trim.*
- *Where replacement of features (e.g. doors, windows, trim) is unavoidable, the replacement components should be of the same general style, size, proportions. and materials whenever possible.*
- *Incorporate similar building forms, materials, scale and design elements in the alteration that exist on the original building.*
- *Avoid concealing or irreversibly altering heritage attributes of property, such as entrances, windows, doors and decorative details when undertaking alterations.*
- *If in doubt, use discretion and avoid irreversible changes to the basic structure and architectural style.*
- *Keep accurate photos and other records, and samples of original elements that have been replaced.*

### Proposal Impact (Alterations):

Overall, the proposal strives to consider alterations only where necessary to accommodate the addition connecting the garage with the original house, on the second storey and at the rear of the property. The location of the original one-storey house and garage will remain, in-situ, with the addition built around it to tie the two together into a new residence. The proposal seeks to retain the original porch form, design and style, as well as the triangular pediment, but introduces new cladding and finishes to connect the new and old together, as the existing residence cladding is not original. The location of the original windows and door will also be retained, along with the location of the original window and garage door of the former detached garage.

Restoration will be preferred over replacement of existing and original elements wherever possible on the north, south and east (main) elevations and replacement when restoration is not possible. Any restoration work to original elements (if possible to determine originality) including porch and decorative woodwork will follow the HCD, Section 9.0 Conservation Guidelines. Changes that are proposed will be reversible to the front facade of the original house and detached garage, and the residences will be documented with samples of original elements retained where replaced (if required).

### *8.3.2 Additions*

Additions to dwellings within the HCD can have a significant impact on the residence as well as the heritage context of the HCD itself. Respecting scale, form, and surrounding context, while being complementary to the original building, are key components to a successful and contemporary addition that supports the values of the HCD. Guidelines for considering additions are provided below with a review of the impacts of the proposed development in light of these elements:

## 7. IMPACTS OF PROPOSED DEVELOPMENT

### Recommended Practices and Design Guidelines

- *Additions that are necessary should be sympathetic and complementary in design and, if possible, clearly distinguishable from the original construction by form or detail. The use of traditional materials, finishes and colours rather than exact duplication of form, can provide appropriate transition between additions and original structures.*
- *Additions should be located away from principal façade(s) of heritage properties, preferably at the rear of the building, to reduce the visual impact on the street(s).*
- *Form and details of the addition should be complementary to the original construction, with respect to style, scale, and materials but still distinguishable to reflect the historical construction periods of the building.*
- *The height of any addition should be similar to the existing building and/or adjacent buildings to ensure that the addition does not dominate the original building, neighbouring buildings or the streetscape.*
- *Additions should not obscure or remove important architectural features of the existing building.*
- *Additions should not negatively impact the symmetry and proportions of the building or create a visually unbalanced facade.*
- *New doors and windows should be of similar style, orientation and proportion as on the existing building. Where possible, consider the use of appropriate reclaimed materials.*
- *New construction should avoid irreversible changes to original construction.*

### Proposal Impact (Additions):

The historically integrated residential conversion at 18 Byron Ave E. fits appropriately into the existing Wortley Village-Old South Heritage Conservation District. The addition has been designed to be contemporary, while being both subordinate to the original residence. Further, the addition respects the existing heritage fabric and characteristics of the district as a whole through the following design considerations: The rear addition will not conceal original parts of the building considered of value, as the elements that contribute to the streetscape and overall character of the HCD are found along the original/front/south elevation viewed from the street.

The design of the addition/renovation also incorporates the style of windows and doors of the original residence within the fenestration of the overall appearance of the updated home to keep consistency with the heritage of the property and area. The design complements the construction of the adjacent heritage residences through geometry, scale and form, considering window lines and fenestration, and using traditional form, materials, finishes and colours to connect the new addition to the existing residence (as the existing residence cladding is not original). The cladding, brick base and new wood cedar siding will help to connect together the new addition with the existing heritage house.

The addition highlights the symmetry of the original house and creates a balanced facade along the south, west and north elevations with the introduction of contemporary glazing, windows and entrance. The proposal recognizes the importance of the streetscape and the visibility of the building from along Byron Ave E., from the nearby/adjacent properties of 16 and 22 Byron Ave E., and from the schoolyard of Victoria Public School located opposite to the proposed project on the south side of Byron Ave E.

## 7. IMPACTS OF PROPOSED DEVELOPMENT

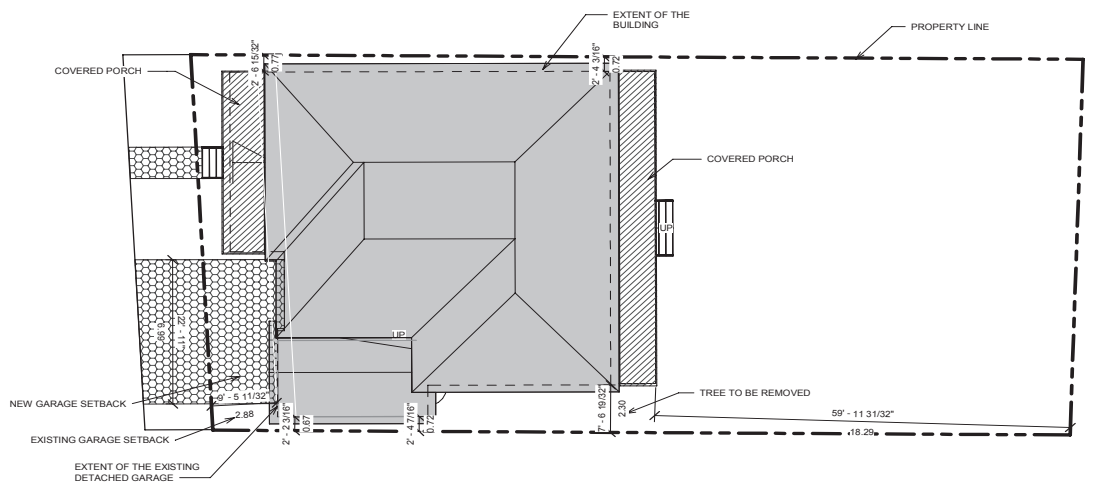


Image 22: 18 Byron Ave E. proposed site plan with parking for two vehicles to the south/front of the site. HCD plan recommends two single track driveways with turf installed between in order to minimize the impact of hard surfacing. Drawing by Third Layer Architects, 2021.

### 7.1.4 WVOs HCD - SECTION 10.0 LANDSCAPE CONSERVATION + DESIGN GUIDELINES

The character of the overall streetscape is imperative to the success of the HCD as an ongoing example of significant historical value by conserving heritage attributes identified in Section 10.4 of the HCD plan, which refers specifically to the landscape in the private realm of the district. These attributes include:

#### 10.4 Heritage Attributes

- Trees
- Front Gardens
- Plazas + Cafes
- Vehicle Parking
- Building Signage

#### 10.4.4 Vehicle Parking

The portion of the landscape in front of the proposed addition/renovation project at 18 Byron Ave E. will require area for a driveway/parking. There are recommendations for vehicle parking in residential settings, and the impacts of the proposed development at 18 Byron Ave E. is evaluated alongside these considerations:

- Views of vehicles while parked on site should be screened through the use of fencing or hedging.
- In residential applications, it is recommended that two single track driveways or parking areas be used, with turf installed between the gaps in order to minimize the impact of hard surfacing on the landscape.

#### Proposal Impact (Vehicle Parking):

The proposed design at 18 Byron Ave E. includes an existing double driveway to accommodate two vehicles utilizing interlocking stone/brick pavers. Based on the recommendations of the HCD plan, two single track driveways with turf installed between the gaps should be considered as a way to mitigate the impact of increased hard surfacing on the landscape and greater HCD.

# 7. IMPACTS OF PROPOSED DEVELOPMENT

## 7.2 MITIGATION APPROACHES

The Provincial Policy Statement (PPS 2005) on “Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005”, was the resource utilized in the identification and development of the ‘Mitigation Approaches’ for the proposed development. Specifically, Heritage Impact Assessments and Heritage Conservation District Plans; Principles in The Conservation of Historic Properties was the main source of terms of reference.

The principles listed below were identified from the Heritage Tool Kit and expanded to include specific principles and mitigation related to the proposed addition/renovation at 18 Byron Ave E.

CRITERIA		DESCRIPTION
EVIDENCE	Respect for Documentary Evidence	Documentary evidence was researched in preparation of this HIA. The Wortley Village-Old South Heritage Conservation District Plan provides substantial information on policies and guidelines to help align the proposed design with the goals, objectives and principles of the HCD. The owner is maintaining all significant heritage elements as identified in the evidentiary documentation.
LOCATION	Respect for Original Location	18 Byron Ave E. is being preserved and incorporated into the addition/renovation project. The proposal does not include moving of the building on or off the site. The proposal respects the existing heritage residences’ location along Byron Ave by highlighting the original elements (porch and garage) and locating the proposed addition as a link between the two and on the second storey and rear of the residence.
MASSING	Respect for existing form and massing	The existing form and massing of 18 Byron Ave E. is respected by aligning the proposed addition, fenestration and new garage with the existing one storey home and garage. The roofline of the garage is retained, along with the existing porch and roofline. The form of the addition has been designed to complement the original one-storey home. The height and scale of the addition is consistent with the adjacent properties and nearby properties within the HCD. The size of the addition does not overpower the site but connects the existing and new together, creating a blended composition.
MATERIALS	Respect for Historic Material	The existing/original materials of the property have been replaced aside from some trim work and the wooden porch decking. The proposed addition and renovation will re-introduce cladding that is more sympathetic to that of the original house and those found in the area, as well as utilizing wooden railings along the porch and wood for the columns, removing the unsympathetic vinyl cladding that was installed previously. The colour of the cladding also considers those typically found on nearby residences in the HCD to blend into the surrounding environment.
FABRIC	Respect for Original Fabric	Because the original fabric has been replaced on much of the house, more sympathetic versions will be utilized that considers the original fabric. This includes the windows, door, soffit detailing, and wood trims. Roofing will be installed to match existing. Existing openings, windows and doors, will be utilized where new entrances are required.



## 7. IMPACTS OF PROPOSED DEVELOPMENT

CRITERIA		DESCRIPTION
HISTORY	Respect for the Building's History. Do not restore to one period at the expense of another period.	The architectural and historical reasons for designation will be adhered to in order to preserve the unique history of the property within the Wortley Village-Old South Heritage Conservation District.
REVERSIBILITY	Reversibility of the new elements.	All proposed alterations to the existing property will be reversible and allow the resources to return to their original condition, particularly at the front of the house, as the primary aspect of historic value and contribution to the HCD is found in the main/south elevation and this will remain. The proposed addition ties into the existing building between the house and the garage as well as at the rear. Existing openings at the front/south windows and entrance will continue to be utilized as openings and entrances into the space. The south facade of the original home and the garage facade will remain as the original form with new cladding.
LEGIBILITY	Legibility of the new versus the old.	The materials of the proposed addition will be utilized to connect the new addition to the original house. Because the fabric of the existing residence have been replaced with unsympathetic vinyl cladding, the client proposes to use one cladding system that is more sympathetic to the area: white cedar wood siding. This will unify the original home and the addition but the addition will be set back from the original home so that the existing stands out as its own element within the design.
MAINTENANCE	Maintenance	The existing residence at 18 Byron Ave E. will undergo a complete addition/renovation project. This will contribute to its sustainability as an actively utilized building incorporating a single family residence, and will help ensure it's longevity. An actively used and well-kept home becomes easier to maintain and receives increased attention versus an under-utilized and/or vacant property.
DESTRUCTION	Destruction of any, or part of any, significant heritage attributes or features.	There is no plan of destruction to any of the significant heritage features, which are predominantly considered along the front/south elevation and contribute to the streetscape. The removal of openings, the top of the roof, and walls along the east and south to accommodate the addition will allow for increased living space but these areas are not significant to the value of the home. The residence and garage will be restored and integrated with the addition/renovation to make a more livable home for a larger family.
ALTERATION	Alteration must be sympathetic or is compatible, with the historic fabric and appearance;	There are no alterations that affect the 'Reasons for Designation'. New openings will be minimized and will respect the original fabric of the existing residence. The addition is located to link to the garage and residence, as well as create a second floor and add to the rear of the residence.

## 7. IMPACTS OF PROPOSED DEVELOPMENT

CRITERIA	DESCRIPTION
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">SHADOWS</p> <p>Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;</p>	<p>Refer to the “Report to London Committee of Adjustment” submitted by Mike Corby, Planner M. Wu, File A.106/21, September 2, 2021 for comments regarding the potential impact and mitigation of shadows on the adjacent property. As outlined in the report: <i>The neighbouring property to the west (16 Byron Avenue East) is occupied by a 2-storey single detached dwelling with an east interior side yard setback of approximately 0.95m (3.1ft). Adverse shadowing and privacy impacts on the abutting property to the west are not anticipated as a result of the proposed 2nd-storey addition.</i> (Wu, A.106/21, p7)</p>
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">ISOLATION</p> <p>Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;</p>	<p>The heritage attributes of the existing residence are primarily located along the streetscape, and are not isolated from this contextual relationship through the proposed addition/renovation.</p>
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">OBSTRUCTION</p> <p>Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;</p>	<p>Views of the key south (front) elevation, as well as the east elevation of the garage remain intact. The pedestrian access to the front of the property from Byron Ave E also remains intact via the existing pathway. Because the addition is set back from the original datum/line of the one storey home, the views of the adjacent properties are not drastically affected. The view towards 16 Byron Ave E from the east, and the view towards 22 Byron Ave E. from west will be altered due to the second storey addition of the proposed addition at 18 Byron Ave E. However, the significant views directly south along Byron Ave E. of these two adjacent residences at 16 and 22 Byron Ave E. will not be impacted.</p> <p>There is also no impact on the views or obstruction of views that could impact 130 Wharnccliffe Road S. (Victoria Public School) due to its location closer to Wharnccliffe Road S.</p>
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">LAND USE</p> <p>A change in land use to allow new development or site alteration to fill in the formerly open spaces;</p>	<p>There is no proposed land use change.</p>
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">LAND</p> <p>Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect resources.</p>	<p>The site is flat. All grading will be in accordance with local governing bodies. There is no significant change in grade that alters soils, and drainage patterns that adversely affect the area.</p>

## 7. IMPACTS OF PROPOSED DEVELOPMENT

CRITERIA	DESCRIPTION
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">CONTEXT</p> <p>Retain important contextual values.</p>	<p>The Wortley Village-Old South Heritage Conservation District Plan policies include the conservation and protection of existing buildings and streetscapes within the district wherever possible. 18 Byron Ave E. retains its context within the proposed addition/renovation, and the alterations do not have negative impacts on adjacent and nearby properties at 16 and 22 Byron Ave E., or at 130 Wharncliffe Road S. Views of the addition will be evident from the road, but the original one-storey residence and garage will be retained, in-situ. The contextual value of the street and area is maintained.</p>
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">DETAIL</p> <p>Heritage Attributes Identified and Retained</p>	<p>The location, sequence, grouping and overall massing, as well as the existing porch and architectural details of the residence at 18 Byron Ave E. contribute to the overall streetscape along Byron Ave E. and within the HCD. These key aspects of the property are retained, and where there are alterations and additions, these are mitigated by locating them to the side and rear of the property and replacing these existing, unsympathetic elements such as vinyl cladding and windows, with modern versions that are sensitive to the existing residences, nearby/adjacent residences, and contribute to an improved streetscape image.</p>
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">LANDSCAPE</p> <p>Buffer zones, site plan control, and other planning mechanisms.</p>	<p>The existing buffer zone between the adjacent property at 22 Byron Ave E. and 18 Byron Ave E. helps to create separate between the proposed addition. Further, an improved pedestrian walkway to the house and the existing double driveway, as well as new vegetation and landscaping provide buffer zones from the street, and create a compatible visual composition of the property at 18 Byron Ave E within the streetscape. While a double-lane brick/stone driveway is proposed, it is the HCD suggests two single-lane driveways with turf between the two be considered to reduce the impact of hard surface on the landscaping. Overall, the proposed addition/renovation will improve the site, provide manicured landscaping and relief from an underutilized and inactive site. The landscape and streetscape of the HCD will be improved by the features proposed by the addition/renovation at 18 Byron Ave E.</p>

## 8. RESOURCES

### Government Documents

1. Her Majesty the Queen in Right of Canada. *Standards and Guidelines for the Conservation of Historic Places in Canada*. 2010.
2. Ministry of Municipal Affairs and Housing. *Ontario Provincial Policy Statement, Under the Planning Act*. 2014.
3. Ontario Ministry of Culture. *Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement*. 'Info Sheet #5, Heritage Impact Assessments and Conservation Plans.' 2005.
4. Ontario Heritage Trust. *Ontario Heritage Act, R.S.O. 1990 c. O.18: Part IV and V Designated Properties*. Version July 1, 2019.

### Municipal Documents

1. City of London - The London Advisory Committee on Heritage Department of Planning and Development. *Inventory of Heritage Resources 2006*. 2005.
2. City of London. *The London Plan*. Minister Approved December 28, 2016.
3. City of London. *Strategic Plan for the City of London 2015-2019*.
4. ecoplans ltd, Nexus, , GSP, Golder Associates, and Nancy Tausky Heritage Consultant. *Wortley Village-Old South Heritage Conservation District Plan*. For the City of London. September 2014.
5. City of London. Report to London Committee of Adjustment. Mike Corby, Manager, Planning Implementation, Planning + Development. M. Wu, Planner. September 2, 2021.

### Other

1. Street Images: *London, Ontario*. Nov/Dec 2021. Google Maps, <https://www.google.ca/maps/place/London,+ON>
2. Map Images: *London, Ontario*. Nov/Dec 2021. Google Earth, <https://earth.google.com/web/search/London,+ON>
3. Third Layer Architects. Drawings: Proposed Site Plan 2021, Proposed Drawings: Floor Plans and Conceptual Elevations. 2021.
4. Archibald, Gray and McKay LTD. Plan, Survey, Engineer. Drawings: Existing Site Survey. October 15, 2020
5. Thomas G. Arnold & Associates. Stage 1 and Stage 2 Archaeological Assessment of 18 Byron Avenue East, London, ON....PIF & Project#: P006-0109-2021. December 5, 2021.

## 9. APPENDICES

*APPENDIX A - Existing Site Survey Drawing*

Archibald, Gray and McKay LTD. Plan, Survey, Engineer.  
October 15, 2020

*APPENDIX B - Proposed Site Plan, Floor Plans, Elevations*

Third Layer Architects  
October 13, 2021

*APPENDIX C - A-106-21: Report to London Committee of Adjustment.*

City of London  
September 2, 2021

*APPENDIX D - Stage 1 and Stage 2 Archaeological Assessment of*

18 Byron Avenue East, London, ON...  
Thomas G. Arnold & Associates  
December 5, 2021

a+LiNK  
architecture inc.  
preserve + create + sustain

## Report to London Advisory Committee on Heritage

**To:** Chair and Members  
London Advisory Committee on Heritage

**From:** Scott Mathers, MPA, P. Eng.,  
Deputy City Manager, Planning and Economic Development

**Subject:** Designation, 183 Ann Street and 197 Ann Street under Part IV  
of the *Ontario Heritage Act*

**Date:** April 13, 2022

## Recommendation

That, on the recommendation of the Director, Planning and Development, with the advice of the Heritage Planner, with respect to the designation of built resources at municipal addresses 183 Ann Street and 197 Ann Street, located on the consolidate parcel legally described as – LOTS 4, 5, 6 & 7 AND PART LOT 3, SOUTH SIDE ANN STREET PLAN 183(W)DESIGNATED AS PART 1, PLAN 33R-20622 – that the following actions **BE TAKEN**:

- a) Notice **BE GIVEN** under the provisions of Section 29(3) of the *Ontario Heritage Act*, R.S.O. 1990, c. O. 18, of Municipal Council's intention to designate the built resource on the municipal address 197 Ann Street to be of cultural heritage value or interest for the reasons outlined in Appendix E of this report; and,
- b) Should no objections to Municipal Council's notice of intention to designate be received, by-laws to designate the built resource at 197 Ann Street to be of cultural heritage value or interest for the reasons outlined in Appendix E of this report **BE INTRODUCED** at a future meeting of Municipal Council within 90 days of the end of the objection period.
- c) Notice **BE GIVEN** under the provisions of Section 29(3) of the *Ontario Heritage Act*, R.S.O. 1990, c. O. 18, of Municipal Council's intention to designate the built resource at 183 Ann Street to be of cultural heritage value or interest for the reasons outlined in Appendix F of this report; and,
- d) Should no objections to Municipal Council's notice of intention to designate be received, by-laws to designate the built resource 183 Ann Street to be of cultural heritage value or interest for the reasons outlined in Appendix F of this report **BE INTRODUCED** at a future meeting of Municipal Council within 90 days of the end of the objection period.

**IT BEING NOTED** that should an objection to Municipal Council's notice of intention to designate be received, a subsequent staff report will be prepared.

**IT BEING FURTHER NOTED** that should an appeal to the passage of the by-law be received, the City Clerk will refer the appeal to the Ontario Land Tribunal.

## Executive Summary

In 2019, an application for an Official Plan and Zoning By-law amendment (OZ-9127) was submitted by York Developments for a 28-storey apartment building complex on the subject property at 84 – 86 St. George Street and 175 – 197 Ann Street; in 2020, the proposal has been subsequently modified in height to 22-storeys. The proposal is predicated on the removal of all existing built resources on the subject property. The subject property, now a consolidated parcel including the municipal addresses 84 - 86 St. George Street and 175-197 Ann Street), is LISTED on the City's *Register of Cultural Heritage Resources*. Per Policy 565 of *The London Plan*, an evaluation is required to determine if the property retains cultural heritage value or interest (CHVI) and to assess potential impacts.

For CHVI evaluation purposes, a heritage impact assessment (HIA) was submitted by the applicant in 2021 as part of a revised complete application. The HIA determined that all built resources on the subject property have cultural heritage value, but that retention

is not economically viable. To date, no demolition requests have been submitted to the City by the applicant for the removal of any of the built resources on the subject property and Municipal Council is not being asked to consider a request for demolition at this time.

At its meeting held on November 24, 2020, Municipal Council referred Civic Administration to report back at a later date regarding potential designation of 197 and 183 Ann Street. Per Municipal Council's request, the focus of this report is specifically on heritage planning staff's evaluation of the built resources at 197 Ann Street (known as the former Kent Brewery) and 183 Ann Street (the adjacent Brewer's House). An evaluation was undertaken using the criteria of O. Reg 9/06, which determined that the built resources are significant cultural heritage resources that merit designation pursuant to Section 29 of the *Ontario Heritage Act*.

## Linkage to the Corporate Strategic Plan

This recommendation supports the following 2019-2023 Strategic Plan area of focus:

- Strengthening Our Community:
  - Continuing to conserve London's heritage properties and archaeological resources.

## Analysis

### 1.0 Background Information

#### 1.1 Previous Reports Related to this Matter

November 16, 2020: OZ-9127 – Report to Planning and Environment Committee: 7<sup>th</sup> Report of the London Advisory Committee on Heritage 183 and 197 Ann Street. Agenda Item 4.1, pp205-208 [re: revise date to report back on heritage matter].

October 19, 2020 – Report to Planning and Environment Committee: 7<sup>th</sup> Report of the London Advisory Committee on Heritage, October 14, 2020. Agenda Item 4.1, pp486-556 [re: Designation of 183 and 197 Ann Street, LACH – 4.1c and 4.1d].

March 9, 2020 – Report to Planning and Environment Committee: St. George and Ann Block Limited, 84–86 St. George Street and 175–197 Ann Street (OZ-9127). Agenda Item 3.5, pp156-201 [re: request application be heard at future PPM].

February 19, 2020 – Report to London Advisory Committee on Heritage. LACH Stewardship Sub-Committee Report, Wednesday January 29, 2020. Agenda Item 1 [re: 197 Ann Street (referred by LACH, 2019-12-11)].

#### 1.2 Location of Subject Property

The subject property is a consolidated parcel of multiple municipal addresses located at the southeast corner of Ann and St. George Streets, just south of the Canadian Pacific Railway, and near to high-rise residential buildings to the southeast (Appendix A). The former course of the historic Carling's Creek can still be discerned immediately behind the property (Appendix B). The area surrounding the subject property is colloquially known as 'North Talbot' which is north of the city's downtown core. North Talbot is associated with very early urban development in London following its annexation in 1840. Over time, this area has transitioned to accommodate many business enterprises, often within historic buildings. Today, North Talbot still retains a predominantly residential character, clearly bordered by commercial main streets, and with a strong presence of the natural landscape (Heritage Places 2.0, p17). In 2020, a Cultural Heritage Inventory for the North Talbot Study Area was prepared to identify heritage listed and heritage designated properties within the North Talbot Study Area. This Cultural Heritage Inventory was completed in advance of the initiation of a Heritage Conservation District (HCD) Study for a potential district (TMHC, 2020).

For the purposes of this report, the consolidated parcel will be referred to as "the subject property"; legally described as – LOTS 4, 5, 6 & 7 AND PART LOT 3, SOUTH SIDE ANN STREET PLAN 183(W)DESIGNATED AS PART 1, PLAN 33R-20622. The following municipal addresses on this parcel will be referred to separately throughout the report and named by their address: 175 Ann Street, 179 Ann Street, 183 Ann Street,



197 Ann Street, 84 St. George Street and 86 St. George Street (Appendix A). Note that the properties previously identified by these addresses merged in December 2019 (2020, Oct 20, LACH). Figures 5 and 6 illustrate the individual lots and configurations comprising the consolidated parcel (Appendix A).

### **1.3 Cultural Heritage Status**

The subject property is a heritage listed property, included on the City's *Register of Cultural Heritage Resources*. The parcel contains multiple built resources that have been identified as having potential cultural heritage value or interest that requires further research and evaluation for designation under Part IV of the *Ontario Heritage Act*.

The built resource on LOT 4, PART LOT 3, now known as municipal address 197 Ann Street, is recognized as the last remnant of the former Old Kent Brewery and has been noted as a building of interest since 1987 in the City's Inventory (LACAC, p5). Since March 26, 2007, LOT 4, PART LOT 3 has been included on the City's *Register*. Based on the cultural heritage information presented in the *North Talbot Cultural Heritage Inventory*, the remaining municipal addresses comprising the parcel were added to the *Register of Cultural Heritage Resources* on October 27, 2020 (TMHC, 2020).

### **1.4 Description of Built Heritage Resources**

#### **1.4.1 197 Ann Street**

The built resource at 197 Ann Street (known as the former Kent Brewery) consists of a complex of buildings, representative of a mid-late 19th century vernacular, industrial commercial 'typology'. Sections of the building complex can be visually discerned from the exterior, and include a primary building, old wash house, south extension and contemporary garage (Appendix A, B). The building complex currently functions as an auto repair shop with (2) rental units – one on the first and second floors of the primary building.

The 2-storey primary building faces Ann Street and is a rectangular brick veneer building (9m x 13m approx.) – of local buff brick with a flat roof; a portion of the SW exterior has been clad with metal siding. The façade is relatively unadorned with the exception of a parapet composed of a row of single brick corbels, end-on, 3 brick deep, and 2 string courses along the front and halfway along the east side. There is a corbelled extension at the west end integral with the parapet. Many window and door openings are topped with brick voussoirs; some window and door openings have been filled-in or expanded. Interior features of note are several corbelled brick-support 'brackets' and several brick rounded arches in the basement. The first and second floor are currently rented and were only briefly viewed during the site visit (Feb 7, 2020).

A 1-storey 'old wash house' (9.88m x 20.45, approx.) with a buff brick exterior is positioned to the west of the primary building. It has a similarly unadorned façade, with a flat roof sloping from the front to the rear. From the interior, original beams, joists and cross bracing can be seen from the underside of the roof. This portion of the building complex first appears on the (1892, 1907r) insurance plan mapping and is noted as having an arched vault underground, but other than interior round arches between the basement of the primary building and the old bath house, no underground cellar was found during the site visit.

A 1-storey brick and clad wing (south extension) extends south from the primary building to the contemporary garage. It is a rectangular building (9.49m x 21.65m, approx.) with some exterior parging of brick along the western face. The interior is an open space, with exposed brick and wooden slat ceiling. The south extension exhibits considerable external and internal modifications completed during expansion years of the brewery.

A contemporary garage flanks the southern end of the south extension (10m x 11m, approx.).

The precise dates of the primary building, old wash house and south extension is unknown. What is known is the former Kent Brewery at 197 Ann Street was established in 1859 (O'Brien, p14) and as early as 1861 the brewery is noted as being "very successful since its establishment, and there are enlargements and additions being constantly made to it" (Tovey, Chronology, p3). Presumably, a building existed on this

property as early as 1859-1861 however it is inconclusive whether this is the primary building (or part of) that we see today. The earliest insurance plan mapping available dates from 1881 which indicates a 1½ storey primary building fronting Ann Street, and a south extension which generally fits the current footprint of the brewery complex. Subsequent mapping shows additions and improvements made over a period – from 1892 to 1922 – which includes changes in material and building heights. Confirming the extent and date of these alterations in comparison to as-built observation, will require further research and on-site investigation which was beyond the scope of this evaluation. Therefore, for this evaluation, a broad range of (c.1859-1881) has been assigned to the Kent Brewery for the dating purposes.

#### **1.4.2 183 Ann Street**

The built resource at 183 Anne Street (c.1893) is a two-and-a-half-storey, buff brick Queen Anne Revival style residence, built by Joseph Hamilton the brewer master at the adjacent Kent Brewery from 1887-1916 (Appendix B). A contemporary wooden structure is located at the rear of the lot and appears to function as a storage shed.

The form of the residence at 183 Ann Street is an intersecting hipped roof, and a front gable end which has horizontal siding and dentilled millwork detailing. The gable ends exhibit the specific style of wood shingling known as a staggered imbrication (Phillips, p99). The front façade gable is clad with siding, but the east gable exhibits the original bargeboard shingling and is outlined with moulded vergeboards.

The gable is supported by wooden end brackets and a modillion course beneath. There is a small square gable window under the eaves. There is a pilaster on each side of the window frame. The window is divided in two and surrounded by a border of small square panes.

The double front doors have a carved wood inset with two arched windows, a stained-glass transom, and are covered by a shallow overhang. Windows openings on all visible elevations have brick voussoirs, and remaining brick voussoirs on the first floor of the primary façade show where an original window was partially infilled and replaced with a smaller one.

On the west elevation is a bay window with stone lug sills. The bay is topped by a flat roof and the fascia board is decoratively supported by small brackets or modillions. The brackets and modillions adhere to a single character throughout the whole structure. (see TMHC pp-239-40; LACH Stewardship w/Tovey).

#### **1.4.3 179 Ann Street**

The built resource at 179 Ann Street (pre-1881) is a one-story, buff-brick, side hall plan vernacular cottage with a hipped roof (Appendix B). The front door has a transom, and the primary façade has window openings topped with brick voussoirs. The residence is a representative example of a late-19th-century worker's cottage but is somewhat unusual with its bay window with stone trim on the east elevation, seeming to echo a bay window on the west elevation of the adjacent 2-storey buff brick residence at 183 Ann Street (see TMHC pp-237-38; LACH Stewardship w/Tovey).

#### **1.4.4 175 Ann Street**

The built resource at 175 Ann Street (c.1892-1893) is a one-story, wood-frame residence, with a hipped roof (Appendix B). It is a representative example of a late-19th-century worker's cottage. It has a central hall plan, and a central entry flanked by windows and either side facing Ann Street. A shed-roof extension is at the rear. Most windows, exterior cladding and roofing material appear to be contemporary replacements (see TMHC pp235-36).

#### **1.4.5 86 St. George Street**

The built resource at 86 St. George Street (c.1930) is a one-story, wood-frame, residence, with a hipped roof (Appendix B). It is a representative example an early 20th-century worker's cottage. It has a side hall plan, and a front entry with a small, covered verandah situated on the southwest corner of the building, facing onto St. George Street. Most windows, exterior cladding and roofing material appear to be contemporary replacements (see TMHC p528-29).

#### **1.4.6 84 St. George Street**

The built resource at 84 St. George Street (c.1893) is a one-story, wood-frame, side hall plan cottage, with a hipped roof (Appendix B). It is a representative example of a late-19th-century worker's cottage. There is a recessed, covered front entry with a small balustrade is situated on the northwest corner of the building, facing onto St. George Street. Most windows, exterior cladding and roofing material appear to be contemporary replacements (see TMHC pp526-27).

### **1.5 Historical Background**

#### **1.5.1 The Historical Landscape – Carling Creek and CPR Railway**

Though now largely underground (a "lost creek"), there are tangible remains of the historic Carling's Creek that are still visible and resonate in the community today. The creek still empties into the river just south of Ann Street Park, and is also daylight (i.e., visible) between Waterloo and Colborne near Pall Mall. 197 Ann Street slopes down towards the former creek bed, which is behind a fence immediately to the north of the lot.

The subject property is also linked to the era before the CPR railway, and to the industries that were attracted by the creek. Although several key industrial buildings have been preserved from the CPR era, the Kent Brewery is both the oldest remaining industrial structures in the area, and the only industrial building in North Talbot that retains that primary relationship to the creek.

Industrial buildings clustered near the CPR tracks are part of the visible landscape that surrounds the brewery to the west, south, and east. These include the CPR cold storage across the tracks to the northwest; the CPR warehouse to the north; the Fireproof Warehouse and the Murray-Selby Shoe Factory Building to the northeast; the former CPR passenger station; and the former Ford Factory at Pall Mall and Waterloo. (LACH Stewardship w/M. Tovey).

#### **1.5.2 The Kent Brewery and the Brewer's House at 197 and 183 Ann Street**

In Philips' seminal book on brewing in Victorian Middlesex-London (p76), his earliest account of a brewery located at 197 Ann Street is 1859 (see also O'Brien, p14; see Appendix C and D for historical images and documents). He notes that the formative years of the brewery were challenging, mirroring financial difficulties the brewing industry in London also encountered. Original owners, H. Marshall and J. Hammond soon went out of business as did subsequent owners F. Dundas and J. Philips. In 1861, John Hamilton purchased the business which was already known as the Kent Brewery – named after the well-known hop-growing regions of Kent, England, from which the brewery imported its hops (O'Brien, p14). By 1870, brewer John Hamilton was producing 8,000 gallons of porter and ale, generating a profit of \$500. The brewery's prosperity enabled Hamilton to buy not only the land on which the brewery stood<sup>1</sup>, but all of the other properties between the brewery and St. George Street, including the land on which 183 Ann Street now sits.<sup>2</sup>

John Hamilton continued to operate the brewery and also live at 183 Ann Street, adjacent to the brewery, until his death in 1887 (Tovey, 197 Ann St; Tovey, Chronology; see Philips, p155). Afterwards, John Hamilton's son, Joseph, grew the brewery business by fashioning the 'Hamilton' brand through consistent advertising, creative slogans, and by reproducing the beer labels on his advertising (Phillips, p154). In 1893, Joseph Hamilton made "extensive alteration to the Kent Brewery...doubling its capacity and rebuilding the family house at 183 Ann Street" (Phillips, pp154-155).

The house at 183 Ann Street was built by Joseph Hamilton, who lived there from 1887–1911. Joseph Hamilton built 183 Ann Street in c.1893, and lived there with his family for 18 years, until 1911. Joseph's father, brewer John Hamilton, had lived in a more modest frame structure on the same site. After taking the reins, Joseph Hamilton rapidly built up his local trade to a point where he had nearly tripled the commercial worth of the Kent

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<sup>1</sup> Bargain and Sale, \$3,500, Henry Marshall to John Hamilton, 22 Dec 1873, Lot 3 South Side of Ann Street, Registered 23 Feb 1874, Instrument #1102. Quoted from Tovey; 2020, Oct 27.

<sup>2</sup> Bargain and Sale, \$2,200, Joshua Dixon Dalton to John Hamilton, 1 April 1872, lots 4, 5, 6, 7, South Side of Ann Street, Registered 22 April 1872, Instrument #8810. Quoted from Tovey; 2020, Oct 27.

Brewery in the first five years of his tenure as brewer, thanks to a sophisticated new branding strategy and targeted local marketing. The size and scale of the Queen Anne styled house at 183 Ann Street, built six years after Joseph Hamilton took over as brewer, is tangible evidence of his success (LACH Stewardship w/M. Tovey). Between c1886 and 1916, the Kent Brewery was one of only three breweries in London, third to Labatt and Carling. In Caldwell's evaluation of 197 Ann Street, she notes that: "[i]n an era where other small scale local breweries were closing for reasons such as fires, temperance, and increased competition, the brewery was famous for its English-style porter and had a reputation for brewing good quality local beer" (Caldwell, p11).

News stories covering the Kent Brewery and owners were reported in *The Globe*, Toronto, suggesting that the brewery had more than local significance at the time (Tovey, Chronology, p1). It was listed in the *Canada Gazetteer* as early as 1864 (Mitchell's, p331). London was home to a number of small breweries in the mid-19th Century (Phillips, pp153-55), however these gradually disappeared, and the Kent Brewery remained (Caldwell, p11). Joseph Hamilton managed the brewery until it closed in 1917 (O'Brien, p14), like many breweries in Ontario, due to impacts of the Passage of the Canadian Temperance Act.

This is not the end of the Kent Brewery; for over 100 years following its closure, the now former Kent Brewery complex has remained viable by adapting and housing a wide variety of uses; from commercial business, winery, cheese and cigar production to the fabrication and sales of construction products and automotive businesses. Currently 197 Ann Street also contains (2) residential rental units. The primary building and adjacent old wash house still look much as they did during the peak of the brewery's business; and the massing, form and footprint of these parts complex building complex has remained the same. In the 100 years since its closure as a brewery, the building complex at 197 Ann Street has been vacant for only 10 (non-consecutive years); a testament to the adaptability of this modest vernacular industrial heritage resource and reminder that the greenest building is a heritage building retrofitted. Today, the building complex is considered to be the "largest surviving brewery artifact from Victorian London Middlesex" (Phillips, 155).

### **1.5.3 Cottages at 175 and 179 Ann Street and 84 and 86 St. George Street**

The built resources at 84 St. George Street and 175 Ann and 179 Ann Street are all representative examples of late-19th-century worker's cottages, with 86 St. George Street dating from c.1930. They are historically linked to the former brewery function on the subject property and industrial uses in the surrounding area (see Appendix C for historical images). The first occupant at 84 St. George Street, Phillip Lewis, was listed as a labourer in the 1900 City Directory, and John Arscott who served as a foreman of the C.S. Hyman & Co. Tannery on Richmond Street, is associated with 175 Ann Street. Finally, the property at 179 Ann Street was owned by brewer John Hamilton of the Kent Brewery, and lived in by his son, brewer Joseph Hamilton (from 1888-1890), following his marriage to Susannah Fletcher, and before he took the reins of the Kent Brewery (1887-1916) (TMHC, 2020).

## **1.6 Heritage Planning File Background and Current Proposal**

On Sept 20, 2019, an Official Plan and Zoning By-law amendment application (OZ-9127) was received for a 28-storey apartment building complex at 84 – 86 St. George Street and 175 – 197 Ann Street. At the time of this initial submission, the property specific to 197 Ann Street was identified as a LISTED property on the City's *Register of Cultural Heritage Resources*, being the last remnant of the former Kent Brewery (c1883). Per Policy 586 of *The London Plan*, a heritage impact assessment (HIA) was required as part of a complete application. A Notice of Application and HIA was circulated to the London Advisory Committee on Heritage (LACH) on October 10, 2019. At its meetings on November 13<sup>th</sup> and December 11<sup>th</sup> 2019, the LACH reported that it was not satisfied with the research, assessment, and conclusions of the heritage impact assessment (HIA) and referred the file for 197 Ann Street and other dwellings on the subject property of the application to the Stewardship Sub-Committee for further research. Heritage staff also provided comments to the file planner and applicant indicating that there was insufficient information in the report to support the conclusion that built resources on the property at 197 Ann Street have no significant cultural heritage value or interest (CHVI).

At the March 9, 2020, Planning and Environment Committee (PEC) meeting, an information report on the application (OZ-9127) was considered. Heritage staff prepared a 9/06 evaluation and found that the property at 197 Ann Street retains historical associations and contextual value that are sufficiently significant to warrant support for Part IV heritage designation. PEC referred the application and heritage matters back to the Civic Administration for a future report and recommendation.

On October 7, 2020, a revised Notice of Planning Application (OZ-9127) was circulated for a modified design with 22-stories; the LACH reviewed the revised application at its October 14, 2020 meeting. Based on this review, the LACH Report to PEC, included on the October 19, 2020 Planning & Environment (PEC) agenda, recommended the designation of 183 Ann Street and 197 Ann Street under the *Ontario Heritage Act* (OHA). At the October 19, 2020 PEC meeting, the Applicant requested that consideration of the LACH's request for designation be deferred to the November 30, 2020 PEC meeting. At its meeting held on November 24, 2020, Municipal Council then resolved that Civic Administration report back on this matter – deferred to November 30<sup>th</sup> – to a future meeting of PEC because of alterations being proposing to the building design (Resolution 4.1/8/PEC). This resolution also noted that the properties located at 175, 179, 183, and 197 Ann Street and 84 and 86 St. George Street had merged. As well at the same Municipal Council meeting per resolution (5.1/18/PEC) 175, 179, 183 Ann Street and 84 and 86 St. George Street properties were added to the *Register of Cultural Heritage Resources* based on the cultural heritage information presented in the *North Talbot Cultural Heritage Inventory* (TMHC, 2020)

On November 9, 2021, a revised HIA was received by the file planner, which responded to previous comments from the LACH and Civic Administration (Nov 13, Dec 11, 2019; Feb 26, 2020) that identified errors and omissions in the original HIA submitted (2019). The revised HIA also depicted the inclusion of a public brewery on the first floor on the east side of the proposed building.

At its meeting on March 9, 2022, the LACH was circulated on the revised HIA and reported that it was not satisfied with conclusions of revised HIA (Nov 4, 2021) and reiterated its previous comments (Oct 14, 2020 – LACH report) to retain and designate the properties located at 197 and 183 Ann Street.

On April 1, 2022, a newly revised application and a Notice of Application was circulated. The application again depicted a 22-storey apartment building including a range of convenience commercial uses including a 'craft brewery'; the proposal shows all existing buildings and structures are to be removed on the subject property.

To date, no demolition requests have been submitted to the City by the applicant for the removal of any of the built resources on the subject property, and Municipal Council is not being asked to consider a request for demolition at this time. Any demolition requests related to this subject property received in the future will require Municipal Council approval.

## **2.0 Discussion and Considerations**

### **2.1 Legislative and Policy Framework**

Cultural heritage resources are recognized for the value and contributions that they make to our quality of life, sense of place, and tangible link to our shared past. Cultural heritage resources are to be conserved as per the fundamental policies in the *Provincial Policy Statement* (2020), the *Ontario Heritage Act*, *The London Plan*. It is important to recognize, protect, and celebrate our cultural heritage resources for future generations.

#### **2.1.1 Provincial Policy Statement**

Heritage conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (PPS-2020)* promotes the wise use and management of cultural heritage resources and directs that "significant built heritage resources and significant cultural heritage landscapes shall be conserved." (Section 2.6.1)

'Significant' is defined in the *PPS-2020* as, "[r]esources that have been determined to have cultural heritage value or interest." Further, "[p]rocesses and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*." (p51)

Additionally, 'conserved' means, "[t]he identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the *Ontario Heritage Act*. To 'conserve' may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment. [...] Mitigative measures and/or alternative development approaches can be included in these plans and assessments." (pp41-42)

### **2.1.2 Ontario Heritage Act**

Section 27 of the *Ontario Heritage Act* requires that a register kept by the clerk shall list all properties that have been designated under the *Ontario Heritage Act*. Section 27(1.2) of the *Ontario Heritage Act* also enables Municipal Council to add properties that have not been designated, but that Municipal Council "believes to be of cultural heritage value or interest" on the Register.

Section 29 of the *Ontario Heritage Act* enables municipalities to designate properties to be of cultural heritage value or interest. Section 29 of the *Ontario Heritage Act* also establishes consultation, notification, and process requirements, as well as a process to object to a Notice of Intention to Designate (NOID) and to appeal the passing of a by-law to designate a property pursuant to Section 29 of the *Ontario Heritage Act*. Objections to a Notice of Intention to Designate are referred back to Municipal Council. Appeals to the passing of a by-law to designate a property pursuant to the *Ontario Heritage Act* are referred to the Ontario Land Tribunal (OLT).

To determine eligibility for designation under Section 29 of the *Ontario Heritage Act*, properties are evaluated using the mandated criteria of Ontario Regulation 9/06.

#### **2.1.2.1 Ontario Regulation 9/06**

Regulation 9/06 of the *Ontario Heritage Act* establishes criteria for determining the cultural heritage value or interest of individual properties. These criteria are reinforced by Policy 573\_ of *The London Plan*. These criteria are:

1. Physical or design value:
  - i. Is a rare, unique, representative or early example of a style, type, expression, material or construction method;
  - ii. Displays a high degree of craftsmanship or artistic merit; or,
  - iii. Demonstrates a high degree of technical or scientific achievement.
2. Historical or associative value:
  - i. Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;
  - ii. Yields, or has the potential to yield, information that contributes to an understanding of a community or culture; or,
  - iii. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. Contextual value:
  - i. Is important in defining, maintaining or supporting the character of an area;
  - ii. Is physically, functionally, visually or historically linked to its surroundings; or,
  - iii. Is a landmark.

A property is required to meet one or more of the abovementioned criteria to merit protection under Section 29 of the *Ontario Heritage Act*.

#### **2.1.2.2 Ontario Regulation 385/21**

Ontario Regulation 385/21 was proclaimed on July 1, 2021. This regulation prescribes certain requirements for a heritage designating by-law. The following information is a prescribed requirement of a heritage designating by-law, per Section 3(1), O. Reg. 385/21:

1. The by-law must identify the property by,
  - i. The municipal address of the property, if it exists;
  - ii. The legal description of the property, including the property identifier number that relates to the property; and,

- iii. A general description of where the property is located within the municipality, for example, the name of the neighbourhood in which the property is located and the nearest major intersection to the property.
2. The by-law must contain one or more of the following that identifies each area of the property that has cultural heritage value or interest:
  - i. A site plan.
  - ii. A scale drawing.
  - iii. A description in writing.
3. The statement explaining the cultural heritage value or interest of the property must identify which of the criteria set out in subsection 1(2) of Ontario Regulation 9/06 (Criteria for Determining Cultural Heritage Value or Interest) made under the Act are met and must explain how each criterion is met.
4. The description of the heritage attributes of the property must explain how each heritage attribute contributes to the cultural heritage value or interest of the property.

### 2.1.3 The London Plan

The Cultural Heritage chapter of *The London Plan* recognizes that cultural heritage resources define the City's unique identity and contribute to its continuing prosperity. *The London Plan* states that, "the quality and diversity of these resources are important in distinguishing London from other cities and make London a place that is more attractive for people to visit, live or invest in." Importantly, "our heritage resources are assets that cannot be easily replicated, and they provide a unique living environment and quality of life. Further, "by conserving them for future generations, and incorporating, adapting, and managing them, London's cultural heritage resources define London's legacy and its future." (552\_)

The cultural heritage policies of *The London Plan* are to:

- "1. Promote, celebrate, and raise awareness and appreciation of London's cultural heritage resources.
2. Conserve London's cultural heritage resources so they can be passed onto our future generations.
3. Ensure that new development and public works are undertaken to enhance and be sensitive to our cultural heritage resources. Generally, the policies of *The London Plan* support the conservation and retention of significant cultural heritage resources." (554\_)

Policies 572\_ and 573\_ of *The London Plan* enable the designation of individual properties under Section 29 of the *Ontario Heritage Act*, as well as the criteria by which individual properties will be evaluated.

Other relevant policies include:

- Policy 566\_: Relocation of cultural heritage resources is discouraged. All options for on-site retention must be exhausted before relocation may be considered.
- Policy 567\_: In the event that demolition, salvage, dismantling, relocation or irrevocable damage to a cultural heritage resource is found necessary, as determined by City Council, archival documentation may be required to be undertaken by the proponent and made available for archival purposes.
- Policy 568\_: Conservation of whole buildings on properties identified on the Register is encouraged and the retention of facades alone is discouraged. The portion of a cultural heritage resource to be conserved should reflect its significant attributes including its mass and volume.
- Policy 569\_ Where, through the process established in the Specific Policies for the Protection, Conservation and Stewardship of Cultural Heritage Resources section of this chapter and in accordance with the *Ontario Heritage Act*, it is determined that a building may be removed, the retention of architectural or landscape features and the use of other interpretive techniques will be encouraged where appropriate.
- 565\_ New development, redevelopment, and all civic works and projects on and adjacent to heritage designated properties and properties listed on the Register

will be designed to conserve the heritage attributes and character of those resources and to minimize visual and physical impact on these resources. A heritage impact assessment will be required for new development, redevelopment, and civic works and projects on, and adjacent to, heritage designated properties and properties listed on the Register to assess potential impacts and explore alternative development approaches and mitigation measures to address any impact to the cultural heritage resource and its heritage attributes.

- Policy 586\_ of *The London Plan* requires that LISTED and designated properties be evaluated where development will occur adjacent to the property. The purpose is to demonstrate that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved. The City has directed that evaluation take the form of a heritage impact assessment, and where the conservation of attributes can be attained through mitigative measures.
- Cultural Heritage Guidelines (1721\_) which lists *Heritage Places 2.0* is a guideline document. The document describes potential heritage conservation districts and assigns a priority to these districts for consideration as heritage conservation districts (HCD). The parcel at 197 Ann Street is located in the North Talbot which has been identified as a future, potential HCD with the highest priority ranking of #1.

## 2.2 Additional Reports

### 2.2.1 Heritage Impact Assessment – 2019

Heritage resources are to be conserved and impacts evaluated per policies in the *Provincial Policy Statement-2020*, the *Ontario Heritage Act* and *The London Plan*. For evaluation purposes, heritage impact assessments (HIA) were submitted for this application (OZ-9127) by MHBC Planning Ltd. – on behalf York Developments – as a requirement of *The London Plan* (Policies 565, 586), and to satisfy requirements of a complete OP/ZBA application. The purpose of the HIAs have been to evaluate the potential cultural heritage value or interest (CHVI) of the built resources on the subject property; to identify potential heritage attributes of interest; assess the impacts of the proposed development on the built resources; and, to make recommendations to mitigate any adverse impacts that may arise. Further, under Section 27(3) of the *Ontario Heritage Act*, demolition of properties LISTED on the City's *Register* requires consultation with the London Advisory Committee on Heritage (LACH) and Municipal Council approval. Although this staff report considers potential designation of 183 and 197 Ann Street, the proposed development is predicated on the demolition of LISTED heritage resources on the subject property, and as such, an evaluation is required to determine if the property retains cultural heritage value or interest (CHVI).

A heritage impact assessment (HIA) was first submitted as part of the Planning Application (OZ-9127) received in September 2019 (MHBC, 2019). Heritage staff found the HIA insufficient primarily due to errors and omissions in its evaluation which concluded that 197 Ann Street<sup>3</sup> did not retain cultural heritage value or interest (CHVI) and that significant building damage compromised the structure and overall integrity of the resource. No condition assessment was completed as part of the HIA. A building condition assessment was then prepared by a+LiNK (2020) and found that many of the original built elements on the exterior remain in situ and are in fair condition, (requiring attention expected for a building of this age), and that the condition and modifications made have not compromised the heritage value and integrity of the Brewery complex. (See Section 2.2.2).

The HIA was circulated to the London Advisory Committee on Heritage (LACH), and members indicated that they were not satisfied with the report's research, assessment, and conclusions. In February 2020, an initial evaluation of 197 Ann Street by heritage staff found that the property retained historical associations and contextual value that

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<sup>3</sup> At that time of the preparation of the heritage impact assessment, the focus of the HIA was the built resource on the property at 197 Ann Street which was the only property LISTED on the City's Register.



are sufficiently significant to warrant support for Part IV heritage designation of 197 Ann Street.

### **2.2.2 Heritage Impact Assessment – revised 2021**

On November 9, 2021, a revised heritage impact assessment (HIA) was received by the file planner (MHBC, 2021). The HIA responded to previous comments from the LACH and Civic Administration that identified errors and omissions in the original HIA submitted (Nov 13, Dec 11, 2019; Feb 26, 2020). The revised HIA depicts the inclusion of a public brewery on the first floor on the east side of the proposed building and the removal of all built resources on the subject property

Heritage staff has reviewed the revised HIA and find it sufficient to fulfill the heritage planning requirements for a complete application (OZ-9127). Heritage staff does note though that the HIA did not address shadowing of the proposed development on heritage designated and LISTED properties that could be impacted, nor has the HIA identify potential impacts to Carling's Creek such as obscuration of the water course which is a critical land feature on the subject property.

The HIA report evaluated built resources on all six municipal addresses comprising the consolidated parcel: 175, 179, 183, 197 Ann Street and 84 and 86 St. George Street. Final determination through the evaluation under the prescribed Ontario Regulation 9/06, is that all properties on the subject property have cultural heritage value, but that retention of building(s) on-site is not feasible due to the size and density required for the proposed development to be economically viable (MHBC, 2021 p90).

Heritage staff notes that cost considerations are not determinative of heritage conservation outcomes, nor are they sufficient reasons to dismiss designation. Per regulation OHA 9/06 evaluation under Section 29 of the OHA "a property may be designated if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest." The built resources that were evaluated on the subject property met more than one criterion, most meeting 3-to 4 criteria.

Heritage impact assessment findings identify varying degrees of impacts due to removal of the heritage resources on the subject lands. Impacts related to the loss of contextual value associated with the built resources on the subject property and loss of heritage attributes associated with building typologies and architectural style.

Mitigative measures recommend documentation prior to removal of heritage resources, a plan to salvage materials (to be used in the construction of a new brewery on site), and the exploration of various interpretive and commemoration plans (MHBC, 2021 p91). Retention, even partial retention is not considered because the HIA did not find the built resource at 197 Ann Street to have physical/ design value under Ontario Regulation 9/06 and thus no specific built heritage attributes were identified for retention in the development proposal.

The HIA noted that removal of the Kent Brewery building complex would remove architectural features such as the brick voussoirs and Florentine arches and remnants of the original brick floor of the brewery. These impacts were described as negligible because they were deemed as not collectively providing a clear representation of an architectural style and are not identified heritage attributes.

Finally, at its meeting on March 9, 2022, the LACH was circulated on the revised HIA and reported that it was not satisfied with the conclusions and reiterated its previous comments to retain and designate the properties located at 197 and 183 Ann Street (Oct 14, 2020 – LACH report).

### **2.2.3 Condition of Built Resource at 197 Ann Street**

a+LiNK Architecture Inc. was retained by the City of London in 2020 to complete a Building Condition Assessment (BCA) for the building at 197 Ann Street. The report focused on the review and condition of architectural and built elements of the structures. A visual review of the site was completed, and only non-destructive observations were made.

The assessment indicated that the building has both heritage value and integrity. The overall massing, scale, and profile of the building, as well as several original openings

and the fenestration (albeit filled-in) appear to remain as the building was organized circa 1905.

While the building has experienced degradation, fallen into disrepair and many of the exterior and interior elements have been reworked, the heritage integrity of the building has not been wholly compromised. The overall integrity of the building composition remains. Many of the original built elements found on the exterior such as masonry, openings and architectural detailing remain in situ and in fair condition, requiring restoration through conservation methods.

While there have been changes to the fenestration, primarily related to the enlargement of a few openings and the replacement of windows on Buildings A and B, original voussoirs and sills remain in situ.

The modifications to the exterior elements do not discredit the overall integrity and heritage value of the building, its evolution and physical condition. It is possible that some of these elements could be reinstated, and the exterior returned to near original condition, depending on the future use of the building.

The condition of the masonry is fair, with some areas requiring more attention than others. The masonry has deteriorated overtime, resulting in areas with: stepped cracking, spalling and mortar decay, and staining/efflorescence (particularly around the masonry at grade). However, these are typical occurrences of buildings of this age that have not received consistent attention and conservation plans. This does not mean that the masonry cannot be rescued. Stabilizing, repointing and special cleaning techniques, respectively, are some of ways that these above-mentioned concerns can be combatted.

#### **2.2.4 North Talbot Cultural Heritage Inventory**

The subject property (consolidated parcel) is located in the area of the City known as North Talbot. Based on an initial review of fourteen areas in London undertaken in 2019 as part of a study entitled *Heritage Places 2.0*, North Talbot was ranked and prioritized as #1 (out of 14) for further study as a potential heritage conservation district.

North Talbot is a mid-Victorian neighbourhood that is now in a state of transition. The area has been noted for its history as London's first suburb, its connections to early community leaders, and its properties of cultural heritage value, such as the Talbot Street Baptist Church (now known as the Talbot Street Church) and a number of large residences along the Thames River. Particularly given an increase in properties that differ from its predominantly low-rise residential character, there is a need to facilitate the integration of old and new architecture as the area continues to evolve.

In 2020, Timmins Martelle Heritage Consultants Inc. (TMHC) was retained by the City of London to complete a Cultural Heritage Inventory for the North Talbot Study Area to identify heritage listed and heritage designated properties within the North Talbot Study Area. The North Talbot Inventory (NTI) was intended as a preliminary study of known and potential cultural heritage resources within the area, in advance of an initiation of a heritage conservation district (HCD) study for the area.

Evaluation of properties for the NTI utilized a standard 9/06 evaluation format, including three categories of cultural heritage value (i.e. design/physical value, historical/associative value, and/or contextual value). The evaluation undertaken was preliminary, but useful in determining if a property was found to have potential cultural heritage value to warrant consideration for designation with further research. Based on the NTI, Municipal Council approved 165 properties in the North Talbot study area for inclusion on the City's Register of Cultural Heritage Resources: municipal addresses 175, 179, 183 Ann Street and 84 and 86 St. George Street were added to the Register at this time (5.1/18/PEC). All municipal address comprising the consolidated parcel met two or more of the cultural heritage value criteria to warrant consideration for designation.

### **2.3 Consultation**

In compliance with Section 29(2) of the *Ontario Heritage Act*, consultation with the London Advisory Committee on Heritage (LACH) is required before Municipal Council may issue its notice of intent to designate the built resources at the municipal addresses

183 and 197 Ann Street. The LACH was consulted and provided comments regarding heritage impact assessments required as part of the planning application (OZ-9127). At its meeting on December 11, 2019, the LACH referred the properties at 175, 179, 183 and 197 Ann Street and 84 and 86 St. George Street to the Stewardship Sub-Committee for research and evaluation for possible heritage designation. Moreover, at its meeting held on October 14, 2020, the LACH recommended and provided further information to Municipal Council related to potential heritage designation specifically of the known as 183 and 197 Ann Street. Finally, the LACH will be consulted at its meeting on April 13, 2022; a staff report and heritage designating by-laws for built resources at municipal addresses 183 and 197 Ann Street will be presented for consideration.

Heritage planning staff accessed the subject site subject property on two occasions – February 7, 2020 and April 1, 2022 – for the purposes of photo-documenting building exteriors, the site landscape and surrounding context. Specific access to the interior of the Kent Brewery at 197 Ann Street and all additions was granted during the site visit on February 7, 2020.

### 3.0 Financial Impact/Considerations

None

### 4.0 Key Issues and Considerations

At its meeting held on November 24, 2020, Municipal Council referred Civic Administration to report back regarding potential designation of 197 and 183 Ann Street. Through other forms of evaluation (i.e. the North Talbot Inventory and heritage impact assessments) the built resources on the subject property at 175 and 179 Ann Street and 84 and 86 St. George Street were found to retain cultural heritage value. However, per Municipal Council's request, the focus of the following heritage staff's evaluation is specifically on evaluation of the built resources at 197 Ann Street (known as the Kent Brewery) and 183 Ann Street (known as the Brewer's House).

#### 4.1 Cultural Heritage Evaluation – 197 Ann Street

The built resource at the municipal address 197 Ann Street was evaluated using the criteria of O. Reg. 9/06 (see previous Section 2.1.2.2). The evaluation is included in Table 1 below.

	<b>Criteria</b>	<b>Evaluation</b>
The property has design value or physical value because it,	Is a rare, unique, representative or early example of a style, type, expression, material, or construction method	The built resource at 197 Ann Street (the former Kent Brewery) is one of the oldest existing brewery buildings in Canada, and a rare local example of a surviving industrial building from the mid-late 19th century.  It is a rare example of an early brewery site where the brewery building remains, and the brewer's house is also intact.
	Displays a high degree of craftsmanship or artistic merit	The built resource at 197 Ann Street is not believed to demonstrate a high degree of craftsmanship or artistic merit.
	Demonstrates a high degree of technical or scientific achievement	The built resource at 197 Ann Street is not believed to demonstrate a high degree of technical or scientific achievement.
The property has historical value or associative value	Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	The built resource at 197 Ann Street has direct associations with the former Kent Brewery – one of the first breweries in London – and the Hamilton brewing family, notably John Hamilton (who ran the brewery from 1861– 1887), and his

because it,		<p>son, Joseph Hamilton (who ran the brewery from 1887–1917).</p> <p>The Kent Brewery's competitive association with the largest breweries in Canada (i.e. Labatt and Carling) – which have their roots in London – may also yield information on the Canadian beer industry and brewing history, at the local, provincial and national levels.</p> <p>The built resource at 197 Ann Street has direct associations with the adjacent Brewer's House at 183 Ann Street that was built by Joseph Hamilton around 1893 and occupied by him and his family until 1911.</p>
	Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	The built resource at 197 Ann Street is linked to the culture and history of the North Talbot area and the Carling's Creek and CPR corridor, yielding information on the development of industries and the people who lived and worked in the area during the mid-late-19th-century and early-20th-century.
	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	The built resource at 197 Ann Street is not believed to be associated with the work or ideas of an architect, artist, building, designer, or theorist who is significant to a community.
The property has contextual value because it,	Is important in defining, maintaining, or supporting the character of an area	<p>The built resource at 197 Ann Street is linked to the physical development of the surrounding area as a late-19th- and early-20th-century industrial and working-class neighbourhood.</p> <p>The longevity of the built resource at 197 Ann Street within the neighbourhood, and the fact that it is the last remaining industrial building in Talbot North sited to take advantage of Carling's Creek, makes it is one of the defining buildings of the Talbot North neighbourhood.</p> <p>Through its materiality (i.e. local buff brick exterior) and early Hamilton Family ownership, the built resource at 197 Ann Street, along with the Brewer's House at 183 Ann Street and house at 179 Ann Street, supports the visual character of the area.</p>
	Is physically, functionally, visually, or historically linked to its surroundings	<p>The built resource at 197 Ann Street is:</p> <p>a) visually linked to its surroundings (specifically 183 and 179 Ann Street) through its common use of local buff brick as an exterior material;</p> <p>b) physically and functionally linked to its immediate surroundings specifically to the lots immediately to the west that brewer John Hamilton owned, and brewer</p>

		Joseph Hamilton built for his family residence (at 183 Ann St.) and, c) historically linked to its surroundings through its direct associations with the Hamilton Family that owned the Brewery, and its links to the culture, history, industries and people of the North Talbot area and the Carling's Creek and CPR corridor and its development during the mid-late-19th-century and early-20th-century.  The building complex represents one of the only remaining structures from the historic Ann Street industrial area. At one time, this area contained some of the most prosperous manufacturing enterprises in the City (i.e. Hyman's and Arscott's Tanneries and Carling Brewery).
	Is a landmark	Although the Kent Brewery at 197 Ann Street was once considered a landmark during the years of active beer production (Goodspeed, 373), currently the built resource at 197 Ann Street is not believed to be a landmark in the community.

As the built resource at 197 Ann Street has met the criteria for designation, a Statement of Cultural Heritage Value or Interest and heritage attributes have been identified (Appendix E).

#### 4.2 Cultural Heritage Evaluation – 183 Ann Street

The built resource at the municipal address 183 Ann Street was evaluated using the criteria of O. Reg. 9/06 (see previous Section 2.1.2.2). The evaluation is included in Table 2 below.

	<b>Criteria</b>	<b>Evaluation</b>
The property has design value or physical value because it,	Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method	The built resource at 183 Ann Street is a representative example of a late-19th-century residence with Queen Anne style influences, notably its front door details, side bay window, brick voussoirs, gable with dentilled millwork, and the use of decorative brackets or modillions.  The built resources at 183 Ann Street is a rare example of an extant brewery where the adjacent brewer's house is also intact.
	Displays a high degree of craftsmanship or artistic merit	The built resource at 183 Ann Street is not believed to demonstrate a high degree of craftsmanship or artistic merit.
	Demonstrates a high degree of technical or scientific achievement	The built resource at 183 Ann Street is not believed to demonstrate a high degree of technical or scientific achievement.
The property has historical value or associative	Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a	The built resource at 183 Ann Street has direct associations with the adjacent former Kent Brewery at 197 Ann Street and both John and Joseph Hamilton who operated the brewery from 1861-1916.

value because it,	community	John Hamilton occupied a frame structure on the property from 1862 until his death in 1887. The present brick residence on the property was built by Joseph Hamilton around 1893. Joseph Hamilton and his family continued to occupy the house until 1911. The residence functioned as the brewer's house for the brewery.
	Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	Through its direct associations with the Kent Brewery at 197 Ann Street as the brewer's house, the built resource at 183 Ann Street yields information contributing to an understanding of the significant brewing history in London-Middlesex.  The built resource at 183 Ann Street is linked to the culture and history of the North Talbot area and the Carling's Creek and CPR corridor, yielding information on the development of industries and the people who lived and worked in the area during the mid-late-19th-century and early-20th-century.
	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	The built resource at 183 Ann Street is not believed to be associated with the work or ideas of an architect, artist, building, designer, or theorist who is significant to a community.
The property has contextual value because it,	Is important in defining, maintaining, or supporting the character of an area	The built resource at 183 Ann Street is linked to the physical development of the surrounding area as a late-19th- and early-20th-century industrial and working-class neighbourhood. 183 Ann Street is characteristic of the variations in housing along Ann Street and in the near vicinity, reflecting the diversity of people who lived in the area and worked in the major industries around Carling's Creek.  Through its materiality (i.e. buff brick exterior) and early Hamilton Family ownership, the built resource at 183 Ann Street, along with the former Kent Brewery at 197 Ann Street and house at 179 Ann Street, supports the visual character of the area.
	Is physically, functionally, visually, or historically linked to its surroundings	The built resource at 183 Ann Street is: a) visually linked to its surroundings (specifically 197 and 179 Ann Street) through its common materiality (i.e. use of buff brick on exterior); b) physically and functionally linked to its surroundings as the brewer's house located adjacent for the former Kent Brewery; and c) historically linked to its surroundings through its direct associations with the former Kent Brewery and the Hamilton Family that owned the Brewery, and its links to the culture, history, industries and

		people of the North Talbot area and the Carling's Creek and CPR corridor its development during the mid-late-19th-century and early-20th-century.
	Is a landmark	The built resource at 183 Ann Street is not considered a landmark.

As the built resource at 183 Ann Street has met the criteria for designation, a Statement of Cultural Heritage Value or Interest and heritage attributes have been identified (Appendix F).

### 4.3 Comparative Analysis

Heritage staff reviewed the City's *Register of Cultural Heritage Resources* for properties specifically identified as 'industrial'. Industrial properties comprise less than 1% of the properties recorded, and of these properties, the original portion of the Kent Brewery at 197 Ann Street (1859-1881) ranks among the oldest if not the oldest industrial property in the City. A blacksmith shop at 429 Adelaide Street North is identified as dating from circa 1860 is the subsequent oldest.

Based on a scan of historic Canadian breweries in Wikipedia, the former Kent Brewery is the 8th oldest brewery established in Canada and may be one of the oldest extant brewery buildings, second only to Alexander Keith's current ironstone brewery building in Halifax which was built in 1837.

Based on a further scan to also include Canada's Historic Places, Alexander Keith's Brewery site may be the only example of another early brewery site in Canada where the brewery building remains, and the brewer's house is also intact.

The built resource (former Kent Brewery) at 197 Ann Street is undoubtedly an early example in the City of London of an industrial building typology reflected in a physically surviving brewery. The physical relationship of an extant brewery and adjacent brewer's house is likely extremely rare.

### 4.4 Integrity and Authenticity

Integrity is not a measure of originality, but a measure of whether the surviving physical features (heritage attributes) continue to represent or support the cultural heritage value or interest of the property. Likewise, the physical condition of a cultural heritage resource is not a measure of its cultural heritage value. Cultural heritage resources can be found in a deteriorated state but may still maintain all or part of their cultural heritage value or interest (Ministry of Culture, 2006).

A condition assessment (a+LiNK, 2020) of the built resource at 197 Ann Street found that many of the original built elements on the exterior remain in situ, and although in fair condition and requiring attention expected for a building of this age, the condition and modifications made have not compromised the heritage value and integrity of the brewery complex. (See Section 2.2.2). While maintenance is an on-going requirement for any cultural heritage resource, the surviving physical features continue to represent the cultural heritage value of the former Kent Brewery.

While integrity is not a measure of architectural design value, there is a high degree of retention of original elements found in the primary building and old wash house parts of the brewery complex. Their massing, scale, and overall form appear as they did at the peak of the brewery's business.

### 4.5 Designation Matters

#### *Focus of Staff Report*

Heritage planning staff recognizes that due to physical proximity, period of construction and supportive relationships with the Kent Brewery (e.g. worker's cottages), associations exist among the multiple built resources on the subject property. However, based on recommendations from the LACH, and direction from Municipal Council, the focus of this report has been specifically on the evaluation of built resources at 183 and 197 Ann Street to consider potential designation. Council may wish to have staff report back at a later date on potential designation of other built resources on the subject

property. Regardless, any demolition requests related to this subject property received in the future will require Municipal Council approval.

#### *Criteria Design-Physical value*

In February 2020, heritage staff prepared a preliminary 9/06 evaluation for information purposes and found that the property at 197 Ann Street retains historical associations and contextual value sufficient to warrant consideration for heritage designation. At the time, however, staff did not determine the property to retain physical or design value but did note that further comparative research would be required to confirm its potential uniqueness as a brewery site. Since 2020, heritage staff has: a) consulted with members of the LACH's Stewardship Sub-Committee regarding continuing research on the Kent Brewery (its historic and broader associations to London's industrial heritage); b) further reviewed historic brewery sites for comparative analysis purposes; c) accessed and reviewed updated research that has been expanded since staff's initial evaluation (Tovey, n.d. Chronology); and d) reviewed the North Talbot Cultural Heritage Inventory which found the property at 197 Ann Street to be "a rare local example of a surviving industrial building from the mid 19th century" thus meeting 9/06 criteria for design/physical value (TMHC, p241). It is heritage staff's opinion that the built resource at 197 Ann Street (the former Kent Brewery) retains physical or design value, in addition to previously identified historical or associative values, and contextual values.

#### *Kent Brewery Heritage Attributes*

The built resource at 197 Ann Street (the former Kent Brewery) consists of (4) parts, built at different periods and continuously adapted over time. The south extension exhibits considerable external and internal modifications completed during expansion of the brewery. It is not a predominant part of the complex as it does not front Ann Street and much of it is obscured behind the primary building and old wash house. The most recognizable features associated with the former Kent Brewery are associated with the primary building and the old wash house; these parts of the brewery contain the attributes with the strongest cultural heritage value. It is heritage staff's opinion that the south extension and contemporary garage do not exhibit sufficient cultural heritage value for retention; their removal would have minimal impacts on heritage attributes and allow for expanded opportunities for sensitive, compatible incorporation and integration of the built resource into the overall site re-development.

## **Conclusion**

The built resources at 183 and 197 Ann Street are physically, functionally, visually, and historically linked to their surroundings. They are integral to an industrial area in North Talbot that once sited some of the most prosperous manufacturing enterprises in the city. Today, the Kent Brewery complex at 197 Ann Street is considered to be the "largest surviving brewery artifact from Victorian London Middlesex" (Phillips, 155). Both resources at 183 and 197 Ann Street are a testament to the success of the Kent Brewery, and how adaptable and resilient heritage building can remain. They are already exemplar examples of adaptive reuse; there are many possibilities for retention and integration of both heritage resources in the proposed development.

The evaluation of the built resources at 183 Ann Street and 197 Ann Street found that the resources meet the criteria for designation under Section 29 the Ontario Heritage Act. The built resources at 183 Ann Street and 197 Ann Street are significant cultural heritage resources that are valued for their physical or design values, their historical or associative values, and their contextual values. The built resources at 183 Ann Street and 197 Ann Street should be designated pursuant to Section 29 of the *Ontario Heritage Act* to protect and conserve its cultural heritage value for future generations.



**Prepared by:** Laura E. Dent, M.Arch, PhD, MCIP, RPP  
Heritage Planner

**Reviewed by:** Jana Kelemen, M.Sc.Arch., MUDES, MCIP RPP  
Manager, Urban Design, and Heritage

**Recommended by:** Gregg Barrett, AICP  
Director, Planning and Development

**Submitted by:** Scott Mathers, MPA, P. Eng.  
Deputy City Manager, Planning and Economic  
Development

### **Appendices**

Appendix A Property Location  
Appendix B Images  
Appendix C Historical Documentation and Research Materials  
Appendix D City Directory Listings – 197 Ann Street  
Appendix E Statement of Cultural Heritage Value or Interest – Municipal  
Address, 197 Ann Street  
Appendix F Statement of Cultural Heritage Value or Interest – Municipal  
Address, 183 Ann Street

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*With thanks to Mark Tovey and other members of the Stewardship Sub-Committee of the London Advisory Committee on Heritage.*

# Appendix A – Property Location

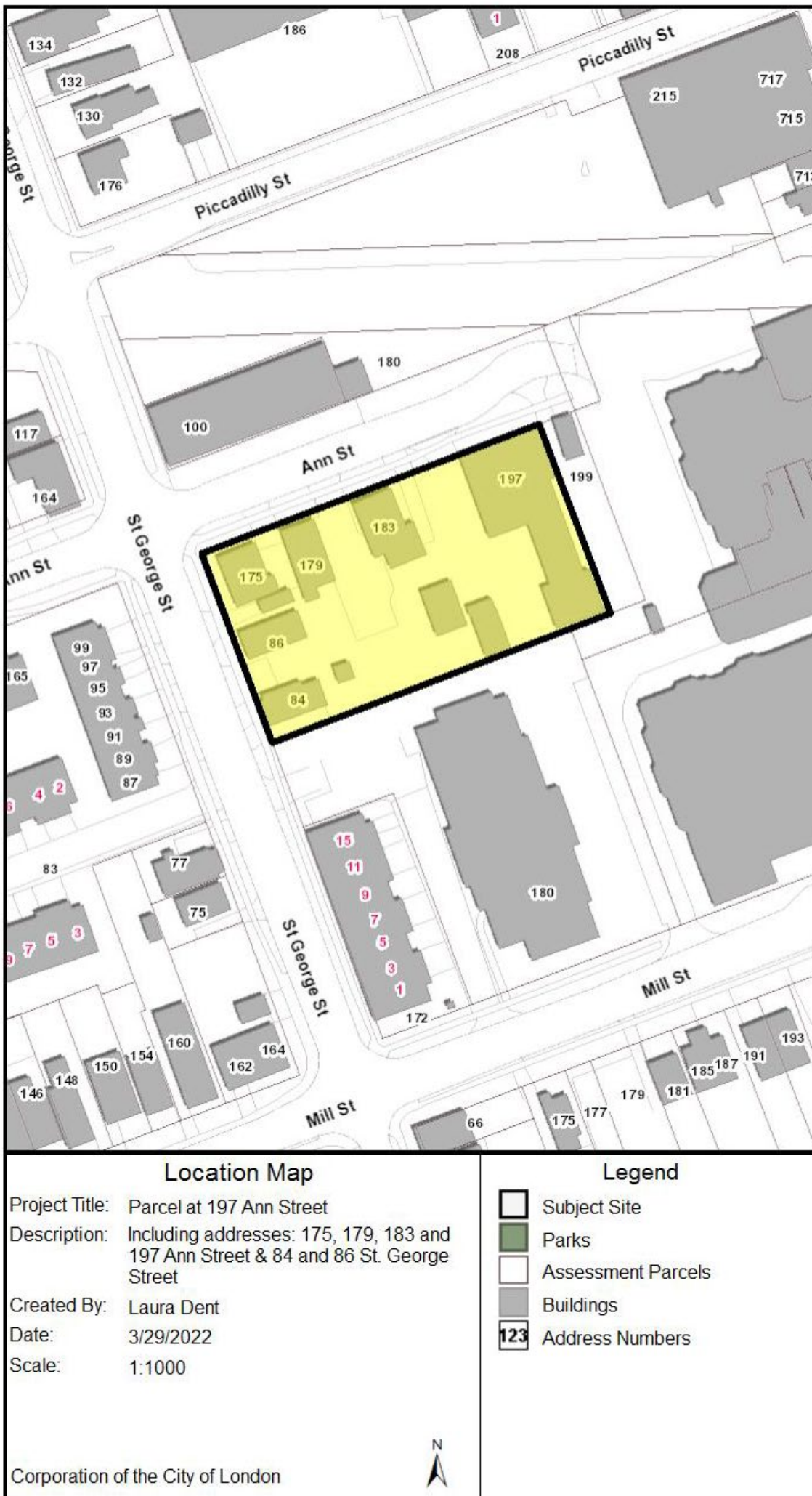


Figure 1: Location of subject property noting Consolidated parcel with municipal addresses: 175, 179, 183, and 197 Ann Street and 84 and 86 St. George Street

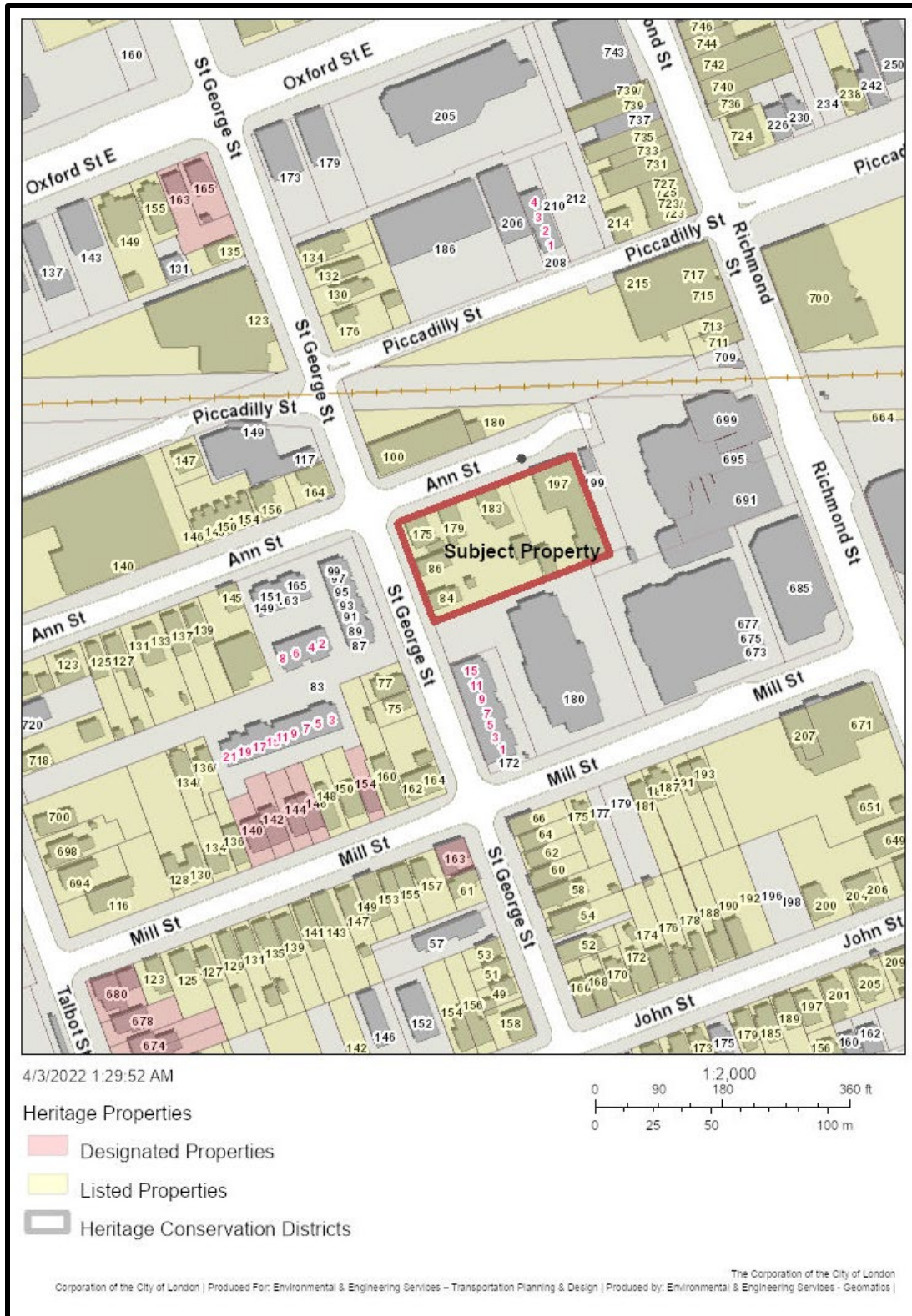


Figure 2: Heritage status of surrounding properties

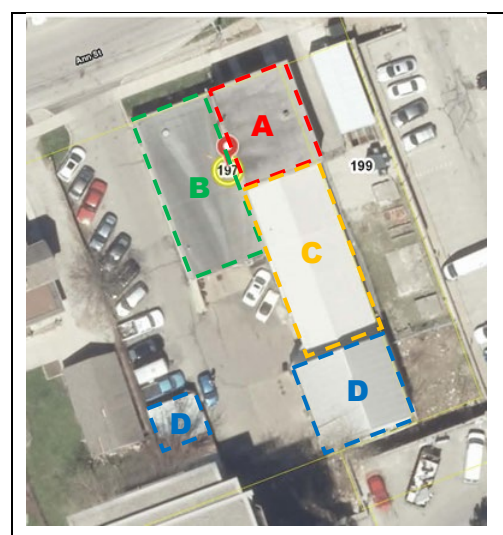


Figure 3: Aerial diagram of 197 Ann Street building complex components



Figure 4: Aerial view of the subject property

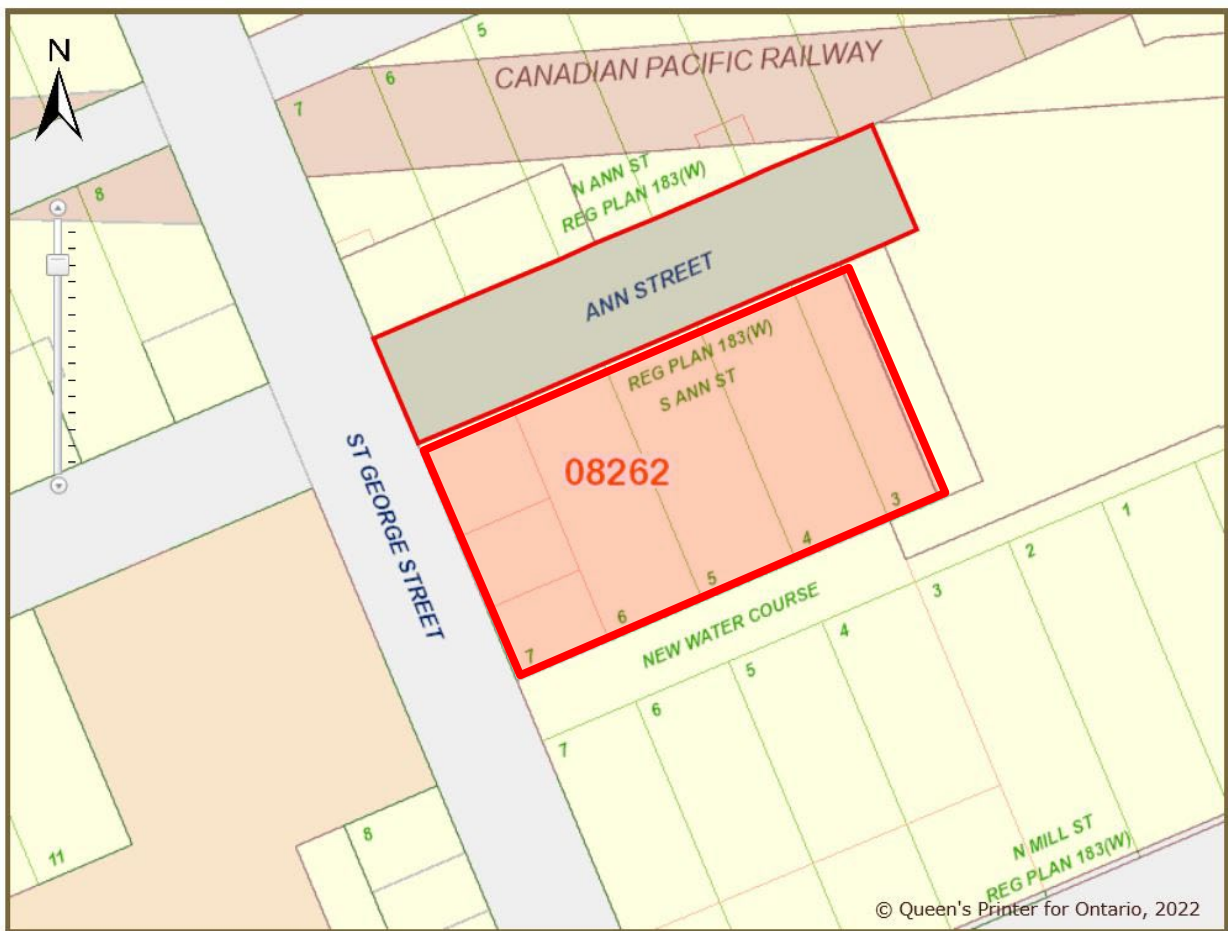


Figure 5: Property index map – Showing lot configuration of consolidated parcel





**Appendix B – Images**

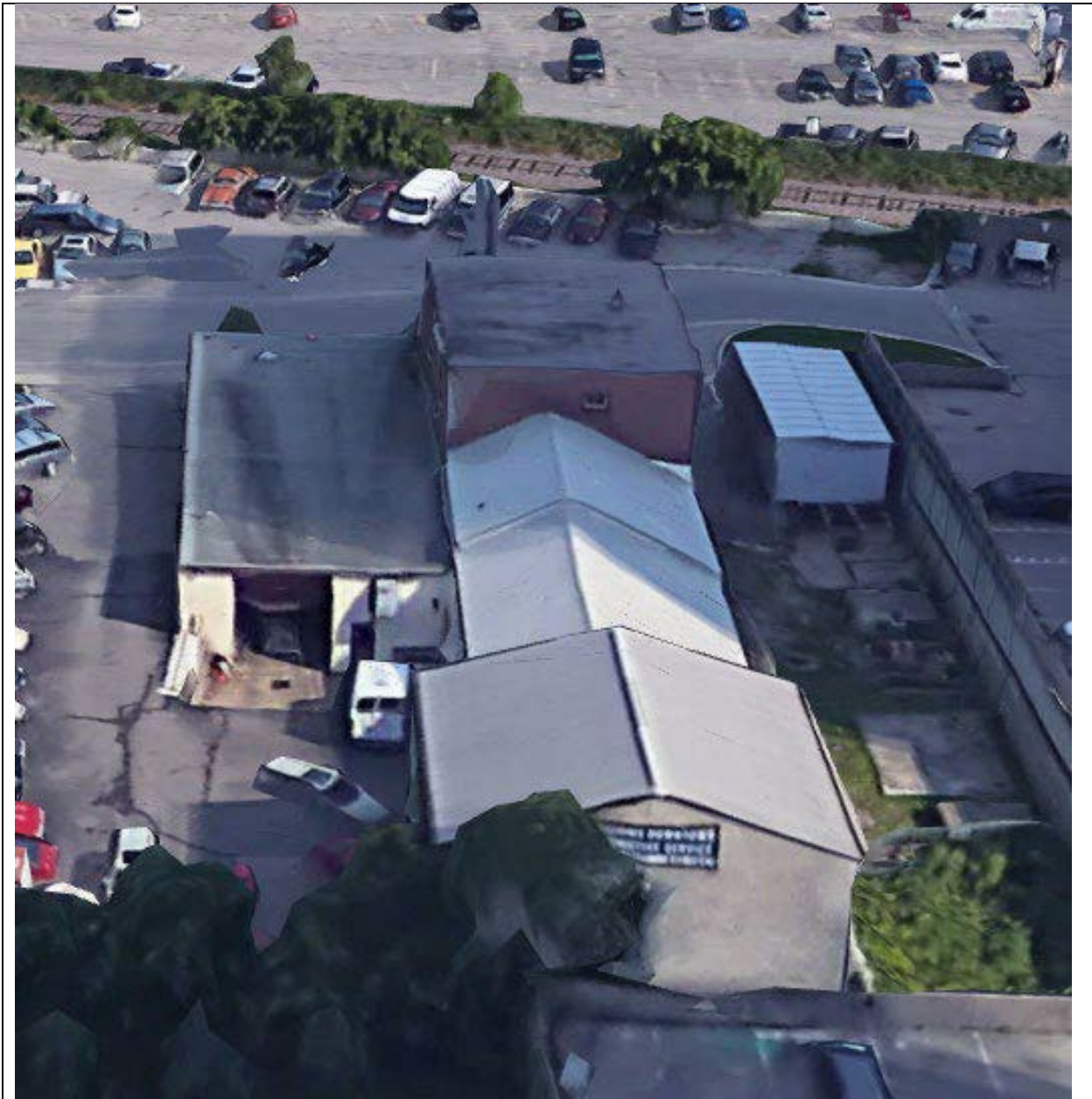


Image 1: Aerial-axo-view of built resource at 197 Ann Street, showing complex  
(Source: Google Earth Pro, 2019, from MHBC, 2021 p52)

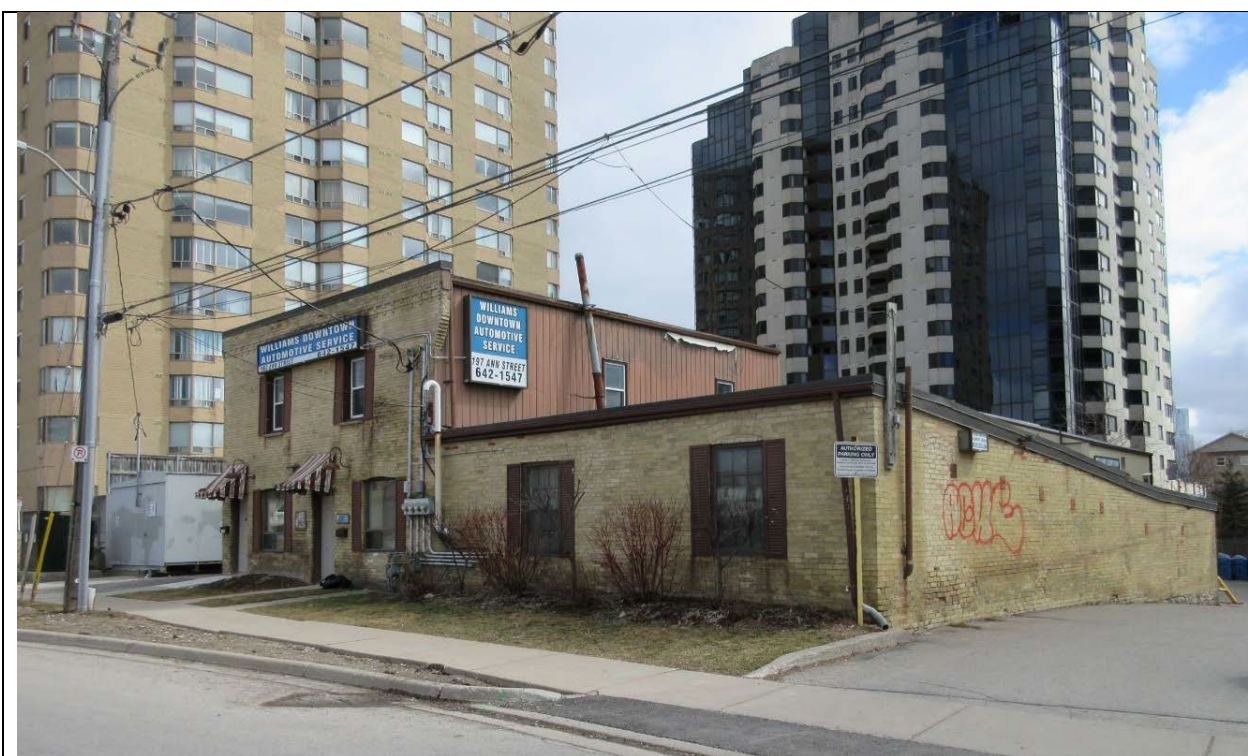


Image 2: View of façade – primary building and adjacent 'old wash house'



Image 3: East side exterior view of primary building

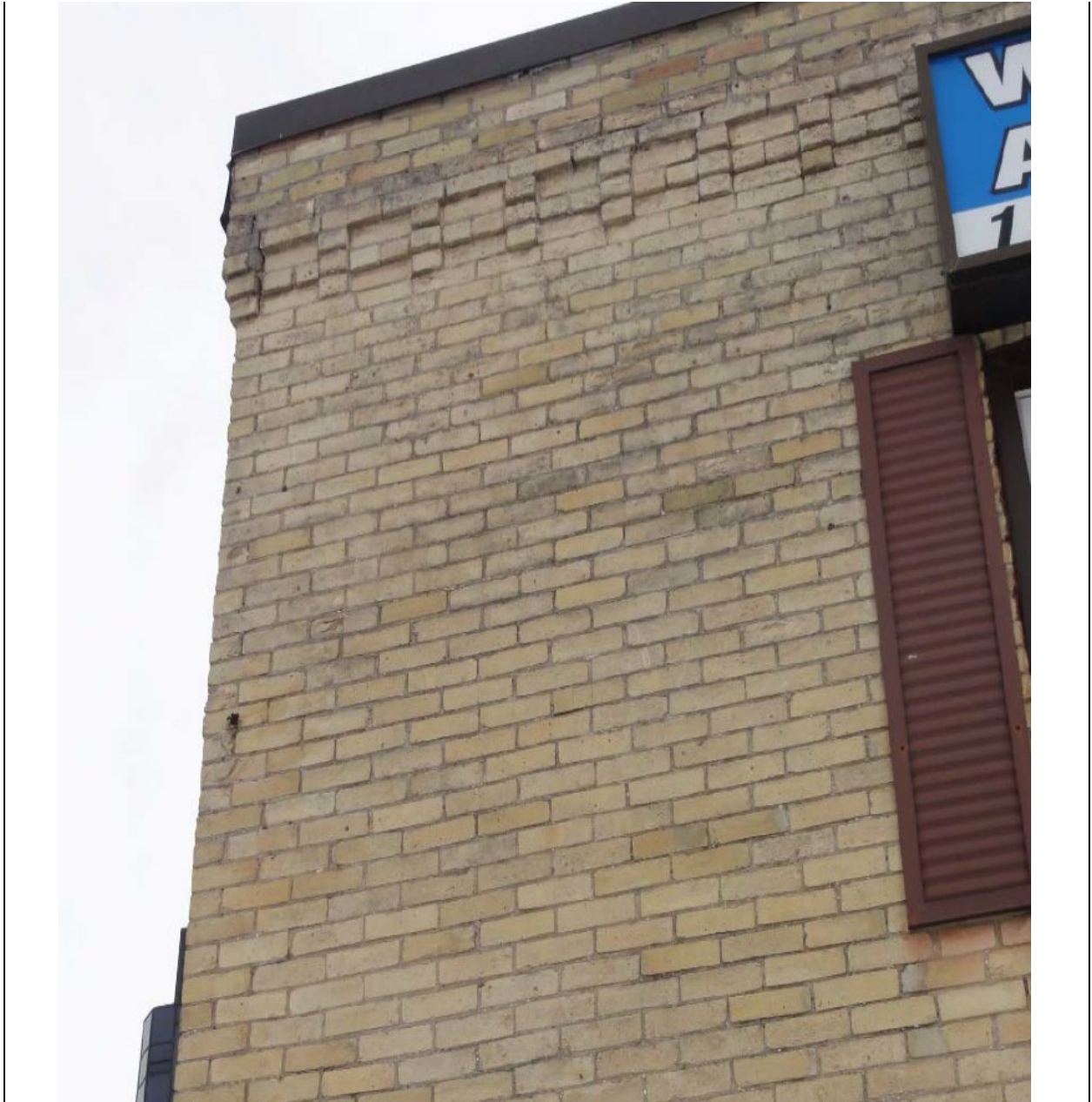


Image 4: Parapet detail, primary building facade

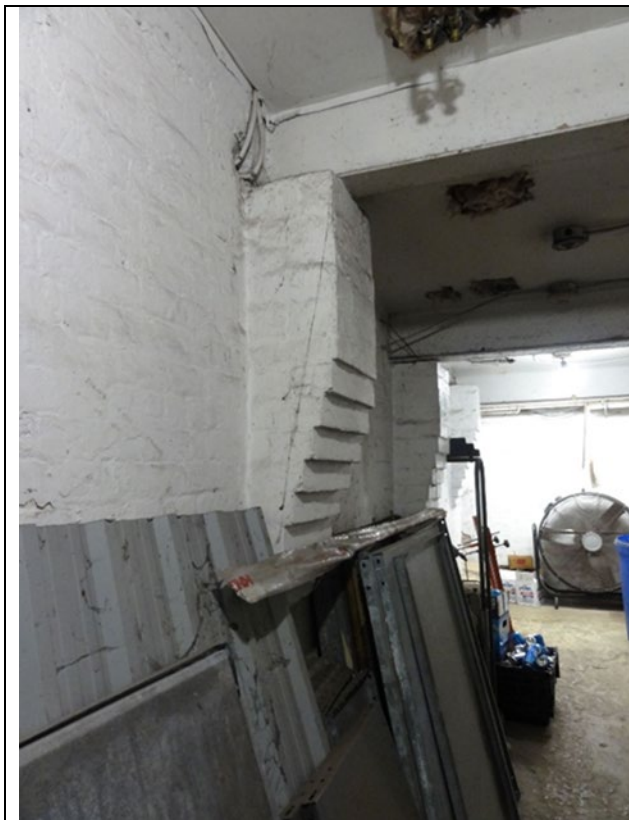


Image 5: Stacked corbelled brick support – primary building basement



Image 6: Detail of partially exposed original brick floor – primary building



Image 7: Rounded arch opening – view, old washroom to primary building basement



Image 8: Rounded arch opening – south extension



Image 9: Interior view of underside of old washhouse roof and wall



Image 10: Path of Carling's Creek looking east from St. George Street



Image 11: Interior view of old wash house



Image 12: Exterior view of south extension – facing east



Image 13: Exterior view of contemporary garage – facing east



Image 14: Interior view of south extension – looking north towards primary building

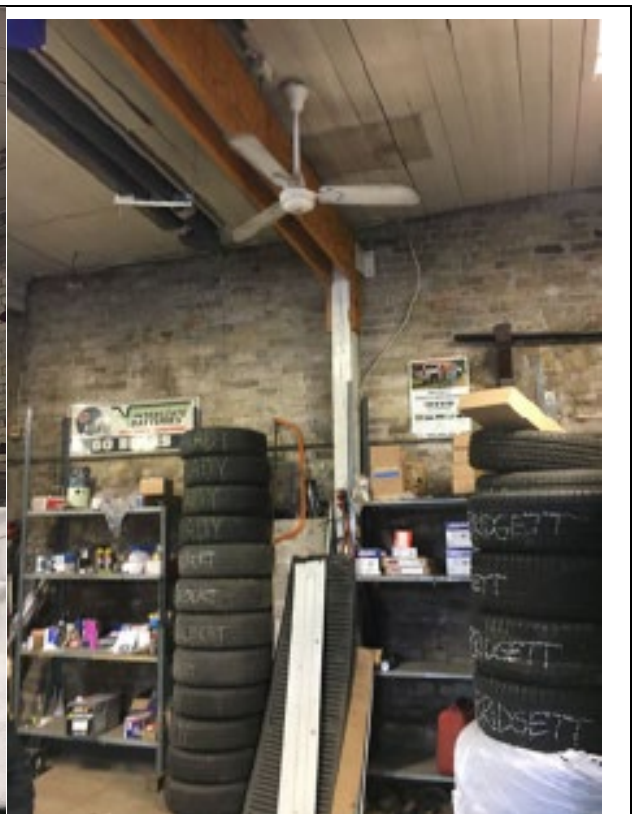


Image 15: Interior view of south extension showing brick wall and wood slat ceiling

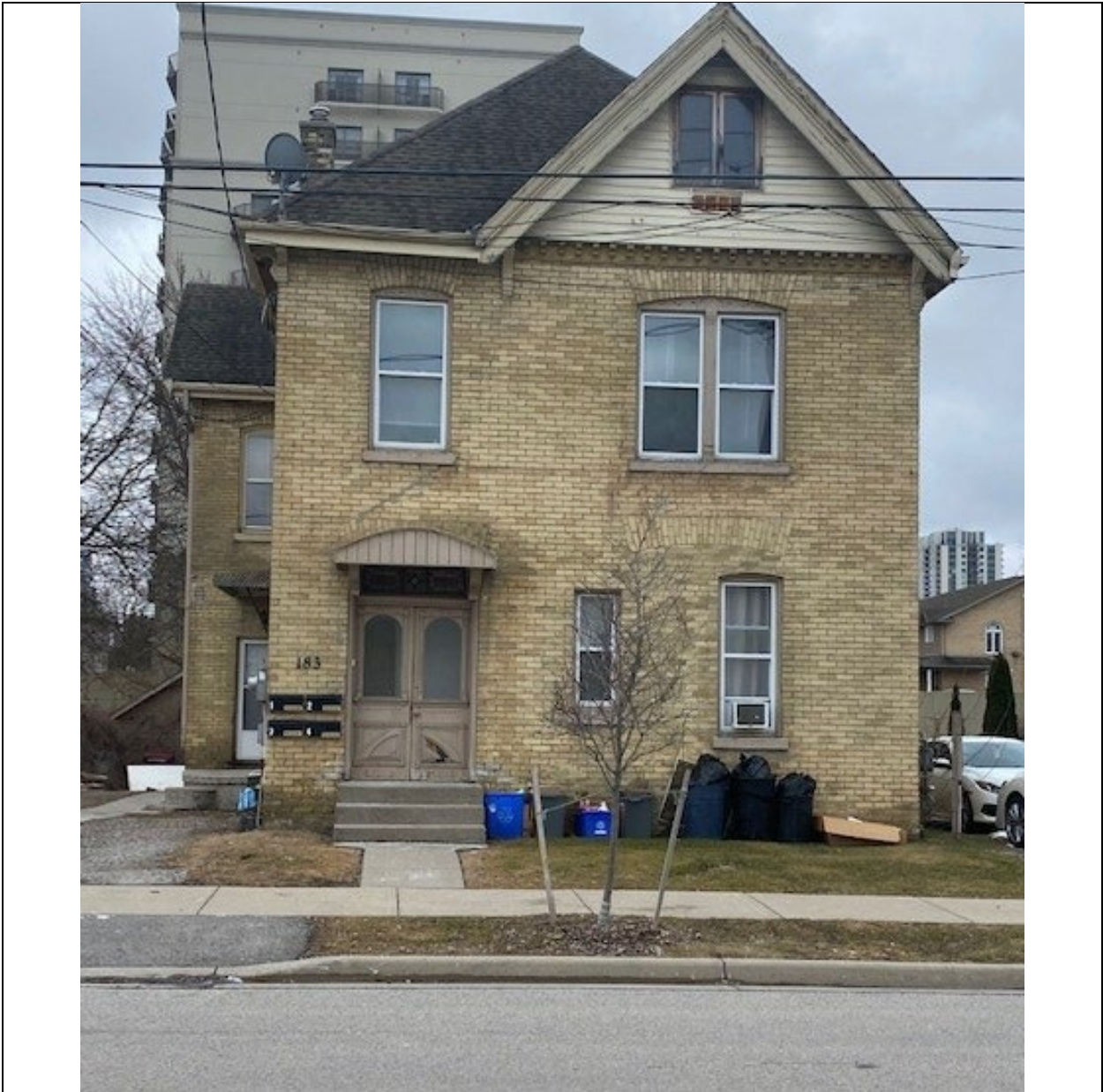


Image 15: 183 Ann Street – view of front elevation (L.E.Dent, Apr 1, 2022)



Image 17: 183 Ann Street – view of side and front elevation, facing southwest (L.E.Dent, Apr 1, 2022)



Image 18: 183 Ann Street – view of rear elevation (L.E.Dent, Apr 1, 2022)



Image 19: 183 Ann Street – view of side and partial front elevation, facing southeast (L.E.Dent, Apr 1, 2022)





Image 20: 183 Ann Street – front entrance door detail (K. Gonyou, Mar 22, 2019)

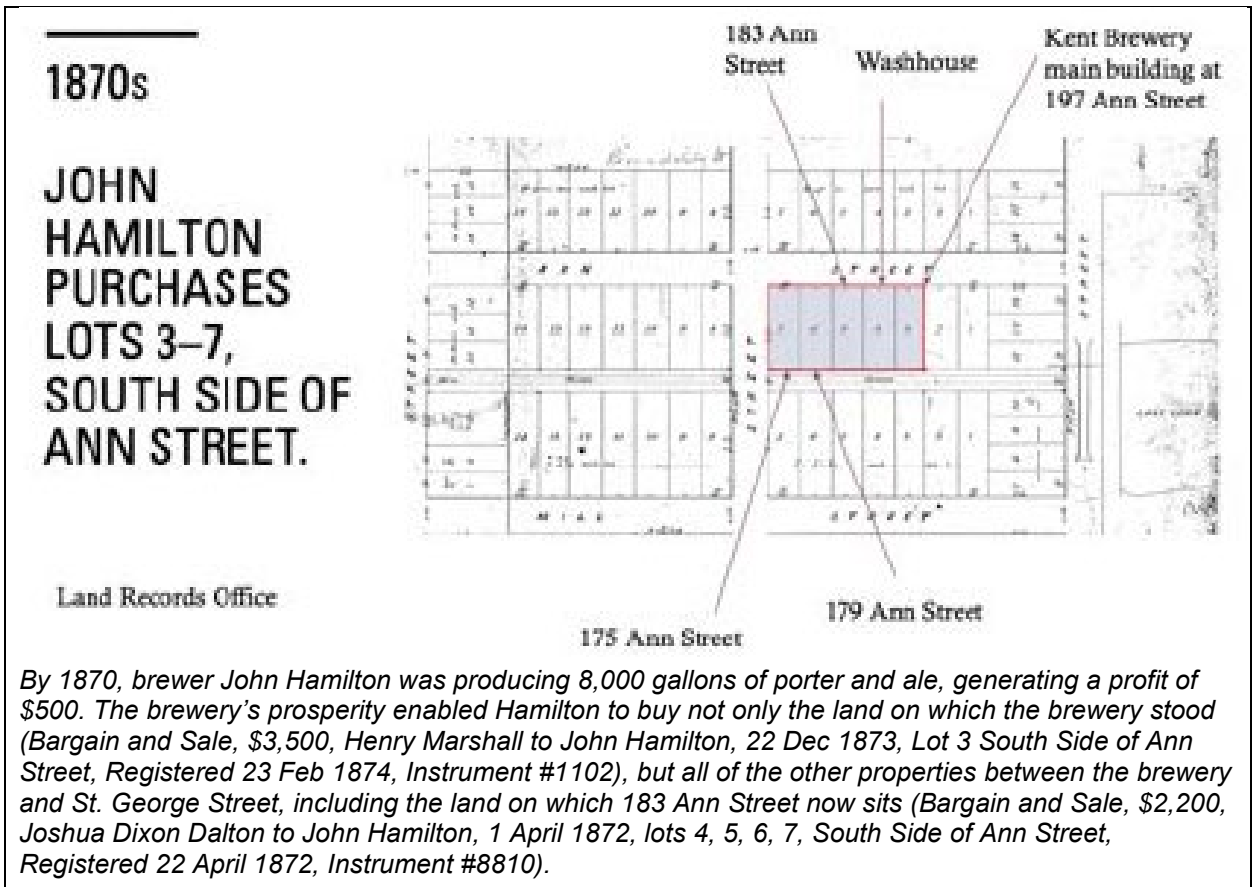


Image 21 Expansion of adjacent property ownership by Joseph Hamilton (M. Tovey, slide 7, Oct. 27, 2020 presentation to the Planning and Environment Committee)



Image 22: 179 Ann Street – view of front elevation (L.E.Dent, Apr 1, 2022)



Image 23: 179 Ann Street – view of side and partial front elevation, facing southwest (L.E.Dent, Apr 1, 2022)



Image 24: 175 Ann Street – view of front and partial side elevation, facing southwest (L.E.Dent, Apr 1, 2022)



Image 25: 175 Ann Street – view side elevation, facing east (L.E.Dent, Apr 1, 2022)



Image 26: 86 St. George Street – view of front and partial side elevation, facing northwest  
(L.E.Dent, Apr 1, 2022)



Image 27: 84 St. George Street – view of front and side elevation, facing southeast  
(L.E.Dent, Apr 1, 2022)



Image 28: Exterior view of proposed development showing entrance to new brewery using salvaged brick



Image 29: Interior concept for proposed brewery reflecting original arched features

**Appendix C – Historical Documentation and Research Materials**



Kent Brewery. London Old Boys Semi-Centennial 1855-1905, p. 49



Google Street View 2018

Image 1: Comparison of the Kent Brewery 1905 and 2018

Courtesy of Dr. M. Tovey, Adjunct Professor,  
Dept. of History, Western University

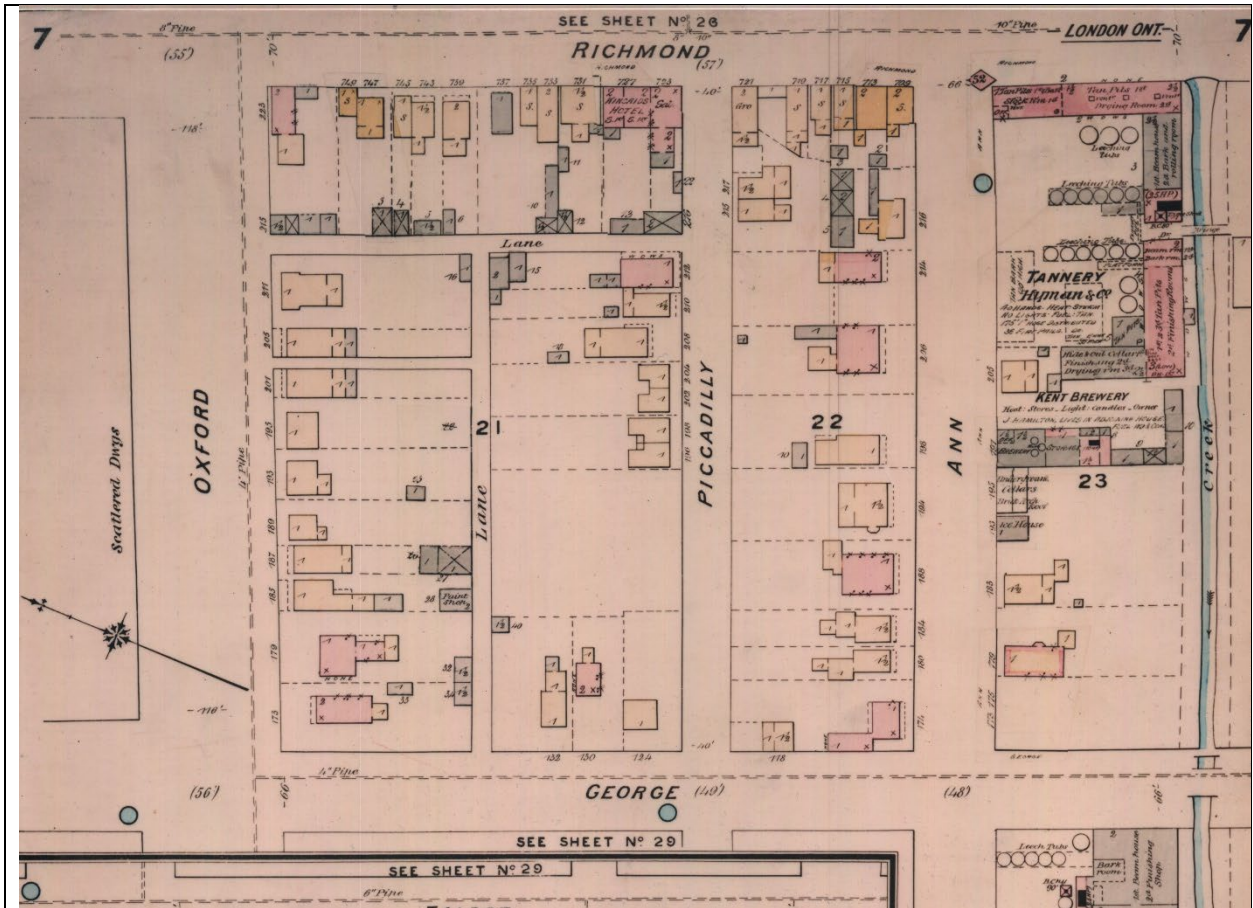


Image 2: (1881 rev. 1888) Insurance plan of the City of London

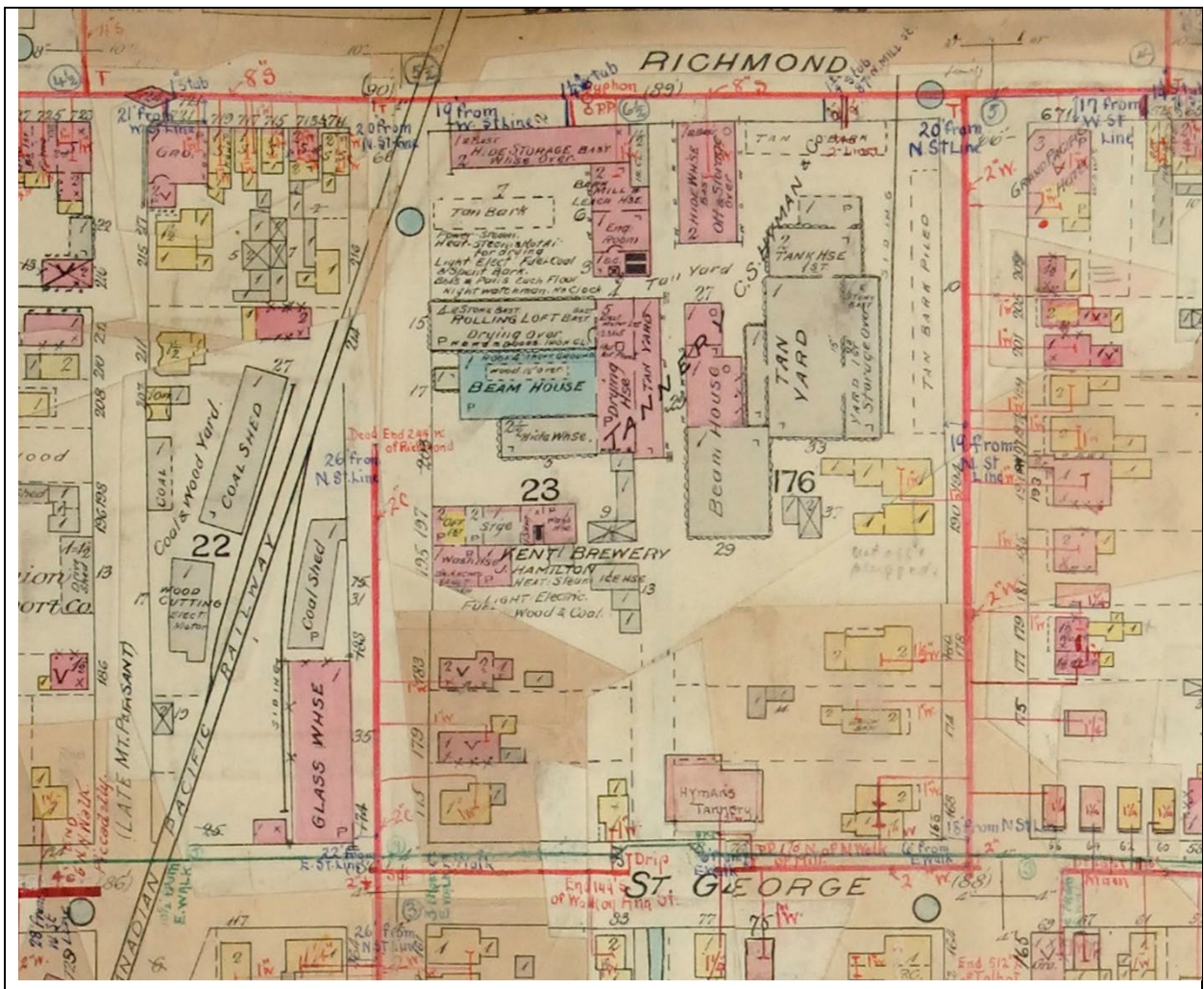


Image 3: (1892 rev. 1907) Insurance plan of the City of London

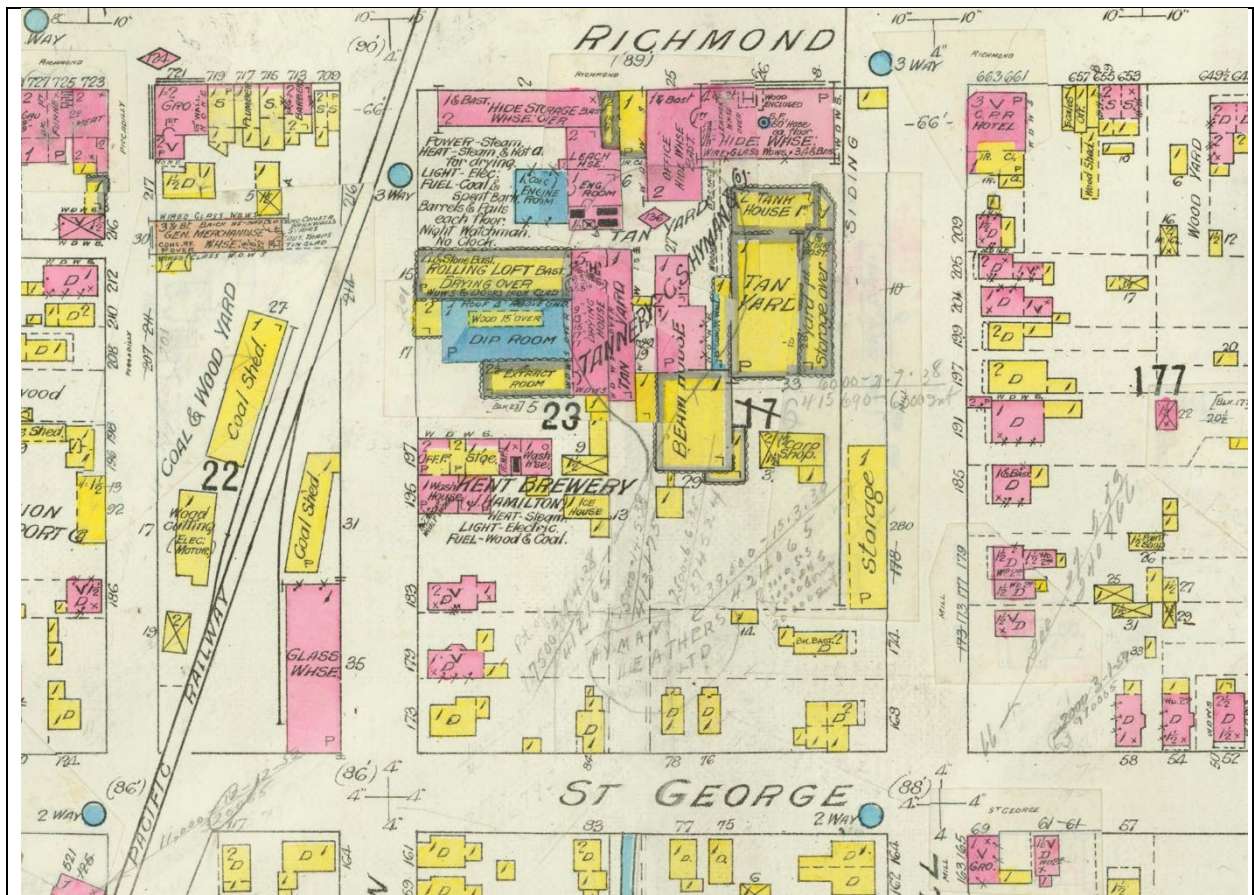


Image 4: (1912 rev. 1915) Insurance plan of the City of London

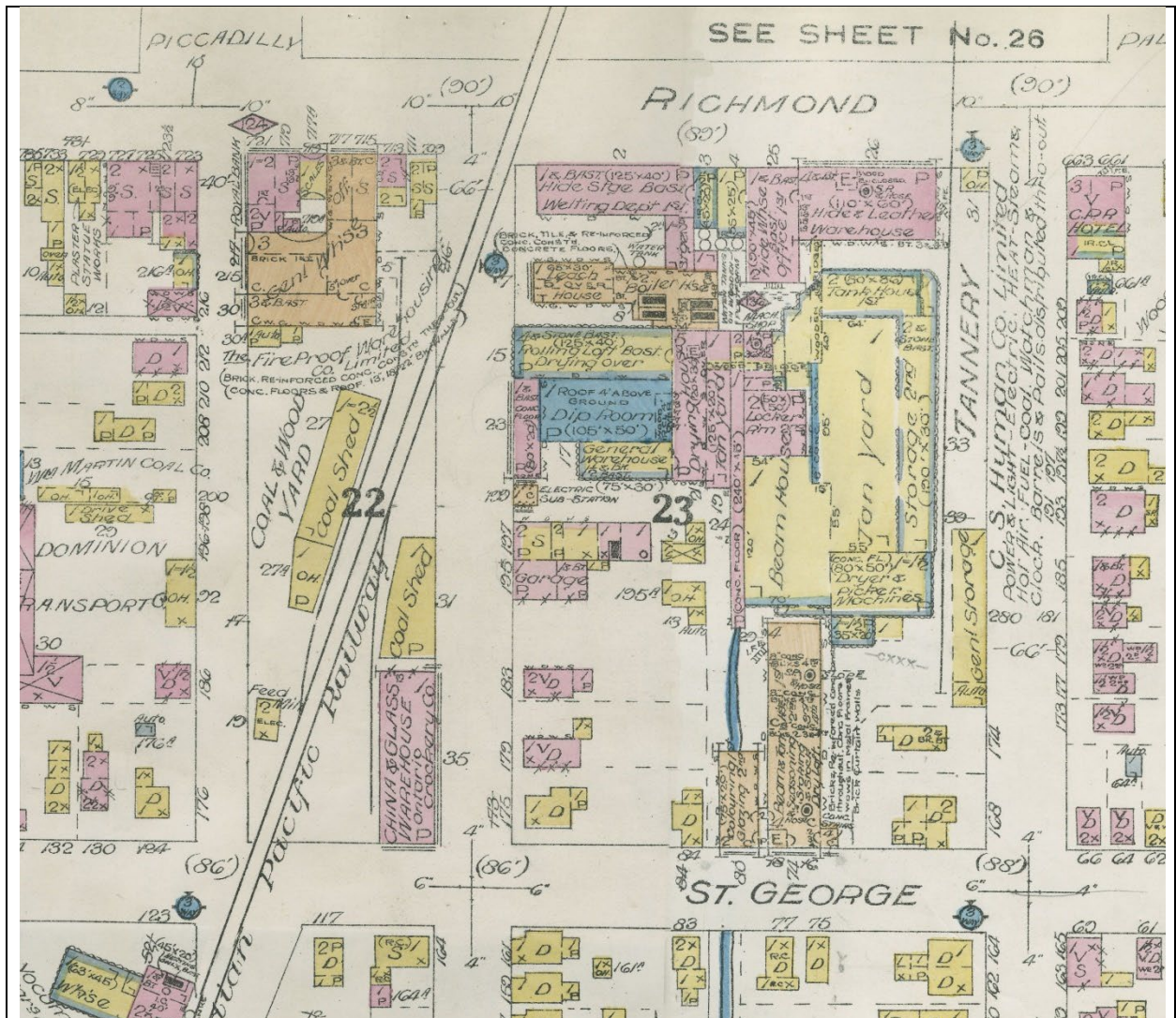


Image 5: (1912 rev. 1922) Insurance plan of the City of London



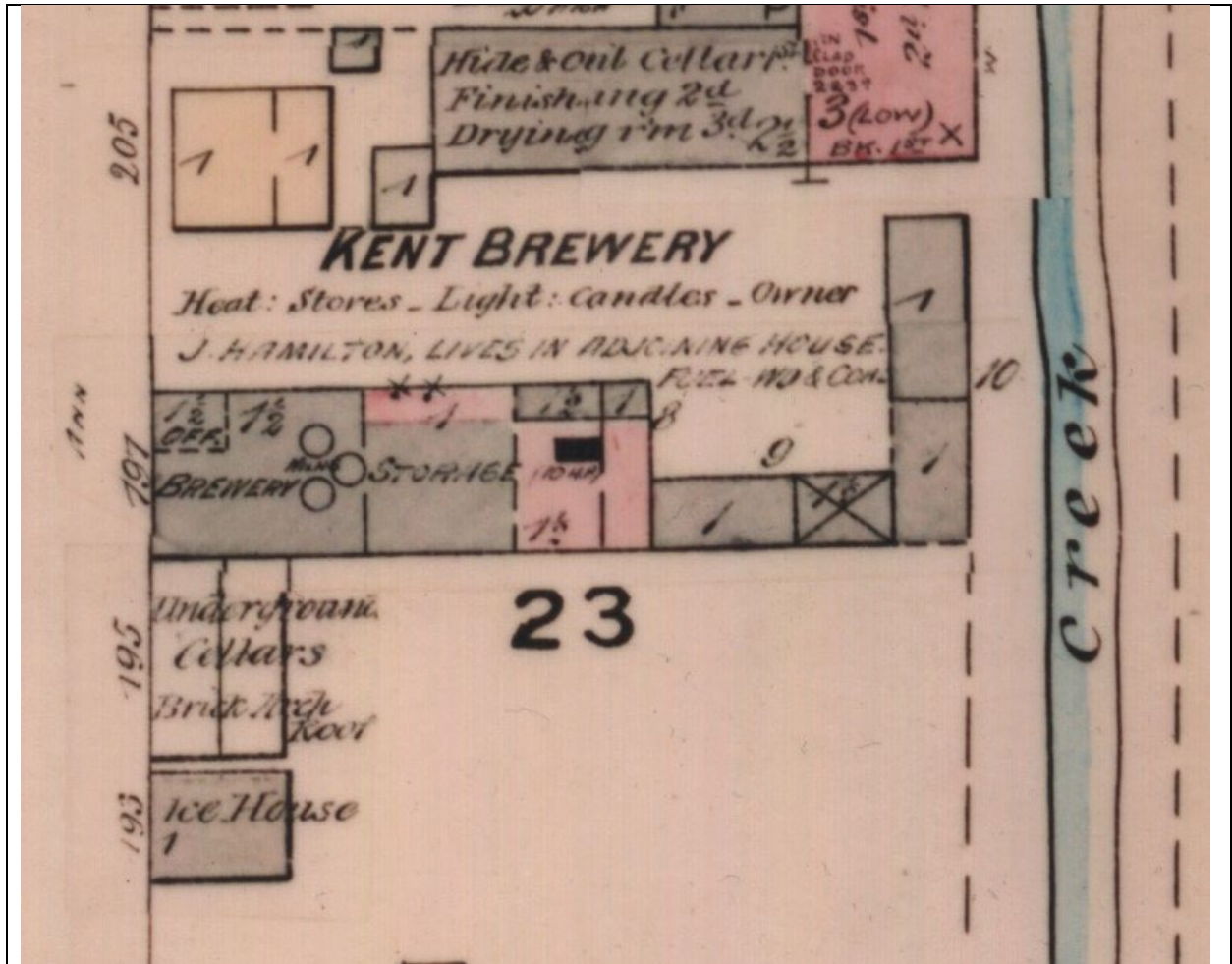


Image 6: (1881 rev. 1888) Insurance plan – Detail of Kent Brewery

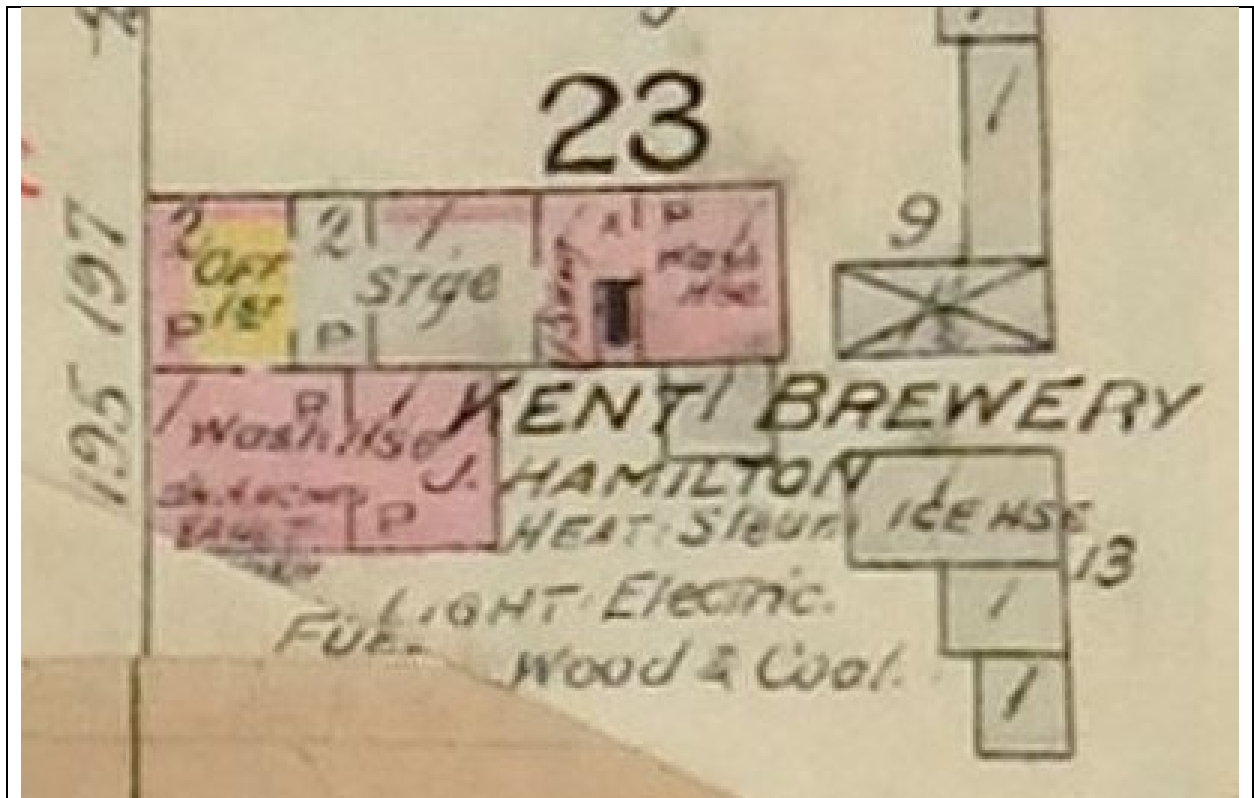


Image 7: (1892 rev. 1907) Insurance plan – Detail of Kent Brewery

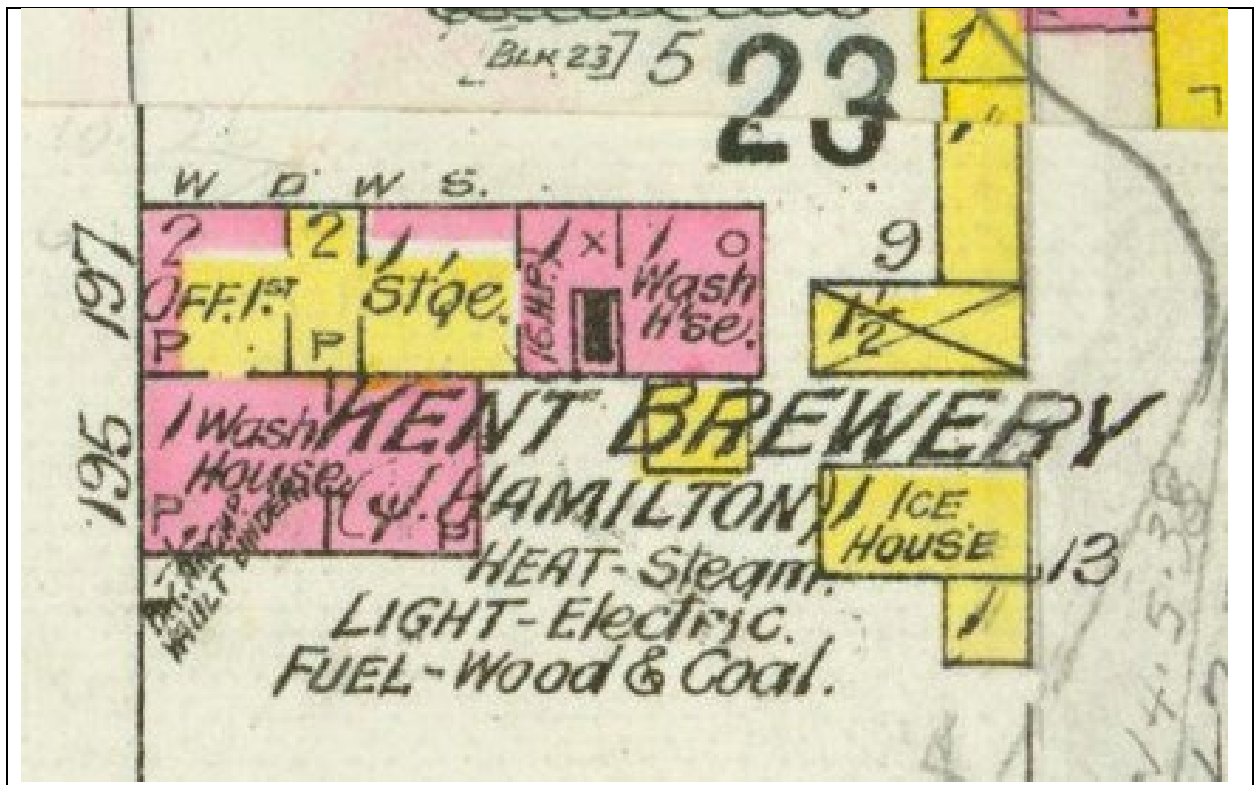


Image 8: (1912 rev. 1915) Insurance plan – Detail of Kent Brewery

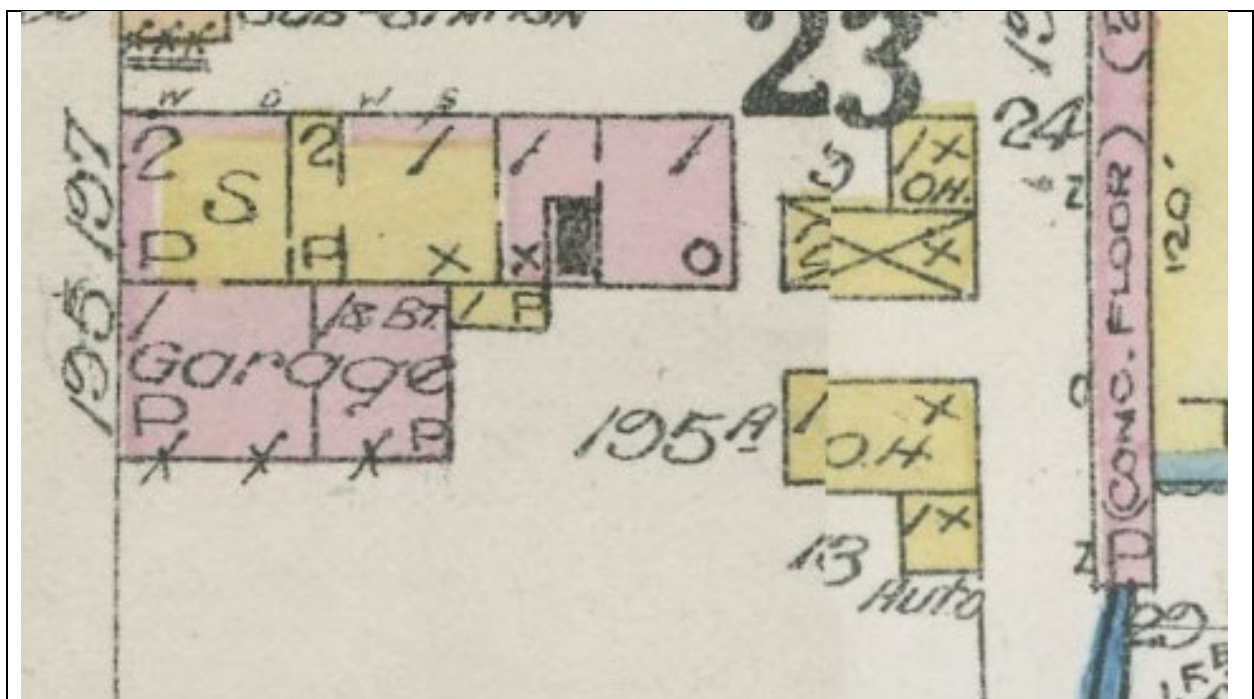


Image 9: (1912 rev. 1922) Insurance plan – Detail of Kent Brewery



Image 10: Kent Brewery, c. 1905 (O'Brien, p14)



Image 11: Adelaide Winery at 197 Ann St (1934) – London Free Press, Sat, Nov 10, 1934

Courtesy of Dr. M. Tovey, Adjunct Professor, Dept. of History, Western University



Image 12: A1 Delivery at 197 Ann St (1955) – London Free Press, Aug 25, 1955  
 Courtesy of Dr. M. Tovey, Adjunct Professor, Dept. of History, Western University



*Caption: Labels for Joseph Hamilton's London Porter and London Amber Ale, 1889. While dark ale, porter and stout dominated most of Victorian Canada's beer world, brewers hardly ignored changes in public taste. Joseph Hamilton supplied steadfast traditionalists with his London Porter and accommodated those who wanted something a little lighter with his Amber Ale. (Phillips, 36) credit: Thomas Fisher Rare Book Library, U of Toronto, Toronto, ON*

Image 13: Labels for Joseph Hamilton's London Porter and Amber Ale, 1889  
 (see Tovey, Chronology, p8)

# KENT BREWERY!

*BEST GENUINE ALE AND PORTER.*

**Hotels and Families Supplied.**

JOHN HAMILTON,

*Ann Street, - - London, Ont.*

*Caption: John Hamilton bought the virtually bankrupt Kent Brewery from F.L. Dundas in 1861. With due diligence and a Scotsman's thrift, Hamilton was able to turn the brewery's fortunes around. (Philips, p76)*

Image 14: Kent Brewery Ad from the London City Directory from 1877-78  
(Philips, p76)

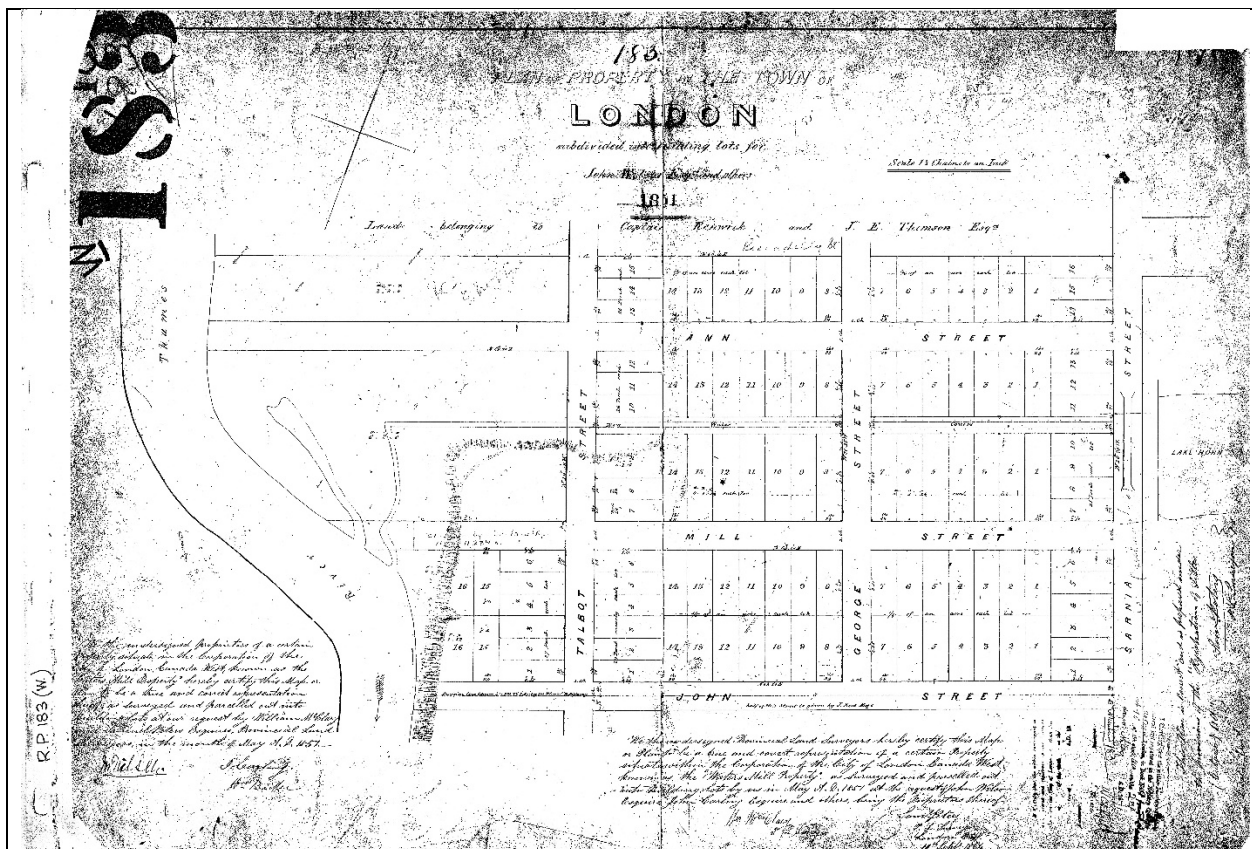


Image 15: Registered Plan – 1871, RP183(W)

## Appendix D – City Directory Listings – 197 Ann Street

Year	Resident, Occupation [Notes from other sources]
1858	[John Walsh, a merchant who lived on Ann Street east of the brewery, sold the land to Henry Marshall in 1858, LRO]
1859-1861	John Hammond, Henry Marshall, Brewers [location on lot 3 South Side Ann Street confirmed using 1859, 1860 tax assessment rolls] [Henry Marshall would later move to County of Kent, England]
1861	Francis Dundas, John Phillips, Kent Brewery. [1861 use of Kent Brewery name confirmed via article in the London Prototype, 5 March 1861] [location on lot 3 South Side Ann Street confirmed using 1861 tax assessment rolls]
1861-1864	Kent Brewery, Hamilton and Morgan, props, Ann [location on lot 3 South Side Ann Street confirmed using 1864 Collector's Roll]
1864-1887	John Hamilton, Kent Brewery [John Hamilton first appears as sole proprietor in Mitchell's Canada Gazetteer and Business Directory, 1864-65] [John Hamilton buys the land outright from Henry Marshall in 1873 (LRO)] [John Hamilton dies intestate, and his widow Agnes sells the brewery to her son, Joseph, who has already been working at the brewery for at least d.c. 14 years]
1887-1917	Kent Brewery, Joseph Hamilton, propr. The last City Directory entry for the Kent Brewery is in the 1917 directory. [John Hamilton's death certificate states that he retired in 1916. This accords well with the directory date, because names for directories were often collected in the year prior to publication]. [In 1897, Joseph Hamilton takes out a mortgage from Martha McMartin, the wife of hotel keeper James McMartin]
1918-1921	Vacant
1922	Liberty Garage auto reprs
1923-1926	Liberty Garage auto reprs, Harry North, auto trmr
1927-1928	Hydro Sub Station, Vacant
1929	Royal Winery, Hydro Sub Station
1930-1938	Adelaide Winery Ltd., Hydro Sub Station [In 1937, Joseph Hamilton sells the property to Philip Pensa (LRO).]
1939	Vacant, Hydro Sub Station
1940	London Cheese Production, Superior Wax Co., Etsol Synthetic Production
1941	Phil Penn Products, Hydro Sub Station
1942	Phil Penn Products, Hydro Sub Station, William Toohey, printer
1943-1944	Phil-Penn Products, Hydro Sub Station
1945-1946	Phil-Penn Products, Hydro Sub Station, Peter Balletto
1947	Phil-Penn Products, London Cigar Factory
1948-1949	Phil-Penn, London Cigar Factory, Peter Balletto
1950	Huron Insulating Co, Huron Roofing Co, Phil-Penn Products, London Cigar Factory, Hydro Sub Station
1951-1952	Phil-Penn Products, London Cigar, Hydro Sub Station
1953-1955	Phil-Penn Products, New Tile of Canada, Hydro Sub Station
1956	A1 Delivery, Renew Oil, Phil- Penn Products, Nu Tile, Hydro Sub Station
1957	Phil-Penn Products, Stark Truck Service Hydro Sub Station
1958-1959	Stark Truck, Hydro Sub Station
1960	Nu Tile, Hydro Sub Station
1961	Lon Precast Products Ltd, Bere's Fresh Nut Pack, Hydro Sub Station
1962-1964	Lon Precast Products, Vacant, Sub Station
1965	Vacant, Hydro Sub Station no. 8
1966-1967	Robert Smith T Ltd, mail contrs, Hydro Sub Station
1968-1969	Robert Smith T Ltd, mail contrs, William D Tomlin, driver for Robert Smith Ltd, Hydro Sub Station no.8
1970	Vacant, Hydro Sub Station no. 8
1971-1973	Smith's Garage, Smith RT Ltd., Hydro Sub Station no. 8
1974	Smith RT Ltd., G&G Auto Body, Hydro Sub Station no. 8

1975	The Bicycle Shop, The Speciality Enterprise welding Shop, Quintaman Group Inc., Frog Ind.
1976	The Bicycle Shop
1977-1979	Cardinal Fence Co.
1980	NO RETURN
1981	VACANT
1982	Wheeler Bern Communications Ltd., Equity Auto Sales, Equity Auto Centre, Equity Marketing & Leasing Ltd.
1983	Equity Marketing and Leasing, Equity Auto Sales, Equity Auto Centre
1984	Equity Marketing and Leasing, Equity Auto Sales, Equity Auto Centre, Florentine Matejcek, students, Lynn Powell, student
1985	Equity Marketing and Leasing, Equity Auto Sales, Equity Auto Centre, Florentine Matejcek, student
1986	Equity Marketing and Leasing, Equity Auto Sales, Equity Auto Centre, Florentine Matejcek, student, S Maloney
1987	Equity Marketing and Leasing, Equity Auto Sales, Elizabeth James, student, Frank Nynman, student
1988	Equity Auto Centre, Equity Marketing & Leasing Ltd, Equity Auto Sales, Black R, Gray D
1989	Equity Marketing and Leasing, Equity Auto Sales, R D Black, C Jacobson (upper)
1990	Equity Marketing and Leasing, Equity Auto Sales, Tom Artiss (Artiss), R D Black
1991	Equity Marketing and Leasing, Equity Auto Sales, R D Black
1992	Equity Marketing and Leasing, NO RETURN, R D Black, G Matlow (upper)
1993	Equity Marketing and Leasing, NO RETURN, NO RETURN, R D Black (owner)
1994	Equity Marketing and Leasing, R D Black, D Fioroni, M Wright (student)
1995	Equity Marketing and Leasing, R D Black
1996	Equity Marketing and Leasing, R D Black, Ean MacDonald, K Pearson, Scott Wilson
1997	Equity Marketing and Leasing, RD Black
1998	Equity Marketing and Leasing, RD Black, B S Keith
1999-2000	Equity Marketing and Leasing, R D Black
2001	Equity Marketing and Leasing, R D Black, Manning Automotive
2002	Equity Marketing and Leasing, R D Black
2003-2004	R D Black
2005-2009	Equity Marketing and Leasing, R D Black, Williams Downtown Automotive Service
2010-2013	Williams Downtown Automotive Service

The LACH Stewardship Sub-Committee w/M. Tovey (n.d.). Evaluation of Cultural Heritage Value or Interest: The Kent Brewery building at 197 Ann Street. LACH Stewardship Sub-Committee Report, September 23,30 and October 5,6, 2020

## Appendix E – Statement of Cultural Heritage Value or Interest Municipal Address, 197 Ann Street

### Legal Description

LOTS 4, 5, 6 & 7 AND PART LOT 3, SOUTH SIDE ANN STREET PLAN  
183(W)DESIGNATED AS PART 1, PLAN 33R-20622

### PIN

08262-0220

### Description of Property

The municipal address at 197 Ann Street is located in the North Talbot area of the City of London, on a consolidated parcel comprising multiple municipal addresses located, at the southeast intersection of Ann and St. George Streets.

197 Ann Street (known as the former Kent Brewery c. 1859-1881) is located on Lot 4 and Part Lot 3 of the consolidated parcel. The brewery complex consists of 4 building parts, built at different periods and continuously adapted over time.

- 2-storey brick building (primary building) – comprising some form of the original brewery with early modifications; 9m x 13m approx. with the short end fronting Ann Street.
- 1-storey brick building (old wash house) – located to the west of the primary building, c.1890s; 9.88m x 20.45m approx. with short end fronting Ann Street
- 1-storey brick and clad building (south extension) – located to the rear of the primary building exhibiting considerable external and internal modifications made during expansion years of the brewery; 9.49m x 21.65m approx. extending south from the primary building to the contemporary addition
- cinder block building with vinyl siding (contemporary garage) – added in the late 20<sup>th</sup> century for automotive services; 10m x 11m approx. at the south end of the south extension

### Statement of Cultural Heritage Value or Interest

The former Kent Brewery, at 197 Ann Street, is of cultural heritage value or interest because of its physical or design values, historical or associative values, and contextual values.

### Physical or Design Value

The former Kent Brewery at 197 Ann Street is one of the oldest existing brewery buildings in Canada. It is an early example in the City of London (and province) of an industrial building typology and a rare example of a physically intact brewery from the mid-late-19th century. It is also a rare example of an early brewery site where the brewery building remains, and the brewer's house is also intact.

The brewery complex is representative of a mid-late 19th century vernacular, industrial commercial 'typology'. Parts of the building complex are visually discernable from the exterior, and include a primary building, old wash house, south extension, and a contemporary garage. The 2-storey 'primary building' is a simple, rectangular brick veneer building, of local buff brick, with a flat roof. The façade is relatively unadorned except for corbelled brick detailing expressed in the parapet. Many window and door openings are topped with brick voussoirs. There are several brick rounded 'Florentine' arches in the basement. The 1-storey 'old wash house' is a simple, rectangular building with a buff brick exterior. It has a similarly unadorned façade, with a flat roof sloping from the front to the rear.

Much of what is currently recognized as the former Kent Brewery is exhibited in the original primary building as well as the old wash house. Their overall profile, massing, and scale, and modest detailing appears as they did in the at the peak of the brewery's business c1905. Collectively, both buildings retain an authentic utilitarian expression of a functioning mid-late-19th- century brewery.



### **Historical or Associative Values**

The Kent Brewery is one of the first breweries in London, and the third most significant historic brewery in the city after Carling's and Labatt's. The brewery is associated with the Hamilton brewing family, notably John Hamilton (who ran the brewery from 1861–1887), and his son, Joseph Hamilton (who ran the brewery from 1887–1917). There are also direct associations of the brewery with the adjacent Brewer's House at 183 Ann Street that was built by Joseph Hamilton around 1893 and occupied by him and his family until 1911. More broadly, the former Kent Brewery is closely tied to the culture and history of the North Talbot area and the Carling's Creek and CPR corridor. Its retention enhances our understanding and yields information on the development of industries and the people who lived and worked in the area during the mid-late-19th-century and early-20th-century.

### **Contextual Values**

Physically and functionally the Kent Brewery is strongly linked to its context specifically to the lots immediately to the west that brewer John Hamilton owned, and brewer Joseph Hamilton built for his family residence at 183 Ann Street. Through the use of local buff brick, the brewery along with the brewer's house at 183 Ann Street and cottage at 179 Ann Street, collectively support the visual character of the area.

The Kent Brewery at 197 Ann Street is tied to the physical development of the surrounding area as a late-19th- and early-20th-century industrial and working-class neighbourhood. Its longevity within the neighbourhood, and the fact that it is the last remaining industrial building in Talbot North that sited to take advantage of Carling's Creek, makes it is one of the defining buildings of the Talbot North neighbourhood.

Finally, the Kent Brewery is significant to the historical context of the area because of its direct associations with the Hamilton Family that owned the brewery, and its links to the culture, history, industries and people of the North Talbot area and the Carling's Creek and CPR corridor and its development during the mid-late-19th-century and early-20th-century.

### **Heritage Attributes**

Heritage attributes which support and contribute to the cultural heritage value or interest of the former Kent Brewery at 197 Ann Street include:

- Form, scale, massing and footprint collectively of the primary building and the old wash house
- Exterior buff brick throughout
- Brick voussoirs above principle windows
- Existing window and door openings on the façade and east elevation of the primary building and façade of the old wash house;
- Corbelled parapet detail on the primary building facade
- Interior rounded 'Florentine' arches in the basement

The south extension and contemporary garage are not considered to be heritage attributes.

## **Appendix F – Statement of Cultural Heritage Value or Interest Municipal Address, 183 Ann Street**

### **Legal Description**

LOTS 4, 5, 6 & 7 AND PART LOT 3, SOUTH SIDE ANN STREET PLAN  
183(W)DESIGNATED AS PART 1, PLAN 33R-20622

### **PIN**

08262-0220

### **Description of Property**

The municipal address at 183 Ann Street is located in the North Talbot area of the City of London, on a consolidated parcel comprising multiple municipal addresses located, at the southeast intersection of Ann and St. George Streets. The two-and-a-half-storey brick residence is located on Lot 5 of the consolidated parcel.

### **Statement of Cultural Heritage Value or Interest**

The Brewer's House at 183 Ann Street, is of cultural heritage value or interest because of its physical or design values, historical or associative values, and contextual values.

### **Physical or Design Value**

The Brewer's House at 183 Ann Street (c.1893) was built by Joseph Hamilton the brewmaster at the adjacent Kent Brewery from 1887-1916. It is a rare example of a house linked to an extant brewery where the adjacent brewer's house is also intact.

The house is a representative example of a late-19th-century residence with Queen Anne style influences. The form of the house comprises an intersecting hipped roof, and a front gable end which has horizontal siding and dentilled millwork detailing. The gable ends exhibit original bargeboard wood shingling outlined with moulded vergeboards, supported by wooden end brackets and a modillion course beneath. There is a small square gable window under the eaves with a pilaster. The double front doors have a carved wood inset with two arched windows, a stained-glass transom, and are covered by a shallow overhang. Windows openings on all visible elevations have brick voussoirs. On the west elevation is a bay window with stone lug sills. The bay is topped by a flat roof and the fascia board decoratively supported by small brackets/modillions.

### **Historical or Associative Values**

The Brewer's House at 183 Ann Street has direct associations with the adjacent former Kent Brewery at 197 Ann Street and both John and Joseph Hamilton who operated the brewery from 1861-1916. John Hamilton occupied a frame structure on the property from 1862 until his death in 1887. The present brick residence on the property was built by Joseph Hamilton around 1893. Joseph Hamilton and his family continued to occupy the house until 1911. The residence functioned as the brewer's house for the brewery. The size and scale of the house shows the increased prosperity the Kent Brewery attained under Joseph Hamilton's leadership after John Hamilton's death in 1887. Between c1886 and 1916, the Kent Brewery was one of only three breweries in London, third to Labatt and Carling. Today, the former Kent Brewery (c. 1859-1881) may be one of the oldest existing brewery buildings (c.1859-1881), second only to Alexander Keith's Brewery in Halifax whose current ironstone brewery building was built in 1837.

Through its direct associations with the Kent Brewery at 197 Ann Street, the Brewer's House at 183 Ann Street contributes to an understanding of the significant brewing history in London-Middlesex. It is also linked to the culture and history of the North Talbot area and the Carling's Creek and CPR corridor standing as visible remains of the development of industries and the people who lived and worked in the area during the mid-late-19th-century and early-20th-century.

### **Contextual Values**

The Brewer's House at 183 Ann Street is linked to the physical development of the surrounding area as a late-19th- and early-20th-century industrial and working-class neighbourhood. 183 Ann Street is characteristic of the variations in housing along Ann Street and in the near vicinity, reflecting the diversity of people who lived in the area and worked in the major industries around Carling's Creek. Through its materiality (i.e. buff

brick exterior) and early Hamilton Family ownership, the built resource at 183 Ann Street, along with the former Kent Brewery at 197 Ann Street and house at 179 Ann Street, all support the visual character of the area.

The Brewer's House at 183 Ann Street demonstrates: a) a visual link to its surroundings (specifically 197 and 179 Ann Street) through its common use of buff brick on the exteriors; b) a strong physical and functional relationship to its surroundings as the brewer's house located adjacent for the former Kent Brewery; and, c) a significant historical link to its surroundings through its direct associations with the former Kent Brewery and the Hamilton Family that owned the brewery, as well as its links to the culture, history, industries and people of the North Talbot area and the Carling's Creek and CPR corridor and to development during the mid-late-19th-century and early-20th-century.

### **Heritage Attributes**

Heritage attributes which support and contribute to the cultural heritage value or interest of the Brewer's House at 183 Ann Street include:

- Form, scale, and massing of the two-and-a-half storey Queen Anne Revival styled house
- Exterior buff brick throughout
- Two chimneys constructed of buff brick
- Shallow gabled roof profile with cross gable and two gable ends
- Brackets below roof at the principal corners
- Original bargeboard wood shingling on front and east facing gable, outlined with moulded vergeboards
- Front and east facing gables supported by wooden end brackets and a modillion course beneath
- Brick voussoirs above principle windows
- Small square window under the eaves of east facing gable including pilasters on each side of the frame detail border of small square panes
- Bay window on the west elevation topped by a flat roof and fascia board decoratively supported by small brackets/modillions
- Carved details of the original double-leafed door the principal doorway on the front façade including arched glass windows in the doors and dentil-moulded architrave above
- Rectangular stained-glass transom with coloured glass in two rectangular patterns and a diamond pattern in the centre

The detached wooden shed structure at the rear of the lot is not considered to be a heritage attribute

# London Advisory Committee on Heritage

## Report

3rd Meeting of the London Advisory Committee on Heritage  
March 9, 2022

Advisory Committee Virtual Meeting - during the COVID-19 Emergency

Please check the City website for current details of COVID-19 service impacts.

Attendance                      PRESENT: M. Whalley (Acting Chair), M. Bloxam, J. Dent, L. Fischer, T. Jenkins, S. Jory, E. Rath, M. Rice and K. Waud and J. Bunn (Committee Clerk)

ABSENT: S. Bergman and S. Gibson

ALSO PRESENT: L. Dent, K. Gonyou, M. Greguol, A. Pascual and S. Wise

The meeting was called to order at 5:30 PM.

### 1. Call to Order

#### 1.1 Disclosures of Pecuniary Interest

That it BE NOTED that no pecuniary interests were disclosed.

### 2. Scheduled Items

None.

### 3. Consent

#### 3.1 2nd Report of the London Advisory Committee on Heritage

That it BE NOTED that the 2nd Report of the London Advisory Committee on Heritage, from its meeting held on February 9, 2022, was received.

#### 3.2 Heritage Impact Assessment - Revised - 175, 179, 183 and 197 Ann Street and 84 and 86 St. George Street

That the Civic Administration BE ADVISED that the London Advisory Committee on Heritage (LACH) is not satisfied with the conclusions of the Revised Heritage Impact Assessment (HIA), dated November 4, 2021, from MHBC Planning, related to the properties located at 175, 179, 183 and 197 Ann Street and 84 and 86 St. George Street and the LACH reiterates its previous comments, from the October 14, 2020 LACH report, related to retaining and designating the properties located at 197 and 183 Ann Street; it being noted that the LACH prefers part 4 of section 9.1.2 of the above-noted HIA, entitled "Reduce density and retain former Kent Brewery and adjacent 183 Ann Street".

#### 3.3 Legacy Village Heritage Impact Assessment - 850 Highbury Avenue North

That the Civic Administration BE ADVISED that the London Advisory Committee on Heritage (LACH) is satisfied with the research and conclusions of the Legacy Village Heritage Impact Assessment (HIA), dated January 31, 2022, from Stantec Consulting Ltd., with respect to the property located at 850 Highbury Avenue North and supports the format of a more detailed HIA that conserves the Cultural Heritage Resources and Cultural Heritage Landscapes (buildings and surroundings on the property).

3.4 Notice of Planning Application - Zoning By-law Amendment - 258 Richmond Street

That it BE NOTED that the Notice of Planning Application, dated February 23, 2022, from A. Singh, Planner I, with respect to a Zoning By-law Amendment related to the property located at 258 Richmond Street, was received.

**4. Sub-Committees and Working Groups**

4.1 Stewardship Sub-Committee Report

That it BE NOTED that the Stewardship Sub-Committee Report, from its meeting held on February 23, 2022, was received.

**5. Items for Discussion**

5.1 Demolition Request for the Heritage Listed Property located at 3700 Colonel Talbot Road by W-3 Lambeth Farms Inc.

That, on the recommendation of the Director, Planning and Economic Development, with the advice of the Heritage Planner, the following actions be taken with respect to the request for the demolition of the buildings on the heritage listed property located at 3700 Colonel Talbot Road:

- a) the Chief Building Official BE ADVISED that Municipal Council consents to the demolition of the buildings on this property;
- b) the property located at 3700 Colonel Talbot Road BE REMOVED from the Register of Cultural Heritage Resources; and,
- c) the property owner BE REQUESTED to commemorate the historic contributions of the Burch family in the future development of this property.

5.2 Heritage Planners' Report

That it BE NOTED that the Heritage Planners' Report, dated March 9, 2022, from the Heritage Planners, was received.

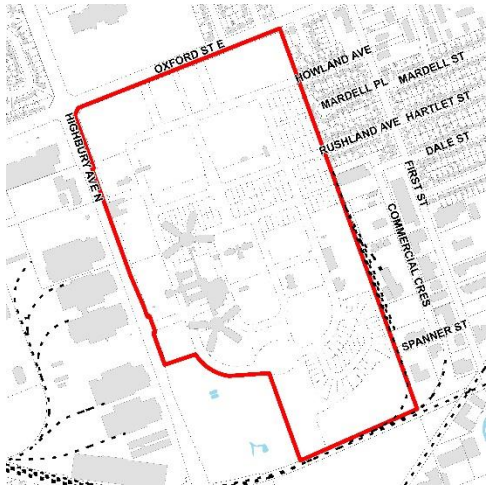
**6. Adjournment**

The meeting adjourned at 6:51 PM.

# NOTICE OF REVISED PLANNING APPLICATION

## Draft Plan of Subdivision, Official Plan and Zoning By-law Amendments

### 850 Highbury Ave North



**File: 39T-21503/OZ-9324**

**Applicant: Old Oak Properties**

#### What is Proposed?

Draft Plan of Subdivision, Official Plan and Zoning amendments to allow:

- 126 single detached dwellings;
- five (5) medium density residential blocks, two (2) medium density residential/mixed-use blocks, seven (7) high density residential/mixed use blocks, and one (1) institutional block;
- four (4) heritage blocks;
- one (1) parkland block, one (1) storm water management block, four (4) open space blocks;
- one (1) private road block, two (2) road widening blocks and one (1) future development block;
- all served by the extension of Rushland Avenue, Howland Avenue and eight (8) new streets.

## LEARN MORE & PROVIDE INPUT

Please provide any comments by **April 22, 2022**

Michael Clark

mclark@london.ca

519-661-CITY (2489) ext. 4586

Development Services, City of London, 300 Dufferin Avenue, 6<sup>th</sup> Floor,

London ON PO BOX 5035 N6A 4L9

File: 39T-21503/OZ-9324

[london.ca/planapps](https://london.ca/planapps)

You may also discuss any concerns you have with your Ward Councillor:

Mohamed Salih

msalih@london.ca

519-661-CITY (2489) ext. 4003

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

# Application Details

The applicant has submitted a revised Draft Plan of Subdivision (39T-21503) and Official Plan Amendment (OZ- 9324). The original Notice of Application for these and the associated Zoning By-Law Amendment was circulated on March 10, 2021.

## Requested Revised Draft Plan of Subdivision

Consideration of a revised Draft Plan of Subdivision consisting of 126 single detached dwellings, five (5) medium density residential blocks, two (2) medium density residential/mixed-use blocks, seven (7) high density residential/mixed use blocks, one (1) institutional block, four (4) heritage blocks, one (1) parkland block, one (1) storm water management block, four (4) open space blocks, one (1) future development block, one (1) private road block, and two (2) road widening blocks all served by the extension of Rushland Avenue, Howland Avenue and eight (8) new streets.

## Requested Revised Amendment to the 1989 Official Plan

Possible revised amendment to the Official Plan to amend the London Psychiatric Hospital Lands Secondary Plan (LPHSP). The proposed amendment will seek to bring the existing LPHSP policies more inline with the permissions of the Transit Village Place Type of The London Plan which would permit greater heights and densities. Multiple amendments are being proposed that will affect multiple policies of the plan. This includes the addition of low-density residential uses, changes to the urban design, heritage, and transportation policies of the plan, elimination of minimum density requirements for low density areas of the plan, increases to the height and density permissions of other areas of the plan, removal of the institutional section of the plan, and changes to the planned street network both within the plan and to adjacent neighbourhoods. Larger scale amendments include the following:

- Removal of sections 20.4.3.2.2 Village Core Policy Area 2 – Mixed Use Office, 20.4.3.2.3 Village Core Policy Area 3 - Mixed Use Residential, 20.4.3.3.2 Transit-Oriented Corridor Policy Area 2 - High-rise Residential, 20.4.3.4 Academic Area Designation, 20.4.3.4.1 Academic Policy Area 1 – Private Recreation, 20.4.3.4.2 Academic Policy Area 2 – Academic Classrooms and Offices, 20.4.3.4.3 Academic Policy Area 3 – Satellite Campus Residences.
- Addition of single storey commercial uses as a permitted use within the Village Core, removal of bonussing provisions, and the expansion of the Urban Design policies, including specific policies for High Rise Buildings, Mid-Rise Buildings, Low-Rise Buildings, Ground Floor Design, and Back of House and Loading areas
- Amendments to Schedule 1 – Community Structure Plan, Schedule 2 - Character Area Land Use Designations, Schedule 3 - Sub Area Designations, Schedule 4 – Building Height Plan, Street 5 – Street Hierarchy Plan, Schedule 6 – Pedestrian and Cycling Network, Schedule 7 – Cultural Heritage Framework, and Schedule 8 – Urban Design Priorities.
- Amendments throughout the Secondary Plan to replace references to the 1989 Official Plan, its land use designations, and street classifications with references to the London Plan.

## Requested Zoning By-law Amendment

To change the zoning from a Regional Facility (RF) Zone to a Residential R1 (R1-5) Zone, Residential R6 (R6-3) Zone, Residential R5 Special Provision/Heritage (R5-7(\_)/HER) Zone, Residential R5/R7 Special Provision/Heritage (R5-7(\_)/R7\*H15\*D150/HER) Zone, Neighbourhood Shopping Area Special Provision/Residential R5 Special Provision (NSA3(\_)/R5-7(\_)) Zone, Community Facility/Heritage (CF2/CF3/HER) Zone, Community Facility/Residential R8/Heritage (CF2/CF3/R8-4/HER) Zone, Residential R5/R8/R9 Special Provision (R5-7(\_)/R8-4(\_)/R9-7(\_)) Zone, Business District Special Provision/Residential R5/R9 Special Provision (BDC(\_)/R5-7(\_)/R9-7(\_)) Zone, Business District Commercial/Community Facility/Heritage (BDC/CF2/CF3/HER) Zone and a Open Space (OS1) Zone. Changes to the currently permitted land uses and development regulations are summarized below.

Both Official Plans and the Zoning By-law are available at [london.ca](http://london.ca).

### Zone(s):

- **Residential R1 (R1-5) Zone** - to permit single detached dwellings;
- **Residential R6 (R6-3) Zone** - to permit cluster single detached, semi detached and duplex dwellings;
- **Residential R5 Special Provision/Heritage (R5-7(\_)/HER) Zone** - to permit cluster townhouse dwellings and cluster stacked townhouse with a special provision to permit a

maximum density 150uph. The heritage zone provides for and regulates buildings, structures and lands that have been designated under the Ontario Heritage Act;

- **Residential R5/R7 Special Provision/Heritage (R5-7( )/R7\*H15\*D150/HER) Zone** - to permit cluster townhouse dwellings, cluster stacked townhouse dwellings, senior citizen apartment buildings, handicapped persons apartment buildings, nursing homes, retirement lodges, continuum-of-care facilities and emergency care establishments with a special provision to permit a maximum density of 150uph. The heritage zone provides for and regulates buildings, structures and lands that have been designated under the Ontario Heritage Act;
- **Neighbourhood Shopping Area Special Provision/Residential R5 Special Provision (NSA3( )/R5-7( )) Zone** - to permit a range of neighbourhood-scale retail, personal service and office uses which are primarily intended to provide for the convenience shopping and service needs of nearby residents with a special provision for a maximum height of 12 metres and density of 150uph for mixed-use apartment buildings with the NSA3 Zone. The R5-7 zone will permit cluster townhouse dwellings and cluster stacked townhouse dwellings with a special provision to permit a maximum density 150uph;
- **Community Facility/Heritage (CF2/CF3/HER) Zone** - to permit institutional type uses which provide a city-wide or community service function. The heritage zone provides for and regulates buildings, structures and lands that have been designated under the Ontario Heritage Act;
- **Community Facility/Residential R8/Heritage (CF2/CF3/R8-4/HER) Zone** - to permit institutional type uses which provide a city-wide or community service function. The heritage zone provides for and regulates buildings, structures and lands that have been designated under the Ontario Heritage Act. The R8-4 zone will permit apartment buildings, lodging house class 2, stacked townhousing, emergency care establishments and continuum-of-care facilities;
- **Residential R5/R8/R9 Special Provision (R5-7( )/R8-4( )/R9-7( )) Zone** - to permit cluster townhouse dwellings, cluster stacked townhouse dwellings, apartment buildings, lodging house class 2, stacked townhousing, emergency care establishments and continuum-of-care facilities. A special provision will be applied to each zone to permit a maximum density of 200uph and a special provision to permit a maximum height of 30m will be applied to the R8-4 and R9-7 zones;
- **Business District Special Provision/Residential R5/R9 Special Provision (BDC( )/R5-7( )/R9-7( )) Zone** - to permit a mix of retail, restaurant, neighbourhood facility, office and residential uses, cluster townhouse dwellings, cluster stacked townhouse dwellings, apartment buildings, lodging house class 2, stacked townhousing, emergency care establishments and continuum-of-care facilities. A special provision will be applied to each zone to permit a maximum density of 400uph and a special provision to permit a maximum height of 85m will be applied to the BDC and R9-7 zones;
- **Business District Commercial/Community Facility/Heritage (BDC/CF2/CF3/HER) Zone** - to permit a mix of retail, restaurant, neighbourhood facility, office and residential uses. The CF zones will permit institutional type uses which provide a city-wide or community service function. The heritage zone provides for and regulates buildings, structures and lands that have been designated under the Ontario Heritage Act; and
- **Open Space (OS1) Zone** - will permit future parkland/open space corridors.

The City may also consider special provisions in zoning to implement the urban design requirements and considerations of the London Psychiatric Hospital Lands Secondary Plan and holding provisions for the following: urban design, water looping, municipal services, and phasing

## Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as Multi-Family, Medium Density Residential, Multi-Family, High Density Residential, Regional Facility, Open Space and Office Residential in the 1989 Official Plan, which permit:

- **Multi-Family, Medium Density Residential** – multiple-attached dwellings, such as row houses or cluster houses; low-rise apartment buildings; rooming and boarding houses; emergency care facilities; converted dwellings; and small-scale nursing homes, rest homes and homes for the aged. These areas may also be developed for single-detached, semi-detached and duplex dwellings.



- **Multi-Family, High Density Residential** - low-rise and high-rise apartment buildings; apartment hotels; multiple-attached dwellings; emergency care facilities; nursing home; rest homes; homes for the aged; and rooming and boarding houses.
- **Regional Facility** - hospitals; universities; community colleges; major recreational facilities; cultural facilities; large religious institutions; military establishments; and correctional or detention centres. Uses permitted in the Community Facilities designation will also be permitted in the Regional Facilities designation
- **Open Space** - public open space uses including district, city-wide, and regional parks; and private open space uses such as cemeteries and private golf courses are permitted in the Open Space designation. Agriculture; woodlot management; horticulture; conservation; essential public utilities and municipal services; and recreational and community facilities; may also be permitted.
- **Office Residential** - offices and residential uses within mixed-use buildings or complexes; apartments; small scale stand alone offices and office conversions.

The subject site is also subject to the London Psychiatric Hospital Secondary Plan. The LPHSP further breaks down the landuse designations on the site and provides specific policies areas within the plan to further define the vision and goals for each section of the plan.

The subject lands are in the Transit Village Place Type in The London Plan, permitting a broad range of residential, retail, service, office, cultural, institutional, hospitality, entertainment, recreational, and other related uses .

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied for a Draft Plan of Subdivision and to change the Official Plan designation and the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. The ways you can participate in the City's planning review and decision making process are summarized below.

### See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at [london.ca/planapps](http://london.ca/planapps)
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

### Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Planning and Development staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

### Attend a Future Public Participation Meeting

The Planning and Environment Committee will consider the requested Draft Plan of Subdivision and zoning changes on a date that has not yet been scheduled. The City will send you another notice inviting you to attend this meeting, which is required by the Planning Act. You will also be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the [Neighbourgood](http://Neighbourgood) website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting. The Council Decision will inform the decision of the Director, Planning and Development, who is the Approval Authority for Draft Plans of Subdivision.

## What Are Your Legal Rights?

### Notification of Council and Approval Authority's Decision

If you wish to be notified of the Approval Authority's decision in respect of the proposed draft plan of subdivision, you must make a written request to the Director, Planning and Development, City of London, 300 Dufferin Ave., P.O. Box 5035, London ON N6A 4L9, or at [developmentservices@london.ca](mailto:developmentservices@london.ca). You will also be notified if you provide written comments, or

make a written request to the City of London for conditions of draft approval to be included in the Decision.

If you wish to be notified of the decision of the City of London on the proposed official plan and/or zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

### **Right to Appeal to the Ontario Land Tribunal**

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body is not entitled to appeal the decision of the Director, Planning and Development to the Ontario Land Tribunal.

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

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For more information go to <https://olt.gov.on.ca/contact/local-planning-appeal-tribunal/>.

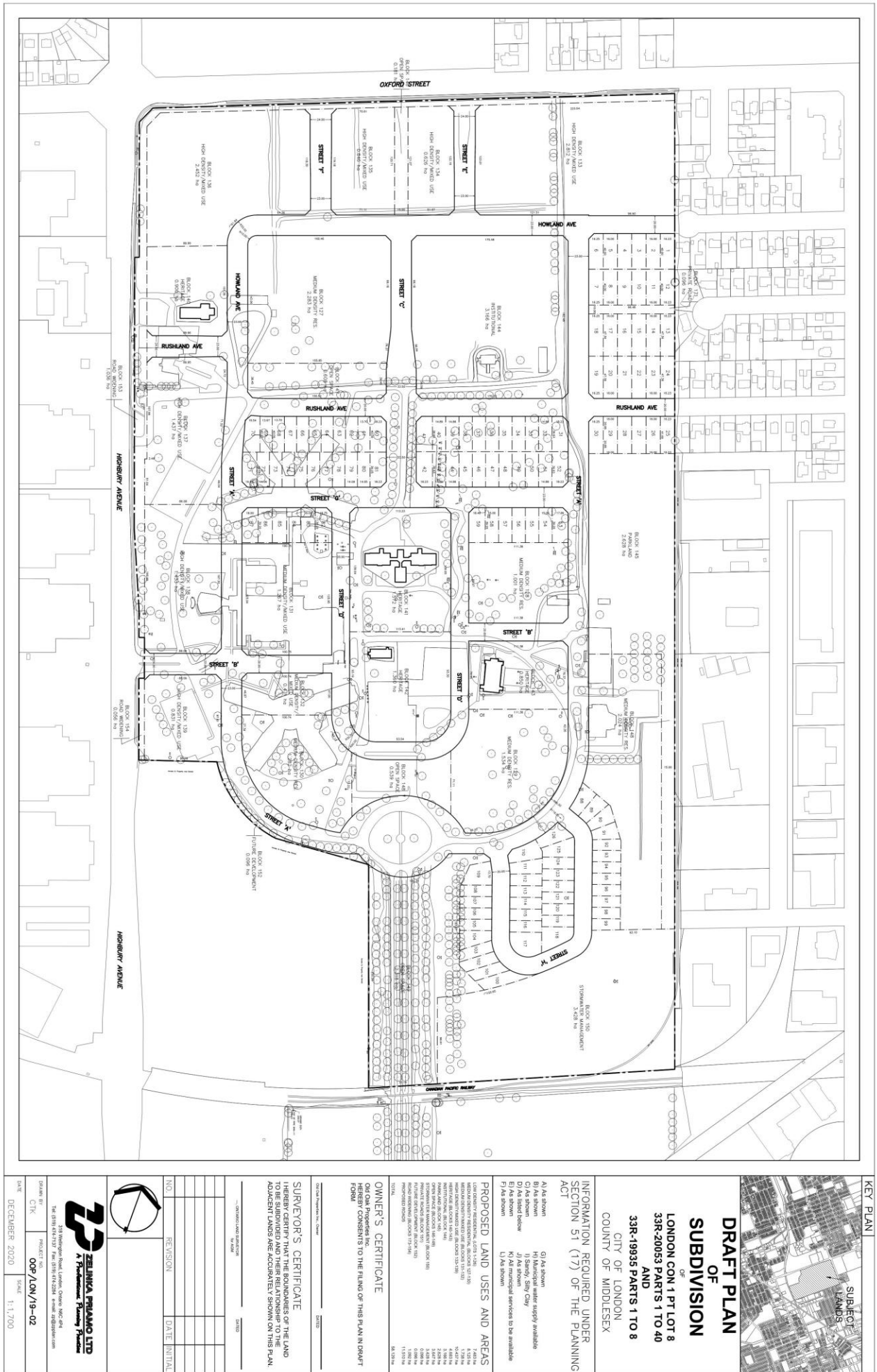
### **Notice of Collection of Personal Information**

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Cathy Saunders, City Clerk, 519-661-CITY(2489) ext. 4937.

### **Accessibility**

Alternative accessible formats or communication supports are available upon request. Please contact [developmentsservices@london.ca](mailto:developmentsservices@london.ca) for more information.

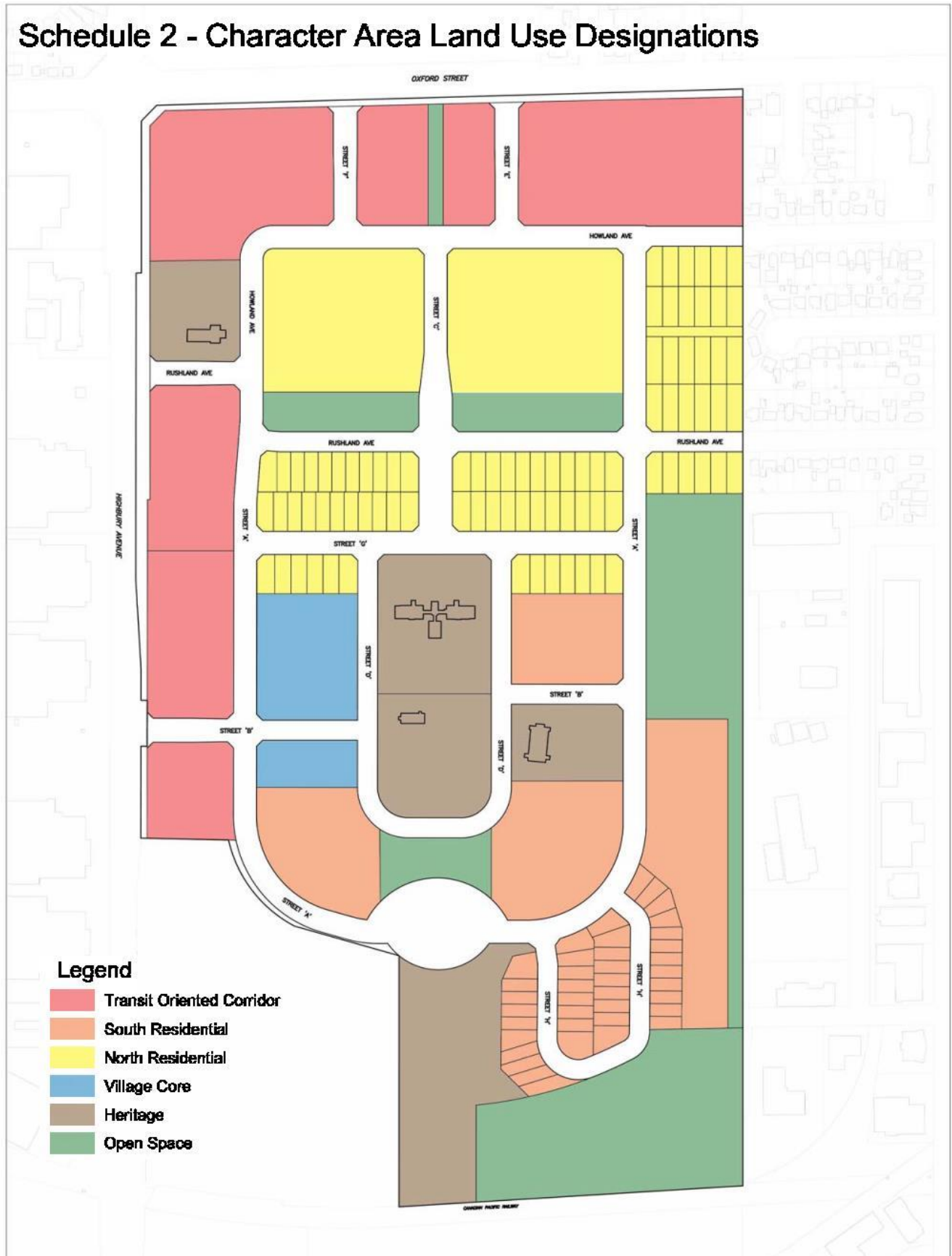
# Requested Revised Draft Plan of Subdivision



The above image represents the applicant's proposal as submitted and may change.

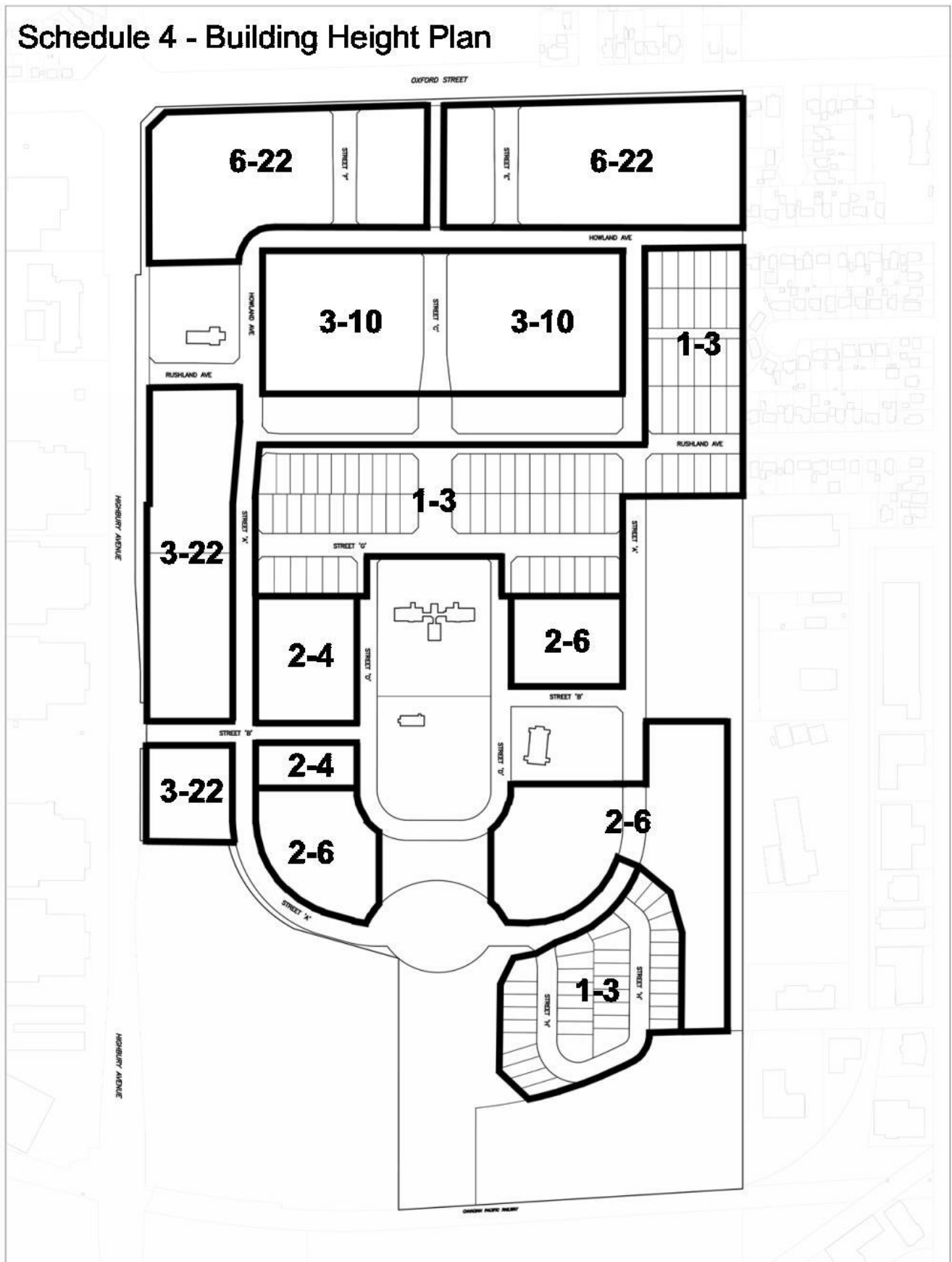
# Requested Revised Official Plan Amendment

## Schedule 2 - Character Area Land Use Designations



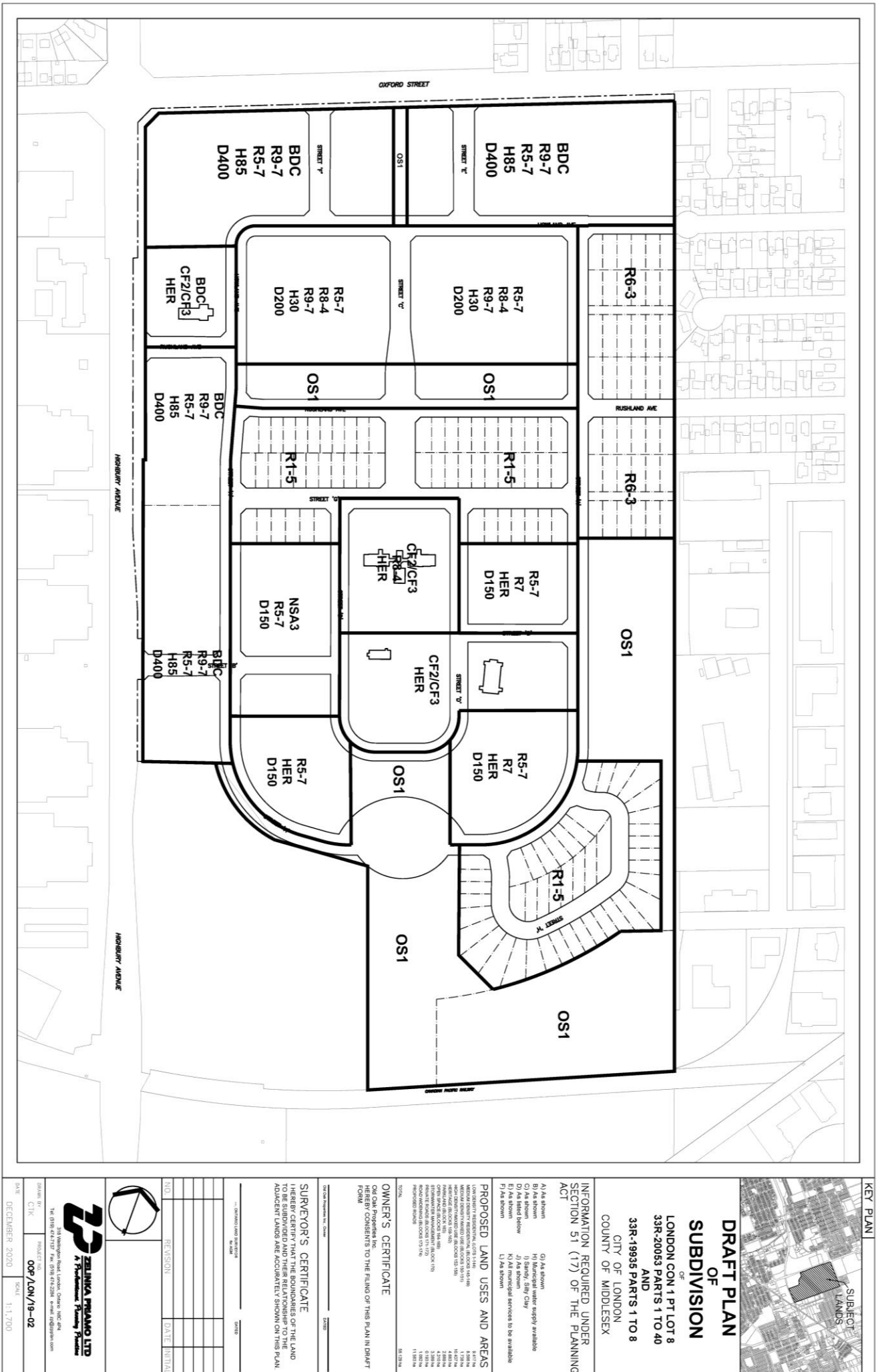
The above image represents the applicant's proposal as submitted and may change.

# Schedule 4 - Building Height Plan



The above image represents the applicant's proposal as submitted and may change.

# Requested Zoning By-Law Amendment



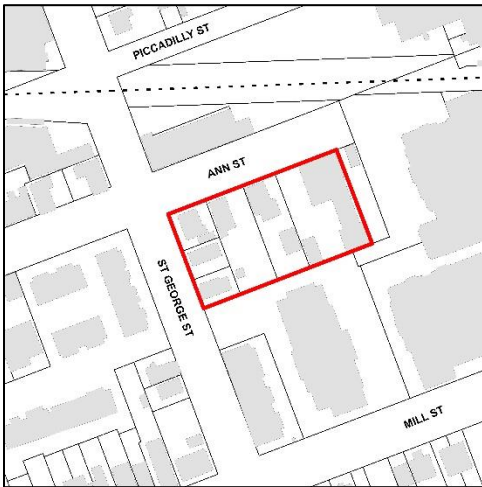
The above image represents the applicant's proposal as submitted and may change.



# PUBLIC MEETING & REVISED APPLICATION NOTICE

## Official Plan and Zoning By-law Amendments - REVISED

### 84 – 86 St. George Street and 175 – 197 Ann Street



**File: OZ-9127**

**Applicant: St. George and Ann Block Limited**

#### What is Proposed?

Official Plan and Zoning amendments to allow:

- 22 storey apartment building (75m) with 214 residential units and 180 parking spaces;
- A bonus zone to permit the increased height and density in return for bonusable features;
- A range of convenience commercial uses including the 'craft brewery' use with a maximum gross floor area of 500sqm for any one use;
- Reduced front yard depth, rear yard depth, interior side yard depth, exterior side yard depth, and landscaped open space regulations; and
- Increased lot coverage of 95%, height (74m) and density of 585uph.

## YOU ARE INVITED!

Further to the notices you received on October 10, 2019, February 10, 2020 and October 7, 2020, you are invited to a public meeting of the Planning and Environment Committee to be held:

**Meeting Date and Time:** Monday, April 25, 2022, no earlier than 4:15 p.m.

**Meeting Location:** During the COVID-19 emergency, the Planning and Environment Committee meetings are virtual meetings, hosted in City Hall, Council Chambers (see insert)

For more information contact:

Sonia Wise  
swise@london.ca  
519-661-CITY (2489) ext. 5887  
Planning and Development, City of London  
300 Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO Box 5035 N6A 4L9  
File: OZ-9127

**[london.ca/planapps](https://london.ca/planapps)**

To speak to your Ward Councillor:

John Fyfe-Millar  
jfmillar@london.ca  
519-661-CITY (2489) ext. 4013

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

# Application Details

Commonly Used Planning Terms are available at [london.ca/planapps](http://london.ca/planapps).

## Requested Amendment to the Current Official Plan

To change the designation of the western part of the property from the Multi-family, Medium Density Residential designation to the Multi-family, High Density Residential designation, and to add a Specific Area Policy to permit the requested convenience commercial uses, and to permit a mixed-use building with a maximum density of 585uph implemented by way of a bonus zone.

## Requested Amendment to The London Plan (New Official Plan)

To change the existing Special Area Policy 1038C in the Neighbourhoods Place Type with revised wording to permit a mixed-use development with a maximum building height of 22 storeys, and 500 square metres of gross floor area permitted for retail, service and office use within the podium base, and add the site as being subject to a Specific Policy Area on Map 7.

## Requested Zoning By-law Amendment

To change the zoning from a Residential R9 (R9-3\*H12) Zone to a Residential R10 Special Provision/Convenience Commercial Special Provision Bonus (R10-5( )/CC4( )\*B- ) Zone. Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at [london.ca/planapps](http://london.ca/planapps).

### Current Zoning

**Zone:** Residential R9 (R9-3\*H12)

**Permitted Uses:** Apartment buildings, lodging house class 2, senior citizens apartment buildings, handicapped persons apartment buildings, continuum-of-care facilities

**Special Provision(s):** n/a

**Residential Density:** 100 units per hectare

**Height:** 12 metres

**Bonus Zone:** n/a

### Requested Zoning

**Zone:** Residential R10 Special Provision/Convenience Commercial Special Provision Bonus (R10-5( )/CC4( )\*B- ) Zone

**Permitted Uses:** Apartment buildings, lodging house class 2, senior citizens apartment buildings, handicapped persons apartment buildings, and continuum-of-care facilities.

Convenience commercial uses including: convenience service establishments, convenience stores, financial institutions, personal service establishments, and craft brewery within an apartment building and all without drive-throughs.

**Special Provision(s):** To permit a maximum height of 22 storeys (75 metres) where the height is to be determined on the zone map; to permit a maximum density of 585 units per hectare, whereas 350 units per hectare maximum is permitted; to permit a reduced front and exterior side yard depth of 0m whereas 15m is required; to permit a reduced rear and interior yard depth of 0m whereas 37.2m is required; to permit a reduced landscaped open space of 0% whereas 30% is required; to permit an increase lot coverage of 97% whereas 50% maximum is permitted; to permit a minimum of 180 parking spaces whereas 225 spaces are required; and to permit a maximum commercial gross floor area of up to 500sqm for all commercial uses, and as well as for an individual commercial use.

**Residential Density:** 585 units per hectare (214 units)

**Height:** 75 metres (22 storeys)

**Bonus Zone:** Site specific development regulations are proposed to be implemented through a bonus zone and special provisions. The request for bonusing is to permit the increased height of 22 storeys (75m) and density of 585uph, and is proposed based on the provision of: common open space; underground parking; enhanced landscaped open space; innovation/sensitive design including electric vehicle charging stations, some accessible to the public, and publicly accessible bicycle sharing facilities; enhanced provision of universal accessibility; affordable housing; exceptional site and building design; sustainable development forms; financial contribution to transit facilities; large quantities of secure bicycle parking and cycling infrastructure; and extraordinary tree planting.

The City may also consider the use of holding provisions for the purpose of assessing hydrogeological conditions, and ensuring safety mitigation measures are implemented due to the proximity of the rail corridor.

## Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as Multi-family, Medium



Density Residential and Multi-family High Density Residential in the Official Plan. The Multi-family, Medium Density Residential designation permits multiple-attached dwellings such as row houses or cluster houses, high-rise apartment buildings, rooming and boarding houses, emergency care facilities, converted dwellings and small scale nursing homes, rest homes and homes for the aged as the main uses. The Multi-family, High Density Residential designation permits low-rise and high-rise apartment buildings, apartment hotels, multiple-attached dwellings, emergency care facilities, nursing homes, rest homes, homes for the aged and rooming and boarding houses as the main uses. Convenience commercial uses are contemplated as secondary uses according to the policies of section 3.6.5. The lands are within the Talbot Mixed-Use Specific Policy area, and the Near Campus Neighbourhood Area.

The subject lands are in the Neighbourhoods Place Type in *The London Plan*, permitting a range of single detached, semi-detached, duplex, and converted dwellings, townhouses, secondary suites, home occupations and group homes. The lands are within the Talbot Mixed-Use Specific Policy area, the High Density Residential Overlay, the Near Campus Neighbourhood Area, and have a site-specific policy that allows greater than 12 storeys building height, along with a significant setback along St. George Street.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the Official Plan designation and the zoning of land located within 120 metres of a property you own, or your landlord has posted the public meeting notice in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. If you previously provided written or verbal comments about this application, we have considered your comments as part of our review of the application and in the preparation of the planning report and recommendation to the Planning and Environment Committee. The additional ways you can participate in the City's planning review and decision making process are summarized below.

### See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at [london.ca/planapps](http://london.ca/planapps)
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

### Attend This Public Participation Meeting

The Planning and Environment Committee will consider the requested Official Plan and zoning changes at this meeting, which is required by the Planning Act. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the [Neighbourgood](http://Neighbourgood) website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

Attendance is available through telephone or virtual web streaming (computer) application. Pre-registration is required to access these options and can be found in the Public Participation insert.

**Please refer to the enclosed Public Participation Meeting Process insert.**

## What Are Your Legal Rights?

### Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed official plan amendment and/or zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

### Right to Appeal to the Ontario Land Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public

body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

For more information go to <https://olt.gov.on.ca/appeals-process/forms/>.

### **Notice of Collection of Personal Information**

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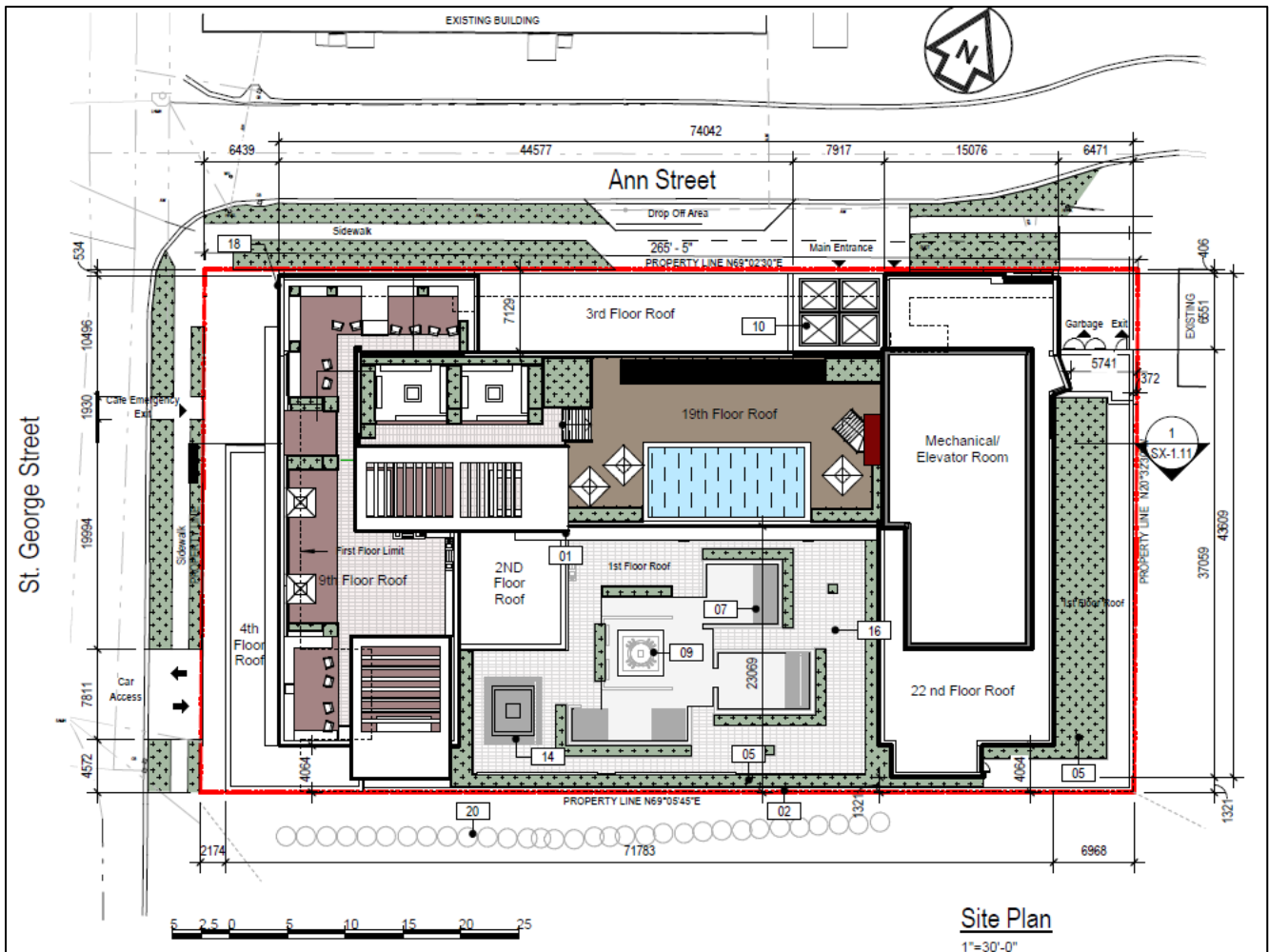
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# Building Rendering and Site Concept Plan



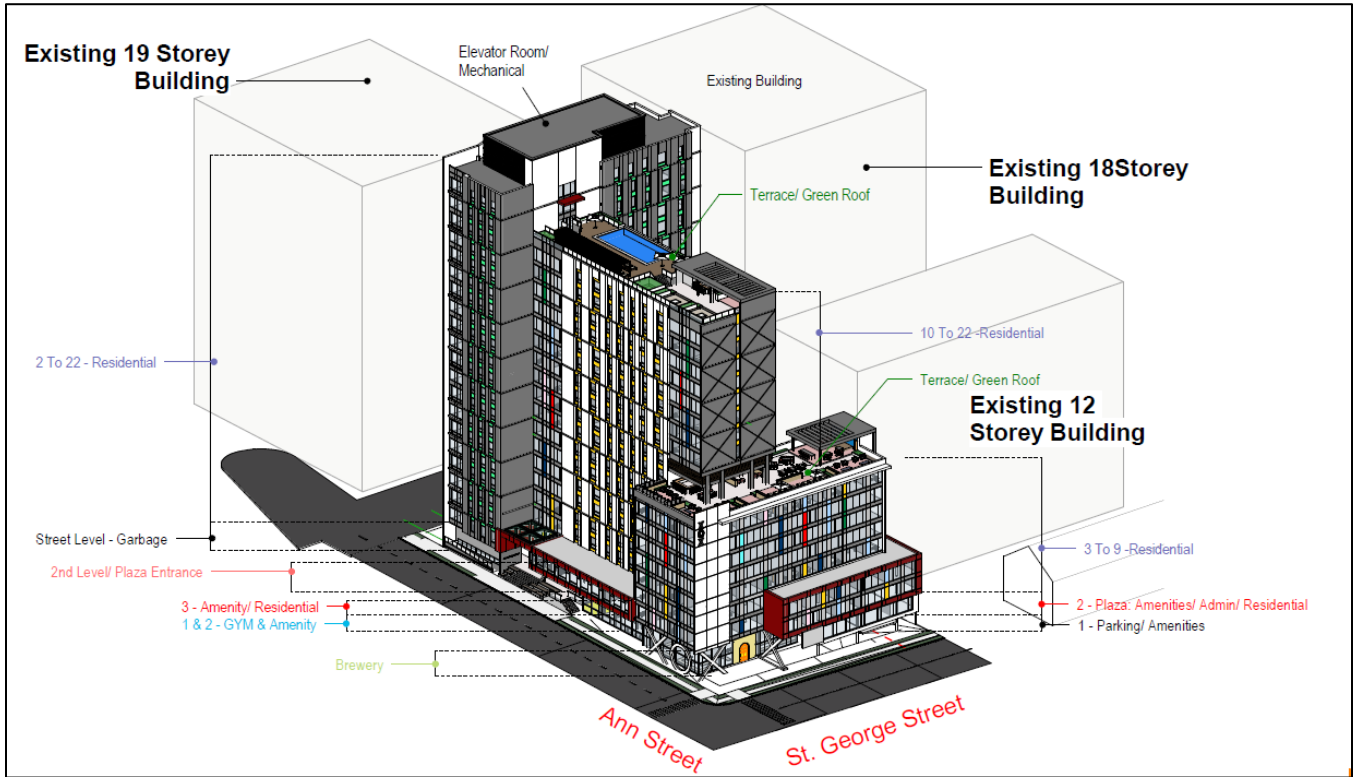
Rendering - Northwest Perspective



Site Concept Plan

The above images represent the applicant's proposal as submitted and may change.

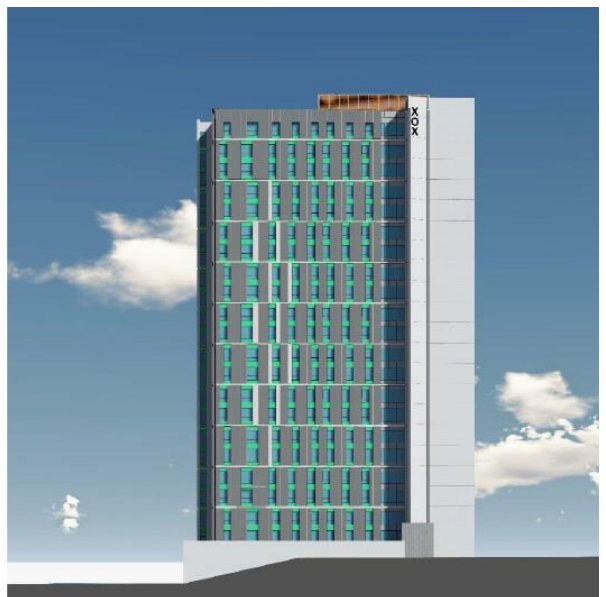
# Building Renderings



Rendering Description – Northwest Perspective



Rendering – West Elevation (left) and North Elevation (right)



Rendering – South Elevation (left) and East Elevation (right)

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## **Public Participation Meeting (PPM) Process**

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## **Council Chambers**

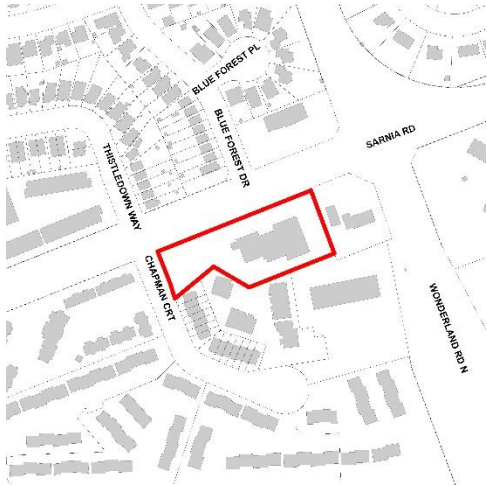
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## Official Plan and Zoning By-law Amendments

### 520 Sarnia Road



**File: OZ-9432**

**Applicant: Horizen Developments LP**

#### What is Proposed?

Official Plan and Zoning amendments to allow:

- An 8-storey apartment building with at total of 129 residential units with a density of 168 units per hectare and parking spaces provided in underground and above-ground facilities; and
- Special provisions to identify Sarnia Road as the front lot line, a reduced interior side yard setback, and a reduced parking rate.

## YOU ARE INVITED!

Further to the Notice of Application you received on November 15, 2021, you are invited to a public meeting of the Planning and Environment Committee to be held:

**Meeting Date and Time:** Tuesday, April 19, 2022, no earlier than 4:00p.m.

**Meeting Location:** During the COVID-19 emergency, the Planning and Environment Committee meetings are virtual meetings, hosted in City Hall, Council Chambers (see insert)

For more information contact:

Alanna Riley  
ariley@london.ca  
519-661-CITY (2489) ext. 4579  
Development Services, City of London, 300  
Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO BOX 5035 N6A 4L9  
File: OZ-9432

[london.ca/planapps](https://london.ca/planapps)

To speak to your Ward Councillor:

Councillor Steve Lehman  
slehman@london.ca  
519-661-CITY (2489) ext. 4008

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

# Application Details

The purpose and effect of this Official Plan and zoning change is to permit an 8-storey apartment building with at total of a total of 129 residential units with a density of 168 units per hectare and parking spaces provided in underground and above-ground facilities

## Requested Amendment to the 1989 Official Plan

To add a Specific Area Policy to add a Specific Area Policy to permit an 8-storey apartment building with at total of a total of 129 residential units with a density of 168 units per hectare without a commercial component on the ground floor.

## Requested Amendment to The London Plan (New Official Plan)

To add a Specific Area Policy to add a Specific Area Policy to permit an 8-storey apartment building with at total of a total of 129 residential units with a density of 168 units per hectare without a commercial component on the ground floor.

## Requested Zoning By-law Amendment

To change the zoning **FROM** a Neighbourhood Shopping Area Special Provision (NSA1(3)) Zone **TO** a Residential R9 Special Provision Bonus (R9-7( )\*B- ) Zone. Special provisions would identify the Sarnia Road frontage as the front lot line; permit a minimum interior side yard setback of 7.5 metres; and permit a minimum parking rate of 1 space per residential unit, whereas 0.78 spaces per unit is required. The proposed bonus zone would permit a maximum building height of 8-storeys (27.1 metres) and a maximum mixed-use density of 168 units per hectare in return for eligible facilities, services, and matters, specifically affordable housing outlined in Section 19.4.4 of the 1989 Official Plan and policies 1638\_ to 1655\_ of The London Plan

Both Official Plans and the Zoning By-law are available at [london.ca](http://london.ca).

### Current Zoning

**Zone:** Neighbourhood Shopping Area Special Provision (NSA1(3)) Zone \*\*

**Permitted Uses:** Bake shops; Catalogue stores; Clinics; Convenience service establishments; Day care centres) Duplicating shops; Financial institutions; Food stores) Libraries; Medical/dental offices; Offices) Personal service establishments; Restaurants; Retail stores; Service and repair establishments) Studios; Video rental establishments) Brewing on Premises Establishment.

### Requested Zoning

**Zone:** Residential R9 Special Provision Bonus (R9-7( )\*B- ) Zone \*\*

**Permitted Uses:** Apartment buildings; Lodging house class 2; Senior citizens apartment buildings; Handicapped persons apartment buildings; and Continuum-of-care facilities.

**Special Provision(s):** Special provisions would identify the Sarnia Road frontage as the front lot line; permit a minimum interior side yard setback of 7.5 metres; and permit a minimum parking rate of 1 space per residential unit, whereas 0.78 spaces per unit is required. The proposed bonus zone would permit a maximum building height of 8-storeys (27.1 metres) and a maximum mixed-use density of 168 units per hectare in return for eligible facilities, services, and matters, specifically affordable housing outlined in Section 19.4.4 of the 1989 Official Plan and policies 1638\_ to 1655\_ of The London Plan.

**Height:** 28 metres

The City may also consider additional special provisions.

## Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as

The Community Commercial Node designation requires residential development above ground floor commercial uses. As no commercial component is proposed, an amendment to the 1989 Official Plan is required. Residential density in the Community Commercial Node is determined by the High Density Residential designations. The maximum density contemplated in the 1989 Official Plan in the Multi-Family, High Density Residential designation for sites outside of Central London is 150 units per hectare. Bonusing is required to achieve a density beyond this limit.

The subject lands are in the Neighbourhoods Place Types in The London Plan. The Neighbourhoods Place Type permits a broad range of housing types including stacked townhouses and low-rise apartment buildings, home occupations, group homes, small-scale community facilities, emergency care establishments, rooming houses, supervised correctional residences, mixed-use buildings and stand-alone retail, service, and office buildings. The

London Plan contemplates apartment buildings and bonusing up to, but not exceeding a maximum of 6-storeys at this location. The proposed development would require an amendment to The London Plan for a building height beyond 6-storeys.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the Official Plan designation and the zoning of land located within 120 metres of a property you own, or your landlord has posted the public meeting notice in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. If you previously provided written or verbal comments about this application, we have considered your comments as part of our review of the application and in the preparation of the planning report and recommendation to the Planning and Environment Committee. The additional ways you can participate in the City's planning review and decision making process are summarized below.

### See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at [london.ca/planapps](http://london.ca/planapps)
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

### Attend This Public Participation Meeting

The Planning and Environment Committee will consider the requested Official Plan and zoning changes at this meeting, which is required by the Planning Act. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the [Neighbourgood](http://Neighbourgood) website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

Attendance is available through telephone or virtual web streaming (computer) application. Pre-registration is required to access these options and can be found in the Public Participation insert.

**Please refer to the enclosed Public Participation Meeting Process insert.**

## What Are Your Legal Rights?

### Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed official plan amendment and zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

### Right to Appeal to the Ontario Land Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

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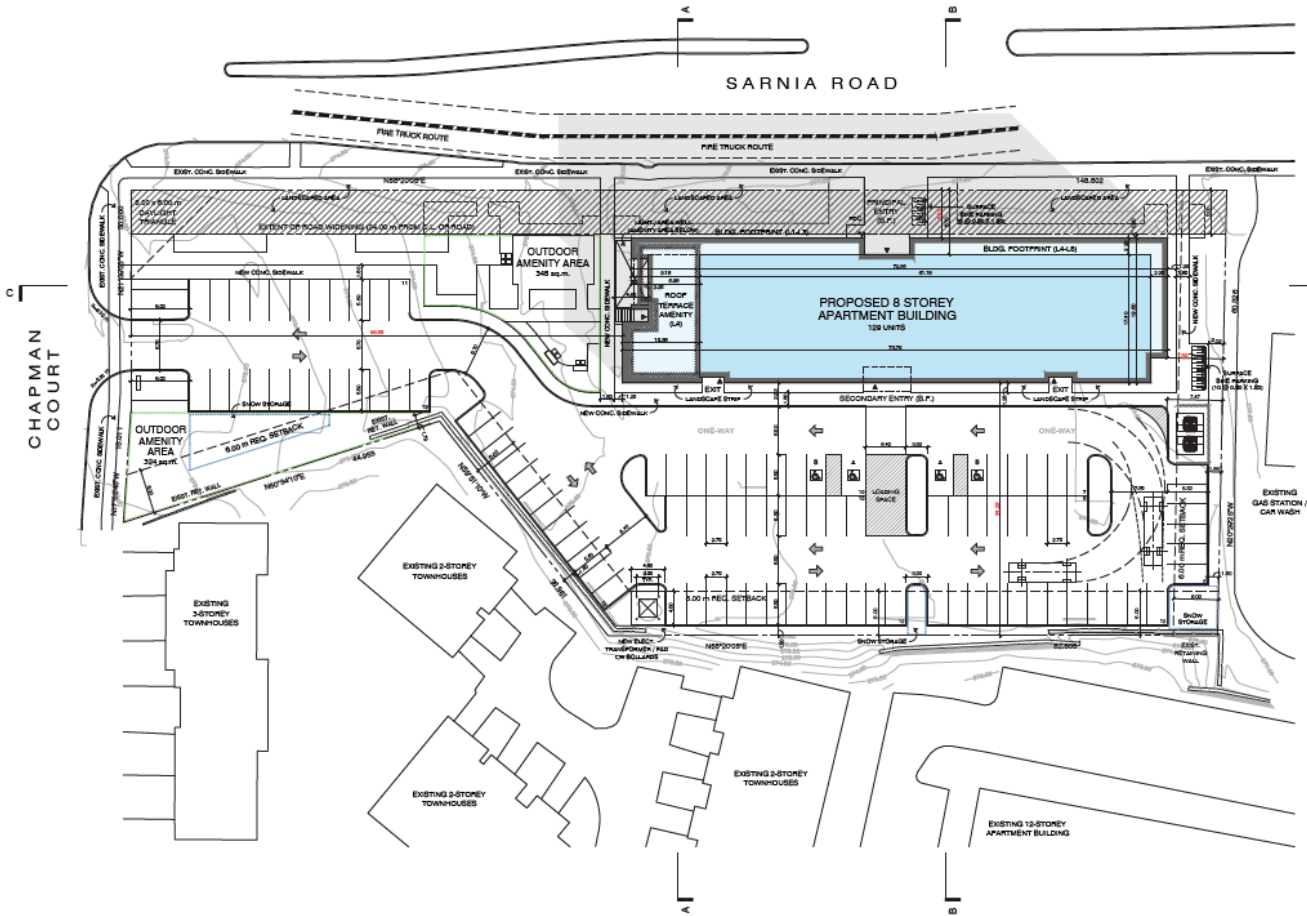


as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Evelina Skalski, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

### **Accessibility**

Alternative accessible formats or communication supports are available upon request. Please contact [developmentsservices@london.ca](mailto:developmentsservices@london.ca) for more information.

# Site Concept



## Site Concept Plan

The above image represents the applicant’s proposal as submitted and may change.

## Building Renderings





**The above images represent the applicant's proposal as submitted and may change.**

# Public Participation Meeting Process

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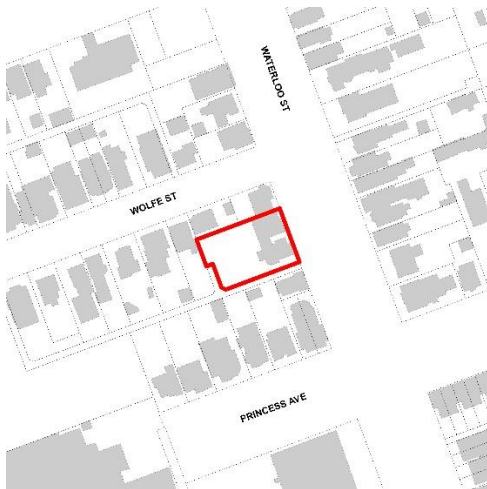
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# NOTICE OF REVISED APPLICATION AND PUBLIC MEETING NOTICE

## Zoning By-Law Amendment

### 551-555 Waterloo Street



**File: Z-9372**

**Applicant: David Russell**

#### What is Proposed?

Zoning amendment to allow:

- A 3-storey rear addition to the existing buildings, increasing the total number of dwelling units from 8 to 10;
- A northerly interior side yard depth of 0.4m;
- A southerly side yard depth of 4.0m;
- A front yard depth of 0.0m;
- A building height of 10m;
- Establish a maximum gross floor area of 1,600 square metres;
- Home occupations within dwelling units in apartment buildings, restricted to the ground floor and occupy no more than 25% of total floor area of the dwelling unit, up to a maximum of 35 square metres, whichever is less

## YOU ARE INVITED!

Further to the Notice of Application you received on June 16, 2021, you are invited to a public meeting of the Planning and Environment Committee to be held:

**Meeting Date and Time:** Tuesday, April 19, 2022, no earlier than 4:30 p.m.

**Meeting Location:** During the COVID-19 emergency, the Planning and Environment Committee meetings are virtual meetings, hosted in City Hall, Council Chambers (see insert)

For more information contact:

Melanie Vivian  
mvivian@london.ca  
519-661-CITY (2489) ext. 7547  
Planning & Development, City of London  
300 Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO Box 5035 N6A 4L9  
File: Z-9372

[london.ca/planapps](https://london.ca/planapps)

To speak to your Ward Councillor:

John Fyfe-Millar  
jfmillar@london.ca  
519-661-CITY (2489) ext. 4013

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

# Application Details

## Requested Zoning By-law Amendment

To change the zoning from a Residential R3 Special Provision/Office Conversion/Temporary (R3-2(6)/OC4/T-73) Zone to a Residential R8 Special Provision (R8-4(\_)) Zone. Changes to the currently permitted land uses and development regulations are summarized below.

The Zoning By-law is available at [london.ca](http://london.ca).

### Current Zoning

**Zone:** Residential R3 Special Provision/Office Conversion/Temporary (R3-2(6)/OC4/T-73) Zone

**Permitted Uses:** Single detached dwellings; semi-detached dwellings; duplex dwellings; triplex dwellings; converted dwellings; fourplex dwellings; dwelling units; offices in existing buildings.

**Special Provisions:** Floor area ratio/maximum floor area, gross residential for lots over 1000 sq.m: maximum 50% and maximum 440 sq.m; rear yard depth: 30% of the actual lot depth or as indicated on Table 7.3, whichever is greater; yards where parking is permitted: parking in rear yards is restricted to the required rear depth where access is obtained from a lane and where there is no garage or carport located in the rear or side yard; parking standard: one space per 100 sq.m of floor area, gross residential or as indicated in Section 4.19.10 of this by-law, whichever is greater.

**Temporary Zone:** T-73: Lands located at 551-555 Waterloo Street may be used as a place of entertainment for a period not to exceed seven (7) months beginning May 31, 2016 as shown on the map attached to the amending by-law.

### Requested Zoning

**Zone:** Residential R8 Special Provision (R8-4(\_)) Zone

**Permitted Uses:** Apartment buildings; handicapped person's apartment buildings; lodging house class 2; stacked townhousing; senior citizen apartment buildings; emergency care establishments; continuum-of-care facilities.

**Special Provision(s):** A minimum northerly interior side yard depth of 0.4 metres (whereas 4.5 metres is required); a minimum southerly interior side yard depth of 4.0 metres (whereas 4.5 metres is required); a minimum front yard depth of 0.0 metres (whereas 7.0 metres is required); a maximum building height of 10 metres (whereas 13.0 metres is permitted); establish a maximum gross floor area of 1,600 square metres (whereas no maximum gross floor area is specified); and to permit home occupations within dwelling units in apartment buildings, restricted to the ground floor and occupy no more than 25% of total floor area of the dwelling unit, up to a maximum of 35 square metres, whichever is less.

## Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as Low Density Residential in the 1989 Official Plan, which permits a range of low density residential uses as the main uses.

The subject lands are in the Neighbourhoods Place Type in The London Plan, permitting a range of residential uses, including low-rise apartments in Central London.

## How Can You Participate in the Planning Process?

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**Please refer to the enclosed Public Participation Meeting Process insert.**

## **What Are Your Legal Rights?**

### **Notification of Council Decision**

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# Building Renderings



Concept Renderings

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**Education Sub-Committee  
Report  
Tuesday March 29, 2022**

Location: Zoom  
6:30pm

Present: K. Waud, J. Hunten, J. Manness; R. Armistead, K. Gonyou (staff); M. Tovey (historian)

**Agenda Items**

**1. Holy Roller Cultural Heritage Interpretive Sign**

The Education Sub-Committee received draft text and images for the Holy Roller cultural heritage interpretive sign.

This cultural heritage interpretive sign will be located adjacent to the Holy Roller.

R. Armistead noted that the City is consulting with 1<sup>st</sup> Hussars on this cultural heritage interpretive sign.

The Education Sub-Committee would like to provide the following comments:

- Body Text
  - ...*five years outside of the London Armouries...*
  - ... London's *Queens Park near Western Fair...*
  - ...*Holy Roller was ~~gifted~~ given to the City ...*
  - ... *effects of exposure...*
  - ... *and to preserve...*
- Page 5: ... *sidelined by ~~with~~ a broken fuel line...*
- A map that shows the progress of the Holy Roller should be included on the backside which highlights D-Day and VE-Day
- Concern for legibility of information on the backside of the sign; suggestion for simplicity and clarity, with the route highlighted

**2. Lorne Avenue Public School Cultural Heritage Interpretive Sign**

The Education Sub-Committee received the final proof of the cultural heritage interpretive sign for the former Lorne Avenue Public School. Comments that were provided by the Education Sub-Committee from its meeting on May 4, 2021, have been incorporated in the revision.

This cultural heritage interpretive sign will be installed in the new park.

The Education Sub-Committee would like to provide the following comments:

- The City of London annexed the Town of London East in 1885.

- Suggested addition in underline: *Lorne Avenue Public School had its official opening on October 8, 1875. The original, two-room brick schoolhouse cost \$3,000 and was designed by London architect Samuel Peters. Two rooms were added in 1879, and more rooms were added over the years.*

*The school had one of the area's first female principals, Bella Boon, who served as Principal of the four-room school from 1880–1890. She had started as the Grade 7 teacher in 1879 and continued to teach at Lorne Avenue Public School until her retirement in June 1920, at which point the school had 14 rooms.*

- Suggested addition in underline: *... could not afford to build one during the Great Depression*
- Suggested revision to use “intercom” in lieu of “intercommunication”

#### Back

- Noble English received 100 acres in 1819 and then purchased the adjacent 100 acres – bringing his estate to include the land bounded by Dundas Street, Central Avenue, Adelaide Street, and Woodman Avenue (Baker and Neary *100 Fascinating Londoners* 2005, p.15) – caption is therefore not correct
- Murray Anderson was the City of London's first mayor (1855); the Town of London's first mayor was George Jervis Goodhue (1840) or Simon Morrill (1848 – reincorporation)
- Potential point of confusion – Rev. Noble Franklin English house still stands at 472 English Street and appears to be shown on the Bird's Eye View. The Noble English house has been demolished
- English's Creek also ~~later~~ known as Carling's Creek
- Only some of the English street names are noted. Elias English?

### 3. **Kilworth Village Waterworks Marker**

The Education Sub-Committee received a verbal update on the Kilworth Village Waterworks. A draft of the sign will be shared at a future meeting.

## **Heritage Planners' Report to LACH: April 13, 2022**

1. Heritage Alteration Permits processed under Delegated Authority By-law:
  - a) 103-105 King Street (DT HCD) - signage
  - b) 292 Dundas Street (DT HCD) - signage
  - c) 51 Edward Street (WV-OS HCD) - skylights
2. Allocation Committee for the London Endowment for Heritage Fund
  - a) Seeking Allocation Committee members
  - b) Allocation meeting on Thursday April 28, 2022 (Zoom) at noon (TBC)

## **Upcoming Heritage Events**

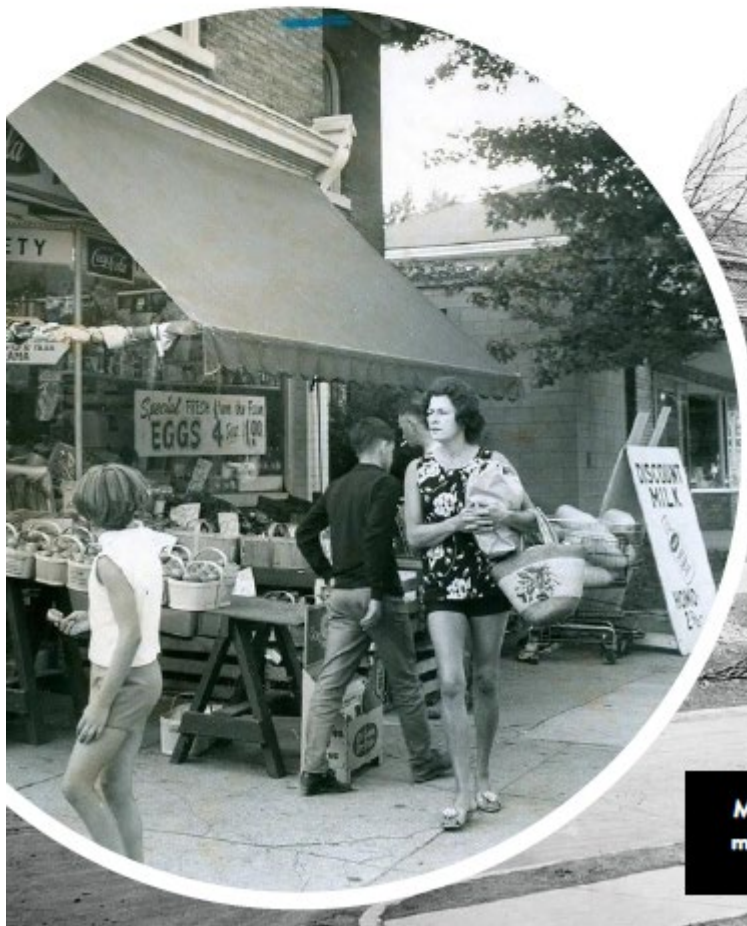
- SoHo's Fascinating History – presentation by Western University Public History graduate students on Tuesday April 19, 2022, 7pm, Polish Hall (554 Hill Street) (see attached)
- London & Middlesex Historical Society – “On the Beat: 150 Years of Policing in London, Ontario” presented by Mark Richardson – Wednesday April 20<sup>th</sup>, 7:30pm (Zoom). Register at [dbrock40@worldline.ca](mailto:dbrock40@worldline.ca) by April 15<sup>th</sup>



# SoHo's *Fascinating* History

Tuesday, April 19, 2022, 7:00pm  
Polish Hall, 554 Hill Street, London  
Free; no registration required.

Come hear the stories and history of one of London's oldest and most culturally diverse neighbourhoods, South of Horton (SoHo). This Western History Masters student presentation will include the history of Victoria Hospital, and how it will be preserved in the new Vision SoHo Alliance development.



More information: Prof. Michelle Hamilton, at  
mhamilt3@uwo.ca or 519-661-2111 ext. 84973