

Agenda Including Addeds

London Advisory Committee on Heritage

6th Meeting of the London Advisory Committee on Heritage

June 9, 2021, 5:30 PM

Advisory Committee Virtual Meeting - during the COVID-19 Emergency

The City of London is committed to making every effort to provide alternate formats and communication supports for Council, Standing or Advisory Committee meetings and information, upon request. To make a request related to this meeting, please contact advisorycommittee@london.ca.

	Pages
1. Call to Order	
1.1. Disclosures of Pecuniary Interest	
2. Scheduled Items	
2.1. 5:30 PM T. Jenkins, AECOM - Notice of Study Commencement and Resident Townhall - Arva Pumping Station to Huron Street Transmission Main Municipal Class Environmental Assessment Master Plan	3
3. Consent	
3.1. 5th Report of the London Advisory Committee on Heritage	95
3.2. Municipal Council resolution from its meeting held on May 4, 2021, with respect to the property located at 88 Wellington Road	101
3.3. Municipal Council resolution from its meeting held on May 4, 2021, with respect to the property located at 92 Wellington Road	102
3.4. Municipal Council resolution from its meeting held on May 4, 2021, with respect to Current Advisory Committee Appointments	103
3.5. Advisory Committee Review - Interim Report VI	105
3.6. Ontario Heritage Act Amendments and New General Regulation	126
3.7. Windermere Road Improvements - City of London - Municipal Class Environmental Assessment Study - Notice of Public Information Centre #1	128
3.8. Notice of Planning Application - Zoning By-law Amendment - 496 Dundas Street	130
3.9. Public Meeting Notice - Official Plan and Zoning By-law Amendments - 435-451 Ridout Street North	254
3.10. Public Meeting Notice - Zoning By-law Amendment - 1634-1656 Hyde Park Road and Other Properties	260
4. Sub-Committees and Working Groups	
4.1. Stewardship Sub-Committee Report	266
5. Items for Discussion	

5.1.	Heritage Alteration Permit Application by J. Forbes at 827 Elias Street, Old East Heritage Conservation District	269
	a. M. Greguol, Heritage Planner; and,	
	b. J. Forbes	
5.2.	Heritage Alteration Permit Application at 330 St. James Street, Bishop Hellmuth Heritage Conservation District by P. Brown	279
	a. K. Gonyou, Heritage Planner; and,	
	b. P. Brown	
5.3.	Heritage Alteration Permit Application for the Heritage Designated Property at 2096 Wonderland Road North by S. Saltaji	289
	a. L. Dent, Heritage Planner; and,	
	b. S. Saltaji and representatives	
5.4.	Heritage Planners' Report	
	a. <i>(ADDED) Heritage Planners' Report</i>	344
6.	Adjournment	



London
CANADA

The City of London
Arva Pumping Station to Huron Street Transmission Main
Municipal Class Environmental Assessment Master Plan

NOTICE OF STUDY COMMENCEMENT AND RESIDENT TOWNHALL

June 5th, 2020

PUBLIC NOTICE

Background

The City of London (City) has initiated a Municipal Class Environmental Assessment (MCEA) master plan study to develop short and long-term improvement plans for the Arva Huron Transmission Watermain between the Arva Pumping Station and Huron Street (See Map on Back). This study includes an assessment of the potential need to widen the existing transmission main easement to continue ongoing monitoring of the condition of the watermain and/or for potential maintenance, repair or replacement of the existing watermain. Long term considerations include evaluating alternative options for routing the watermain between the Arva Pumping Station and Huron Street in total or for specific sections. The routing options to be investigated will address long-term transmission capacity needs and provide for redundancy.

Process

The MCEA study will be completed in accordance with the Ontario Environmental Assessment Act and will follow Approach #2 of the Municipal Engineers Association Municipal Class EA (as amended in 2015) process, fulfilling the requirements for Schedule B projects, including public and stakeholder consultation.

We would like to hear from you

The City of London wants anyone with an interest in the study to have an opportunity to provide input, which will help the project team in the decision-making process.

One Public Information Centre (PIC) will be held to provide information and receive feedback. The is tentatively scheduled for late September early October 2020 and will present an overview of the project including existing conditions, the need for improvements, potential alternative solutions, preferred short and long term strategies including any potential water infrastructure projects and next steps in the study. In order to comply with social distancing requirements for COVID-19 the PIC may be held online or possibly virtually. See the City of London website for details:

<https://www.london.ca/residents/Environment/EAs/Pages/Arva-Pumping-Station-to-Huron-Street-Water-Transmission-Main-Municipal-Class-Environmental-Assessment-Master-Plan.aspx>

Your property has an easement on it to allow access to the existing transmission main in order to facilitate maintenance and repair. On June 25th at 7:00 pm, we will be hosting a virtual townhall meeting to present information to residents whose property has an easement on it. To register for for this meeting please send an email to: Paul.adams2@aecom.com.

Alternately if you don't have access to the internet, or are uncomfortable with a virtual meeting, we can mail you an information package.

For more information or if you want to be placed on our mailing list for updates, please contact us at:

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With the exception of personal information, all comments will become part of the public record of the study. The study is being conducted according to the requirements of the Municipal Class Environmental Assessment, which is a planning process approved under Ontario's Environmental Assessment Act.

Issued on June 5th, 2020



City of London

FINAL Report: Arva Pumping Station to Huron Street Water Transmission Main

**Municipal Class Environmental Assessment Master Plan
Project File - Schedule B**

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Distribution List

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Revision History

Revision #	Date	Revised By:	Revision Description
1	Jan. 28, 2021	BAT/PA	First Draft Submission
2	April 6, 2021	BAT/PA	Final Submission

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- represents AECOM's professional judgement in light of the Limitations and industry standards for the preparation of similar reports;
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- has not been updated since the date of issuance of the Report and its accuracy is limited to the time period and circumstances in which it was collected, processed, made or issued;
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Quality Information

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Project Manager

List of Acronyms

BRT	Bus Rapid Transit
CMMP	Construction Mitigation and Monitoring Plan
CHAR	Cultural Heritage Assessment Report
CSDM	Complete Streets Design Manual
COTTFN	Chippewa of the Thames First Nation
CSP	Corrugated Steel Pipe
CWA	Clean Water Act
DBH	Diameter at Breast Height
DCBS	Development Charges Background Study
EA	Environmental Assessment
EAA	Environmental Assessment Act
EBL	East Bound Left Turn Lane
EBT	East Bound Through Lane
EBTR	East Bound Through Right Lane
ECA	Environmental Compliance Approval
EIS	Environmental Impact Study
ELC	Ecological Land Classification
EM	Electro Magnetic
END	Endangered
ESA	Endangered Species Act
ESR	Environmental Study Report
GMIS	Growth Management Implementation Strategy
IPZ	Intake Protection Zone
HVA	Highly Vulnerable Area
KM	Kilometre
LOS	Level of Service
MOECC	Ministry of the Environment and Climate Change
MECP	Ministry of the Environment, Conservation and Parks
MHSTCI	Ministry of Heritage, Sport, Tourism and Culture Industries (Formerly MTCS)
MTCS	Ontario Ministry of Tourism, Culture & Sport
MUP	Multi-use Pathway
MCEA	Municipal Class Environmental Assessment
MEA	Ontario Municipal Engineers Association
MNRF	Ontario Ministry of Natural Resources & Forestry
NHRM	Natural Heritage Reference Manual
NBL	North Bound Left Turn Lane
NBT	North Bound Through Lane
OP	Official Plan
O'Reg.	Ontario Regulation
PIC	Public Information Centre
PPS	Provincial Policy Statement
PS	Pump Station
PSW	Provincially Significant Wetland
PTTW	Permit to Take Water
PVC	Polyvinyl Chloride
ROW	Right-of-Way
SAR	Species at Risk
SARA	Species at Risk Act
SBL	South Bound Left Turn Lane
SBT	South Bound Through Lane
SC	Special Concern
SGRA	Significant Groundwater Recharge Area
SPP	Source Protection Plan
SWAP	Southwest Area Plan
SWP	Source Water Protection
SWH	Significant Wildlife Habitat
SWM	Stormwater Management
SWMF	Stormwater Management Facility

TDM	Transportation Demand Management
THR	Threatened
TMP	Transportation Master Plan
UTRCA	Upper Thames River Conservation Authority
V/C	Volume to Capacity Ratio
WBL	West Bound Left Turn Lane
WBT	West Bound Through Lane
WBTR	West Bound Through Right Lane
WHPA	Well Head Protection Area
WTP	Water Treatment Plant

Executive Summary

Introduction and Background

The City of London (the City), through its consultant, AECOM, has completed a Municipal Class Environmental Assessment (Class EA Master Plan) Schedule B to evaluate short- and long-term solutions to maintain and twin the existing high pressure potable water transmission main(s) from the Arva Pumping Station to Chamber 13 on Huron Street. The City is supplied with water from two lake-based sources, 80% comes from Lake Huron utilizing the Lake Huron Water Supply System (LHWSS) and 20% comes from Lake Erie utilizing the Elgin Area Water Supply System (EAWSS). The City utilizes several water storage facilities including the Arva Reservoir (owned and operated by the LHWSS) that supplies water to the north portion of the City. The Arva Pumping station to Huron Street transmission main is the 'main artery' for water supply and distributes potable water to the City's water storage facilities and distribution system. The LHWSS transmission main has been partially twinned from the South Huron Water Treatment Plant (WTP), located north of Grand Bend to the Arva Reservoir and Pumping Station. In 1984, the City twinned its transmission main southerly from the Arva Reservoir and Pumping Station to Fanshawe Park Road, which allows for the LHWSS and the City to provide transmission main redundancy and increased capacity in addition to improved maintenance and operations. South of Fanshawe Park Road, the single transmission main travels through several residential properties, which poses some challenges to inspect, maintain, and repair the transmission main and other infrastructure along the route. The transmission main age is approximately 60 years of its potential 100 year expected lifetime and is not expected to be replaced in the short term. As a result, continuous monitoring, inspections and repairs are expected and may increase over its remaining lifetime.

Consultation

The involvement of the community – residents, approval agencies, stakeholders, Indigenous communities, and those who may be potentially affected by a project – is an integral part of the Class EA process. The purpose of the Class EA study consultation process is to provide an opportunity for stakeholder groups and the public to gain an understanding of the study process, contribute to the process for the development and selection of alternatives/design concepts, and provide feedback and advice at important stages in the Class EA process. Specifically, the objectives of the consultation efforts are to:

- generate awareness of the project and provide opportunities for involvement throughout the planning process; and
- facilitate constructive input from public and agency stakeholders at key points in the Class EA process, prior to decision-making.

A consultation program was incorporated into the study to meet the above objectives. The consultation program included:

- Posting project milestones on the City of London website;
- Conducting meetings with agencies and stakeholders at key phases during the project (**See Report Section 3**);
- Publishing notices in The Londoner and the City's project website (<https://london.ca/projects/arva-pumping-station-huron-street-water-transmission-main-master-plan>) for all project milestones (**See Report Section 3.1, Table 3.1**);
- Notifying stakeholders, affected residents, the general public and review agencies regarding project milestones;
- Conducting two virtual open houses, one for the property owners between Fanshawe Park Road and Huron Street and one for the general public to inform the public, review agencies and stakeholders and obtain input; and
- Issuing a Notice of Completion.

Identification of the Problem/Opportunity

The Class EA Problem / Opportunity statement provides the basis for the need and justification for this project and is presented below:

The City receives approximately 80% of its water supply from the LHWSS, making the water transmission main that transports this water a critical and important asset. The water transmission main from the Arva PS and Reservoir to Huron Street was constructed in 1966 and ranges in condition, having fair and good sections. Several portions of the pipe south of Windermere Road and north of the Thames River were proactively replaced in 2017 and the existing easement (50' / 15m wide) was not adequate to allow for replacement by traditional means. Portions of the transmission main run through the backyards of residents where easements are in place and access to repair the transmission main via these easements could be difficult, especially if there are obstacles such as decks, sheds, trees, etc. within the easement and in close proximity to the water transmission main.

The MCEA process provides the City the opportunity to develop a short-term strategy and solution that assess the existing easements in place to ensure maintenance access can be properly completed, and the possibility of increasing easement widths to allow for easier access or maintaining the easements at their current width and enforcing the City's rights to access if maintenance and/or repairs are required. The process also provides an opportunity for a long-term solution to be developed by examining twinning of the transmission main in other locations to provide a redundancy of supply and service future growth. This long-term solution also provides the possibility of decommissioning and abandoning the existing water transmission main once it has reached its service life.

Short- and Long-Term Alternative Solutions

A list of alternative solutions to meet the project needs was established for both the short- and long-term alternatives. The list was subject to a review and screening process that considered the ability to maximize the use of existing infrastructure, impacts to residents, communities, and existing infrastructure; and the avoidance of excessive capital and operating costs.

Short-term requirements involve regular inspections and maintenance of the transmission main(s), chambers, valves and associated appurtenances to ensure optimal operation of the transmission main, and to facilitate emergency repairs in the event of a transmission main failure. Three short term alternative solutions were developed for evaluation including:

- **Alternative 1: Do Nothing** – no maintenance improvements or changes would be undertaken to address current and future requirements. This represents what would likely occur if none of the other alternative solutions were implemented. All monitoring, maintenance and repair that the City currently undertakes on this transmission main would continue as per current conditions.
- **Alternative 2: Maintain Easements as is (minimum 15m or 50')** - This Alternative would maintain the current easements in place without increasing them, but would require removing or relocating obstructions that impede or prevent access to the transmission main to enhance ongoing maintenance and/or repair needs.
- **Alternative 3: Widen the Easement to greater than 15m or 50' where possible** – This alternative would have the existing easements widened to greater than 15m wherever possible, to allow for easier access to the transmission main to enhance ongoing maintenance and/or repair needs.

For the long-term, solutions to eventually replace the single transmission main and associated valve chambers, located on several privately owned properties between Fanshawe Park Road and Huron Street are required, in addition to providing redundancy of supply and additional supply for future growth servicing purposes. The current location of this infrastructure makes it difficult to access, maintain, repair, and twin the existing infrastructure in the future. Several alternatives to twin the single transmission main were reviewed and analyzed including:

- 1- **Alternative 1:** Do nothing, where no twinning is considered from Fanshawe Park Road to Huron Street;

- 2- **Alternative 2:** Twin the transmission main along Adelaide Street with connections to the existing transmission main(s) via Medway Road, Sunningdale Road, or Fanshawe Park Road and ending at the new relocated Chamber 13 on Maitland Street at Regent Street (**See Figure ES-1**); and
- 3- **Alternative 3:** Twin the transmission main along Richmond Street ending at the new relocated Chamber 13 on Maitland Street at Regent Street. Several options for connections to Richmond Street included:
 - a. **3A:** Twin the transmission main along Richmond Street with a connection via Medway Road or Fanshawe Park Road (**See Figure ES-1**);
 - b. **3B:** Twin the transmission main along Richmond Street via Windermere Road and the existing easement between Windermere Road and Huron Street, or via Huron Street (**See Figure ES-1**).

Evaluation of Short - Term Alternative Solutions

A qualitative evaluation was undertaken for the evaluation of short-term existing transmission main maintenance alternatives based on Socio-Economic, Cultural Environment, Natural Heritage, Technical and Cost criteria, including environmental components that address the broad definition of the environment as described in the Environmental Assessment Act, to assist in determining the best possible solution.

A summary of the evaluation matrix is shown in **Table ES-1**. For a comprehensive evaluation in matrix form see the full evaluation of the short-term alternative solutions as shown in **Table 6-3** of the Report.

Table ES-1: Short Term Alternatives Evaluation Matrix Summary

Evaluation Criteria Category	Alternative 1	Alternative 2	Alternative 3	Rationale
Socio Economic				<ul style="list-style-type: none"> • Alternative 3 requires significant property/easement agreements • Alternatives 1 restricts quick access to the transmission main in an emergency
Cultural Environment				<ul style="list-style-type: none"> • Alternative 1 and 2 have minimal impact due to less chance of encroachment into areas of significance • Alternative 3 would have more impact due to clearing obstructions <u>and</u> adding easement width.
Natural Heritage				<ul style="list-style-type: none"> • Alternative 1 would have lowest impact. Greater impact if emergency works are required • Alternatives 2 and 3 would have greater impact due to removal of obstructions and/or for the increased easement width
Technical				<ul style="list-style-type: none"> • Alternative 1 does not facilitate easy access for repairs • Alternative 3 provides easier access allowing for lower Monitoring and Maintenance costs.
Economic/Financial				<ul style="list-style-type: none"> • Alternative 1 has high costs associated with access in an emergency due to obstacles • Alternative 3 has very high costs associated with significant property and easement agreements

Overall Alternative Rating				<ul style="list-style-type: none"> Alternative 2 does not require additional easements or property Alternative 2 has lowest costs associated with easement agreements and emergency repairs
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Low Impact is considered preferred compared to moderate or high impact

Legend	Low Impact	Low to Moderate Impact	Moderate Impact	Moderate to High Impact	High Impact	Preferred Alternative Solution

Based on the criteria and methodology applied as part of the evaluation process, the preferred Short-term maintenance alternative is **Alternative 2 - Maintain Easements as is (minimum 15m or 50')**. (See Figures 8.1 - 8.3 in Section 8 of the Report). This short-term alternative ensures access to the existing transmission main(s) for ongoing monitoring, maintenance and/or repair purposes using the easements in place without requiring the purchase of additional easements or property..

Evaluation of Long - Term Alternative Solutions

A qualitative evaluation was undertaken for the evaluation of long-term twinning alternatives to add system capacity and/or redundancy based on the above referenced criteria, including environmental components that address the broad definition of the environment as described in the Environmental Assessment Act, to assist in determining the best possible solution.

A summary of the evaluation matrix is shown in **Table ES-2**. For a comprehensive evaluation in matrix form see the full evaluation of the long-term alternative solutions as shown in **Table 7-3** of the Report.

Table ES-2: Long-Term Twinning Alternatives Evaluation Matrix Summary

Evaluation Criteria Category	Alternative 1	Alternative 2	Alternative 3A	Alternative 3B	Rationale
	Socio Economic				
Cultural Environment					<ul style="list-style-type: none"> Alternative 2 and 3B have higher potential for Archaeological impacts. Alternative 3B has the highest potential for cultural heritage impacts.
Natural Heritage					<ul style="list-style-type: none"> Alternative 1 has high impacts for repairs in significant terrestrial areas. Alternative 2 has the most water crossings, and a greater potential to Impact SAR

					<ul style="list-style-type: none"> Alternative 3A has less water crossings and a lower potential to impact SAR Alternative 3B has fewer but more significant water crossings than 3A, a higher potential to impact SAR and a greater impact to climate change due to reduced carbon sequestration capacity resulting from vegetation removal
Technical					<ul style="list-style-type: none"> Alternatives are technically (hydraulics/water quality) equal except Alternative 1 which would require increased monitoring and maintenance. Alternative 3A and 3B have a greater design complexity
Economic / Financial					<ul style="list-style-type: none"> All Alternatives have similar costs associated with them. Alternative 1 has high emergency repair costs.
Overall Alternative Rating					<ul style="list-style-type: none"> Alternative 1 has significant emergency repair impacts Alternative 2 the least impacts and the clearest route for twinning

Low Impact is considered preferred compared to moderate or high impact

	Low Impact	Low to Moderate Impact	Moderate Impact	Moderate to High Impact	High Impact	Preferred Alternative Solution
Legend						

Based on the criteria and methodology applied as part of the evaluation process, the preferred long-term twinning alternative is **Alternative 2: Twin the Transmission Main Along Adelaide Street** to add system capacity and redundancy with a connection to the existing transmission mains at Fanshawe Park Road and on Regent Street. (See Figure ES-2). The preferred long-term alternative also provides an opportunity for eventual decommissioning of the existing water transmission main between Fanshawe Park Road and Huron Street in the future. See Section 8 of the Report for complete Short- and Long-Term Project descriptions.

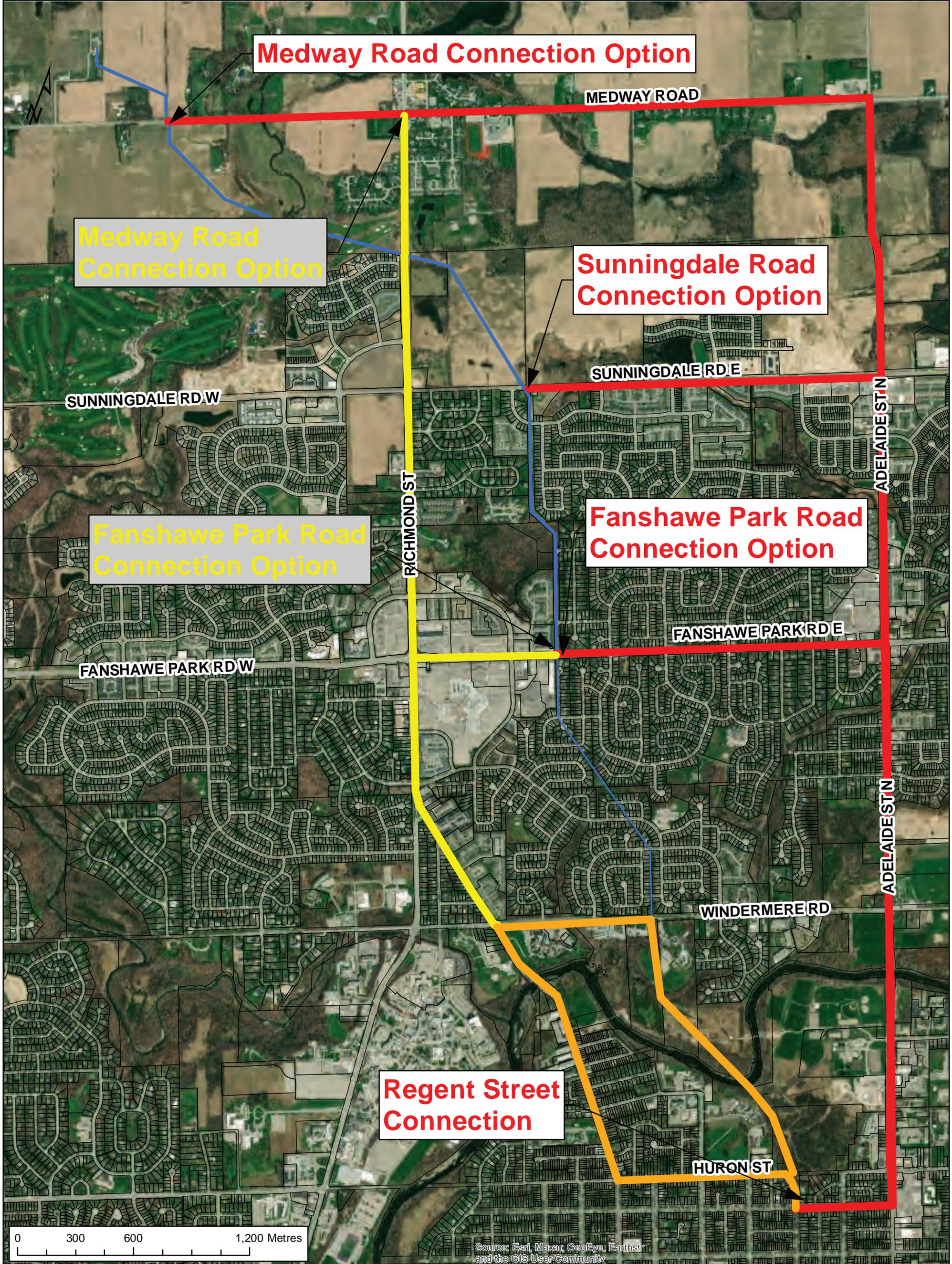
Preliminary Short- & Long-Term Cost Estimates

The estimated costs for upgrades, inspections, maintenance, and repairs over a 20-year period for the preferred short-term alternative is approximately \$10,400,000.

The estimated costs for placing the transmission main along Adelaide Street with connections on Fanshawe Park Road and Regent Street for the preferred long-term alternative is approximately \$20,000,000 for a new single main, and \$32,000,000 for twinned mains.

Recommended Mitigation Measures / Monitoring

It is recommended to complete the mitigation and monitoring tasks outlined in Section 9 of the Report during detailed design for the preferred Short and Long-Term alternatives:



Medway Road Connection Option

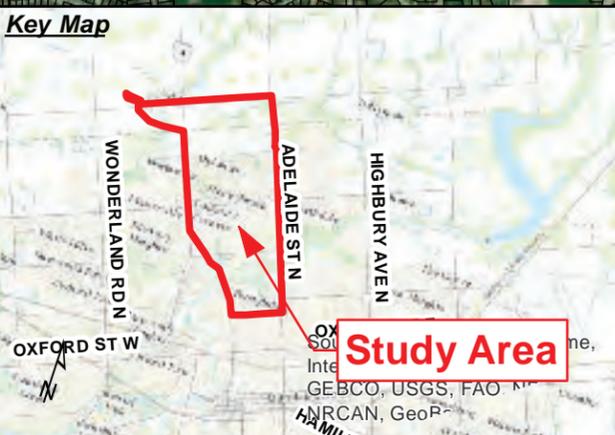
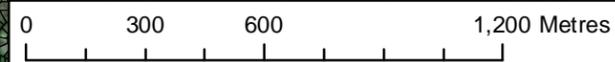
Medway Road Connection Option

Sunningdale Road Connection Option

Fanshawe Park Road Connection Option

Fanshawe Park Road Connection Option

Regent Street Connection



**City of London
Arva Pump Station to Huron Street
Water Transmission Main
Municipal Class Environmental Assessment
Master Plan**

Legend

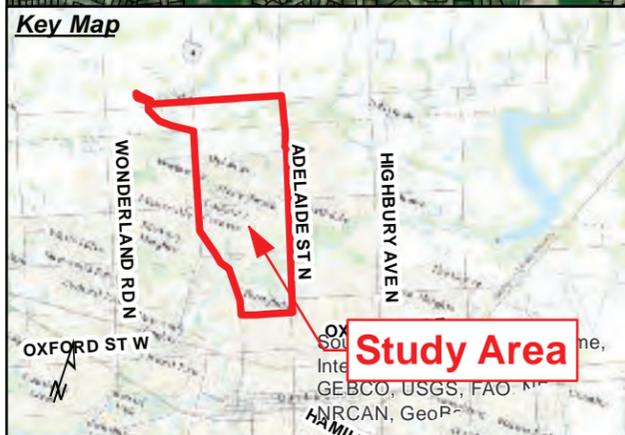
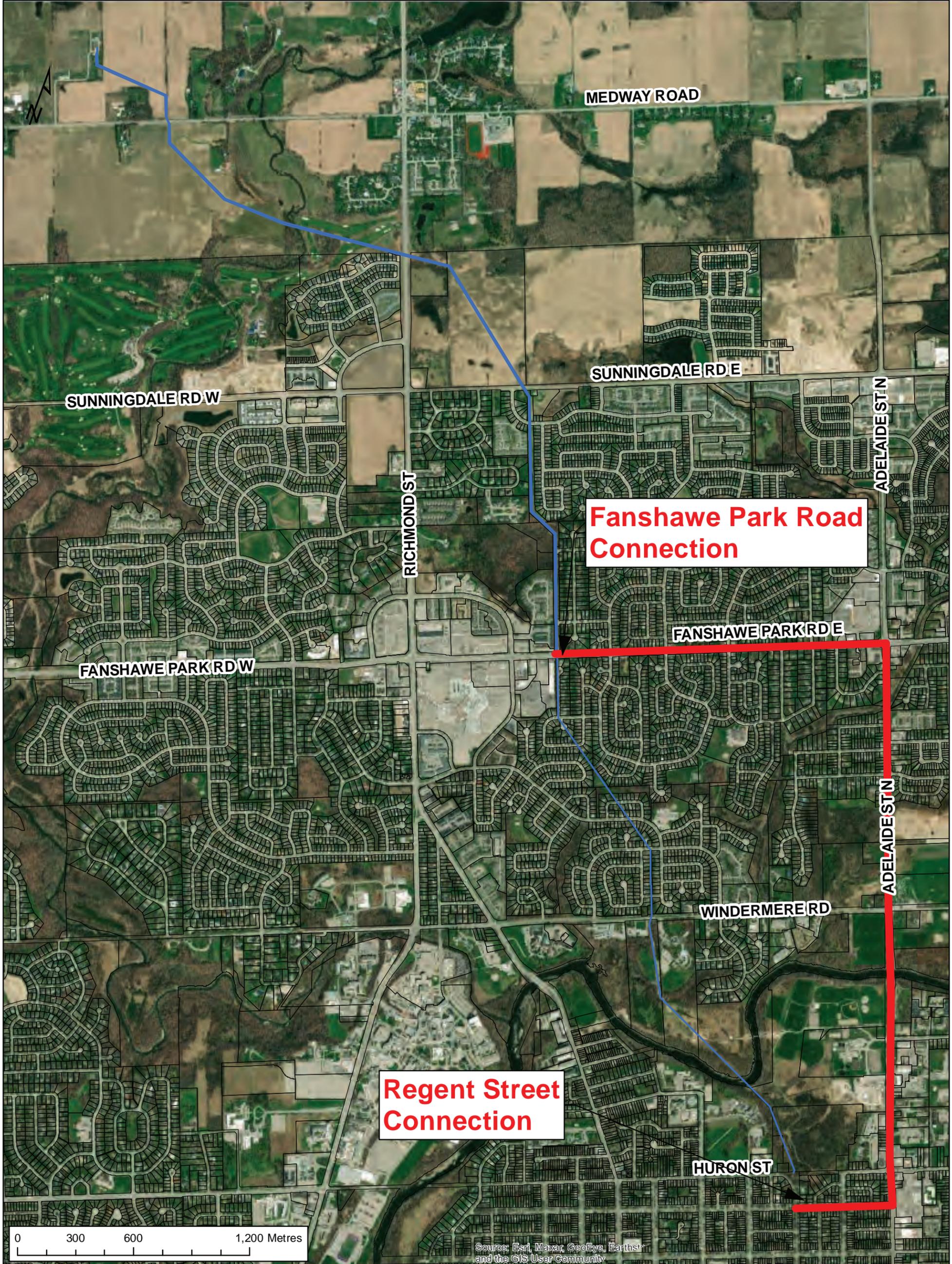
- Existing Transmission Main
- Alternative 2: Adelaide Street Twinning Routes
- Alternative 3A: Richmond Street North Twinning Routes
- Alternative 3B: Richmond Street South Twinning Routes

**Figure ES-1:
Long-Term Alternative Solutions**

Date: April 2021	PN: 60619503	Datum: NAD83 UTM17 Source: City of London
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City of London
Arva Pump Station to Huron Street
Water Transmission Main
Municipal Class Environmental Assessment
Master Plan

Legend

- Existing Transmission Main
- Recommended Alternative 2: Adelaide Street Twinning Routes
- - - Potential Future Connections

Figure ES-2:
Long-Term Design Concept

Date: April 2021	PN: 60619503	Datum: NAD83 UTM17 Source: City of London
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It is also recommended to perform the following maintenance activities to ensure the existing infrastructure continues to operate adequately for the remainder of its service life, or when a new transmission main(s) is constructed and the existing infrastructure is taken out of service:

- Annual inspection and maintenance of all valve chambers
- Soil sampling and testing every 15 years near the transmission main(s), including coring into ground, sample collection and laboratory testing;
- Complete test pits every 15 years to inspect the surface of the transmission main, including excavating to and inspecting the surface of the concrete pipe for signs of pitting, cracking or damage;
- Utilize Free-Swimming Electro Magnetic (EM) or Pipe Diver tool technology every 15 years to inspect the inside of the transmission main for damage while the line is in service; and
- Proactively repair joints as required based on the above inspection methods and results.

It is recommended to maintain discussions and open lines of communications with the various approval agencies such as the UTRCA, MNRF, DFO, Ministry of Heritage, Sports, Tourism and Culture Industries, and the Ministry of Environment, Conservation and Parks throughout all phases of design and construction.

Recommended Construction Phasing for the Preferred Long-Term Alternative

It is recommended to construct the new transmission main(s) in several phases to reduce the financial burden to the City, and to reduce traffic congestion and long road closures in major developed areas. The following phasing strategy is suggested and can be modified in the future during preliminary/detailed design:

Phase 1 – Within 0-5 years: The new relocated Chamber 13 be installed on Maitland Street at Regent Street.

Phase 2 – Within 5-15 years: It is recommended that portions of the transmission main be installed when 20 to 30% of the life expectancy of the existing PCCP is remaining, or when an opportunity or a requirement to upgrade portions of roadways along the route is required. Fanshawe Park Road is in relatively good condition and does not require reconstruction for 10 to 15 years.

Phase 3 – Within 15-25 years: All major road and watercourse crossings are on the north to south portion of the transmission main(s) on Adelaide Street. It is preferred that all works on Adelaide Street be completed in one phase to reduce multiple closures of the roadway in the future. Adelaide Street is also relatively new, and reconstruction of the roadway is not required for 15-25 years.

Summary

The Project File Report outlines the process required to ensure that the proposed short- and long-term solutions to the problem and opportunity statement meet the requirements of the *EAA*. The MCEA planning process has not identified any significant environmental concerns that cannot be addressed by incorporating established mitigation measures during construction.

The proposed projects resolve the Problem/Opportunity statement identified in this report. A preliminary evaluation of potential impacts has been included in the evaluation, which indicates minor and predictable impacts that can be addressed by recommended mitigation measures. The proposed mitigation measures will further be developed at detailed design and will form commitments that will be adhered to by the City. Appropriate public notification and opportunity for comment was provided and no comments were received that could not adequately be addressed. Subject to receiving MCEA clearance following the 30-day review period, the City can start the detailed design and permitting-approvals phase and proceed to construction as outlined in the Project File Report.

City of London

Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment – Existing Transmission Main Easement

*Arva Pumping Station to Huron Street Water
Transmission Main Municipal Class Environmental
Assessment Master Plan*

Prepared by:

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Revision History

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2	August 2020	Tara Jenkins	MHSTCI comments
3	April 2021	Tara Jenkins	City of London Heritage Planner comments
4	May 2021	Liam Ryan	City of London Heritage Planner comments, Final Revision

Executive Summary

AECOM Canada Ltd. (AECOM) was retained by the City of London to conduct a Cultural Heritage Report (Cultural Heritage Report) as a support document in the Arva Pumping Station to Huron Street Water Transmission Main Municipal Class Environmental Assessment (hereafter MCEA). The water transmission main study area is in the City of London and in the Municipality of Middlesex Centre. It generally transverses both rural and urban contexts. Historically, it crosses multiple lots and concessions in the former Township of London, Middlesex County, Ontario.

The City of London receives water from the Elgin Area Water Supply System (hereafter EAWSS) and the Lake Huron Water Supply System (hereafter LHWSS). Water from the LHWSS is pumped into the City's distribution system from the north via the Arva Pumping Station and Reservoirs. Roughly 80% of the City's water supply is from LHWSS, making the water transmission mains that transport the water to the City a critical asset to maintain. The City has initiated a MCEA Master Plan and preliminary design for the water transmission main between Arva Pumping Station to Huron Street. The majority of the water transmission main of the aforementioned was constructed in 1966 and ranges in condition, with some sections in deteriorated condition. Therefore, the purpose of the MCEA Master Plan is to develop a short and long-term management plan for the Arva Huron water transmission main.

The Cultural Heritage Report was undertaken to identify municipally, provincially, and federally recognized properties, as well as to identify potential cultural heritage resources or properties within the study area, in order to evaluate the potential impacts that the water transmission main improvements may have on cultural heritage resources. This study was completed according to the guidelines set out in the Ministry of Heritage, Sport, Tourism and Culture Industries (hereafter MHSTCI) *Ontario Heritage Tool Kit: Heritage Resources in the Land Use Planning Process* (2006).

The background research, data collection, and field review conducted for the water transmission main study area determined that 14 above-ground cultural heritage resources are located within and/or adjacent to the study area. Based on the results of the preliminary impact assessment, the following recommendations have been developed:

1. Consult **Table 3** for the results of the preliminary impact assessment. If necessary, if there is a detailed design for a new water transmission main within the proposed 100' easement between Fanshawe Park Rd. and Huron Street, this report should be reviewed by a Qualified Heritage Professional with a confirmation of impacts and mitigation measures of the undertaking on cultural heritage resources identified within and/or adjacent to the study area. Any changes in impacts and mitigation measures, as presented in **Table 3** of this report, will be identified.

2. Where temporary landscape disturbance may occur due to water transmission main maintenance and/or redundancy, restore landscape features associated with CHR 1, CHR 2, CHR 3, CHR 4, CHR 5, CHR 8, CHR 11, and CHR 14 to pre-construction conditions through post-construction landscape treatments to ensure there are no negative impacts to the properties. If the disturbance is substantial, a Qualified Landscape Architect should be retained to conduct a pre-repair conditions assessment and restore the landscape to pre-repair conditions.
3. Repair work, construction activities and staging related to the water transmission main should be suitably planned and undertaken to avoid negative impacts to identified cultural heritage resources (specifically remain within existing and proposed easements). Suitable mitigation measures include establishing no-go zones adjacent to the identified cultural heritage resources and issuing instructions to construction crews to prevent impacts to existing structures.
4. Should detailed design for the proposed undertaking be extended beyond the proposed limits of the 100' easements as outlined on **Figures 3-7**, this report should be updated to confirm impacts of the proposed work on previously identified and potential cultural heritage resources.
5. Should a Preferred Alternative be proposed outside the limits of the study area documented in this report, then a Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment should be completed.

Table of Contents

	page
1. Introduction	1
1.1 Study Purpose	1
1.2 Study Area	1
2. Methodology	5
2.1 Policy Framework	5
2.1.1 Provincial Policy Context	5
2.1.1.1 Ontario Regulation 9/06	6
2.1.2 City of London Municipal Heritage Policies	7
2.1.2.1 City of London's London Plan (2016)	7
2.1.2.2 City of London's Register of Cultural Heritage Resources	8
2.1.2.3 Strategic Plan for the City of London	9
2.1.2.4 Thames Valley Corridor Plan	9
2.1.3 The Thames River Heritage River Designation	10
2.1.4 Middlesex Centre Official Plan	10
2.2 Cultural Heritage Report Study Method	10
2.2.1 Public Consultation	11
3. Historical Overview	13
3.1 Natural Environment and Physical Setting	13
3.2 Historical Context Overview	13
3.2.1 Indigenous Land Use and Settlement	13
3.2.2 Township Survey and Settlement	14
3.2.2.1 London Township	14
3.2.2.2 City of London	15
3.2.3 Historical Mapping Review	16
4. Identification of Cultural Heritage Resources	18
4.1 Study Area Context- Existing Conditions	18
4.2 Description of Cultural Heritage Resources	20
4.2.1 Previously Identified Cultural Heritage Resources	21
4.2.2 Potential Cultural Heritage Resources	21
4.2.3 Summary of Cultural Heritage Resources	22
5. Proposed Undertaking and Impacts	28
5.1 Proposed Undertaking	28
5.2 Screening for Potential Impacts	28
5.3 Potential Impacts of Proposed Work on Cultural Heritage Resources	29
6. Conclusions and Recommendations	38
7. Bibliography	39

Appendix A: Historical Map Set (Figures 8-16)

Appendix B: Description of Cultural Heritage Resources

List of Figures

Figure 1: Location of Study Area, City of London 3
 Figure 2: Location of Study Area on Aerial Photography, City of London 4
 Figure 3: Previously Identified and Potential Cultural Heritage Resources- Sheet 1 of 5 23
 Figure 4: Previously Identified and Potential Cultural Heritage Resources- Sheet 2 of 5 24
 Figure 5: Previously Identified and Potential Cultural Heritage Resources- Sheet 3 of 5 25
 Figure 6: Previously Identified and Potential Cultural Heritage Resources- Sheet 4 of 5 26
 Figure 7: Previously Identified and Potential Cultural Heritage Resources- Sheet 5 of 5 27

List of Tables

Table 1: Cultural Chronology for Indigenous Settlement in the London Area 13
 Table 2: Summary of CHRs within and/or adjacent to the study area 22
 Table 3: Impacts to Identified Cultural Heritage Resources and Recommended Mitigation
 Strategies 31

1. Introduction

1.1 Study Purpose

AECOM Canada Ltd. (AECOM) was retained by the City of London to conduct a Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment (hereafter 'Cultural Heritage Report') as a support document in the Arva Pumping Station to Huron Street Water Transmission Main MCEA (Figure 1). The water transmission main study area is in the City of London and in the Municipality of Middlesex Centre. It generally transverses both rural and urban contexts. Historically, it crosses multiple lots and concessions in the former Township of London, Middlesex County, Ontario.

The City of London receives water from the EAWSS and the LHWSS. Water from the LHWSS is pumped into the City's distribution system from the north via the Arva Pumping Station and Reservoirs. Roughly 80% of the City's water supply is from LHWSS, making the water transmission mains that transport the water to the City a critical asset to maintain. The City has initiated a MCEA Master Plan and preliminary design for the water transmission main between Arva Pumping Station to Huron Street. The majority of the water transmission main of the aforementioned was constructed in 1966 and ranges in condition, with some sections in deteriorated condition. Therefore, the purpose of the MCEA Master Plan is to develop a short and long-term management plan for the Arva Huron water transmission main.

The purpose of this Cultural Heritage Report is to:

- Provide a brief contextual overview of the study area and its development using primary and secondary source material.
- Identify the baseline cultural heritage conditions within the study area.
- Present a built heritage resources and cultural heritage landscapes inventory of known (previously identified) properties.
- Identify potential built heritage resources and cultural heritage landscapes (properties not listed or designated but which may have cultural heritage value or interest).
- Identify preliminary project-specific impacts on the known or potential built heritage resources and cultural heritage landscapes.
- Propose appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts on previously identified and potential cultural heritage resources.

1.2 Study Area

The study area for this Cultural Heritage Report is based on the proposal to provide improvements for access and capacity to the transmission mains between the Arva Pumping Station and Huron Street. The existing easement between the Arva Pumping Station and Fanshawe Park Road is 30.5 m (100 feet) wide and accommodates twinned 1,050 mm prestressed concrete pipes. The easement between

Fanshawe Park Road and Huron Street ranges from 7.5 m (25 feet) to 15.2 m (50 feet) and currently can only accommodate a single 1,050 mm concrete pipe. Access to the transmission main and associated buried infrastructure in this stretch is limited by the width of the easement and proximity to other infrastructure. The proposed plan is to provide additional area between Fanshawe Park Road and Huron Street to access the existing buried transmission mains for repairs, and the possibility of providing redundancy in the Fanshawe to Huron stretch. The proposed plan is to increase the easement to 30.5 m (100 feet) for the entire length of the transmission main where appropriate.

Figure 1: Location of Study Area, City of London

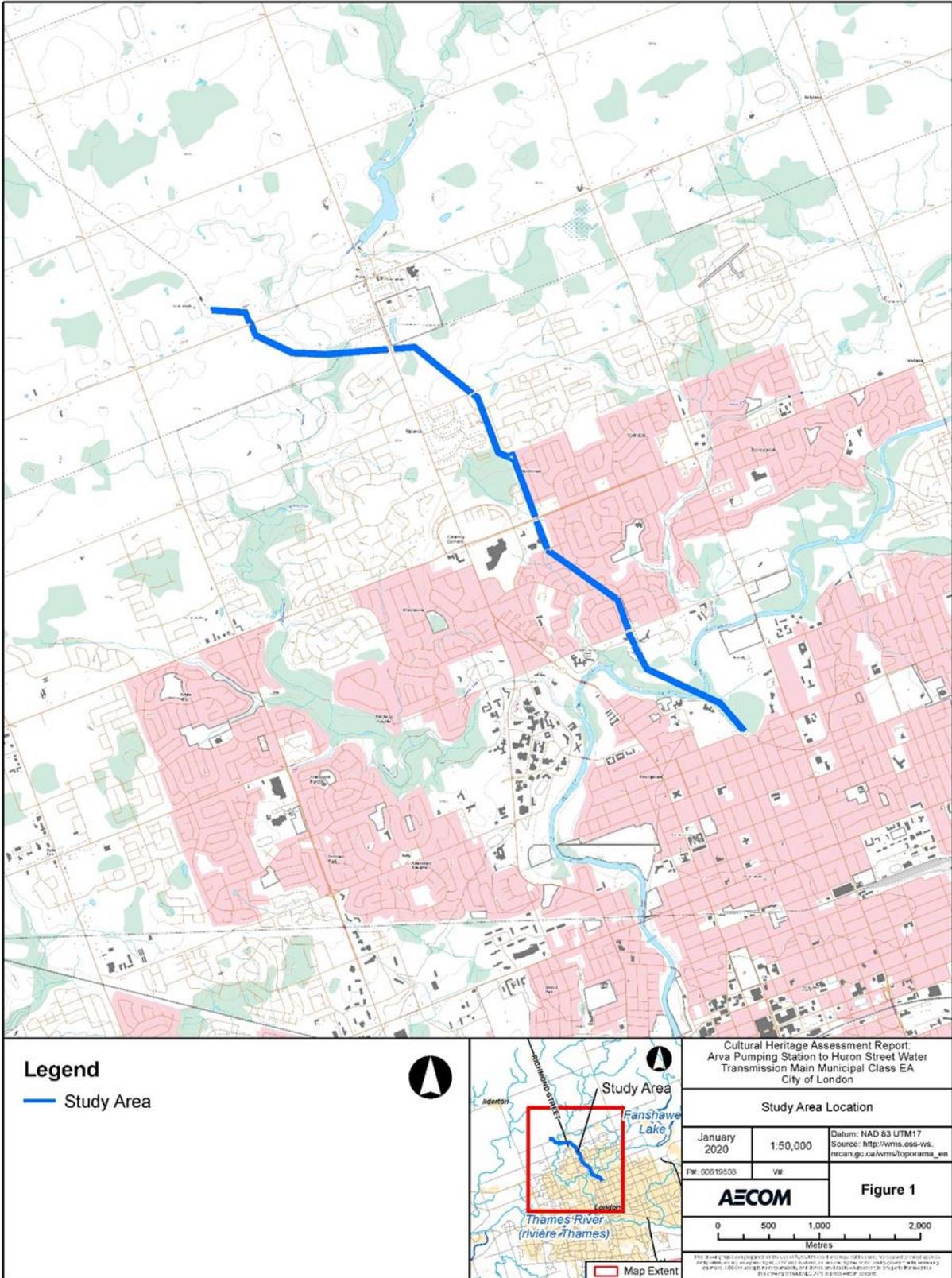
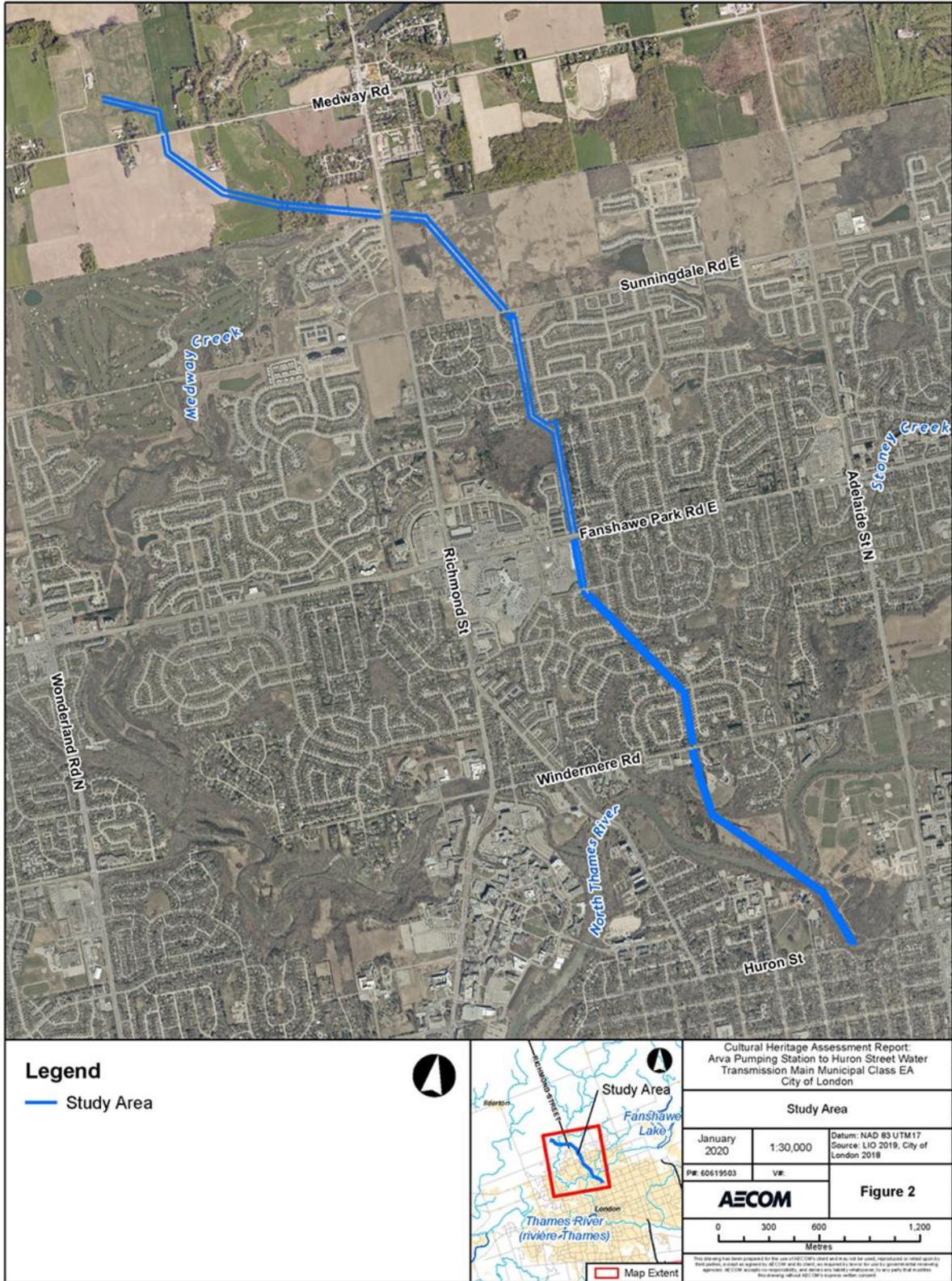


Figure 2: Location of Study Area on Aerial Photography, City of London



2. Methodology

2.1 Policy Framework

2.1.1 Provincial Policy Context

The MHSTCI is charged under Section 2 of the *Ontario Heritage Act* with the responsibility to determine policies, priorities and programs for the conservation, protection and preservation of the cultural heritage of Ontario and has published guidelines to assist in assessing cultural heritage resources as part of an Environmental Assessment. The following guideline documents have informed the preparation of this Cultural Heritage Report:

- *Guidelines for Preparing the Cultural Heritage Resource Component of Environmental Assessments* (MHSTCI 1992);
- *Guidelines on the Man-Made Heritage Component of Environmental Assessments* (MHSTCI 1980);
- *Standards and Guidelines for Conservation of Provincial Heritage Properties* (MHSTCI 2010);
- *Environmental Guide for Built Heritage and Cultural Heritage Landscapes* (MTO 2007); and
- *Ontario Heritage Tool Kit* (MHSTCI 2006).

The MHSTCI published the *Standards and Guidelines for Conservation of Provincial Heritage Properties* (MHSTCI 2010; *Standards and Guidelines* hereafter). These *Standards and Guidelines* apply to properties the Government of Ontario owns or controls that have cultural heritage value or interest. The *Standards and Guidelines* were developed to provide a series of guidelines that apply to provincial heritage properties in the areas of identification and evaluation, protection, maintenance, use, and disposal. Despite this, for the purpose of this Cultural Heritage Report and other municipal projects, the *Standards and Guidelines* provide points of reference to aid in determining heritage significance in the evaluation of properties in a wide variety of contexts.

Similarly, the *Ontario Heritage Tool Kit* (MHSTCI 2006) provides a guide to evaluate heritage properties. It states, to conserve a cultural heritage resource a municipality or approval authority may require a heritage impact assessment and/or a conservation plan to guide the approval, modification, or denial of a proposed development.

This Cultural Heritage Report considers cultural heritage resources in the context of improvements to specified areas, pursuant to the *Environmental Assessment Act*. The *Environmental Assessment Act* (EAA 1990) provides for the protection, conservation and management of Ontario's environment. Under the EAA, "environment" is defined in Subsection 1(c) to include:

- cultural conditions that influence the life of man or a community; and
- any building, structure, machine, or other device or thing made by man.

Additionally, the *Planning Act* (1990) and related *Provincial Policy Statement* (2020) make a number of provisions relating to heritage conservation. One of the general purposes of the *Planning Act* is to integrate matters of provincial interest in provincial and municipal planning decisions. In order to inform all those involved in planning activities of the scope of these matters of provincial interest, Section 2 of the *Planning Act* provides an extensive listing. These matters of provincial interest shall be regarded when certain authorities, including the council of a municipality, carry out their responsibilities under the *Act*. One of these provincial interests is directly concerned with:

- 2.(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.

Part 4.7 of the *Provincial Policy Statement* states that:

The official plan is the most important vehicle for implementation of this Provincial Policy Statement. Comprehensive, integrated and long-term planning is best achieved through official plans.

Official plans shall identify provincial interests and set out appropriate land use designations and policies. To determine the significance of some natural heritage features and other resources, evaluation may be required.

Those policies of particular relevance for the conservation of heritage features are contained in Section 2- Wise Use and Management of Resources, wherein Subsection 2.6 - Cultural Heritage and Archaeological Resources, makes the following provisions:

- 2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

Accordingly, the foregoing guidelines and relevant policy statements were used to guide the scope and methodology of this cultural heritage resource assessment.

2.1.1.1 Ontario Regulation 9/06

Ontario Regulation (O. Reg.) 9/06 provides the *Criteria for Determining Cultural Heritage Value or Interest* under the *Ontario Heritage Act* (R.S.O. 1990, C. O.18). This regulation was created to ensure a consistent approach to the designation of heritage properties under the *Ontario Heritage Act*. All designations under the *Ontario Heritage Act* must meet at least one of the criteria outlined in the regulation.

A property may be designated under Section 29 of the *Ontario Heritage Act* if it meets one or more of the following criteria for determining whether the property is of cultural heritage value or interest:

1. The property has design value or physical value because it
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;
 - ii. displays a high degree of craftsmanship or artistic merit;
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it
 - i. has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture;
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it
 - i. is important in defining, maintaining or supporting the character of an area;
 - ii. is physically, functionally, visually, or historically linked to its surroundings;
 - iii. is a landmark.

2.1.2 City of London Municipal Heritage Policies

2.1.2.1 City of London's London Plan (2016)

The *London Plan* is the City's Official Plan. The *London Plan* sets out an approach for planning in London which emphasizes growing inward and upward, so that the City can reduce the costs of growth, create walkable communities, revitalize urban neighbourhoods and business areas, protect farmlands, and reduce greenhouse gases and energy consumption. The plan sets out to conserve the City's cultural heritage and protect environmental areas, hazard lands, and natural resources. The plan has been approved by the Ontario Ministry of Municipal Affairs.

Specifically related to heritage conservation, the *London Plan* outlines a number of policies related to the conservation of cultural heritage resources within the City. Select policies in the Cultural Heritage section have been appealed to the Ontario Municipal Board (OMB) and are under review, however, despite under appeal, the General Cultural Heritage Policy related to Design should be given consideration:

565_ New development, redevelopment, and all civic works and projects on and adjacent to heritage designated properties and properties listed on the Register will be design to protect the heritage attributes and character of those resources, to minimize visual and physical impact on these resources. A heritage impact assessment will be

required for new development on and adjacent to heritage designated properties and properties listed on the Register to assess potential impacts, and explore alternative development approaches and mitigation measures to address any impact to the cultural heritage resource and its heritage attributes. (Subject to LPAT Appeal)

Within the context of considering potential impact on cultural heritage resources, the Glossary of Terms (Policy 1795) in *The London Plan* defines adjacency as “sites that are contiguous; sites that are directly opposite a cultural heritage resource separated by a laneway, easement, right-of-way, or street; or sites which a proposed development or site alteration has the potential to impact identified visual character, streetscapes or public views as defined within a statement explaining the cultural heritage value or interest of a cultural heritage resource”¹.

The London Plan also provides the following relevant definitions relating to its cultural heritage resources:

Cultural heritage landscape means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Aboriginal Community. The area may involve features such as structures, spaces, archaeological sites, or natural elements that are valued together for their interrelationship, meaning or association. Such a cultural heritage landscape is valued by Londoners and is of significance to an understanding of the histories of a people or place.

Cultural heritage resource means a human work or a place that gives evidence of human activity or has spiritual or cultural meaning or value, and which has been determined to have historic value. Cultural heritage resources include both the physical and intangible resources, properties protected under the Ontario Heritage Act, built heritage resources, cultural heritage landscapes, archaeological resources, paleontological resources and both documentary and material heritage.

Conservation of cultural heritage resources means actions or processes that are aimed at safeguarding the heritage attributes of a cultural heritage resource so that it retains its cultural heritage value or interest and extends its physical life. This may involve preservation, rehabilitation, restoration or a combination of these actions or processes.

2.1.2.2 City of London’s Register of Cultural Heritage Resources

In accordance with the *Ontario Heritage Act*, in consultation with the London Advisory Committee on Heritage (LACH), City Council approves and maintains a Register listing properties of cultural heritage value or interest (London Plan 2016 557_). The Register is a living document subject to change. The City of London’s *Register of Cultural Heritage Resources* (2019), also known as the City of London Inventory of Heritage Resources, and *CityMap* (www.maps.london.ca) are reviewed in this Cultural Heritage

¹ Policy 1795 is currently subject to Local Planning Area Tribunal (LPAT) appeal PL170100.

Report to locate previously identified cultural heritage resources within the study area and collect any relevant information. The Register includes heritage listed properties (Section 27 of the *Ontario Heritage Act*), individually designated heritage properties (under Part IV of the *Ontario Heritage Act*), and properties designated as part of a Heritage Conservation District (under Part V of the *Ontario Heritage Act*). All properties included on the Register are believed to have potential cultural heritage value or interest.

2.1.2.3 *Strategic Plan for the City of London*

The *Strategic Plan for the City of London (2015-2019)* sets out a broad direction for the future of London. It identifies London City Council's vision, mission, values, strategic areas for focus and the specific strategies that define how Council and Administration will respond to the needs and aspirations of Londoners. As such, as part of the City's initiative for "Building a Sustainable City," the Strategic Plan identifies the management of upgrading of transportation infrastructure such as heritage bridges, and more specifically, the Heritage Bridge Preservation Strategy (Blackfriars Bridge and Meadowlily Footbridge) as a part of its focus on robust infrastructure.

2.1.2.4 *Thames Valley Corridor Plan*

Lastly, the *Thames Valley Corridor Plan (2011)* is a key planning tool that provides recommendations on enhancing and protecting the corridors features and functions. Its vision is the following:

The Thames Valley Corridor is London's most important natural, cultural, recreational and aesthetic resource. The City and community partners will preserve and enhance the natural environment, Thames River health, vistas, beauty and cultural heritage while accommodating compatible infrastructure, accessibility and recreation.

The Plan makes recommendations on valley crossings that may be relevant to this Cultural Heritage Report and are as follows:

B-1 Maintain and enhance views from the bridges into the Thames River Valley, and views of the bridges from existing vantage points. New or reconstructed bridges or valley crossings should create new vistas into the valley and create additional vantage points where possible.

B-2 New or reconstructed bridges or valley crossings should respect and protect the adjacent natural heritage features and functions, and methods for minimizing impacts should be employed in the design and construction of all transportation, communication, sewerage or other infrastructure that cross the valley.

2.1.3 The Thames River Heritage River Designation

The Thames River was formally designated a Canadian Heritage River on August 14, 2000. The designation was announced by the Minister of Canadian Heritage, the Honourable Sheila Copps and Ontario's Minister of Natural Resources, the Honourable John Snobelen. The Thames River was recognized as a heritage river for its outstanding contributions to the country's cultural heritage, natural heritage, and recreational opportunities. The broad goal of managing the Thames as a Canadian Heritage river is: "To increase the appreciation, enjoyment and stewardship of the natural, and cultural heritage and recreational opportunities of the Thames River and its watershed through community cooperation and involvement" (Quinlan 2013:2). The water transmission main currently crosses the North Branch of the Thames River.

2.1.4 Middlesex Centre Official Plan

The Middlesex Centre *Official Plan* (OP) has policies on culture and heritage features under Section 9.5 of the OP (pp.82-83). The OP states that a goal of the cultural heritage policies is to encourage the identification, restoration, protection, maintenance, and enhancement of the Municipality's cultural heritage resources. Development adjacent to built heritage resources or cultural landscapes is encouraged to be sensitively scaled and designed relative to the heritage feature (9.5.2.b.).

2.2 Cultural Heritage Report Study Method

The Cultural Heritage Report was undertaken according to the guidelines identified in the MHSTCI *Ontario Heritage Tool Kit: Heritage Resources in the Land Use Planning Process*. While completing the Cultural Heritage Report, AECOM undertook the following tasks:

- A review of municipal, provincial, and federal heritage registers and inventories, including the City of London's *Register of Cultural Heritage Resources* (2019), and including *CityMap*;
- A review of several online resources including:
 - The inventory of Ontario Heritage Trust easements
 - The Ontario Heritage Trust's *Ontario Heritage Plaque Guide*
 - The Ontario Heritage Trust's *Ontario Heritage Act Register*
 - *Ontario's Historical Plaques* website
 - Inventory of known cemeteries/burial sites in the Ontario Genealogical Society's online databases;
 - Parks Canada's *Canada's Historic Places* website
 - Parks Canada's *Directory of Federal Heritage Designations*
 - Canadian Heritage River System
 - United Nations Educational, Scientific and Cultural Organization (UNESCO) World Heritage Sites.
- Preparation of a land use history of the study area based on a review of primary and secondary sources;

- Consultation with members of the community with knowledge regarding the community in general or potential cultural heritage resources;
- A field review to confirm the location of previously identified cultural heritage resources and to identify cultural heritage resources that have not been previously identified on federal, provincial, or municipal databases;
- A preliminary analysis of the cultural heritage value or interest of identified potential heritage properties according to the criteria outlined in *Ontario Regulation 9/06* (O. Reg. 9/06);
- Analysis of potential adverse impacts according to the guidelines including the MHSTCI *Ontario Heritage Tool Kit*;
- Preparation of recommendations to identify potential mitigation strategies in order to avoid or minimize impacts to identified or potential heritage properties; and
- Preparation of the Cultural Heritage Report (Cultural Heritage Report).

In addition, several investigative criteria are utilized during the field review to appropriately identify potential above-ground cultural heritage resources. These investigative criteria are derived from provincial guidelines, definitions, and professional experience. During the EA, a built structure or landscape is identified as a cultural heritage resource (hereafter CHR) if it is considered to be 40 years or older, and if the resource has potential to meet at least one of the criteria for Design/Physical Value, Historical/Associative Value, and/or Contextual Value under *Ontario Regulation 9/06* (see Section 2.2.1.1). If a resource meets one of these criteria, it will be identified as a cultural heritage resource and is subject to further research where appropriate and when feasible. The use of a 40-year-old threshold is a guiding principle when conducting a preliminary identification of cultural heritage resources (MHSTCI 2016). While identification of a resource that is 40 years old or older does not confer outright heritage significance, this threshold provides a means to collect information about resources that may retain heritage value. Similarly, if a resource is slightly younger than 40 years old, this does not preclude the resource from retaining heritage value. In addition to the 40-year rule, the *Criteria for Evaluating Potential for Built Heritage Resources and Cultural Heritage Landscapes, a Checklist for the Non-Specialist* (MHSTCI 2016) and professional judgement also were used to screen for potential cultural heritage resources.

2.2.1 Public Consultation

The following stakeholders were contacted to gather information on potential cultural heritage resources, active and inactive cemeteries, and areas of identified Indigenous interest within and/or adjacent to the study area:

- Kyle Gonyou and Micheal Greguol, City of London Heritage Planners, were contacted to gather any information on potential cultural heritage resources or concerns within and/or adjacent to the study area in the City of London (email communication January 26 and 31, 2020). In response, they verified the cultural resources were identified through the background search and provided some additional background information on 1836 Richmond Street.

- Scott Mairs, Director of Community Services, Middlesex Centre, was contacted to gather information on previously identified cultural heritage resources within the study area in the Middlesex Centre (January 27, 2020). Mairs indicated that the municipality did not have an official Heritage Register to provide AECOM at the time of this report.
- The Ministry of Heritage, Sport, Tourism, and Culture Industries was contacted, and it was confirmed that there are no properties designated by the Ministry and MHSTCI is not aware of any provincial heritage properties within the study area (email communication January 27 and 29 2020)² .

² Contacted at registrar@ontario.ca

3. Historical Overview

3.1 Natural Environment and Physical Setting

The modern physiography of southern Ontario is largely a product of events of the last major glacial stage and the landscape is a complex mosaic of features and deposits produced during the last series of glacial retreats and advances prior to the withdrawal of the continental glaciers from the area.

Southwestern Ontario was finally ice free approximately 12,500 years ago. The landscape of southern Ontario can be subdivided into physiographic regions based on the physiographic characteristics of the geographic areas. These characteristics have played important roles in the evolution of the landscape and settlement within the respective regions (Chapman and Putnam 1984:190).

The study area is located within the Stratford Till Plain physiographic region (Chapman & Putnam 1984:133). The region is described as a broad clay plain of 2,2205 square kilometres, extending from London in the south to Blyth and Listowel in the north with a projection toward Arthur and Grand Valley. It is an area of ground moraine interrupted by several terminal moraines. The moraines are more closely spaced in the southwestern portion of the region. Throughout the area the till is fairly uniform, being a brown calcareous silty clay whether on the ridges or the more level ground moraine. The region is a product of the Huron ice lobe. Some of the silt and clay is calcareous rock flour, probably a good deal of it coming from previously deposited varved clays of the Lake Huron Basin.

3.2 Historical Context Overview

3.2.1 Indigenous Land Use and Settlement

Southern Ontario has a cultural history that begins approximately 11,000 years ago. The land now encompassed by the City of London has a cultural history which begins approximately 10,000 years ago and continues to the present. Table 1 provides a general summary of the history of Indigenous land use and settlement of the area³.

Table 1: Cultural Chronology for Indigenous Settlement in the London Area

Archaeological Period	Time Period	Characteristics
Early Paleo	9000-8400 BC	<ul style="list-style-type: none"> Fluted Points Arctic tundra and spruce parkland, caribou hunters

³While many types of information can inform the precontact settlement of the City of London, this summary table provides information drawn from archaeological research conducted in southern Ontario over the last century. As such, the terminology used in this review relates to standard archaeological terminology for the province rather than relating to specific historical events within the region. The chronological ordering of this summary is made with respect to two temporal referents: BCE – before Common Era and CE – Common Era.

Archaeological Period	Time Period	Characteristics
Late Paleo	8400-8000 BC	<ul style="list-style-type: none"> Holcombe, Hi-Lo and Lanceolate Points Slight reduction in territory size
Early Archaic	8000-6000 BC	<ul style="list-style-type: none"> Notched and Bifurcate base Points Growing populations
Middle Archaic	6000-2500 BC	<ul style="list-style-type: none"> Stemmed and Brewerton Points, Laurentian Development Increasing regionalization
Late Archaic	2000-1800 BC	<ul style="list-style-type: none"> Narrow Point Environment similar to present
	1800-1500 BC	<ul style="list-style-type: none"> Broad Point Large lithic tools
	1500-1100 BC	<ul style="list-style-type: none"> Small Point Introduction of bow
Terminal Archaic	1100-950 BC	<ul style="list-style-type: none"> Hind Points, Glacial Kame Complex Earliest true cemeteries
Early Woodland	950-400 BC	<ul style="list-style-type: none"> Meadowood Points Introduction of pottery
Middle Woodland	400 BC – AD 500	<ul style="list-style-type: none"> Dentate/Pseudo-scallop Ceramics Increased sedentism
	AD 550-900	<ul style="list-style-type: none"> Princess Point Introduction of corn horticulture
Late Woodland	AD 900-1300	<ul style="list-style-type: none"> Agricultural villages
	AD 1300-1400	<ul style="list-style-type: none"> Increased longhouse sizes
	AD 1400-1650	<ul style="list-style-type: none"> Warring nations and displacement
Contact Period	AD 1600-1875	<ul style="list-style-type: none"> Early written records and treaties
Historic	AD 1749-present	<ul style="list-style-type: none"> European settlement (French and English)

3.2.2 Township Survey and Settlement

Historically, the water transmission main study area was located in the former London Township, Middlesex County in part of Lots 18 and 19, Concession VII, Lots 16 and 18, Concession VI, Lot 15, Concession V, Lots 14 and 15, Concession IV, and Lots 14 and 15, Concession III. The study area is generally located in the north portion of the City of London in an area that has rapidly evolved from an agricultural area to a developed residential area.

3.2.2.1 London Township

Working alongside Colonel Thomas Talbot, Colonel Mahlon Burwell initiated the first formal survey of London Township in 1810, one of the first townships in Middlesex County to be extensively settled. This

survey initially focused on the first six concessions north to Sunningdale Road, but was suspended when war erupted in 1812. The northern section of the township was surveyed following the war, with the first settlers arriving between 1817 and 1818. The first land patent, however, dates to 1812 and relates to lands that formed part of Burwell's initial survey. Among those individuals who received the earliest patents were Burwell and the honorable John Hale. These grants were given in lieu of payment for services and loyalty, as both gentlemen did not plan to homestead on these lots, but instead intended to sell them to arriving immigrants (LTHBC 2001:11-14; H.R. Page & Co. 1878:9).

In 1818, a group of Irish settlers arrived in London Township and established homesteads on lots in the 4th, 5th, and 6th concessions. Their emigration was organized by Richard Talbot of Tipperary, Ireland, who had spent a great deal of time working on behalf of the government to find families who were interested in relocating to Upper Canada. Richard Talbot took the advice of his kinsman Colonel Thomas Talbot and brought these families to London Township which was said to be one of the most productive agricultural areas in the Thames River Valley (LTHBC 2001:13-14). By 1851, much of London Township had been settled.

3.2.2.2 *City of London*

The Thames River had a profound impact on the growth of London. The city developed at the junction of the north and south branches of the river, and as a result bridge construction has been important in connecting London to the river. London underwent a number of population booms throughout its history beginning when the 32nd Regiment was stationed in London in 1838. Development of saw, cording, and grist industries powered by the Thames River and Medway Creek assisted the city's growth in the mid 1800's, bolstered by the arrival of the railways in the 1850s, including the Great Western Railway in 1853, the London Port Stanley Railway in 1856, and the Grand Trunk Railway in 1858. The railway brought an influx of immigrants and promoted community commerce and travel. Records suggested London grew by 239 percent between 1840 and 1850 as the population increased from 2,078 to 7,035 due to the entry of British immigrants to Upper Canada (Whebell 1992). Steady growth in London continued as the city was established as a financial centre for the surrounding regions with large manufacturing industries taking root, including the Carling and Labatt's Brewery and the London Cigar Industry. London was incorporated as a village in 1840 and by 1855 the population had leapt to 10,000 at which time it officially became a city (Armstrong 1986).

In 1961, a major annexation of portions of the townships surrounding the City of London, including London Township, resulted in the addition of land and close to 60,000 people to the City. A portion of the study area was included in this annexation, including the Masonville area. As a result, the City grew from approximately 28 to 160 square kilometres. In the 1970s, Richmond Street (Highway 4)⁴ and Fanshawe Park Road (Highway 22) began to serve as major arterial roads for urban London. In addition, another annexation in 1993 occurred which forms the current northern City Limit, just north of Sunningdale Road.

⁴ In 2017, Highway 4 was rerouted through London which shifted the route along Richmond Street, Sunningdale Road, and Wonderland Road. This new route maintains a connection with the north and south of the city.

3.2.3 Historical Mapping Review

The 1850 Sketch of London Township (Nath. Steevens 1850), the 1862 Tremaine map of the Middlesex County (Tremaine 1862) and the 1878 *Illustrated Historical Atlas of Middlesex County* ('Atlas Map'; H.R. Page and Co. 1878) were reviewed to determine the potential for the presence of cultural heritage resources within the study area from the 19th century (Figures 8 and 9). The historical map set is provided in **Appendix A (Figures 8-16)**.

The 1850 Sketch of London Township (Figure 8), shows the land adjacent to the study area as rural in nature with reference to roads, some farmsteads with owner's names, and wooded areas. The main thoroughfares are shown as concession lines. The 1862 Tremaine map (Figure 9) illustrates that the land in the vicinity of the study area had been surveyed into parcels, primarily for agricultural purposes. Most of the land surrounding the study area was occupied, however few structures are shown on the map. The study area intersects a portion of the settlement area of Masonville, around Proof Line Road (now Richmond Street) and Fanshawe Park Road. Masonville was a 19th century manufacturing centre that had three or four factories (Lewis 1958). Within the Masonville settlement area, the study area crosses between some rural residential lots that are shown as surveyed in 1862. Southwards, the study crosses the North Branch of the Thames River and connects to Huron Street, the edge of London's urban settlement at that time.

The 1878 Atlas Map (Figure 10) shows a similar configuration to the earlier Tremaine map. The study area corridor passes primarily through a rural landscape, most of which is under cultivation. The study area does not intersect any illustrated structures; however, a number of farmhouses and orchards are adjacent to the study area⁵.

In addition to 19th century mapping, historical topographic mapping and an aerial photograph from the twentieth century were examined. This report presents topographic maps from 1915, 1928, 1936, 1973 and an aerial photograph from 1954. These do not represent the full range of maps consulted for the purpose of this study, but were judged to cover the full range of land uses that occurred in the area during each period.

The 20th century mapping revealed that the study area retained a mostly rural agricultural character throughout the 20th century. The 1915 NTS Map (Figure 11) shows farmsteads along the major concession roads in the vicinity of the study area corridor. The study area mainly cuts through the interior of lots in a north-south direction and does not follow a transportation route. In addition, the 1915 NTS Map also shows the settlement areas of Arva, Masonville and Broughdale. It appears that the rural residential lots associated with Masonville as shown on earlier 19th century mapping had not been developed. The 1928 and 1936 NTS Maps (Figure 12 and Figure 13) and the 1954 aerial (Figure 14)

⁵ It should be noted, however, that not all features of interest were mapped systematically in the Ontario series of historical atlases. They were often financed by subscription limiting the level of detail provided on the maps. Moreover, not every feature of interest would have been within the scope of the atlases. In addition, the use of historical map sources to reconstruct/predict the location of former features within the modern landscape generally begins by using common reference points between the various sources. The historical maps are geo-referenced to provide the most accurate determination of the location of any property on a modern map. The results can be often imprecise, as there are numerous potential sources of error inherent in such a process, including differences of scale and resolution, and distortions introduced by reproduction of the sources.

shows a similar configuration to the early 20th century map thus demonstrating that there was little urban sprawl north of London.

Major development did not take place in the vicinity of the study area until well after annexations in 1961 when Masonville was annexed into the City of London. The 1973 NTS Map (Figure 15) shows some infilling of structures along Richmond Street and Fanshawe Park Road but overall minimal City development on the north side of the Thames River. The 1973 NTS Map shows the Arva Pumping Station, the footprint of the underground reservoir and the water transmission main ("Water Pipeline [underground]"). The water transmission main route in 1973 travels primarily through a rural context, some wooded areas and across the Thames River and Medway Creek. It crosses four east-west concession roads (Windemere Rd, Fanshawe Park Rd, Sunningdale Rd, and Medway Rd.). The 1973 NTS Map shows the City Limit between the north and south half of Concession V between Fanshawe Park Road to the south and Sunningdale Road to the north. The 1986 aerial photograph (Figure 16) shows a general configuration to the 1973 NTS Map (Figure 15), indication much of the development in the vicinity of the study area commenced in the later part of the 1980s.

Currently, as shown on current aerial photography (Figures 3-7), only the north portion of the study area is within the Municipality of Middlesex Centre and is still rural in land use. The current City boundary, set in 1993, is between the north and south half of lots in Concession VI, north of Sunningdale Road and south of Medway Road. The portion of the study area within the City boundary has become urban in land use since the 20th century.

In summary, a review of historical mapping reveals that the context of the study area was primarily within a rural, agricultural landscape throughout the 19th and 20th centuries.

4. Identification of Cultural Heritage Resources

4.1 Study Area Context- Existing Conditions

On January 28, 2020, a field review of the study area was undertaken by Tara Jenkins, Cultural Heritage Specialist, to document existing conditions from the existing rights-of-way. The existing conditions are summarized below. Select photographs and identified cultural heritage resources are summarized and mapped in **Section 4.2.3** (Figures 3-7). A detailed inventory of the cultural heritage resources can be found in **Appendix B**.

Contextually, the water transmission main study area is within the urban boundary of the City of London, and just north of the City boundary in the Municipality of Middlesex Centre. For ease of description the study area will be described from a generally north to south direction.

At the most northern portion of the study area, a small section is in the Municipality of Middlesex Centre which can be characterized as a rural context. From the Arva Pumping Station, the water transmission main easement crosses rural agricultural properties (Photograph 1). The study area also crosses Medway Road, a rural roadscape with two lanes of divided vehicular traffic lined with hydro poles, vegetation, adjacent farmscapes, and active agricultural lands (Photograph 2). The farmhouses in Middlesex Centre, adjacent to the study area, are located in the vicinity of the farmhouses shown on the 1878 Atlas Map (Figure 10; Section 3.2.3). As the study area continues south, the water transmission main easement enters the City of London boundary, just north of Sunningdale Road.

At the northern end of the City, the area has undergone significant urban development. North of the Thames River, the study area, rural in 1986, has transitioned from a primarily rural context to commercial and residential land uses. Development has occurred at the historic crossroads of Masonville, at Richmond Street and Fanshawe Park Road. There is no visible sign of buildings related to the 19th century settlement of Masonville. The crossroads now largely consist of commercial structures dating from the 20th century. Within the City, the study area passes through and adjacent to modern late 20th century suburban neighbourhoods, and institutional and commercial properties. Some of the existing water transmission main easement is within designated urban pathways, such as Uplands Trail (Photograph 3). The study area within the urban boundary in general consists of paved roadways, lined with curbs and sidewalks, and landscaping associated with urban development (Photograph 5). At the south end of the easement, the study area crosses the North Branch of the Thames River and a portion falls within the wooded area associated with the Thames Valley Trail (Photograph 6).

In general, many of the existing farmhouses appear to date to the 19th century, however, most residential properties appear to have been severed more recently and represent urban growth into the 21st century.



Photograph 1: View of the Arva Pumping Station from Medway Road, looking north.

Photograph 2: Medway Road, looking east.



Photograph 3: View of water transmission main easement from Sunningdale Road E., looking south.

Photograph 4: View of water transmission main easement within the Uplands Trail corridor, looking west from Fanshawe Park Road.



Photograph 5: View of the water transmission main easement, looking east from Fanshawe Park Road.

Photograph 6: View of the water transmission main easement within the Thames Valley Trail system from Huron Street, looking northeast.

4.2 Description of Cultural Heritage Resources

Resources can be classified and defined as either built heritage resources or cultural heritage landscapes, according to the following definitions provided within the *Provincial Policy Statement* (2020):

- **Built Heritage Resource** – means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers.
- **Cultural Heritage Landscape** – means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.

For the purpose of this Cultural Heritage Report, the term CHRs is used in order to identify a property that may contain built heritage resources and/or cultural heritage landscapes that may be considered a potential cultural heritage value or interest. These above-ground cultural heritage resources identified within this study are documented on **Figures 3-7** and described in **Appendix B**. The following explanatory notes provide additional clarification on the information contained in the Appendix:

- The cultural heritage resources are generally numbered from north to south along the study area corridor;
- Each cultural heritage resource has been assigned a CHR identification number which includes either a built heritage resource or cultural heritage landscape;
- The municipal address locates a cultural heritage resource;
- A brief description of each cultural heritage resource, general consisting of construction period, building materials, roof shape, number of storeys, architectural styles, or influence and alteration- all based on information that could be viewed from public rights-of-way; and
- Heritage status refers to a resource or property’s protection or recognition mechanisms, including designation under the *Ontario Heritage Act* or listing on a municipal heritage register.

For the purposes of resource identification, potential cultural heritage resources were identified by their property boundaries, as heritage properties are typically identified and protected under municipal or provincial designating by-laws which are formed on the basis of real property. As a result, the entire properties were identified.

All of the cultural heritage resources can be categorized as either:

- **Previously Identified Cultural Heritage Resource** – consisting of municipally, provincially, or federally designated or listed properties that have an existing level of heritage protection, designation, or recognition (Section 4.2.1);
- **Potential Cultural Heritage Resource** – consisting of properties that contain buildings or structures that appear to be older than 40 years of age, and therefore have the potential to be evaluated for their cultural heritage value or interest (Section 4.2.2).

4.2.1 Previously Identified Cultural Heritage Resources

AECOM reviewed available municipal, provincial, and federal heritage registers and inventories and conducted background research in order to identify recognized heritage properties within or adjacent to the study area. AECOM also consulted with City Heritage Planning Staff to provide input regarding the identification of recognized and potential cultural heritage resources within or adjacent to the study area. A total of eight cultural heritage resources have been previously identified and are located within and/or adjacent to the study area. Of the eight, one cultural heritage resource is designated under Part IV of the *Ontario Heritage Act*, six are Listed on the City of London's *Register of Cultural Heritage Resources (2019)* and one, the Thames River, is listed as a Canadian Heritage River. The previously identified cultural heritage resources are listed below and are more fully documented in **Appendix B**.

4.2.2 Potential Cultural Heritage Resources

In addition to previously identified cultural heritage resources, during the field review, AECOM used the MHSTCI rolling 40-year rule, and if the resource has potential to meet at least one of the criteria for Design/Physical Value, Historical/Associative Value, and/or Contextual Value under *Ontario Regulation 9/06* (see Section 2.2.1.1) to identify potential cultural heritage resources within and/or adjacent to the study area. A total of six properties were identified as containing potential cultural heritage resources within and/or adjacent to the study area during the field assessment as having potential cultural heritage value or interest.⁶ The potential cultural heritage resources are listed below and are more fully documented in **Appendix B**.

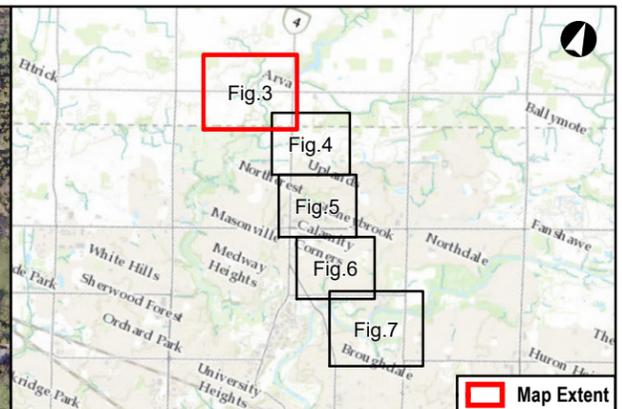
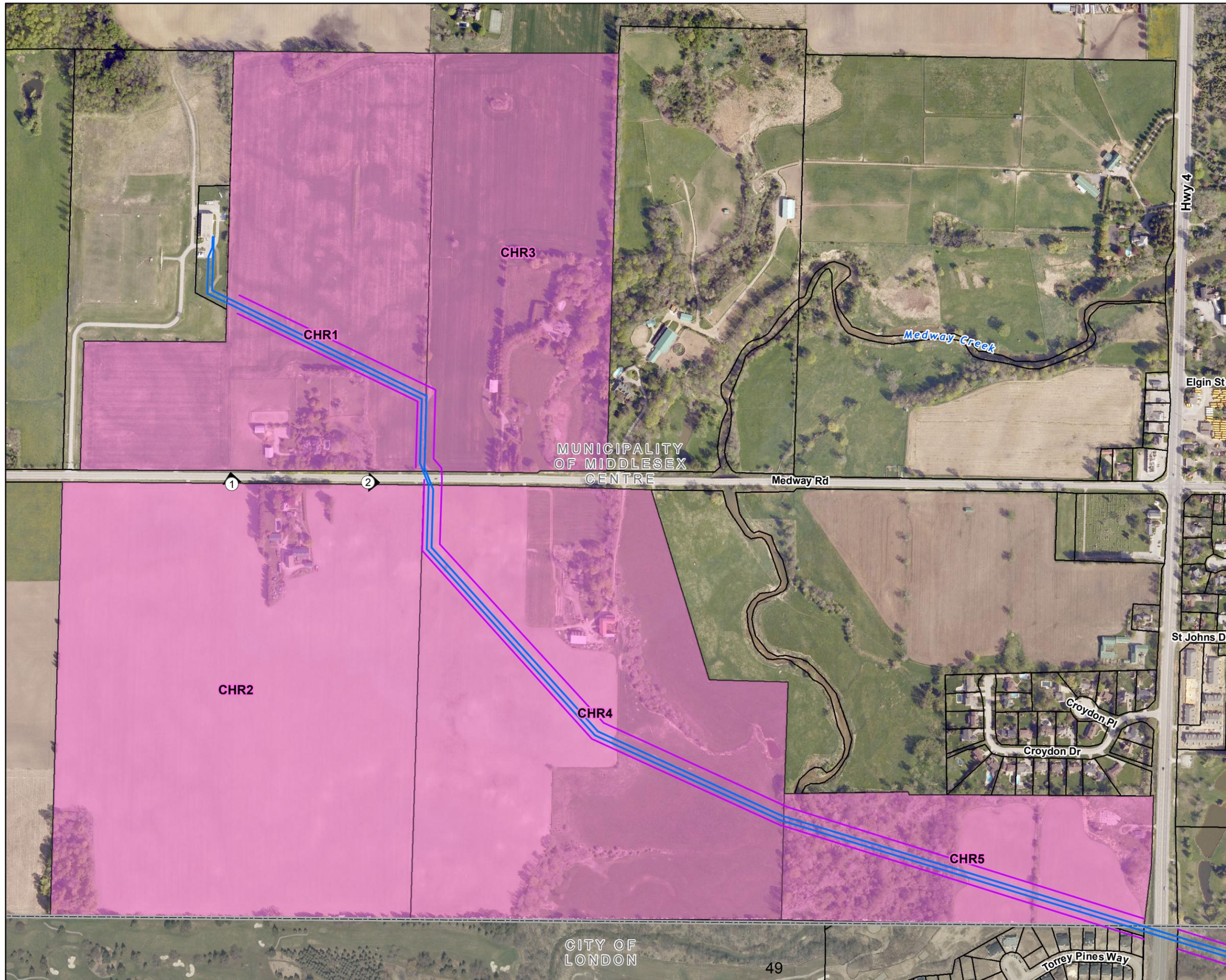
⁶ For the purposes of this study, the definition of "adjacent" provided in the London Plan, 2016, was utilized (see Section 2.1.2.1 of this report).

4.2.3 Summary of Cultural Heritage Resources

Based on the results of the background research and field review, a total of 14 above-ground CHRs were identified within and/or adjacent to the study area. These cultural heritage resources are comprised of four residences, four farmscapes, four institutions, one institution/place of worship, one place of worship, and one Canadian Heritage River (Table 2). A detailed inventory of these cultural heritage resources is presented in **Appendix B** and mapping of the features along with photographic plate locations are provided below, in **Figures 3-7**.

Table 2: Summary of CHRs within and/or adjacent to the study area

Feature ID	Location/Address	Resource Type	Heritage Recognition
CHR 1	14038 Medway Road	Farmscape	Potential Cultural Heritage Resource
CHR 2	14037 Medway Road	Farmscape	Potential Cultural Heritage Resource
CHR 3	14104 (14106) Medway Road	Farmscape	Potential Cultural Heritage Resource
CHR 4	14143 Medway Road	Farmscape	Potential Cultural Heritage Resource
CHR 5	21468 Richmond Street	Residence	Potential Cultural Heritage Resource
CHR 6	1836 Richmond Street	Residence	Heritage Listed Property
CHR 7	551 Windermere Road	Institutional	Heritage Listed Property
CHR 8	1040 Waterloo Street- St. Peter's Seminary	Institutional/Place of Worship	Designated Heritage Property
CHR 9	1070 Waterloo Street- London Diocesan Centre	Institutional	Heritage Listed Property
CHR 10	370 Huron Street/1071 Colborne Street- Aquinas House	Institutional/Place of Worship and Residence	Heritage Listed Property
CHR 11	432 Huron Street	Residence	Potential Cultural Heritage Resource
CHR 12	520 Huron Street	Residence	Heritage Listed Property
CHR 13	534 Huron Street	Place of Worship	Heritage Listed Property
CHR 14	Thames River	Watercourse	Canadian Heritage River



Legend

- Photo Location and Direction
- Designated Heritage Property
- Listed Heritage Property
- Potential Cultural Heritage Resource (CHR)
- Canadian Heritage River
- Parcel Boundary
- Municipal Boundary
- Transmission Main

Width and Type of Easement

- 100' Investigation Area
- Existing ~25' Easement Attached to Title
- Existing 50' Easement Attached to Title
- Existing 100' Easement Attached to Title
- City Owned 100' Easement
- Future ~10' Easement addition Attached to Title

0 62.5 125 250
Meters

Cultural Heritage Assessment Report:
Arva Pumping Station to Huron Street Water
Transmission Main Municipal Class EA
City of London

Previously Identified and
Potential Cultural Heritage Resources

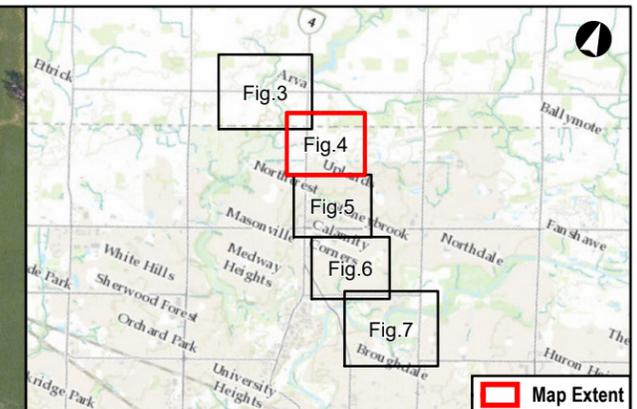
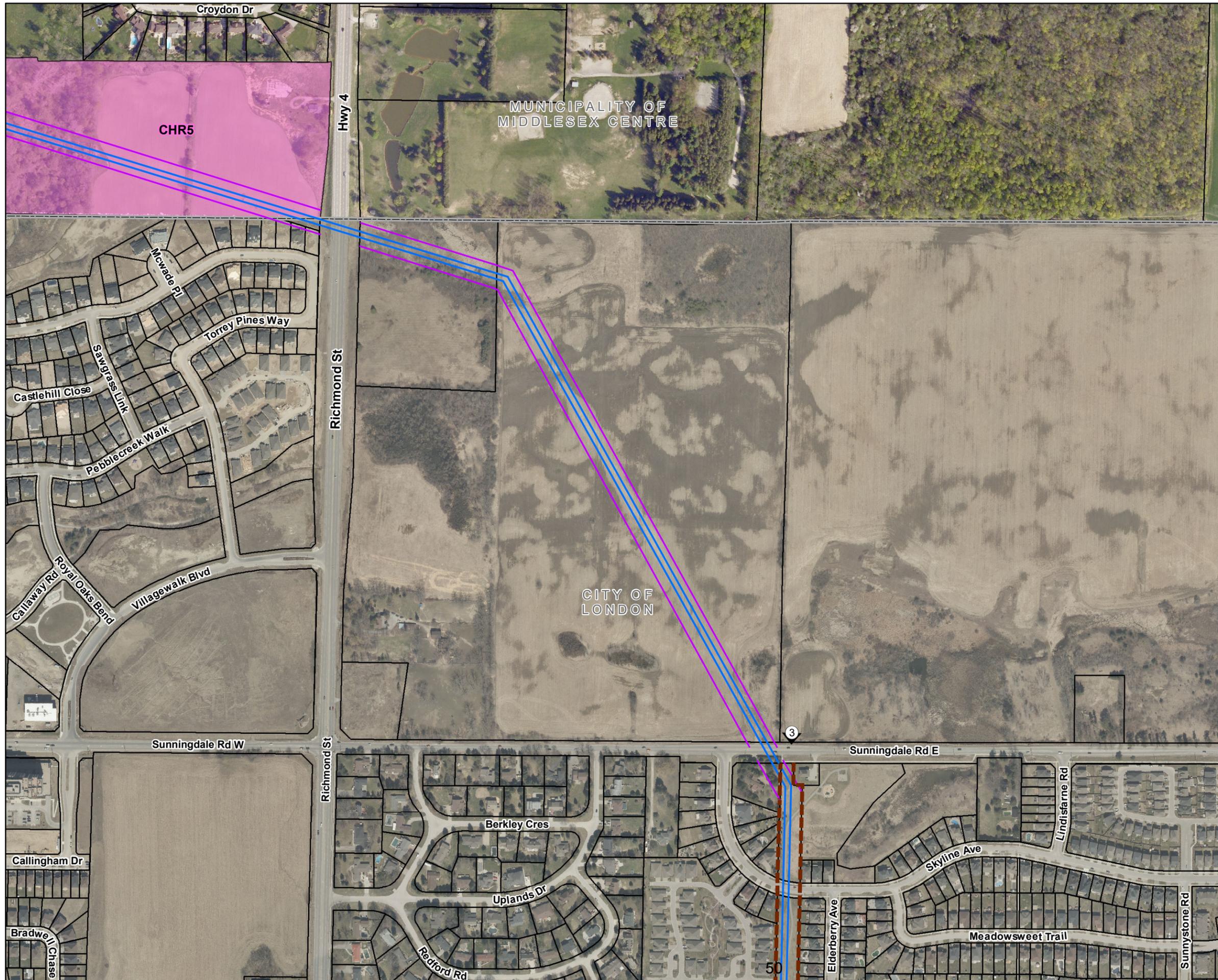
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AECOM

Figure 3

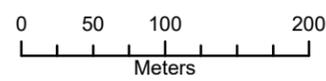
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Legend

- Photo Location and Direction
 - Designated Heritage Property
 - Listed Heritage Property
 - Potential Cultural Heritage Resource (CHR)
 - Canadian Heritage River
 - Parcel Boundary
 - Municipal Boundary
 - Transmission Main
- Width and Type of Easement**
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 - Existing 50' Easement Attached to Title
 - Existing 100' Easement Attached to Title
 - City Owned 100' Easement
 - Future ~10' Easement addition Attached to Title



Cultural Heritage Assessment Report:
Arva Pumping Station to Huron Street Water
Transmission Main Municipal Class EA
City of London

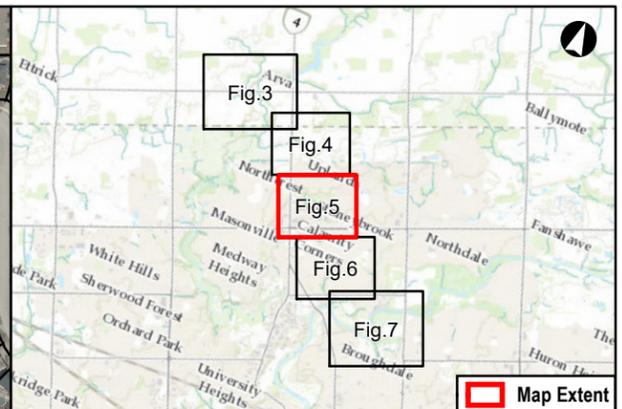
Previously Identified and
Potential Cultural Heritage Resources

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AECOM Figure 4

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Legend

- Photo Location and Direction
 - Designated Heritage Property
 - Listed Heritage Property
 - Potential Cultural Heritage Resource (CHR)
 - Canadian Heritage River
 - Parcel Boundary
 - Municipal Boundary
 - Transmission Main
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 - Existing 100' Easement Attached to Title
 - City Owned 100' Easement
 - Future ~10' Easement addition Attached to Title
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Meters

Cultural Heritage Assessment Report:
Arva Pumping Station to Huron Street Water
Transmission Main Municipal Class EA
City of London

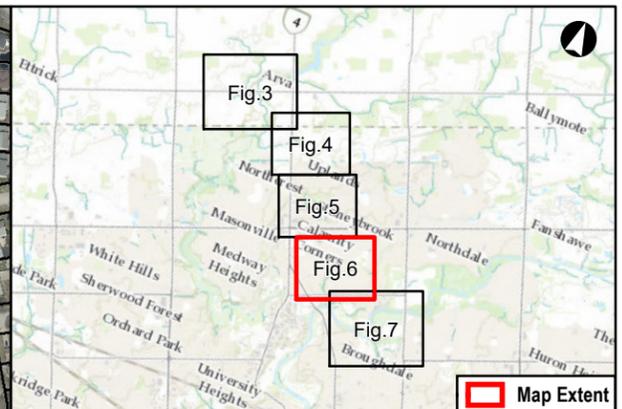
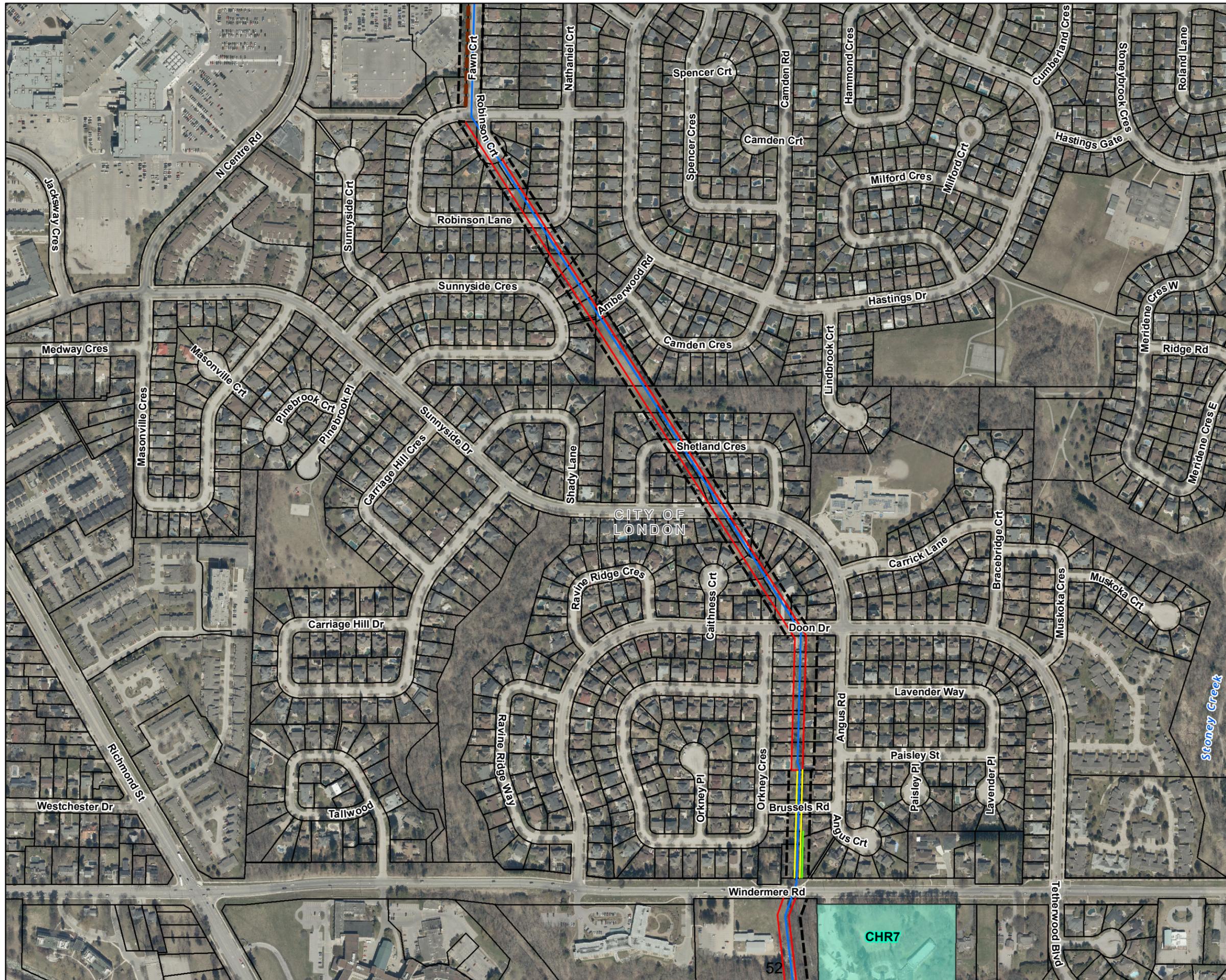
Previously Identified and
Potential Cultural Heritage Resources

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AECOM Figure 5

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Legend

- Photo Location and Direction
 - Designated Heritage Property
 - Listed Heritage Property
 - Potential Cultural Heritage Resource (CHR)
 - Canadian Heritage River
 - Parcel Boundary
 - Municipal Boundary
 - Transmission Main
- Width and Type of Easement**
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Meters

Cultural Heritage Assessment Report:
Arva Pumping Station to Huron Street Water
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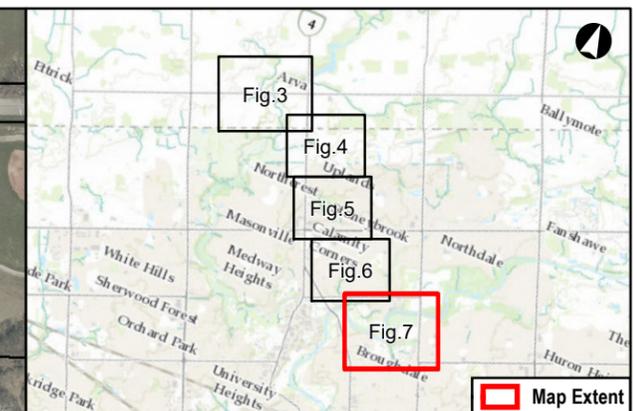
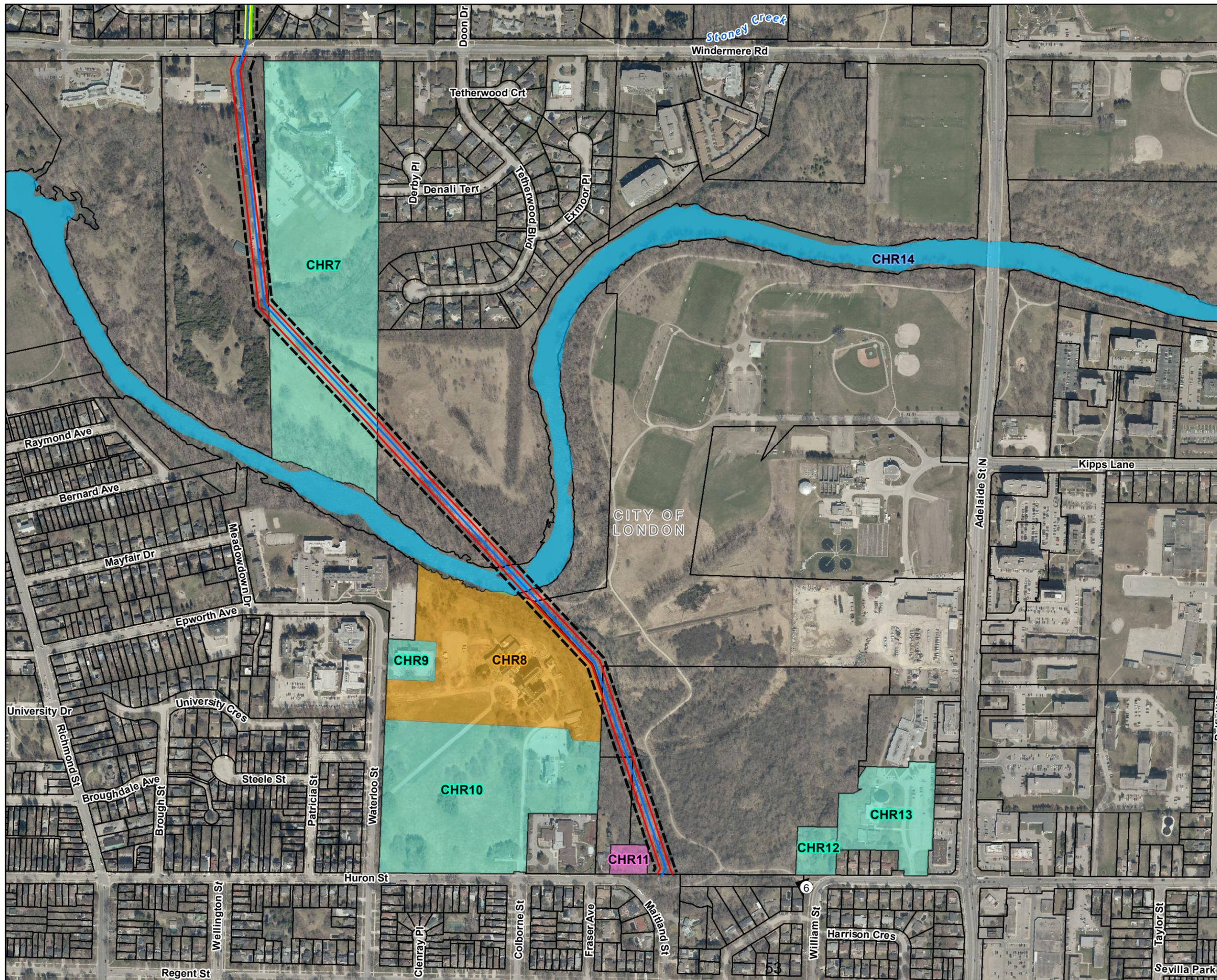
Previously Identified and
Potential Cultural Heritage Resources

May 2021	1:5,000	Datum: NAD83 UTM17 Source: LIO 2019, City of London 2018, Middlesex County 2020
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AECOM **Figure 6**

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Legend

- Photo Location and Direction
- Designated Heritage Property
- Listed Heritage Property
- Potential Cultural Heritage Resource (CHR)
- Canadian Heritage River
- Parcel Boundary
- Municipal Boundary
- Transmission Main

Width and Type of Easement

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0 62.5 125 250
Meters

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Transmission Main Municipal Class EA
City of London

Previously Identified and
Potential Cultural Heritage Resources

May 2021	1:6,000	Datum: NAD83 UTM17 Source: LIO 2019, City of London 2018, Middlesex County 2020
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AECOM Figure 7

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Map location: I:\Users\jlp\Documents\Projects\60619503_Col_Arva_P516_Huron_St\WML-Class EA\M\900_CAD_GIS\20_2021_0525_GIS_Graphics\Design\01_Reports\CHRA\Fig-7-CHR.mxd Date saved: 21/05/2021 10:02:40 AM User: Name: jlp

5. Proposed Undertaking and Impacts

5.1 Proposed Undertaking

The City of London has contracted AECOM to provide engineering services for the MCEA Master Plan and preliminary design for the water transmission main between the Arva Pumping Station to Huron Street. The purpose of the MCEA Master Plan for this project is to develop a short-term and long-term management plan for the water transmission main.

The current study area for this Cultural Heritage Report is based on the proposal to provide improvements for access and capacity to the transmission mains between the Arva Pumping Station and Huron Street. The existing easement between the Arva Pumping Station and Fanshawe Park Rd. is 30.5 m (100 feet) wide and accommodates twinned 1,050 mm prestressed concrete pipes. There is no proposed work, such as expansion of the existing 100' easement, between the Arva Pumping Station and Fanshawe Park Road. For this section of the study area, only general maintenance of the exiting transmission mains may be required in the future (including emergency repairs).

The easement between Fanshawe Park Rd. and Huron Street ranges from 7.5 m (25 feet) to 15.2 m (50 feet) and currently can only accommodate a single 1,050 mm concrete pipe. Access to the single transmission main and associated buried infrastructure in this stretch is limited by the width of the easement and proximity to other infrastructure. The proposed plan is to provide additional area to access the existing buried transmission main for repairs, and the possibility of providing redundancy in the Fanshawe to Huron stretch. The proposed plan is to increase the easement to 30.5 m (100 feet) for the entire length of the transmission main where appropriate. In addition, the water transmission main is buried beneath the Thames River, and any new sections, if necessary, would be tunnelled under the heritage river with no visual impacts.

5.2 Screening for Potential Impacts

To assess the potential impacts of the undertaking, identified cultural heritage resources are considered against a range of possible impacts based on the *Ontario Heritage Tool Kit, Heritage Resources in the Land Use Planning Process, InfoSheet #5 Heritage Impact Assessments and Conservation Plans* (MHSTCI 2006:3) which include, but are not limited to:

- Destruction, removal or relocation of any, or part of any, significant heritage attributes or features
- Alteration that is not sympathetic, or is incompatible, with the historic fabric or appearance
- Shadows created that alter the appearance of a heritage attribute or change the exposure or visibility of a natural feature or plantings, such as a garden

- Isolation of a heritage attribute from its surrounding environment, context, or a significant relationship
- Direct or indirect obstruction of significant views or vistas from, within, or to a built or natural heritage feature
- A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource

Several additional factors are also considered when evaluating potential impacts on identified cultural heritage resources. These are outlined in a document set out by the Ministry of Culture and Communications (now Ministry of Heritage, Sport, Tourism, and Culture Industries) and the Ministry of the Environment entitled *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments* (October 1992) and include:

- Magnitude: the amount of physical alteration or destruction which can be expected
- Severity: the irreversibility or reversibility of an impact
- Duration: the length of time an adverse impact persists
- Frequency: the number of times an impact can be expected
- Range: the spatial distribution, widespread or site specific, of an adverse impact
- Diversity: the number of different kinds of activities to affect a heritage resource

For the purposes of evaluating potential impacts of construction, *The London Plan's* definition on adjacency was used. It defines adjacency as “sites that are contiguous; sites that are directly opposite a cultural heritage resource separated by a laneway, easement, right-of-way, or street; or sites which a proposed development or site alteration has the potential to impact identified visual character, streetscapes or public views as defined within a statement explaining the cultural heritage value or interest of a cultural heritage resource”⁷.

5.3 Potential Impacts of Proposed Work on Cultural Heritage Resources

This section provides an assessment of the potential adverse effects to the identified cultural heritage resources as a result of the proposed improvements to the water transmission main between the Arva Pumping Station and Huron Street in the City of London and Middlesex Centre. This study is being undertaken in accordance with the planning and design process for a MCEA. The City of London commenced this MCEA to identify preferred solutions for existing and future water management challenges.

⁷ Policy 1795 is currently subject to Local Planning Area Tribunal (LPAT) appeal PL170100.

The preliminary impact assessment is based on the width and type of easement plan for the project and the potential impacts are outlined in **Table 3**. As shown on **Figures 3-7**, sections of the study area include a 100' investigation area.

Table 3: Impacts to Identified Cultural Heritage Resources and Recommended Mitigation Strategies

Feature ID	Location/Address	Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation Measures
CHR 1	14038 Medway Road	Potential Cultural Heritage Resource	<p>The existing 100' water transmission main easement is within CHR 1.</p> <p>This section of the study area contains the existing 100' easement attached to title. There are no proposed changes in the MCEA Mater Plan to alter this easement.</p> <p>If future maintenance or emergency work is required, there may be potential for land disturbances from repair activities:</p> <ul style="list-style-type: none"> ○ If the transmission main requires repair, the easement is more than 50m from the existing structures in CHR 1. Therefore, there are no negative impacts due to vibration from repair work anticipated.⁸ ○ Since the easement is currently located in an active agricultural field within CHR 1, if a repair work is required, the repair may cause a temporary land disturbance within the existing easement. 	<p>Continued avoidance of property impacts. No further work required for this proposed undertaking.</p> <p>If future repair work is required and there are potential land disturbances from repair activities, then the following is recommended:</p> <ul style="list-style-type: none"> ○ If repair work is required within the existing easement in CHR 1, ensure the landscape is restored to pre-construction conditions – to the active agricultural field. If the disturbance is substantial, a Qualified Person should be retained to conduct a pre-repair conditions assessment and restore the landscape to pre-repair conditions.
CHR 2	14037 Medway Road	Potential Cultural Heritage Resource	<p>The existing 100' water transmission main easement is in an adjacent property to CHR 2.</p> <p>This section of the study area contains the existing 100' easement attached to title. There are no proposed changes in the MCEA Mater Plan to alter this easement.</p> <p>If future maintenance or emergency work is required, there may be potential temporary land disturbances from repair activities:</p> <ul style="list-style-type: none"> ○ If the transmission main requires repair, the easement is more than 50m from the existing structures in CHR 2. Therefore, there are no negative impacts due to vibration from repair work anticipated. ○ There will be no temporary land disturbances to CHR 2. 	<p>Continued avoidance of property impacts. No further work required for this proposed undertaking.</p>

⁸ Although the effect of traffic and construction vibration is not fully understood, vibrations may be detectible in buildings with setbacks of less than 40 m from a curbside (Crispino and D'Apuzzo 2001; Ellis 1987; Rainer 1982; Wiss 1981). For the purpose of this study a 50m buffer is used to represent a conservative approach to delineate the potential effects related to vibration.

Feature ID	Location/Address	Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation Measures
CHR 3	14104 (14106) Medway Road	Potential Cultural Heritage Resource	<p>The existing 100' water transmission main easement is within CHR 3.</p> <p>This section of the study area contains the existing 100' easement attached to title. There are no proposed changes in the MCEA Mater Plan to alter this easement.</p> <p>If future maintenance or emergency work is required, there may be potential temporary land disturbances from repair activities:</p> <ul style="list-style-type: none"> ○ If the transmission main requires repair, the easement is more than 50m from the existing structures in CHR 3. Therefore, there are no negative impacts due to vibration from repair work anticipated. ○ Since the easement is currently located in an active agricultural field within CHR 3, if a repair work is required, the repair may cause a temporary land disturbance within the existing easement. 	<p>Continued avoidance of property impacts. No further work required for this proposed undertaking.</p> <p>If future repair work is required and there are potential land disturbances from repair activities, then the following is recommended:</p> <ul style="list-style-type: none"> ○ If repair work is required within the existing easement in CHR 3, ensure the landscape is restored to pre-construction conditions – to the active agricultural field. If the disturbance is substantial, a Qualified Person should be retained to conduct a pre-repair conditions assessment and restore the landscape to pre-repair conditions.
CHR 4	14143 Medway Road	Potential Cultural Heritage Resource	<p>The existing 100' water transmission main easement is within CHR 4.</p> <p>This section of the study area contains the existing 100' easement attached to title. There are no proposed changes in the MCEA Mater Plan to alter this easement.</p> <p>If future maintenance or emergency work is required, there may be potential temporary land disturbances from repair activities:</p> <ul style="list-style-type: none"> ○ If the transmission main requires repair, the easement is more than 50m from the existing structures in CHR 4. Therefore, there are no negative impacts due to vibration from repair work anticipated. ○ Since the easement is currently located in an active agricultural field within CHR 4, if a repair work is required, the repair may cause a temporary land disturbance within the existing easement. 	<p>Continued avoidance of property impacts. No further work required for this proposed undertaking.</p> <p>If future repair work is required and there are potential land disturbances from repair activities, then the following is recommended:</p> <ul style="list-style-type: none"> ○ If repair work is required within the existing easement in CHR 4, ensure the landscape is restored to pre-construction conditions – to the active agricultural field. If the disturbance is substantial, a Qualified Person should be retained to conduct a pre-repair conditions assessment and restore the landscape to pre-repair conditions.

Feature ID	Location/Address	Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation Measures
CHR 5	21468 Richmond Street	Potential Cultural Heritage Resource	<p>The existing 100' water transmission main easement is within CHR 5.</p> <p>This section of the study area contains the existing 100' easement attached to title. There are no proposed changes in the MCEA Mater Plan to alter this easement.</p> <p>If future maintenance or emergency work is required, there may be potential temporary land disturbances from repair activities:</p> <ul style="list-style-type: none"> ○ If the transmission main requires repair, the easement is more than 50m from the existing structures in CHR 5. Therefore, there are no negative impacts due to vibration from repair work anticipated. ○ Since the easement is currently located in an active agricultural field within CHR 5, if a repair work is required, the repair may cause a temporary land disturbance within the existing easement. 	<p>Continued avoidance of property impacts. No further work required for this proposed undertaking.</p> <p>If future repair work is required and there are potential land disturbances from repair activities, then the following is recommended:</p> <ul style="list-style-type: none"> ○ If repair work is required within the existing easement in CHR 5, ensure the landscape is restored to pre-construction conditions – to the active agricultural field. If the disturbance is substantial, a Qualified Person should be retained to conduct a pre-repair conditions assessment and restore the landscape to pre-repair conditions.
CHR 6	1836 Richmond Street	Heritage Listed Property	<p>The existing 100' water transmission main easement is within a property adjacent to CHR 6.</p> <p>This section of the study area contains the existing 100' easement attached to title. There are no proposed changes in the MCEA Mater Plan to alter this easement.</p> <p>If future maintenance or emergency work is required, there may be potential temporary land disturbances from repair activities:</p> <ul style="list-style-type: none"> ○ If the transmission main requires repair, the easement is more than 50m from the existing structures in CHR 6. Therefore, there are no negative impacts due to vibration from repair work anticipated. ○ There will be no temporary land disturbances to CHR 6. 	<p>Continued avoidance of property impacts. No further work required for this proposed undertaking.</p>

Feature ID	Location/Address	Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation Measures
CHR 7	551 Windermere Road	Heritage Listed Property	<p>The proposed 100' water transmission main easement is adjacent to CHR 7.</p> <p>This section of the study area contains the existing 50' easement attached to title and has been proposed for easement widening to a 100' easement with the possibility of redundancy.</p> <p>If future maintenance or emergency work is required or the possibility of redundancy, there is potential for temporary land disturbances:</p> <ul style="list-style-type: none"> ○ The proposed 100' easement is more than 50m from the existing structures in CHR 7. Therefore, there are no negative impacts due to vibration from repair or construction work is anticipated. ○ There will be no temporary land disturbances to CHR 7. 	Continued avoidance of property impacts. No further work required for this proposed undertaking.
CHR 8	1040 Waterloo Street- St. Peter's Seminary	Designated Heritage Property- Part IV of the OHA	<p>The proposed 100' water transmission main easement is within CHR 8, however downslope in the Thames River Valley.</p> <p>This section of the study area contains the existing 50' easement attached to title and has been proposed for easement widening to a 100' easement with the possibility of redundancy.</p> <p>If future maintenance or emergency work is required or the possibility of redundancy, there is potential for temporary land disturbances:</p> <ul style="list-style-type: none"> ○ The proposed 100' easement is more than 50m from the existing structures in CHR 8. Therefore, there are no negative impacts due to vibration from construction or repair work anticipated. <p>Since the proposed 100' easement is currently located in an institutional urban property within CHR 8, if a repair work or new construction is required, the work will cause temporary land disturbances within the proposed easement.</p>	<p>Design the new easement to avoid the property.</p> <p>However, if avoidance is not feasible, and if future repair work or new components are required and there is potential for land disturbances from construction activities, then the following is recommended:</p> <ul style="list-style-type: none"> ○ If repair work is required within the proposed 100' easement in CHR 8, ensure the landscape is restored to pre-construction conditions. If the disturbance is substantial, a Qualified Person should be retained to conduct a pre-repair conditions assessment and restore the landscape to pre-repair conditions.

Feature ID	Location/Address	Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation Measures
CHR 9	1070 Waterloo Street-London Diocesan Centre	Heritage Listed Property	<p>The proposed 100' water transmission main easement is adjacent to CHR 9.</p> <p>This section of the study area contains the existing 50' easement attached to title and has been proposed for easement widening to a 100' easement with the possibility of redundancy.</p> <p>If future maintenance or emergency work is required or the possibility of redundancy, there is potential for temporary land disturbances:</p> <ul style="list-style-type: none"> ○ The proposed 100' easement is more than 50m from the existing structures in CHR 9. Therefore, there are no negative impacts due to vibration from repair or construction work is anticipated. ○ There will be no temporary land disturbances to CHR 9. 	Continued avoidance of property impacts. No further work required for this proposed undertaking.
CHR 10	370 Huron Street/1071 Colborne Street-Aquinas House	Heritage Listed Property	<p>The proposed 100' water transmission main easement is adjacent to CHR 10.</p> <p>This section of the study area contains the existing 50' easement attached to title and has been proposed for easement widening to a 100' easement with the possibility of redundancy.</p> <p>If future maintenance or emergency work is required or the possibility of redundancy, there is potential for temporary land disturbances:</p> <ul style="list-style-type: none"> ○ The proposed 100' easement is more than 50m from the existing structures in CHR 10. Therefore, there are no negative impacts due to vibration from repair or construction work is anticipated. ○ There will be no temporary land disturbances to CHR 10. 	Continued avoidance of property impacts. No further work required for this proposed undertaking.

Feature ID	Location/Address	Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation Measures
CHR 11	432 Huron Street	Potential Cultural Heritage Resource	<p>The proposed 100' water transmission main easement is within CHR 11, however downslope in the Thames River Valley.</p> <p>This section of the study area contains the existing 50' easement attached to title and has been proposed for easement widening to a 100' easement with the possibility of redundancy.</p> <p>If future maintenance or emergency work is required or the possibility of redundancy, there is potential for temporary land disturbances:</p> <ul style="list-style-type: none"> ○ The proposed 100' easement is more than 50m from the existing structures in CHR 11. Therefore, there are no negative impacts due to vibration from construction or repair work anticipated. ○ Since the proposed 100' easement is currently located in an institutional urban property within CHR 11, if a repair work or new construction is required, the work will cause temporary land disturbances within the proposed easement. 	<p>Design new easement to avoid the property.</p> <p>However, if avoidance is not feasible, and if future repair work or new components are required and there is potential for land disturbances from construction activities, then the following is recommended:</p> <ul style="list-style-type: none"> ○ If repair work is required within the proposed 100' easement in CHR 11, ensure the landscape is restored to pre-construction conditions. If the disturbance is substantial, a Qualified Person should be retained to conduct a pre-repair conditions assessment and restore the landscape to pre-repair conditions.
CHR 12	520 Huron Street	Heritage Listed Property	<p>The proposed 100' water transmission main easement is adjacent to CHR 12.</p> <p>This section of the study area contains the existing 50' easement attached to title and has been proposed for easement widening to a 100' easement with the possibility of redundancy.</p> <p>If future maintenance or emergency work is required or the possibility of redundancy, there is potential for temporary land disturbances:</p> <ul style="list-style-type: none"> ○ The proposed 100' easement is more than 50m from the existing structures in CHR 12. Therefore, there are no negative impacts due to vibration from repair or construction work is anticipated. ○ There will be no temporary land disturbances to CHR 12. 	<p>Continued avoidance of property impacts. No further work required for this proposed undertaking.</p>

Feature ID	Location/Address	Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation Measures
CHR 13	534 Huron Street	Heritage Listed Property	<p>The proposed 100' water transmission main easement is adjacent to CHR 13.</p> <p>This section of the study area contains the existing 50' easement attached to title and has been proposed for easement widening to a 100' easement with the possibility of redundancy.</p> <p>If future maintenance or emergency work is required or the possibility of redundancy, there is potential for temporary land disturbances:</p> <ul style="list-style-type: none"> ○ The proposed 100' easement is more than 50m from the existing structures in CHR 13. Therefore, there are no negative impacts due to vibration from repair or construction work is anticipated. ○ There will be no temporary land disturbances to CHR 13. 	Continued avoidance of property impacts. No further work required for this proposed undertaking.
CHR 14	Thames River	Canadian Heritage River	<p>The proposed 100' water transmission main easement crosses, CHR 14, the Thames River.</p> <p>This section of the study area contains the existing 50' easement attached to title and has been proposed for easement widening to a 100' easement with the possibility of redundancy.</p> <p>If future maintenance or emergency work is required or the possibility of redundancy, there is potential for temporary land disturbances:</p> <ul style="list-style-type: none"> ○ There are no anticipated visual impacts to the Thames River Valley Corridor. However, if a repair work or new construction is required, the work will cause temporary land disturbances within the proposed easement. 	<p>Design new easement to avoid the Thames River Valley.</p> <p>However, if avoidance is not feasible, and if future repair work or new components are required and there is potential for land disturbances from construction activities, then the following is recommended:</p> <ul style="list-style-type: none"> ○ If repair or construction work is required within the proposed easement in CHR 14, ensure the landscape is restored to pre-construction conditions. If the disturbance is substantial, a Qualified Person should be retained to conduct a pre-repair conditions assessment and restore the landscape to pre-repair conditions.

6. Conclusions and Recommendations

Generally, as a means of mitigation, infrastructure improvements should be designed to avoid impacts to properties that have been identified as cultural heritage resources in this report. The background research, data collection, and field review conducted for the water transmission main study area determined that 14 above-ground cultural heritage resources are located within or adjacent to the study area. Based on the results of the preliminary impact assessment, the following recommendations have been developed:

1. Consult **Table 3** for the results of the preliminary impact assessment. If necessary, if there is a detailed design for a new water transmission main within the proposed 100' easement between Fanshawe Park Rd. and Huron Street, this report should be reviewed by a Qualified Heritage Professional with a confirmation of impacts and mitigation measures of the undertaking on cultural heritage resources identified within and/or adjacent to the study area. Any changes in impacts and mitigation measures, as presented in **Table 3** of this report, will be identified.
2. Where temporary landscape disturbance may occur due to water transmission main maintenance and/or redundancy, restore landscape features associated with CHR 1, CHR 2, CHR 3, CHR 4, CHR 5, CHR 8, CHR 11, and CHR 14 to pre-construction conditions through post-construction landscape treatments to ensure there are no negative impacts to the properties. If the disturbance is substantial, a Qualified Landscape Architect should be retained to conduct a pre-repair conditions assessment and restore the landscape to pre-repair conditions.
3. Repair work, construction activities and staging related to the water transmission main should be suitably planned and undertaken to avoid negative impacts to identified cultural heritage resources (specifically remain within existing and proposed easements). Suitable mitigation measures include establishing no-go zones adjacent to the identified cultural heritage resources and issuing instructions to construction crews to prevent impacts to existing structures.
4. Should detailed design for the proposed undertaking be extended beyond the proposed limits of the 100' easements as outlined on **Figures 3-7**, this report should be updated to confirm impacts of the proposed work on previously identified and potential cultural heritage resources.
5. Should a Preferred Alternative be proposed outside the limits of the study area documented in this report, then a Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment should be completed.

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Appendix A

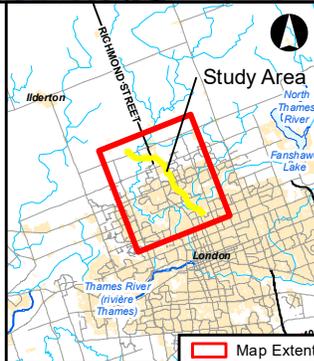
Historical Map Set

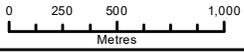
***Arva Pumping Station to Huron Street Water
Transmission Main Municipal Class Environmental
Assessment Master Plan, City of London, Ontario***

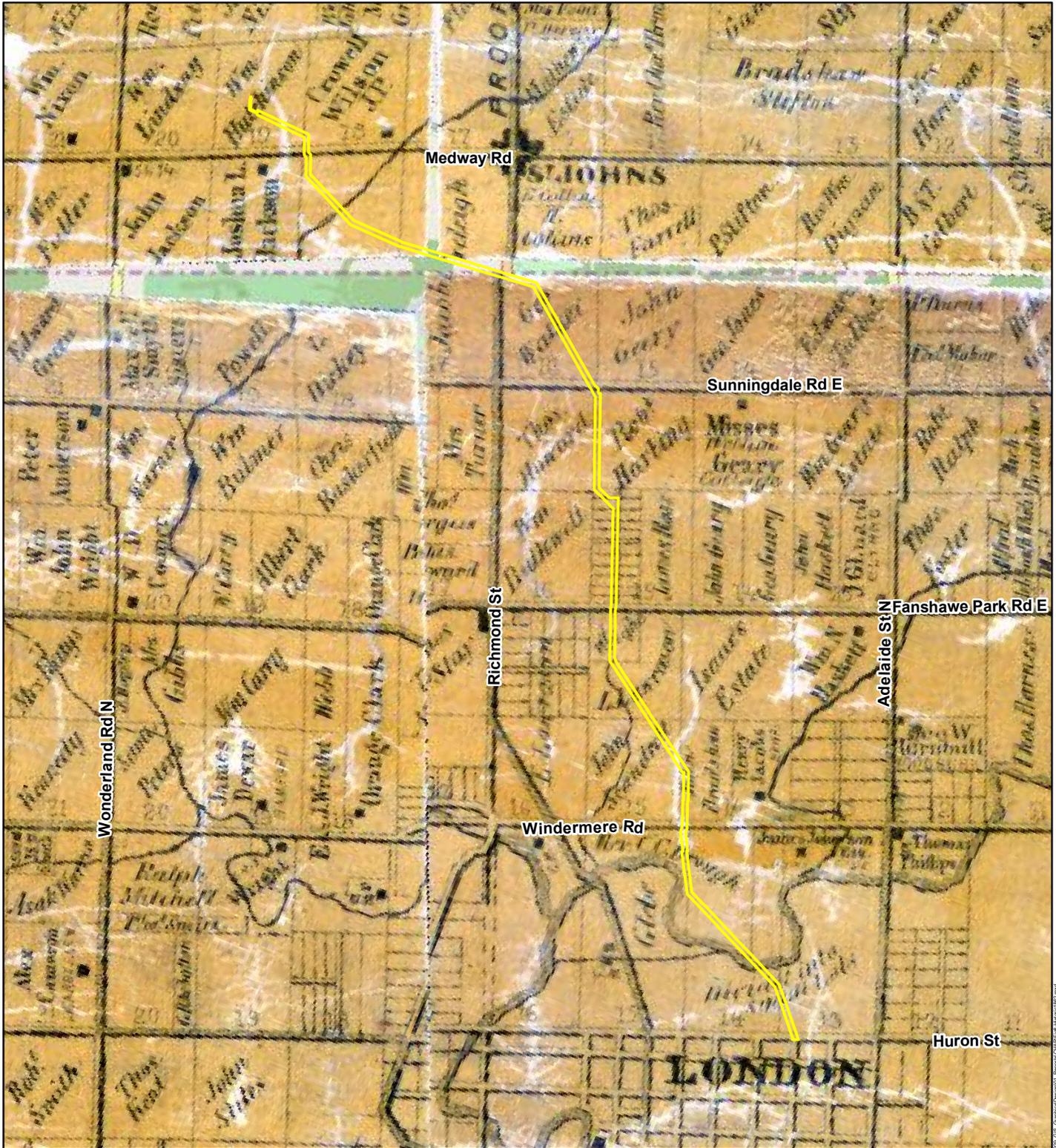


Legend

 Study Area

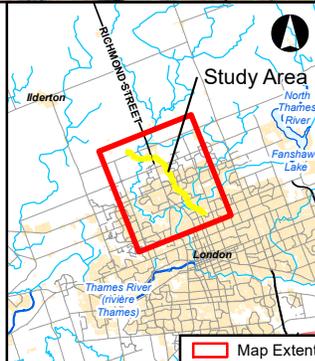


Cultural Heritage Assessment Report: Arva Pumping Station to Huron Street Water Transmission Main Municipal Class EA City of London		
Portion of the 1850 Sketch of London Township		
May 2020	1:35,000	Datum: NAD 83 UTM17 Source: LIO 2019, Tremaine 1862, Tremaine's Map of Middlesex County
P#: 60619503	V#:	Figure 8
		
		
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Legend

 Study Area



Cultural Heritage Assessment Report:
Arva Pumping Station to Huron Street Water
Transmission Main Municipal Class EA
City of London

Portion of the
Tremaine Map of Middlesex County

February 2020	1:35,000	Datum: NAD 83 UTM17 Source: LIO 2019, Tremaine 1862, Tremaine's Map of Middlesex County
PH: 60619503	V#:	

AECOM **Figure 9**

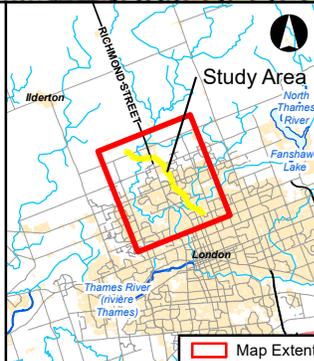
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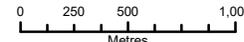
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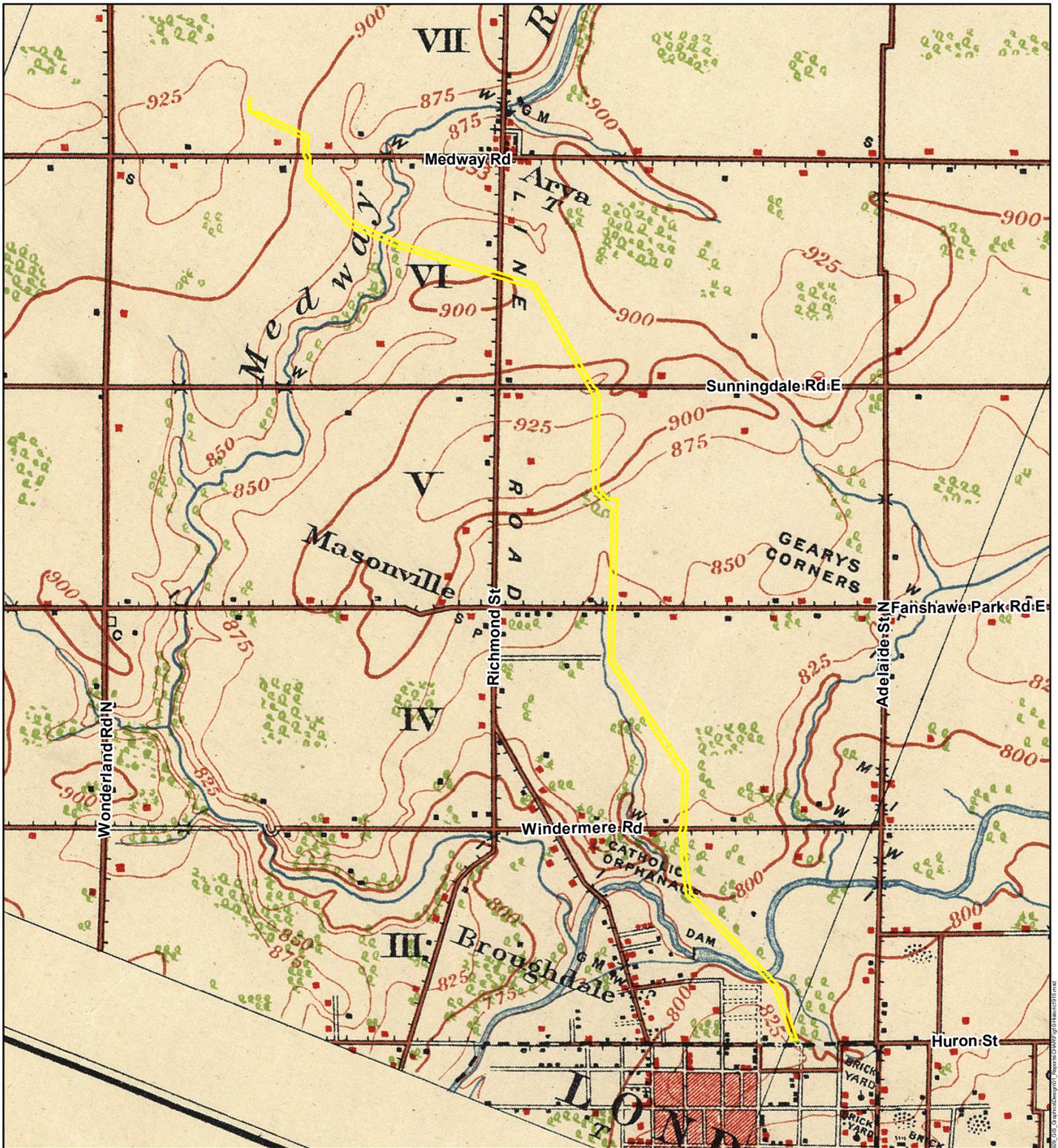


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 Study Area

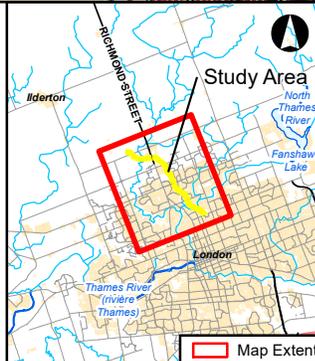


Cultural Heritage Assessment Report: Arva Pumping Station to Huron Street Water Transmission Main Municipal Class EA City of London	
Portion of the Illustrated Historical Atlas of Middlesex County, 1878	
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AECOM	
Figure 10	
	
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Legend

 Study Area



Cultural Heritage Assessment Report:
Arva Pumping Station to Huron Street Water
Transmission Main Municipal Class EA
City of London

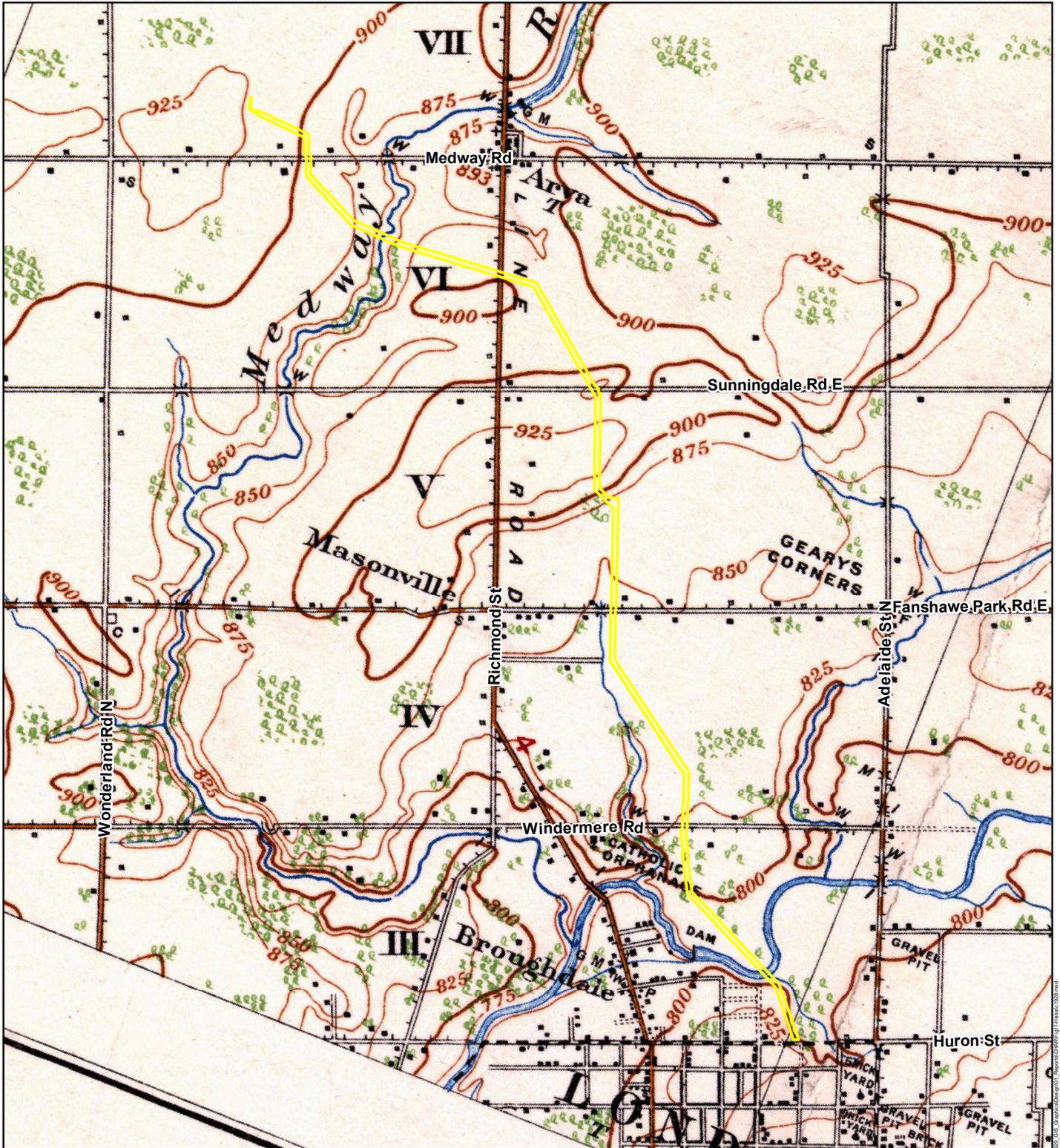
Portion of the National Topographic Series
Lucan Sheet, 1915

February 2020	1:35,000	Datum: NAD 83 UTM17 Source: LIO 2019, National Topographic Series Lucan Sheet, 1915
PH: 60619503	V#:	

AECOM **Figure 11**

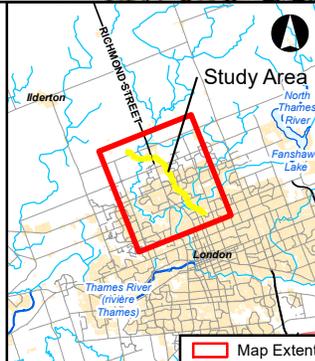
0 250 500 1,000
Metres

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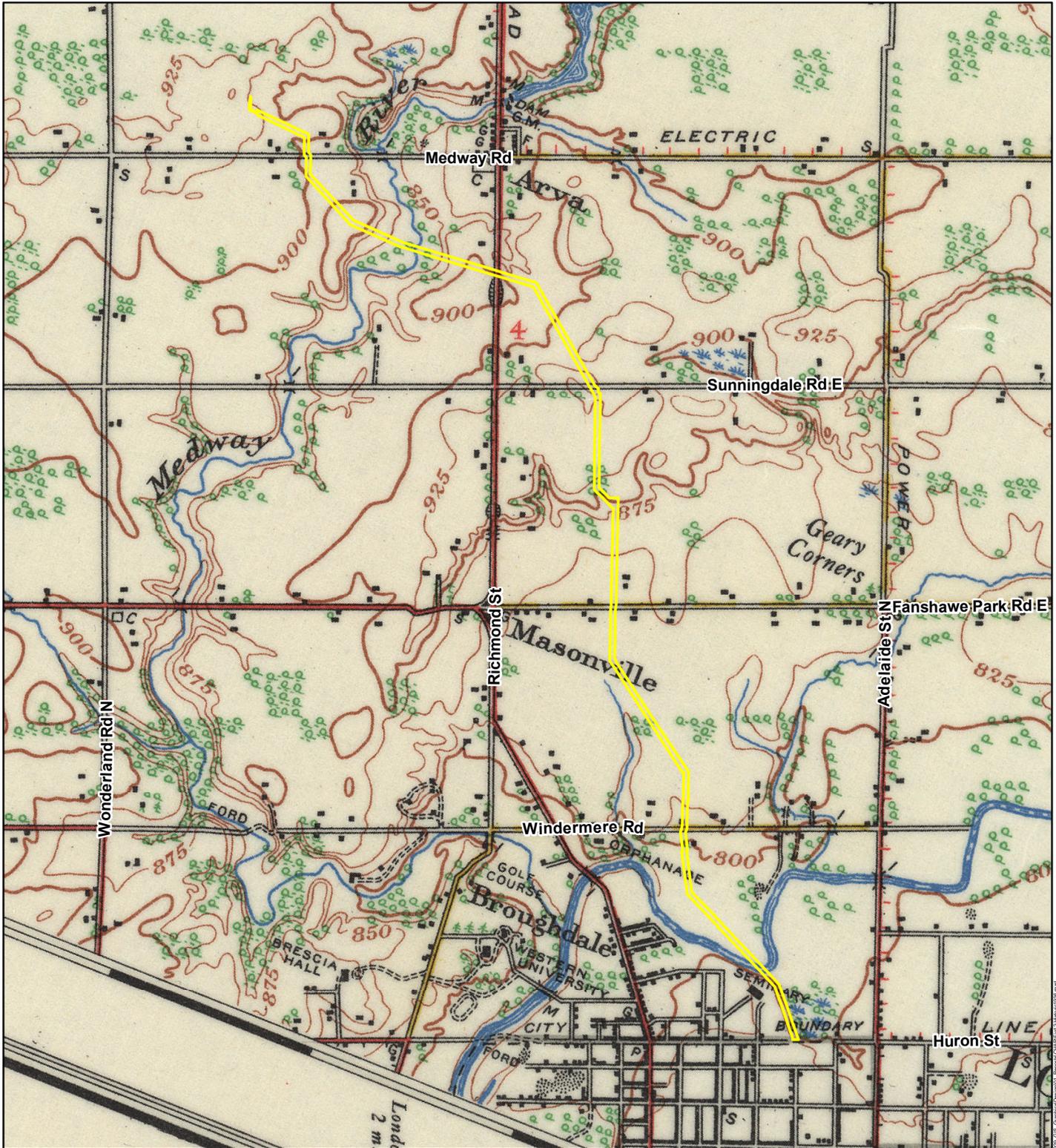


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 Study Area

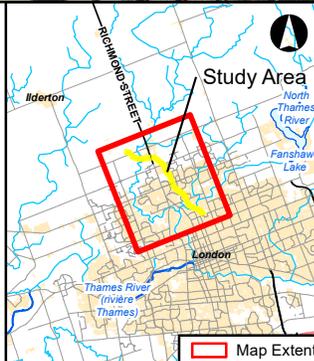


<p>Cultural Heritage Assessment Report: Arva Pumping Station to Huron Street Water Transmission Main Municipal Class EA City of London</p>	
<p>Portion of the National Topographic Series Lucan Sheet, 1928</p>	
<p>February 2020</p>	<p>1:35,000</p>
<p>PH: 60619503</p>	<p>V#:</p>
<p>AECOM</p>	
<p>Figure 12</p>	
<p>0 250 500 1,000 Metres</p>	
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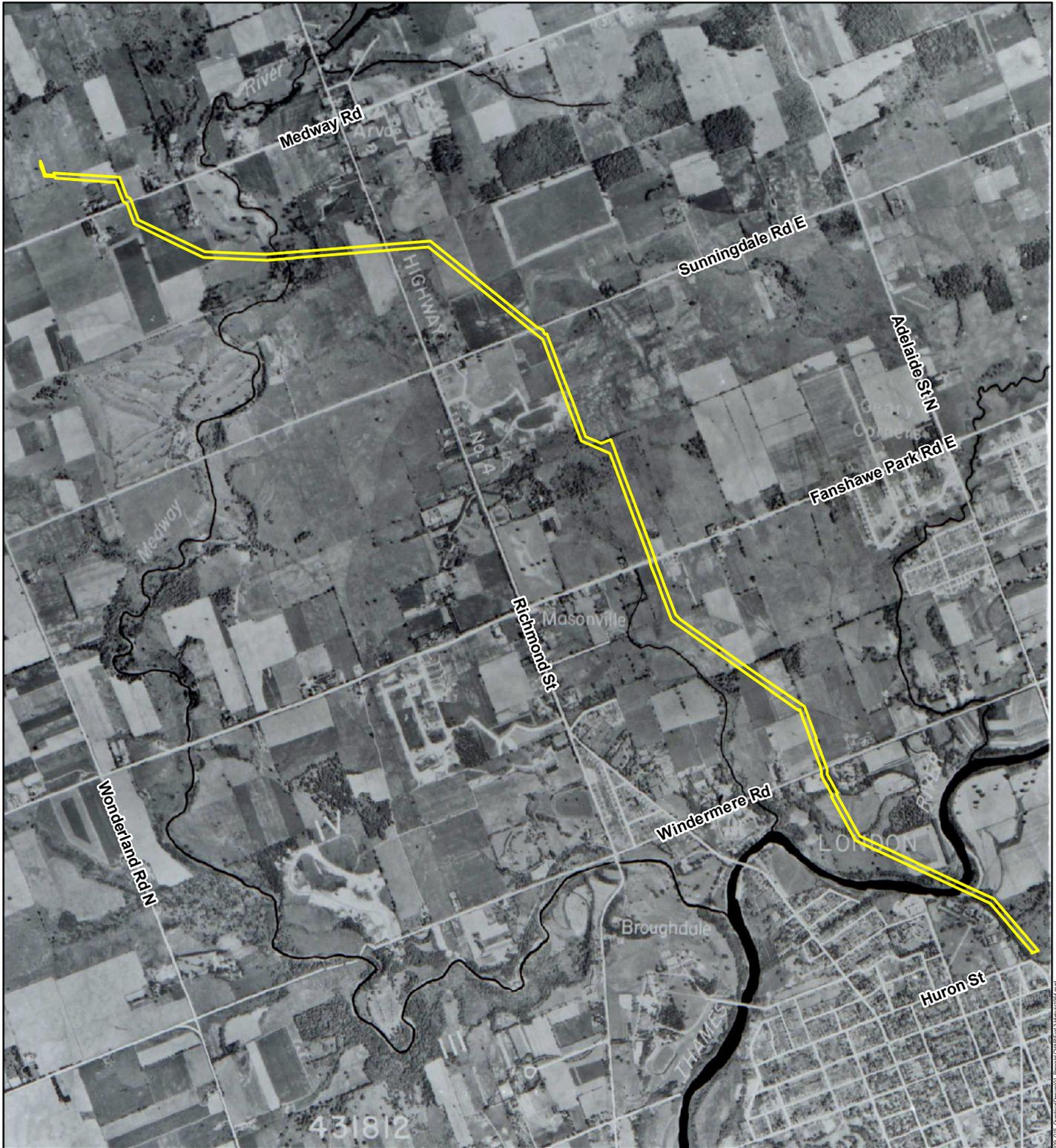


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 Study Area

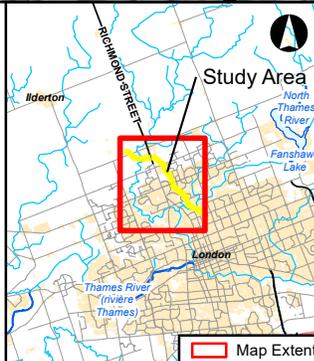


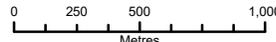
<p>Cultural Heritage Assessment Report: Arva Pumping Station to Huron Street Water Transmission Main Municipal Class EA City of London</p>		
<p>Portion of the National Topographic Series Lucan Sheet, 1936</p>		
February 2020	1:35,000	Datum: NAD 83 UTM17 Source: L10 2019, National Topographic Series Lucan Sheet, 1936
PH: 60619503	V#:	
AECOM		Figure 13
<p>0 250 500 1,000 Metres</p>		
<p><small>This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.</small></p>		

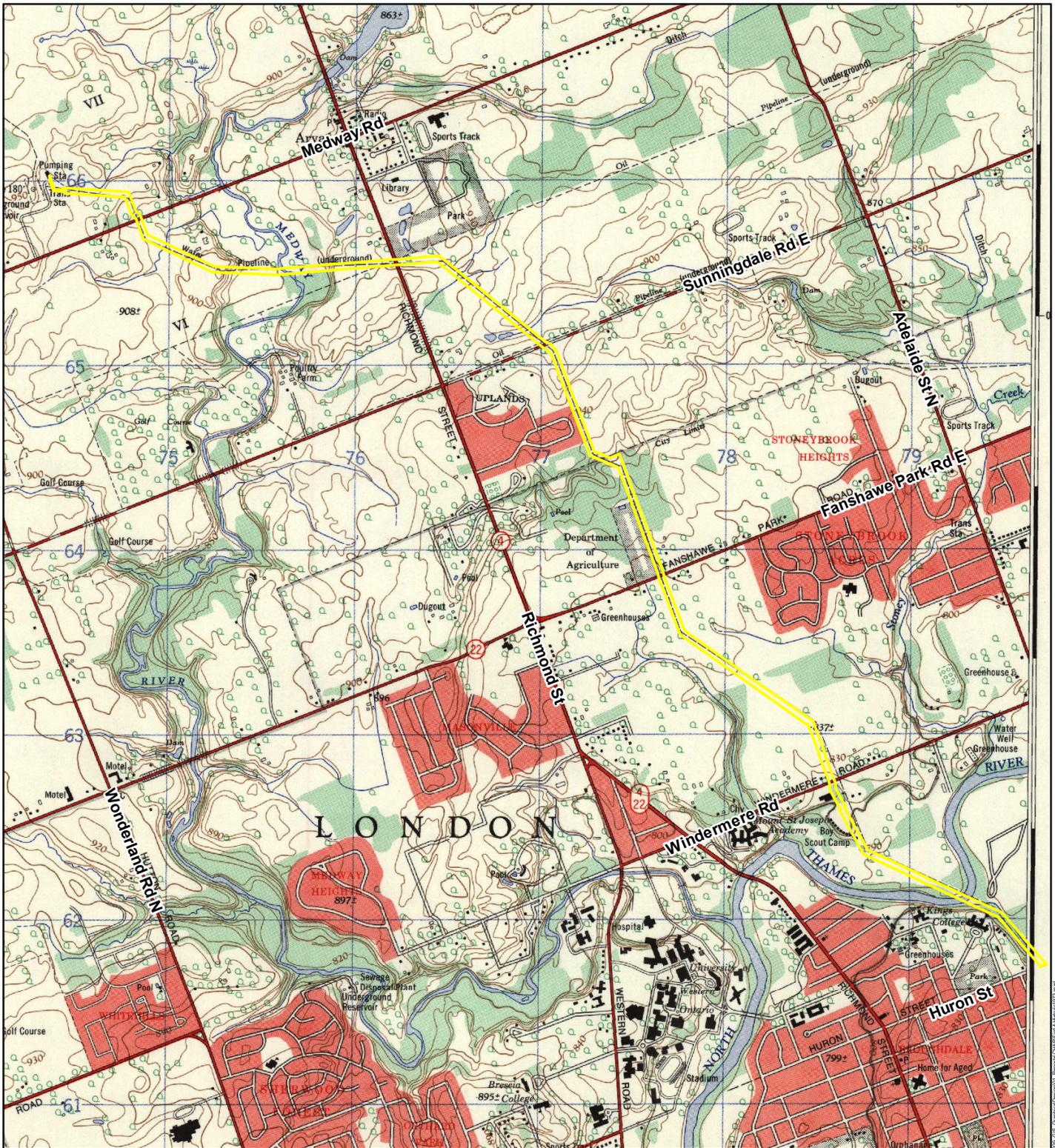


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 Study Area

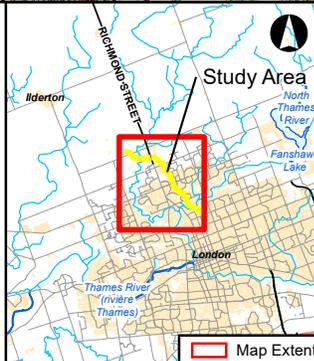


Cultural Heritage Assessment Report: Arva Pumping Station to Huron Street Water Transmission Main Municipal Class EA City of London		
Portion of the National Topographic Series Lucan Sheet, 1928		
February 2020	1:30,000	Datum: NAD 83 UTM17 Source: LIO 2019, ArcGIS Online Air Photos 1954
PH: 60619503	V#:	
AECOM		Figure 14
		
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Legend

 Study Area



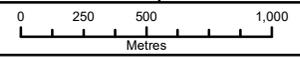
Cultural Heritage Assessment Report:
Arva Pumping Station to Huron Street Water
Transmission Main Municipal Class EA
City of London

Portion of the National Topographic Series
Lucan Sheet, 1973

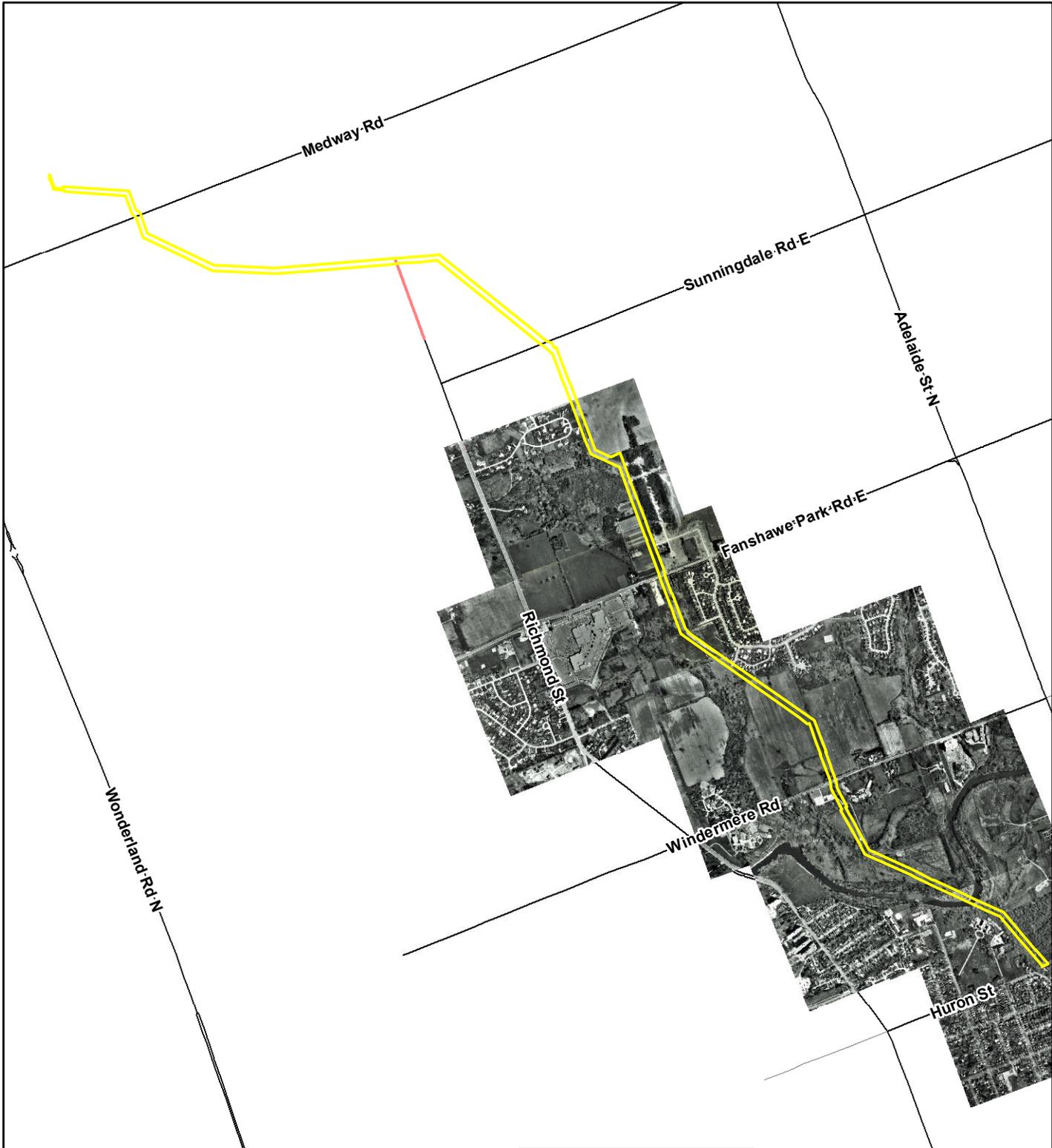
February 2020	1:30,000	Datum: NAD 83 UTM17 Source: LIO 2019, National Topographic Series Arva Sheet, 1973
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PH: 60619503	V#:
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AECOM **Figure 15**

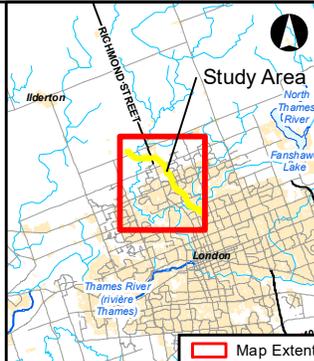


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Legend

 Study Area



<p>Cultural Heritage Assessment Report: Arva Pumping Station to Huron Street Water Transmission Main Municipal Class EA City of London</p>		
<p>Portion of the 1986 Aerial Image City of London</p>		
<p>May 2020</p>	<p>1:30,000</p>	<p>Datum: NAD 83 UTM17 Source: LIO 2019 National Topographic Series Arva Sheet, 1973</p>
<p>P#: 60619503</p>	<p>V#:</p>	<p>AECOM</p>
<p>0 250 500 1,000 Metres</p>		<p>Figure 16</p>
<p><small>This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed to by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and disclaims any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.</small></p>		

Appendix B

Description of Cultural Heritage Resources

*Arva Pumping Station to Huron Street Water
Transmission Main Municipal Class Environmental
Assessment Master Plan, City of London, Ontario*

Feature ID	Location/Address	Resource Type	Heritage Recognition	Description ¹	Photos
CHR 1	14038 Medway Road	Farmscape	Potential Cultural Heritage Resource	<p><u>Historical:</u></p> <ul style="list-style-type: none"> - A farmhouse is illustrated on the property belonging to John Boake in 1878 in the vicinity of CHR 1 (Figure 9). - Historically the property is in Lot 19, Concession VII, London Township. <p><u>Design:</u></p> <ul style="list-style-type: none"> - Structure is partially obscured from the public right-of-way by vegetation. - The house is a two-storey vernacular buff brick farmhouse with Queen Anne Revival style architectural details. The front gable includes a Queen Anne style window, decorative wood bargeboard, and a projecting apex with a wood checkboard pattern. There are two buff brick chimneys. The house has a fieldstone foundation. The gated entrance includes columns constructed of fieldstone. The house is shown as a brick house on the 1915 NTS Map (Figure 5). - The property includes two small outbuildings. <p><u>Context:</u></p> <ul style="list-style-type: none"> - This agricultural property contributes to the rural nature of this portion of Medway Road, an early transportation route. -The house is set back from the north side of the road and reflects late 19th century settlement along Medway Road. 	 <p>View of CHR 1 from Medway Road (AECOM 2020)</p>
CHR 2	14037 Medway Road	Farmscape	Potential Cultural Heritage Resource	<p><u>Historical:</u></p> <ul style="list-style-type: none"> - A farmhouse is illustrated on the property belonging to Joshua Jackson in 1878 in the vicinity of CHR 2 (Figure 9). However, the 1915 NTS Map shows the farmhouse as frame structure (Figure 10), which may indicate that this house was not the original farmhouse on the property and was likely constructed in the early 20th century. <p><u>Design:</u></p> <ul style="list-style-type: none"> - This two-storey vernacular Four Square style brick farmhouse has a hipped roof and the windows have heavy (thick) concrete lintels. The house has a hipped dormer and a front addition. - The property includes four outbuildings. <p><u>Context:</u></p> <ul style="list-style-type: none"> - This agricultural property contributes to the rural nature of this portion of Medway Road, an early transportation route. -The house is set back from the south side of the road and reflects late 19th century settlement along Medway Road. 	 <p>View of 14037 from Medway Road (AECOM 2020)</p>

¹ Architectural styles are identified where information was available from secondary source materials, including the City of London's Inventory of Heritage Resources, or due to the presence of architectural details that are particularly expressive of a representative or typical characteristic of an architectural style. A detailed analysis of architectural style for each cultural heritage resource has not been undertaken.

Feature ID	Location/Address	Resource Type	Heritage Recognition	Description ¹	Photos
CHR 3	14104 (14106) Medway Road	Farmscape	Potential Cultural Heritage Resource	<p><u>Historical:</u></p> <ul style="list-style-type: none"> - A farmhouse is not illustrated on the property belonging to William Smibert in 1878 (Figure 9), however, a brick farmhouse is extent in the vicinity of CHR 3 on the 1915 NTS Map (Figure 10). <p><u>Design:</u></p> <ul style="list-style-type: none"> - The house is not visible from the public right-of-way. - The house appears to be an Ontario buff brick farmhouse with a T-shaped plan. It is shown as a brick house on the 1915 NTS Map (Figure 10). - The property contains one outbuilding. <p><u>Context:</u></p> <ul style="list-style-type: none"> - This agricultural property contributes to the rural nature of this portion of Medway Road, an early transportation route. -The house is set back from the north side of the road and reflects late 19th century settlement along Medway Road. 	 <p>View of CHR 3 from Medway Road (AECOM 2020)</p>
CHR 4	14143 Medway Road	Farmscape	Potential Cultural Heritage Resource	<p><u>Historical:</u></p> <ul style="list-style-type: none"> - The property is currently for sale and the house is listed as being built in 1887. - A farmhouse is illustrated on the 1878 Atlas Map in the vicinity of CHR 4 (Figure 9). Historically, this farm was in Lot 18, Concession VI, London Township and was owned by William English. <p><u>Design:</u></p> <ul style="list-style-type: none"> - The house is not clearly visible from the public right-of-way. - The house appears to be a vernacular frame farmhouse clad in white siding. It is shown as a frame house on the 1915 NTS Map (Figure 5). -Landscape features include two large outbuildings. <p><u>Context:</u></p> <ul style="list-style-type: none"> - This agricultural property contributes to the rural nature of this portion of Medway Road, an early transportation route. -The house is set far back from the south side of the road and reflects the 19th century settlement along Medway Road. 	 <p>View of CHR 4 from Medway Road (ASI 2020)</p>
CHR 5	21468 Richmond Street	Residence	Potential Cultural Heritage Resource	<p><u>Historical:</u></p> <ul style="list-style-type: none"> - A farmhouse is illustrated on the 1878 Atlas Map in the vicinity of CHR 5 (Figure 9). The property, Lot 17, Concession VI, former London Township, also had an orchard. The property was owned in 1878 by George Fraleigh. <p><u>Design:</u></p> <ul style="list-style-type: none"> - A one-storey buff brick house with a low-pitched hipped roof, buff brick chimney, and fieldstone foundation. <p><u>Context:</u></p> <ul style="list-style-type: none"> - This rural residential property represents 19th century settlement along Richmond Street, formally Proof Line Road. - The house sits close to the west side of Richmond Street. 	 <p>View of CHR 5 from Richmond Street (AECOM 2020)</p>

Feature ID	Location/Address	Resource Type	Heritage Recognition	Description ¹	Photos
CHR 6	1836 Richmond Street	Residence	Heritage Listed Property	<p><u>Historical:</u></p> <ul style="list-style-type: none"> -Built in 1932. Known as Gibbon's Lodge (City of London 2019). - The 1936 NTS map shows a house located at this location (Figure 12). - Today it is the official residence for the President of Western University. Initially, the property was owned by the Farncomb Family. Miss Helen Beresford Gibbons bought the property from the Farncomb's before it was acquired by the University. A white farmhouse was demolished by Miss Gibbons to make room for the present estate (Doors Open website). <p><u>Design:</u></p> <ul style="list-style-type: none"> -The house is not clearly visible from the public right-of-way. - The residence has been documented as having a Tudor Revival architectural style. -Miss Gibbons designed the house herself (Doors Open website) with help from builder Charles Oram, advice from her engineer brother-in-law, and her experiences in Bermuda. <p><u>Context:</u></p> <ul style="list-style-type: none"> -The entrance for the property is located on the east side of Richmond Street. The building is set far back from the road. The rear of the property is wooded and contains a seasonal stream. 	 <p>View of CHR 6 from Richmond Street (AECOM 2020)</p>
CHR 7	551 Windermere Road	Institutional	Heritage Listed Property	<p><u>Historical:</u></p> <ul style="list-style-type: none"> -Built in 1930, it is known as the Spencer Hall Ivey Spencer Leadership Centre (City of London 2019). - The 1936 NTS Map shows one building on the property at that time (Figure 12). The 1973 NTS Map shows two structures on the property at that time (Figure 14). <p><u>Design:</u></p> <ul style="list-style-type: none"> - The structure is not clearly visible from the public right-of-way. - The institution has been documented as a Georgian Revival style building (City of London 2019). <p><u>Context:</u></p> <ul style="list-style-type: none"> -Located on the south side of Windermere Road, the building is set back from the road. The rear of the property includes park space and trees along the bank of the Thames River. 	 <p>View of CHR 7 from Windermere Road (AECOM 2020)</p>

Feature ID	Location/Address	Resource Type	Heritage Recognition	Description ¹	Photos
CHR 8	1040 Waterloo Street - St. Peter's Seminary	Institutional/Place of Worship	Designated Heritage Property- Part IV of the OHA	<p><u>Historical:</u></p> <ul style="list-style-type: none"> - Lands in the Part IV designation include the St. Peter's Seminary. - St. Peter's Seminary was built in the former Sunshine Park, an estimated 45 acre parcel of land. The initial plan was to subdivide the Park into 66 park and villa lots in 1881. Instead, the owner, Sir Phillip Pocock, donated a portion of the park lands to the Roman Catholic Diocese in 1912 (approximately 32 acres). The cornerstone was laid in 1925 for St. Peter's Seminary. <p>(https://pub-london.escribemeetings.com/filestream.ashx?DocumentId=27669)</p> <p><u>Design:</u></p> <ul style="list-style-type: none"> - St. Peter's Seminary: Collegiate Gothic style architecture with Credit Valley and Tyndall stone. The exterior is built with stone from Credit Valley and Tyndall, Manitoba, and the roofs are copper and green slate. Architect: Windsor's Pennington and Boyde. Hamilton construction company- Piggot Brothers. <p>(https://pub-london.escribemeetings.com/filestream.ashx?DocumentId=27669)</p> <p><u>Context:</u></p> <ul style="list-style-type: none"> - Located on the bluffs overlooking the Thames River. - Located in the former area of Broughdale and Sunshine Park. - The Seminary and its contributing landscape features are a local landmark and the property is noted for its beautiful architecture. 	 <p data-bbox="2188 641 2806 681">View of CHR 8 from Waterloo Street (AECOM 2021)</p>  <p data-bbox="2188 1165 2806 1205">View of CHR 8 from Waterloo Street (AECOM 2021)</p>  <p data-bbox="2188 1689 2806 1729">View of CHR 8 from Colborne Street (AECOM 2021)</p>

Feature ID	Location/Address	Resource Type	Heritage Recognition	Description ¹	Photos
CHR 9	1070 Waterloo Street - London Diocesan Centre	Institutional	Listed Heritage Property	<p><u>Historical:</u></p> <ul style="list-style-type: none"> - Listed Heritage Property include the London Diocesan Centre built 1969. - The London Diocesan Centre was built to replace the chancery office for the Roman Catholic Diocese of London on Richmond Street. (https://pub-london.escribemeetings.com/filestream.ashx?DocumentId=27669) <p><u>Design:</u></p> <ul style="list-style-type: none"> -London Diocesan Centre designed by Tilman and Lamb of London. (https://pub-london.escribemeetings.com/filestream.ashx?DocumentId=27669) <p><u>Context:</u></p> <ul style="list-style-type: none"> -Located in the former area of Broughdale and Sunshine Park. - The Diocesan Centre and its contributing landscape features are a local landmark and the property is noted for its beautiful architecture. 	 <p data-bbox="2191 641 2806 675">View of CHR 9 from Waterloo Street (AECOM 2021)</p>

Feature ID	Location/Address	Resource Type	Heritage Recognition	Description ¹	Photos
CHR 10	370 Huron Street/1071 Colborne Street – Aquinas House	Institutional/Place of Worship and Residence	Listed Heritage Property	<p><u>Historical:</u></p> <ul style="list-style-type: none"> - Listed Heritage Property include the St. Thomas Aquinas House (built 1930) and a red brick residence (built 1930's) - The St. Thomas Aquinas House was originally on a separate property from the Seminary and was constructed in 1930. Due to the Great Depression funding was limited and this resulted in the construction a very plain design. In 1983 the Diocese of London purchased the property and renovated the building for a residence and office space (https://pub-london.escibemeetings.com/filestream.ashx?DocumentId=27669) - The red brick residence has no historical relationship to the Seminary. (https://pub-london.escibemeetings.com/filestream.ashx?DocumentId=27669) <p><u>Design:</u></p> <ul style="list-style-type: none"> - St. Thomas Aquinas House designed by B. Jones of Kitchener. (https://pub-london.escibemeetings.com/filestream.ashx?DocumentId=27669) <p><u>Context:</u></p> <ul style="list-style-type: none"> - Located in the former area of Broughdale and Sunshine Park. - The St. Thomas Aquinas House and its contributing landscape features are a local landmark and the property is noted for its beautiful architecture. 	 <p data-bbox="2191 641 2750 669">View of CHR 10 from Colborne Street AECOM (2021)</p>  <p data-bbox="2191 1084 2750 1112">View of CHR 10 from Colborne Street (AECOM 2021)</p>  <p data-bbox="2191 1528 2750 1556">View of CHR 10 from Waterloo Street (AECOM 2021)</p>

Feature ID	Location/Address	Resource Type	Heritage Recognition	Description ¹	Photos
CHR 11	432 Huron Street	Residence	Potential Cultural Heritage Resource	<p><u>Historical:</u> - Likely built in the early to mid-20th century.</p> <p><u>Design:</u> - The two-storey brick Georgian Revival style house has a side gable roof and chimney on the east elevation. The symmetrical façade includes a wood door surround with a decorative pediment. There is also decorative woodwork in the cornice, including dentils. The windows appear to be 8-over-8 sash with brick headers for lintels.</p> <p><u>Context:</u> -The residence is located on the north side of the curve of Huron and William streets. The property is adjacent to the Huron Street Woods associated with the Thames Valley Trail.</p>	 <p>View of CHR 11 from Huron Street (AECOM 2020)</p>
CHR 12	520 Huron Street	Residence	Heritage Listed Property	<p><u>Historical:</u> - Built in 1909 (City of London 2019).</p> <p><u>Design:</u> - The two-storey buff brick house with a hipped roof and buff brick chimney is partially obscured by vegetation. Decorative elements are representative of the Italianate style including the front gable with decorative wood bargeboard forming a pointed arch in the gable. There is a single round arched window in the gable. The house is three-bay with slightly arched windows with concrete sills. A porch spans the front façade.</p> <p><u>Context:</u> -The residence is located on the north side of the curve of Huron and William streets. The property is adjacent to the Huron Street Woods associated with the Thames Valley Trail.</p>	 <p>View of CHR 12 from Huron Street (AECOM 2020)</p>

Feature ID	Location/Address	Resource Type	Heritage Recognition	Description ¹	Photos
CHR 13	534 Huron Street	Place of Worship	Heritage Listed Property	<p><u>Historical:</u></p> <ul style="list-style-type: none"> - Built in 1960, it is currently the Or Shalom Synagogue (City of London 2019). <p><u>Design:</u></p> <ul style="list-style-type: none"> -It is an outstanding and unique example of regional-influenced modernist style and design. - The stone and brick synagogue complex has large windows, a cantilevered entry, a glass-enclosed passageway, and stair railings, The doors and windows feature stylized Jewish motifs, and interior wood paneling. - Architect: Philip Carter Johnson, Massey Medal-winning architect (1953). Drawings held at Or Shalom Archives. - Builder: Elis-Don (https://pub-london.escribemeetings.com/filestream.ashx?DocumentId=18572) <p><u>Context:</u></p> <ul style="list-style-type: none"> -The building is set far back from Huron Street. The rear of the property is adjacent to the Huron Street Woods, associated with the Thames Valley Trail. 	 <p>View of CHR 13 from Huron Street (AECOM 2020)</p>
CHR 14	Thames River	Watercourse	Canadian Heritage River	<p><u>Historical:</u></p> <ul style="list-style-type: none"> - includes more than 11,000 years of continuous occupancy by Canada's Aboriginal Peoples and a rich history of European exploration and settlement. - Played an important role in the War of 1812 where the Shawnee Chief Tecumseh died at the Battle of Moraviantown. A peace treaty later defined the Canadian-American border in what is now southwestern Ontario. - Was the terminus for the Underground Railway for fugitive American slaves prior to the American Civil War. - Recognized as the birthplace for Canadian agriculture, it remains the agricultural heartland of eastern Canada to this day. <p><u>Context:</u></p> <ul style="list-style-type: none"> - The Middle and South Thames join east of London and the North and South branches meet at the Forks in London, the city's most important historical landmark. - The river corridor remains largely unchanged and appears much as it did 300 years ago. (https://chrs.ca/en/rivers/thames-river) 	 <p>Google Satellite view of the Thames River, City of London, 2020</p>

Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment – Existing Transmission Main Easement

*Arva Pumping Station to Huron Street Water Transmission Main
Municipal Class Environmental Assessment Master Plan*

Presented by Tara Jenkins, MA, GPCcertCHS

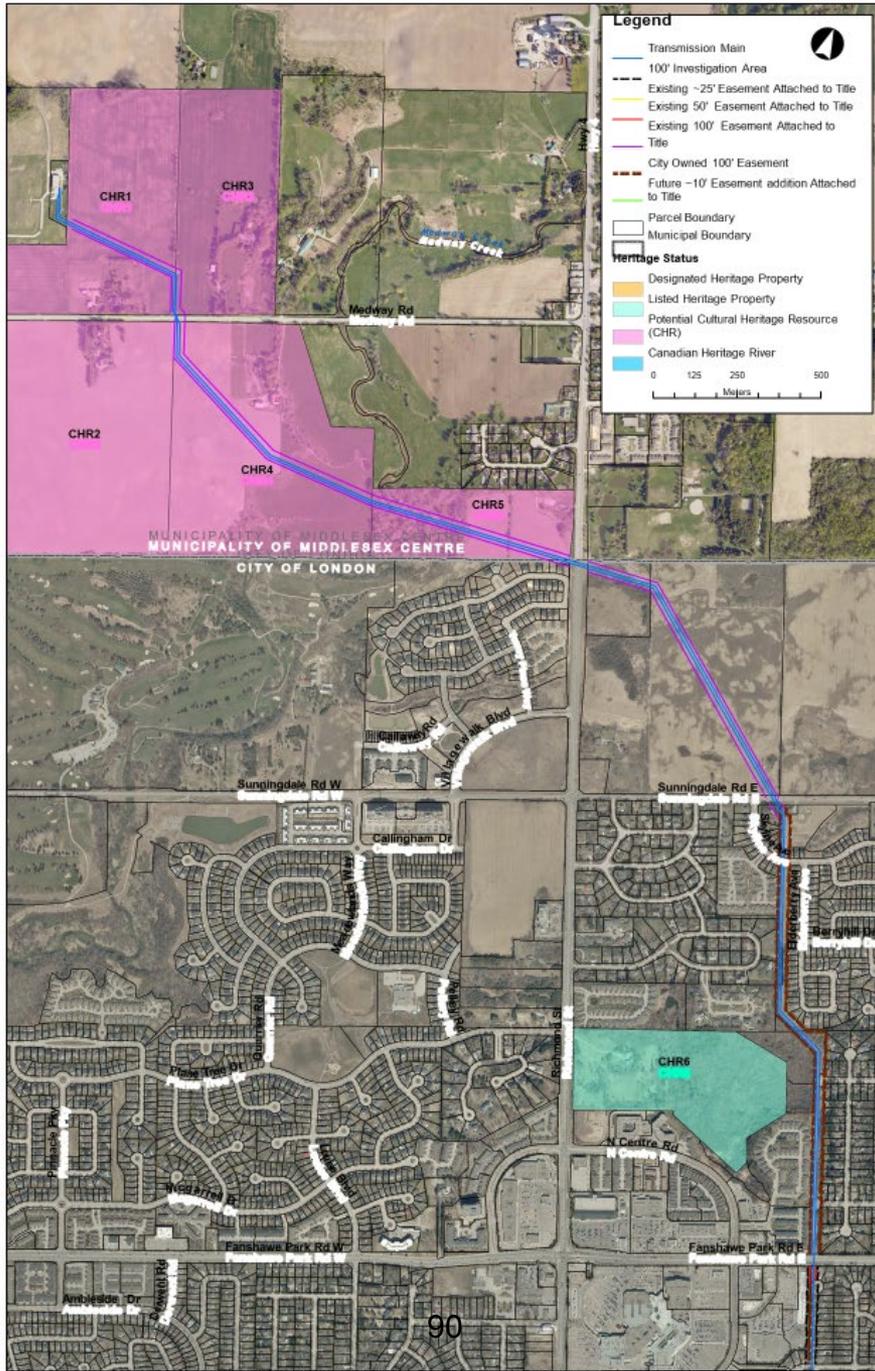
Context of Project

The City of London has initiated a MCEA Master Plan and preliminary design for the water transmission main between Arva Pumping Station to Huron Street. The majority of the water transmission main of the aforementioned was constructed in 1966 and ranges in condition, with some sections in deteriorated condition.

- Therefore, the purpose of the MCEA Master Plan is to develop a short and long-term management plan for the Arva Huron water transmission main.

The purpose of this Cultural Heritage Report is to:

- Provide a brief contextual overview of the study area
- Identify the baseline cultural heritage conditions
- Present a built heritage resources and cultural heritage landscapes inventory
- Identify potential built heritage resources and cultural heritage
- Identify preliminary project-specific impacts
- Propose appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts



Cultural Heritage Resources

A total of 14 above-ground cultural heritage resources (CHRs) were identified within and/or adjacent to the study area.

- These cultural heritage resources are comprised of four residences, four farmscapes, four institutions, one institution/place of worship, one place of worship, and one Canadian Heritage River

Feature ID	Location/Address	Resource Type	Heritage Recognition
CHR 1	14038 Medway Road	Farmscape	Potential Cultural Heritage Resource
CHR 2	14037 Medway Road	Farmscape	Potential Cultural Heritage Resource
CHR 3	14104 (14106) Medway Road	Farmscape	Potential Cultural Heritage Resource
CHR 4	14143 Medway Road	Farmscape	Potential Cultural Heritage Resource
CHR 5	21468 Richmond Street	Residence	Potential Cultural Heritage Resource
CHR 6	1836 Richmond Street	Residence	Heritage Listed Property
CHR 7	551 Windermere Road	Institutional	Heritage Listed Property
CHR 8	1040 Waterloo Street- St. Peter's Seminary	Institutional/Place of Worship	Designated Heritage Property
CHR 9	1070 Waterloo Street- London Diocesan Centre	Institutional	Heritage Listed Property
CHR 10	370/ Huron Street/1071 Colborne Street- Aquinas House	Institutional	Heritage Listed Property
CHR 11	432 Huron Street	Residence	Potential Cultural Heritage Resource
CHR 12	520 Huron Street	Residence	Heritage Listed Property
CHR 13	534 Huron Street	Place of Worship	Heritage Listed Property
CHR 14	Thames River	Watercourse	Canadian Heritage River

Summary of Mitigation

- 1) If there is a detailed design for a new water transmission main within the proposed 100' easement, this report should be reviewed by a Qualified Heritage Professional with a confirmation of impacts and mitigation measures of the undertaking on cultural heritage resources identified within and/or adjacent to the study area.
- 2) Repair work, construction activities and staging related to the water transmission main should be suitably planned and undertaken to avoid negative impacts to identified cultural heritage resources
- 3) Where temporary landscape disturbance may occur due to water transmission main maintenance and/or redundancy, restore landscape features associated with CHR 1, CHR 2, CHR 3, CHR 4, CHR 5, CHR 8, CHR 11, and CHR 14 to pre-construction conditions through post-construction landscape treatments to ensure there are no negative impacts to the properties.
 - If the disturbance is substantial, a Qualified Landscape Architect should be retained to conduct a pre-repair conditions assessment and restore the landscape to pre-repair conditions
- 4) Should detailed design for the proposed undertaking be extended beyond the proposed limits of the 100' easements, this report should be updated to confirm impacts of the proposed work
- 5) Should a Preferred Alternative be proposed outside the limits of the study area documented in this report, then a Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment should be completed.

Questions?

Thank You!

Tara.Jenkins@aecom.com

London Advisory Committee on Heritage

Report

5th Meeting of the London Advisory Committee on Heritage
May 12, 2021

Advisory Committee Virtual Meeting - during the COVID-19 Emergency

Attendance PRESENT: D. Dudek (Chair), S. Bergman, M. Bloxam, J. Dent, L. Fischer, S. Gibson, T. Jenkins, S. Jory, J. Manness, E. Rath, M. Rice, K. Waud and M. Whalley and J. Bunn (Committee Clerk)

ALSO PRESENT: R. Armistead, G. Barrett, L. Dent, K. Gonyou, M. Greguol, L. Jones and M. Schulthess

The meeting was called to order at 5:30 PM.

1. Call to Order

1.1 Disclosures of Pecuniary Interest

L. Jones discloses a pecuniary interest in Item 3.3 of the 5th Report of the London Advisory Committee on Heritage, having to do with the 850 Highbury Avenue Working Group Report, by indicating that her employer is involved in this matter.

2. Consent

2.1 4th Report of the London Advisory Committee on Heritage

That it BE NOTED that the 4th Report of the London Advisory Committee on Heritage, from its meeting held on April 14, 2021, was received.

2.2 Municipal Council Resolution - 3rd Report of the London Advisory Committee on Heritage

That it BE NOTED that the Municipal Council resolution, from its meeting held on April 13, 2021, with respect to the 3rd Report of the London Advisory Committee on Heritage, was received.

2.3 Municipal Council Resolution - Property Located at 101 Meadowlily Road South

That it BE NOTED that the Municipal Council resolution, from its meeting held on April 13, 2021, with respect to the property located at 101 Meadowlily Road South, was received.

2.4 Lorne Avenue Park Update

That it BE NOTED that the communication, from M. Guzy, Manager, Media Relations, with respect to an update on the Lorne Avenue Park, was received.

3. Sub-Committees and Working Groups

3.1 Stewardship Sub-Committee Report

That it BE NOTED that the Stewardship Sub-Committee Report, from its meeting held on April 28, 2021, was received.

3.2 Education Sub-Committee Report

That it BE NOTED that the Education Sub-Committee Report, from its meeting held on May 4, 2021, was received.

3.3 850 Highbury Avenue Working Group Report

That M. Corby, Senior Planner, BE ADVISED of the following comments from the London Advisory Committee on Heritage (LACH) with respect to the Notice of Application for Draft Plan of Subdivision, Official Plan and Zoning By-law Amendments and the Heritage Impact Assessment (HIA), dated January 2021, from Zelinka Priamo Ltd., with respect to the property located at 850 Highbury Avenue North, previously received by the LACH:

- sufficient information has not been received as part of the application in order to appropriately assess the impacts of the proposed applications on the significant heritage resources on this property; it being noted that:
 - the HIA should be prepared by a qualified heritage professional;
 - the HIA should include an assessment of impacts to identified heritage resources of the proposed development, among other content as identified in Info Sheet #5 provided by the Ministry of Heritage, Sport, Tourism and Culture Industries; it being noted that the HIA provided with the application does not speak to the impacts of the proposed development or proposed policy changes on the cultural heritage resources on the site;
- the LACH is supportive of maintaining the overall land use concept identified within the proposal, which is generally consistent with that in the London Psychiatric Hospital Secondary Plan (LPHSP); it being noted that this includes the proposed low density residential in the core area with concentration of higher densities along adjacent arterial roadways (the 'bowl' concept) and the revisions to the road and pedestrian networks, which appear to support the protection and enhancement of the cultural heritage resources;
- the LACH emphasizes the need to consider the built heritage resources as landmarks within the cultural heritage landscape, and that the assessment of impacts must address the cultural heritage landscape including views and vistas as described through the appropriate governing documents;
- the LACH acknowledges the differences or 'inconsistencies' between elements of the Heritage Conservation Easement, designating by-law L.S.P.-3321-208, and the LPHSP as identified within the HIA, but notes that these documents each have different forms and functions, and do not necessarily conflict (save for mapping discrepancies); it being noted that where these differences or 'inconsistencies' are identified, the more detailed description and assessment should apply;
- the LACH does not support many of the proposed changes to heritage policies within the LPHSP which serve to reduce protection of the heritage resources and introduce greater uncertainty; it being noted that sufficient rationale or justification for these revisions to heritage policies have not been provided within the Final Proposal Report or HIA (examples include but are not limited to:
 - LPHSP 20.4.1.4 – "Retain as much of the identified cultural and heritage resources of the area as possible feasible";
 - LPHSP 20.4.1.5.II.a) – "provide forand mixed-use buildings where possible";

- LPHSP 20.4.2.2 – “Development proposed through planning applications... will need not only to consider the significant heritage buildings, but also the unique cultural heritage landscape where possible”;
- LPHSP 20.4.3.5.2.III. d) “Built form adjacent to the Treed Allee within the Heritage Area shall should be encouraged to oriented towards the Allee in applicable locations”; and,
- LPHSP 20.4.4.10 - “shall” to “should”);
- the LACH requests clarification from City of London Heritage and Planning staff on the next steps with respect to this development application, including how the impacts to built heritage resources and the cultural heritage landscape will be assessed and addressed as the planning and design phases progress (for example, can/will an HIA be required for subsequent zoning bylaw amendment applications and/or site plan applications); it being noted that the LACH respectfully requests that these assessments be provided to LACH for review and comment;
- the LACH respectfully requests to be consulted early on any proposed changes to the designating bylaw or heritage conservation easement and would welcome a delegation from the proponent to present on heritage matters on the property; and,
- the LACH requests information from City Staff and/or the proponent on the current physical conditions of the heritage structures on the site.

4. Items for Discussion

4.1 Heritage Alteration Permit Application by P. Scott for the properties located at 40 and 42 Askin Street, By-law No. L.S.P.-2740-36 and Wortley Village-Old South Heritage Conservation District

That, on the recommendation of the Director, City Planning and City Planner, with the advice of the Heritage Planner, the application under Section 42 of the Ontario Heritage Act seeking retroactive approval for the removal and replacement of the windows on the heritage designated property located at 40 and 42 Askin Street, By-law No. L.S.P.-2740-36 and Wortley Village-Old South Heritage Conservation District, BE REFUSED; it being noted that this Heritage Alteration Permit application is seeking retroactive approval for window replacements that were previously considered and refused by Municipal Council;

it being noted that the London Advisory Committee on Heritage (LACH) encourages the applicant to work with the Heritage Planner to address the concerns raised by the LACH at the meeting;

it being further noted that a verbal delegation from P. Scott, with respect to this matter, was received.

4.2 Demolition Request for Heritage Listed Property Located at 126 Price Street

That, on the recommendation of the Director, City Planning and City Planner, with the advice of the Heritage Planner, the following actions be taken with respect to the demolition request for the existing dwelling on the heritage listed property located at 126 Price Street:

- a) the Chief Building Official BE ADVISED that the Municipal Council consents to the demolition of the dwelling on the property; and,
- b) the property at 126 Price Street BE REMOVED from the Register of Cultural Heritage Resources.

4.3 Request to Remove Properties from the Register of Cultural Heritage Resources

That, on the recommendation of the Director, City Planning and City Planner, with the advice of the Heritage Planner, the following properties BE REMOVED from the Register of Cultural Heritage Resources:

- 1033-1037 Dundas Street ;
- 1 Kennon Place;
- 19 Raywood Avenue;
- 32 Wellington Road;
- 34 Wellington Road;
- 90 Wellington Road;
- 98 Wellington Road;
- 118 Wellington Road;
- 120 Wellington Road;
- 122 Wellington Road;
- 126 Wellington Road;
- 134 Wellington Road;
- 136 Wellington Road;
- 138 Wellington Road;
- 140 Wellington Road;
- 142 Wellington Road;
- 166 Wellington Road;
- 220 Wellington Road;
- 247 Wellington Road;
- 249 Wellington Road;
- 251 Wellington Road;
- 253-255 Wellington Road;
- 261 Wellington Road;
- 263 Wellington Road;
- 265 Wellington Road;
- 267 Wellington Road;
- 269 Wellington Road;
- 271 Wellington Road;
- 273 Wellington Road;
- 275 Wellington Road;
- 285 Wellington Road;
- 287 Wellington Road;
- 289 Wellington Road;

- 297 Wellington Road;
- 301 Wellington Road;
- 327 Wellington Road;
- 331 Wellington Road;
- 333 Wellington Road;
- 72 Wellington Street; and,
- 44 Wharncliffe Road North.

4.4 Heritage Alteration Permit Application by K. St Lawrence for the Heritage Designated Property at 426 St. James Street

That, on the recommendation of the Managing Director, City Planning and City Planner, with the advice of the Heritage Planner, the application under Section 33 of the Ontario Heritage Act seeking consent for alterations to the heritage designated property located at 426 St James Street BE GIVEN, subject to the following terms and conditions:

- the new railing be 24" in height above the porch floor to maintain the proportions of the porch;
- wood be used as the material for the alterations;
- all exposed wood be painted; and,
- the Heritage Alteration Permit be displayed in a location visible from the street until the work is completed.

4.5 Demolition Request for Garage on Heritage Designated property located at 325 Victoria Street by D. Lee and E. Van den Steen

That, on the recommendation of the Director, Development Services, with the advice of the Heritage Planner, the request to demolish the garage on the heritage designated property located at 325 Victoria Street BE PERMITTED, and the Chief Building Official BE ADVISED of Municipal Council's intention in this matter; it being noted that the communication, dated May 10, 2021, from B. Jones and K. McKeating, as appended to the Added Agenda, and the verbal delegations from D. Lee, E. Van den Steen, B. Jones and K. McKeating, with respect to this matter, were received.

4.6 Nomination of Labatt Memorial Park as National Historic Site of Canada

That, on the recommendation of the Director, City Planning and City Planner, with the advice of the Heritage Planner, the following actions be taken with respect to the potential designation of Labatt Memorial Park as a National Historic Site of Canada:

- a) the above noted initiative BE ENDORSED; and,
- b) the Civic Administration BE DIRECTED to undertake the application process with respect to this matter.

4.7 Request for Designation of the Polish Hall at 80 Ann Street

That the communication, from C. Couchie, as appended to the Agenda, with respect to a request for heritage designation for the Polish Hall located at 80 Ann Street, BE REFERRED to the Stewardship Sub-

Committee for review and a report back to a future meeting of the London Advisory Committee on Heritage.

4.8 Heritage Planners' Report

That it BE NOTED that the Heritage Planners' Report, dated May 12, 2021, from the Heritage Planners, was received.

5. Adjournment

The meeting adjourned at 7:20 PM.



P.O. Box 5035
300 Dufferin Avenue
London, ON
N6A 4L9

London
CANADA

May 5, 2021

G. Barrett
Director, City Planning and City Planner

I hereby certify that the Municipal Council, at its meeting held on May 4, 2021 resolved:

That, on the recommendation of the Director, City Planning and City Planner, with the advice of the Heritage Planner, the property located at 88 Wellington Road BE REMOVED from the Register of Cultural Heritage Resources; it being noted that the two stained glass windows pictured in Appendix B of the staff report dated April 19, 2021 should be salvaged prior to the building's demolition;

it being noted that no individuals spoke at the public participation meeting associated with this matter. (3.1/6/PEC)

C. Saunders
City Clerk
/eb

cc:

J. Dann, Director, Major Projects
B. Baar, Senior Financial Business Administrator, Financial Business Support
K. Gonyou, Heritage Planner
J. Bunn, Committee Clerk
S. Langill, Executive Assistant to the City Planner, City Planning



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London
CANADA

May 5, 2021

G. Barrett
Director, City Planning and City Planner

I hereby certify that the Municipal Council, at its meeting held on May 4, 2021 resolved:

That, on the recommendation of the Director, City Planning and City Planner, with the advice of the Heritage Planner, that the property located at 92 Wellington Road BE REMOVED from the Register of Cultural Heritage Resources;

it being noted that no individuals spoke at the public participation meeting associated with this matter. (3.2/6/PEC)

C. Saunders
City Clerk
/eb

cc:

J. Dann, Director, Major Projects
B. Baar, Senior Financial Business Administrator, Financial Business Support
K. Gonyou, Heritage Planner, City Planning
J. Bunn, Committee Clerk
S. Langill, Executive Assistant to the City Planner, City Planning



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May 5, 2021

C. Saunders
City Clerk

I hereby certify that the Municipal Council, at its meeting held on May 4, 2021 resolved:

That, on the recommendation of the City Clerk, the following actions be taken with respect to the current Advisory Committee appointments:

- a) the current term for the City of London Advisory Committee appointments BE EXTENDED, until December 31, 2021;
- b) additional appointments BE MADE for the identified Advisory Committees, whose voting membership is well below that number identified in each of the respective Terms of Reference;
- c) the following BE APPOINTED as Voting Member at Large for the term ending December 31, 2021:
 - i) Accessibility Advisory Committee (Requires up to 4 Members of which a minimum of 1 must have a disability)
 - Bonnie Quesnel
 - Dianne Haggerty
 - Jill Teeple
 - Katya Pereyaslavskaya
 - ii) Cycling Advisory Committee (Requires up to 4 Members at Large)
 - Marieke Mur
 - Trevor Wade
 - Irina Chulkova
 - Dan Doroshenko
 - iii) Diversity, Inclusion and Anti-Oppression Advisory Committee (Requires up to 7 Members at Large)
 - Melissa Alder
 - Hetham Hani Jamel Abu Kakry
 - Nour Al-Farawi
 - Wajdi Khouri
 - Krista Arnold
 - Citlally Maceil
 - Beverley Madigan

iv) Trees and Forests Advisory Committee (Requires up to 7 Members at Large)

- Samjhana Thapa
- G. Paul Nicholson. (4.2/7/CSC) (2021-C12)



C. Saunders
City Clerk
/hw

cc: B. Quesnel
D. Haggerty
J. Teeple
K. Pereyaslavska
M. Mur
T. Wade
I. Chulkova
D. Doroshenko
M. Alder
H. Hani Jamel Abu Kakry
N. Al-Farawi
W. Khouri
K. Arnold
C. Maceil
B. Madigan
S. Thapa
G. Paul Nicholson
B. Westlake-Power, Deputy City Clerk
M. Schulthess, Deputy City Clerk
H. Lysynski, Committee Clerk
J. Bunn, Committee Clerk
A. Pascual, Committee Clerk

Report to Governance Working Group

To: Chair and Members
Governance Working Group
From: Cathy Saunders, City Clerk
Subject: Advisory Committee Review – Interim Report VI
Date: May 17, 2021

Recommendation

That, on the recommendation of the City Clerk, the following actions be taken with respect to the Advisory Committee Review:

- a) the report dated January 11, 2021 entitled “Advisory Committee Review – Interim Report VI”, BE RECEIVED; and,
- b) the Civic Administration BE DIRECTED to report back to a future meeting of the Governance Working Group with respect to feedback related to the draft Terms of Reference, attached as Appendix A to this report.

Executive Summary

The purpose of this interim report is to provide draft details for consideration, related to a proposed new advisory committee structure. This report has concurrently been provided to all current advisory committee members. It is recommended that the report be received at this time, with additional discussion at a future meeting in order to provide an opportunity for additional feedback from advisory committee members with respect to this matter.

Analysis

1.0 Background Information

1.1 Previous Reports Related to this Matter

- Finance and Administrative Services Committee, February 27, 2012
- Strategic Priorities and Policy Committee, December 16, 2013
- Strategic Priorities and Policy Committee, March 17, 2014
- Civic Works Committee, June 19, 2018
- Corporate Services Committee, November 13, 2018
- Corporate Services Committee, March 19, 2019
- Governance Working Group, August 24, 2020
- Governance Working Group, November 10, 2020
- Corporate Services Committee, April 19, 2021

1.2 Previous Council Direction

The following was resolved at the November 24, 2020 meeting of the Municipal Council:

That the following actions be taken with respect to the 2nd Report of the Governance Working Group from its meeting held on November 10, 2020:

- a) the following actions be taken with respect to the Advisory Committee Review:
 - i) the report dated November 10, 2020 entitled "Advisory Committee Review - Interim Report III", BE RECEIVED;
 - ii) the City Clerk BE DIRECTED to report back to the Governance Working Group (GWG) with respect to the next steps required to implement the revised Advisory Committee Structure, as outlined in the report noted in a) above subject to the following modifications:

- A) the proposed Environmental & Ecological Committee and Childcare Advisory Committee shall remain as Advisory Committees;
 - B) a minimum numbers of meetings will be provided for;
 - C) Experts Panels are to be clarified; and,
 - D) comments provided by the Governance Working Group with respect to the proposed revised Advisory Committee Structure be further considered;
- iii) the City Clerk BE DIRECTED to consult with the current Advisory Committees with respect to the proposals set out in the staff report subject to the modifications listed in b) above and report back to the GWG with the results of that consultation;
 - iv) the communication, dated November 8, 2020, from D. Wake regarding this matter BE RECEIVED;
- b) the City Clerk BE DIRECTED to report back to the Governance Working Group (GWG) providing an overview of other municipalities' policies and processing with respect to the handling of unsolicited petitions, and to provide draft policies and procedures for the consideration of the GWG with respect to this matter; and,
 - c) clauses 1.1 and 2.1 BE RECEIVED for information. (5.1/18/SPPC)

2.0 Discussion and Considerations

2.1 Individual Committee Structure(s)

Previous reports have reviewed options for the purpose of any given advisory group, in terms of “engagement” versus “expert advice”. Currently, and in accordance with the above-noted direction, there is not a recommendation to proceed with the establishment of any new expert panels.

This report proposes that ‘Advisory Committee’ be used as a term to define specific types of groups, such as the Environmental & Ecological Planning Advisory Committee and Childcare Advisory Committee. These two committees were specifically identified by Council to remain in the status of ‘Advisory Committee’. The membership of these committees would be more specific, although not as specialized as the requirements of membership on an ‘expert panel’.

“Community Engagement Panel” is a new term proposed for other groups that the council may convene, that have a purpose more closely related to engagement on specific matters. In the case of these committees (panels), membership would be more generalized to provide for representation of a broader nature. Individuals would be expected to have an interest in the subject matter, but specific ‘qualifications’ would not be required. The community engagement panel membership appointments could be managed differently than advisory committee appointments; these panels are proposed to encourage broad participation for all who may be interested in a particular subject matter.

2.2 Draft Terms of Reference

Attached to this report, as Appendix A, are draft Terms of Reference for the proposed committees as previously directed by Council (except for the Community Safety and Well-Being Advisory Committee). Please note that most ‘names’ associated with the proposed committees are intended for discussion purposes.

In each of the proposed Terms of Reference, the Non-Voting Resources have been updated to be as flexible as possible in order to better serve the needs of the respective committees. There are some included non-voting membership suggestions, however these are intended to be potential guidelines and it would not be expected that there

would be “appointments” of resource members or that would attendance of any resource members for all meetings.

These Terms of Reference attempt to balance the feedback received to date, which was quite broad, with the direction from Council at this time.

Legislatively Required Committees:

Community Safety and Well-Being Advisory Committee – This committee is currently outside of this advisory committee structure but is Corporately established in accordance with the applicable legislation, the *Police Services Act*. This is not included with this report.

London Planning Advisory Committee – The committee will fulfil the legislative requirement under the *Planning Act*, 1990 for the establishment of a Planning Advisory Committee and will address heritage-related matters.

Accessibility Advisory Committee – The proposed Terms of Reference has been streamlined and is primarily based on the legislative requirements.

Additional Committees/Groups:

Ecological Advisory Committee

Child Care Advisory Committee

Integrated Transportation Community Engagement Panel

Environmental Stewardship and Action Community Engagement Panel

Diversity, Inclusion and Anti-Oppression Community Engagement Panel

Animal Welfare Community Engagement Panel

3.0 Next Steps

3.1 Continued Consultation

The City Clerk’s Office will work to gather feedback on the proposed Terms of Reference provided with this report. This will include consultation with elected officials, advisory committee members and the Civic Administration to ensure this structure is appropriately aligned with the corporate structure, and that the roles are reflective of current established direction. At the same time, work will continue on the General Terms of Reference for all Advisory Committees.

3.2 Additional Considerations

Traditionally, the advisory committees have enjoyed a parliamentary structure less formal than the City Standing Committees or Council. At the same time, the parliamentary structure that is required of the advisory committees has inadvertently created difficulties for the functionality of the committees. A few examples are the quorum requirement for meetings and the lack of a member who is interested to serve as the committee Chair. Occasionally, there have also been committees that have not been as efficient as they may otherwise be, due to a lack of parliamentary procedure experience. Should there be support for the above-noted proposed structure, it would be recommended to also consider differentiating the operation of these structures in the General Guidelines for All Advisory Committees. This could include, but not be limited to, modifying the quorum requirement, and having a staff person lead the committee in more of a moderator role for the community engagement panels.

4.0 Financial Impact/Considerations

None at this time.

5.0 Conclusion

The responses received from current advisory committee members related to the previously considered structure varied significantly. This is not unlike the previous feedback that was provided in the report from March 2019, which included the previous advisory committee membership. As such, the Committee may wish to provide additional specifics for staff, to be better positioned to present an implementation plan.

Prepared, Submitted and Recommended by:

Cathy Saunders, City Clerk
Michael Schulthess, Deputy City Clerk
Barb Westlake-Power, Deputy City Clerk

Terms of Reference
London Planning Advisory Committee

Role

The role of an advisory committee is to provide recommendations, advice, and information to the Municipal Council on those specialized matters which relate to the purpose of the advisory committee.

Mandate

The London Planning Advisory Committee (LPAC) shall serve as the City's municipal heritage committee, pursuant to Section 28 of the *Ontario Heritage Act*, RSO 1990, c O.18. As part of their decision making process, Municipal Council shall consult with the London Planning Advisory Committee in accordance with the *Ontario Heritage Act*, as specified through the passing of a by-law or policy, or as set out in this mandate. The LPAC shall also serve as the City's planning advisory committee, pursuant to Section 8(1) of the *Planning Act*, RSO 1990, c P.13.

The London Planning Advisory Committee reports to the Municipal Council, through the Planning and Environment Committee.

The role of the LPAC includes the following:

- to advise Municipal Council within its capacity as the City's municipal heritage committee;
- to recommend and to comment on appropriate policies for the conservation of cultural heritage resources within the City of London, including Official Plan policies;
- to recommend and to comment on the protection of cultural heritage resources within the City of London, such as designation under the *Ontario Heritage Act*;
- to recommend and to comment on the utilization, acquisition and management of cultural heritage resources within the City of London, including those that are municipally owned;
- to recommend and to comment on cultural heritage matters, agricultural and rural issues;
- to recommend and comment on various planning and development applications and/or proposals;
- to review and to comment on the preparation, development, and implementation of any plans as may be identified or undertaken by the City of London or its departments where and when cultural heritage, rural and/or agricultural issues may be applicable;
- to advise Municipal Council and comment on legislation, programs, and funding that may impact the community's cultural heritage resources and rural issues; and
- to assist in developing and maintaining up-to-date information on cultural heritage resources, and to assist in the identification, evaluation, conservation, and management of those resources on an ongoing basis through the review of documents prepared by the Civic Administration and/or local community groups.

Composition

Voting Members

The London Planning Advisory Committee shall consist of a minimum of five members to a maximum of fifteen members. Appointments to the London Planning Advisory Committee may include the following:

- Three members-at-large;
- One representative from a Youth-Oriented Organization (i.e. ACO NextGen); and,
- Where possible, appointments to LACH may include a representative of the following broad sectors or spheres of interest:
 - Built Heritage (Architecture and Conservancy Ontario London);

APPENDIX A

- o Local History (London & Middlesex Historical Society);
- o Archaeology/Anthropology (Ontario Archaeological Society, London Chapter);
- o Natural Heritage (Nature London);
- o Movable Heritage – Archives, (Archives Association of Ontario);
- o Movable Heritage – Museums & Galleries;
- o Neighbourhood Organizations;
- o Development Community (London Home Builders Association/London Development Institute);
- o London and area Planning Consultants;
- o Representative of the Indigenous Population;
- o Agricultural organizations; and
- o London Society of Architects.

Should it not be possible to represent a sector or sphere of interest on LACH after consultation with other organizations in the respective sector, member-at-large appointments may increase.

Non-Voting Resource Group

Representatives from organizations within any of the following sectors may be called upon as the LPAC determines to be necessary:

- Heritage Planner(s)/City's Planning Division;
- Culture Office;
- Post-Secondary Students; and
- London Heritage Council.

Sub-committees and Working Groups

The London Planning Advisory Committee may form sub-committees and working groups as may be necessary to address specific issues; it being noted that the City Clerk's office does not provide support resources to these sub-committees or groups. These sub-committees and working groups shall draw upon members from the LPAC and may include outside resource members as deemed necessary. The Chair of a sub-committee and/or working group shall be a voting member of the LPAC.

Term of Office

Appointments to advisory committees shall be determined by the Municipal Council.

Conduct

The conduct of Advisory Committee members shall be in keeping with Council Policy and the Respectful Workplace Policy.

Meetings

Meetings shall be once monthly at a date and time set by the City Clerk in consultation with the London Planning Advisory Committee. Length of meetings shall vary depending on the agenda. Meetings of sub-committees and/or working groups that have been formed by the LPAC may meet at any time and at any location and are in addition to the regular meetings of the LPAC.

Terms of Reference
Accessibility Advisory Committee

Role

The role of an advisory committee is to provide recommendations, advice and information to the Municipal Council on those specialized matters which relate to the purpose of the advisory committee.

The establishment and role of the Accessibility Advisory Committee is mandated by the *Accessibility for Ontarians with Disabilities Act, 2005*, SO 2005, c 11.

Definitions (AODA 2005)

“the organizations” refers to:

- the City of London and may refer to the City's Agencies, Boards and Commissions, to be determined subject to the *Ontarians with Disabilities Act, 2001* (ODA 2001) and the *Accessibility for Ontarians with Disabilities Act, 2005* (AODA 2005) and its regulations. It is intended that the Accessibility Advisory Committee shall advise comprehensively upon issues for a barrier-free London which may entail forwarding recommendations to the City's Agencies, Boards and Commissions and/or other outside organizations;

“barrier” means:

- anything that prevents a person with a disability from fully participating in all aspects of society because of their disability, including a physical barrier, an architectural barrier, an information or communication barrier, an attitudinal barrier, a technological barrier, a policy or a practice (“obstacle”);

“disability” means:

- any degree of physical disability, infirmity, malformation or disfigurement that is caused by bodily injury, birth defect or illness and, without limiting the generality of the foregoing, includes diabetes mellitus, epilepsy, a brain injury, any degree of paralysis, amputation, lack of physical co-ordination, blindness or visual impediment, deafness or hearing impediment, muteness or speech impediment, or physical reliance on a guide dog or other animal or on a wheelchair or other remedial appliance or device;
- a condition of mental impairment or a developmental disability;
- a learning disability, or a dysfunction in one or more of the processes involved in understanding or using symbols or spoken language;
- a mental disorder; or
- an injury or disability for which benefits were claimed or received under the insurance plan established under the *Workplace Safety and Insurance Act, 1997*; (“handicap”).

Mandate

The Accessibility Advisory Committee (ACCAC) shall advise and assist “the organizations” in promoting and facilitating a barrier-free London for citizens of all abilities (universal accessibility). This aim shall be achieved through the review of municipal policies, programs and services, which may include the development of means by which an awareness and understanding of matters of concern can be brought forward and the identification, removal and prevention of barriers faced by persons with disabilities, and any other functions prescribed under the *Ontarians with Disabilities Act, 2001* (ODA 2001), *Accessibility for Ontarians with Disabilities Act, 2005* (AODA 2005) and regulations.

APPENDIX A

The Accessibility Advisory Committee reports to Municipal Council, through the Community and Protective Services Committee. The Accessibility Advisory Committee is responsible for the following:

Duties Required by the *Accessibility for Ontarians with Disabilities Act, 2005* (AODA 2005)

- (a) participating in the development and/or refinement of the City of London's Multi-Year Accessibility Plan, which outlines the City of London's strategy to prevent and remove barriers for persons with disabilities;
- (b) advising the City of London on the implementation and effectiveness of the City's Multi-Year Accessibility Plan to ensure that it addresses the identification, removal and prevention of barriers to persons with disabilities in the City of London's by-laws, and all its policies, programs, practices and services;
- (c) selecting and reviewing in a timely manner the site plans and drawings for new development, described in section 41 of the *Planning Act*;
- (d) reviewing and monitoring existing and proposed procurement policies of the City of London for the purpose of providing advice with respect to the accessibility for persons with disabilities to the goods or services being procured;
- (e) reviewing access for persons with disabilities to buildings, structures and premises (or parts thereof) that the City purchases, constructs, significantly renovates, leases, or funds for compliance with the City of London's Accessibility Design Standards (FADS);
- (f) Consulting on specific matters as prescribed under the *Accessibility for Ontarians with Disabilities Act, 2005* (AODA 2005)

Other Duties

- (g) advising "the organizations" on issues and concerns (barriers) faced by persons with disabilities and the means by which "the organizations" may work towards the elimination of these barriers;
- (h) annually reviewing and recommending changes to The City of London's Facility Accessibility Design Standards (FADS) and other applicable and related policies including, but not limited to, sidewalk design, traffic signalization, public works etc.;
- (i) supporting, encouraging and being an ongoing resource to "the organizations", individuals, agencies and the business community by educating and building community awareness about measures (such as the availability of employment, leisure and educational choices) for improving the quality of life for persons with disabilities, through the removal of physical barriers, incorporation of universal design standards, and education to overcome attitudinal barriers to make London an accessible, livable City for all people.

Composition

Voting Members

A maximum of thirteen members consisting of:

- a majority of the members (minimum 7) shall be persons with disabilities as required under the *Accessibility for Ontarians with Disabilities Act, 2005* (AODA 2005). The Committee members shall be representative of gender, ethnicity and diverse types of disabilities wherever possible; and
 - a maximum of six additional members, as follows:
 - o one member (parent) representing children with disabilities; and
 - o five members-at-large, interested in issues related to persons with disabilities
- * it being noted that these additional members may also have a disability.

Non-Voting Resource Group

Non-Voting and Resource members may be engaged as the committee deems necessary.

APPENDIX A
Staff Resources

Staff resources will be allocated as required, however the specific liaison shall be the Supervisor, Municipal Policy (AODA), or designate.

Sub-committees and Working Groups

The Advisory Committee may form sub-committees and working groups as may be necessary to address specific issues; it being noted that the City Clerk's office does not provide resources or support to these groups. These sub-committees and working groups shall draw upon members from the Advisory Committee as well as outside resource members as deemed necessary. The Chair of a sub-committee and/or working group shall be a voting member of the Advisory Committee.

Term of Office

Appointments to advisory committees shall be determined by the Municipal Council.

Conduct

The conduct of Advisory Committee members shall be in keeping with Council Policy.

Meetings

Meetings shall be once monthly at a date and time set by the City Clerk in consultation with the advisory committee. Length of meetings shall vary depending on the agenda. Meetings of working groups that have been formed by the Advisory Committee may meet at any time and at any location and are in addition to the regular meetings of the Advisory Committee.

Terms of Reference
Ecological Advisory Committee

Role

The role of an advisory committee is to provide recommendations, advice, and information to the Municipal Council on those specialized matters which relate to the purpose of the advisory committee.

Mandate

The Ecological Advisory Committee (EAC) reports to the Municipal Council, through the Planning and Environment Committee. The Ecological Advisory Committee provides technical advice to the City of London on matters which are relevant to the City of London's Official Plan, including London's natural heritage systems as it relates to Environmentally Significant Areas, woodlands, stream corridors, etc.

The EAC works with Civic Administration, including Ecologists, and may provide advice including, but not limited to, the following matters:

- natural areas, environmental features and applicable policies which may be suitable for identification and/or recognition in the Official Plan;
- management and enhancement of the Natural Heritage System, including Official Plan Policy, Environmental Management Guidelines and other policies and practices;
- to provide advice as part of the development of Conservation Master Plans for London's Environmentally Significant Areas and in Subwatershed Studies;
- reports, projects and processes that may impact the natural heritage system, including Areas Plans, Natural Heritage Studies, Environmental Impact Studies (EIS), Subject Land Status reports, Environmental Assessments, etc.;
- projects (including City-lead) occurring within the Official Plan trigger distance for an EIS, regardless of whether or not the project includes a formalized EIS;
- technical advice, at the request of the Municipal Council, its Committees or the Civic Administration, on environmental matters which are relevant to the City's Official Plan or Natural Heritage System;
- any matter which may be referred to the Committee by Municipal Council, its Committees, or the Civic Administration.

Composition

Voting Members

Up to nineteen members of the community with an interest in the matters included in the mandate of the EAC. A professional designation, education or experience in related fields is not a requirement but is considered an asset based on the technical nature of the committee work. Areas of expertise may include the following: Biology, Ornithology, Geology, Botany, Zoology, Landscape Architecture, Forestry, Ecology, Resource Management, Hydrology, Geography, Environmental Planning, Limnology and Natural History.

Non-Voting Resource Group

Representatives such as any of the following may be called upon as the EAC determines to be necessary:

- Civic Administration, including Ecologist(s);
- Upper Thames River Conservation Authority;
- Lower Thames Valley Conservation Authority;
- Kettle Creek Conservation Authority; and
- Ministry of Natural Resources.

APPENDIX A

Sub-committees and Working Groups

The Advisory Committee may form sub-committees and working groups as may be necessary to address specific issues; it being noted that the City Clerk's office does not provide resource support to these sub-committees or groups. These sub-committees and working groups shall draw upon members from the Advisory Committee as well as outside resource members as deemed necessary. The Chair of a sub-committee and/or working group shall be a voting member of the Advisory Committee.

Term of Office

Appointments to advisory committees shall be determined by the Municipal Council.

Conduct

The conduct of Advisory Committee members shall be in keeping with Council Policy and the Respectful Workplace Policy.

Meetings

Meetings shall be once monthly at a date and time set by the City Clerk in consultation with the EAC. Length of meetings shall vary depending on the agenda. Meetings of sub-committees and/or working groups that have been formed by the EAC may meet at any time and at any location and are in addition to the regular meetings of the EAC.

Terms of Reference
Child Care Advisory Committee

Role

The role of an advisory committee is to provide recommendations, advice, and information to the Municipal Council on those specialized matters which relate to the purpose of the advisory committee.

Mandate

The Child Care Advisory Committee provides information, advice and recommendations to Municipal Council through the Community and Protective Service Committee on issues affecting early learning and child care of children such as, but not limited to, special needs funding, resource centres funding, wage subsidy, childcare fee subsidy and health and safety issues.

The Advisory Committee also provides an opportunity for information sharing between Municipal, Provincial and Federal social service administrations and the child care community.

Composition

Voting Members

Up to thirteen members-at-large, representing the following sectors:

- Licensed Child Care Providers (at least seven members representing the current composition of multi and single site child care and early learning sector for children from infancy through 12 years of age, including representation from the French language child care sector and the Licensed Home Child Care sector);
- Fanshawe Early Childhood Education Program;
- Ontario Early Years Child and Family Centres; and
- Informed Community Members.

Non-Voting Resource Group

At least one representative of each of the following:

Government:

- City of London, Children's Services
- Local School Boards – TVDSB, LDCSB, French Language School Boards

Community Agencies:

- Middlesex-London Health Unit
- Support Services for children with special needs

Sub-committees and Working Groups

The Advisory Committee may form sub-committees and working groups as may be necessary to address specific issues; it being noted that the City Clerk's office does not provide resource support to these sub-committees or groups. These sub-committees and working groups shall draw upon members from the Advisory Committee as well as outside resource members as deemed necessary. The Chair of a sub-committee and/or working group shall be a voting member of the Advisory Committee.

Term of Office

Appointments to advisory committees shall be determined by the Municipal Council.

APPENDIX A

Conduct

The conduct of Advisory Committee members shall be in keeping with Council Policy and the Respectful Workplace Policy.

Meetings

Meetings shall be held a minimum of three times annually at a date and time set by the City Clerk in consultation with the advisory committee; additional meetings may be convened as may be deemed necessary. Length of meetings shall vary depending on the agenda. Meetings of working groups that have been formed by the Advisory Committee may meet at any time and at any location and are in addition to the regular meetings of the Advisory Committee.

Terms of Reference
Integrated Transportation Community Engagement Panel

Role

The role of a community engagement panel is to provide the Municipal Council with a formalized on-going opportunity for public consultation and to offer recommendations, advice, and information to the Municipal Council on those specialized matters which relate to the purpose of the panel.

Mandate

The Integrated Transportation Community Engagement Panel (ITCEP) reports to the Municipal Council through the Civic Works Committee. The ITCEP will advise and support City Council in the implementation of various municipal plans, including but not limited to:

- Transportation Master Plan (TMP);
- London Road Safety Strategy (LRSS); and
- Bicycle Master Plan (BMP).

The ITCEP shall be available to the Civic Administration to provide review and feedback for initiatives related to all forms of transportation and transportation planning. This shall include, but not be limited to the following matters:

- transportation master planning studies and implementation projects carried out for the City of London;
- the long-term capital plans for pedestrians, transit, active transportation (including cycling), road and parking facilities;
- significant land use plans that affect transportation matters;
- Area Planning Studies, Secondary Plans and Official Plan reviews;
- assisting the development of new active transportation and transportation demand management policies, strategies and programs;
- advising on measures required to implement the City's commitment to active transportation, including safety features; and
- recommending and advising on new transportation planning initiatives in the context of available approved budgets and under future potential budget allocations.

Composition

Voting Members

Up to thirteen members of the community with an interest in the matters included in the mandate of the Integrated Transportation Community Engagement Panel.

Non-Voting Resource Group

Representatives from organizations within any of the following sectors/organizations may be called upon as the ITCEP determines to be necessary:

- City of London Service Areas (various);
- London Transit Commission;
- London Police Service;
- Middlesex-London Health Unit;
- Post-Secondary Student(s);
- London Middlesex Road Safety Committee;
- Canadian Automobile Association;
- Urban League of London;
- Chamber of Commerce;
- London Development Institute;
- London Cycle Link;
- Thames Region Ecological Association; and
- Cycling Club(s) – with Ontario Cycling Association membership.

Sub-committees and Working Groups

The community engagement panel may form sub-committees and working groups as may be necessary to address specific issues; it being noted that the City Clerk's office does not provide resource support to these sub-committees or groups. These sub-committees and working groups shall draw upon members from the community engagement panel and may include outside resource members as deemed necessary. The Chair of a sub-committee and/or working group shall be a voting member of the community engagement panel.

Term of Office

Appointments to community engagement panel shall be determined by the Municipal Council.

Conduct

The conduct of community engagement panel members shall be in keeping with Council Policy including the Respectful Workplace Policy.

Meetings

Meetings shall be once monthly at a date and time set by the City Clerk in consultation with the community engagement panel. Length of meetings shall vary depending on the agenda. Meetings of working groups that have been formed by the Advisory Committee may meet at any time and at any location and are in addition to the regular meetings of the community engagement panel.

Terms of Reference
Environmental Stewardship and Action
Community Engagement Panel

Role

The role of a community engagement panel is to provide the Municipal Council with a formalized on-going opportunity for public consultation and to offer recommendations, advice, and information to the Municipal Council on those specialized matters which relate to the purpose of the panel.

Mandate

The Environmental Stewardship and Action Community Engagement Panel reports to the Municipal Council, through the Planning and Environment Committee. The Environmental Stewardship and Action Community Engagement Panel provides input, advice and makes recommendations on environmental matters affecting the City of London.

The Environmental Stewardship and Action Community Engagement Panel is a Council resource with respect to matters such as the following:

- remedial planning toward the clean-up of contaminated areas;
- waste reduction, reuse and recycling programs;
- water and energy conservation measures;
- climate change mitigation;
- the development and monitoring of London's Urban Forest Strategy and Climate Emergency Action Plan and a resource for other related policies and strategies;
- the maximization of the retention of trees and natural areas; and
- other aspects of environmental concerns as may be suggested by the Municipal Council, its other Committees, or the Civic Administration.

Composition

Voting Members

Maximum of thirteen members consisting of individuals with an interest and/or background in environmental initiatives.

Non-Voting Resource Group

Representatives may be called upon as the Panel determines to be necessary, including from the following:

- Thames Region Ecological Association;
- Ministry of the Environment or Ministry of Natural Resources;
- Middlesex-London Health Unit;
- Thames Valley District School Board;
- London District Catholic School Board;
- Civic Administration (various);
- London Hydro;
- Local Conservation Authorities;
- Youth Representatives, including Post-secondary students;
- Institute for Catastrophic Loss Reduction, University of Western Ontario; and
- UWO Biotron.

Sub-committees and Working Groups

The Environmental Stewardship and Action Community Engagement Panel may form sub-committees and working groups as may be necessary to address specific issues; it being noted that the City Clerk's Office does not provide resources or support to these sub-committees or groups. These sub-committees and working groups shall draw upon members from the Environmental Stewardship and Action Community Engagement Panel

APPENDIX A

as well as outside resource members as deemed necessary. The Chair of a sub-committee and/or working group shall be a voting member of the Environmental Stewardship and Action Community Engagement Panel.

Term of Office

Appointments to Community Engagement Panels shall be determined by the Municipal Council.

Conduct

The conduct of Environmental Stewardship and Action Community Engagement Panel members shall be in keeping with Council Policy including the Respectful Workplace Policy.

Meetings

Meetings shall be once monthly at a date and time set by the City Clerk in consultation with the Environmental Stewardship and Action Community Engagement Panel. Length of meetings shall vary depending on the agenda. Meetings of working groups that have been formed by the Environmental Stewardship and Action Community Engagement Panel may meet at any time and at any location and are in addition to the regular meetings of the Environmental Stewardship and Action Community Engagement Panel.

Terms of Reference
Diversity, Inclusion and Anti-Oppression Community
Engagement Panel

Role

The role of a community engagement panel is to provide the Municipal Council with a formalized on-going opportunity for public consultation and to offer recommendations, advice, and information to the Municipal Council on those specialized matters which relate to the purpose of the panel.

Mandate

The Diversity, Inclusion and Anti-Oppression Community Engagement Panel reports to the Municipal Council, through the Community and Protective Services Committee. The Diversity, Inclusion and Anti-Oppression Community Engagement Panel is to provide leadership on matters related to diversity, inclusivity, equity and the elimination of discrimination in the City of London.

The Diversity, Inclusion and Anti-Oppression Community Engagement Panel (DIACEP) may be called upon for the following:

- to provide consultation, advice, report findings and make recommendations to City Council as necessary or at such times as Council may deem desirable, on matters of discrimination as defined by the Ontario Human Rights Code and matters related to diversity, inclusivity and equity in the City of London;
- to act as a resource for the City in the development, maintenance and refinement of policies and practices that facilitates an inclusive and supportive work environment. This includes, but is not limited to, human resource policies related to recruitment, hiring, training, and promotion that provide equitable opportunity for members of London's diverse populations;
- to participate in the development of new policies and programs or the refinement of existing ones, related to matters of discrimination, diversity, inclusivity and equity in the City of London; and
- to be a source of information to the Council on community resources available regarding issues of discrimination.

Composition

Voting Members

- ten members-at-large
- a minimum of one individual who is primarily French-speaking

Non-Voting Members

Representative from organizations within any of the following sectors may be called upon as the DIACEP determines to be necessary:

- ethno-cultural and linguistic community organizations;
- police, justice and legal services;
- age-based organizations/services;
- health care services;
- educational institutions/organizations/services;
- immigrant settlement services;
- income support organizations/services;
- employment-related agencies/organizations;
- faith-based community groups;
- LGBT groups;
- gender-based groups;
- aboriginal community groups/agencies;
- aboriginal community groups/agencies;
- persons with disabilities groups/agencies;
- race, anti-racism or anti-hate groups/organizations; and
- post-secondary students - from each of the University Students' Council, Western

Sub-committees and Working Groups

The Community Engagement Panel may form sub-committees and working groups as may be necessary to address specific issues; it being noted that the City Clerk's Office does not provide resource support to these sub-committees or working groups. These sub-committees and working groups shall draw upon members from the Community Engagement Panel as well as outside resource members as deemed necessary. The Chair of a sub-committee and/or working group shall be a voting member of the Community Engagement Panel.

Term of Office

Appointments to community engagement panels shall be determined by the Municipal Council.

Conduct

The conduct of community engagement panel members shall be in keeping with Council Policy including the Respectful Workplace Policy.

Meetings

Meetings shall be once monthly at a date and time set by the City Clerk in consultation with the community engagement panel. Length of meetings shall vary depending on the agenda. Meetings of working groups that have been formed by the community engagement panel may meet at any time and at any location and are in addition to the regular meetings of the community engagement panel.

Terms of Reference
Animal Welfare Community
Engagement Panel

Role

The role of a community engagement panel is to provide the Municipal Council with a formalized on-going opportunity for public consultation and to offer recommendations, advice, and information to the Municipal Council on those specialized matters which relate to the purpose of the panel.

Mandate

The Animal Welfare Community Engagement Panel reports to the Municipal Council through the Community and Protective Services Committee. The mandate of the Animal Welfare Community Engagement Panel is to advise the Municipal Council on issues relating to animal welfare for domestic animals, urban wildlife and animals for use in entertainment, within the City of London. Farm animals do not, however, fall within the mandate of the Animal Welfare Community Engagement Panel.

The Animal Welfare Community Engagement Panel (AWCEP) will act as a resource on issues and initiatives relating to animal welfare within the City of London include animal control legislation (municipal, provincial and federal); licensing and other fees; public education and awareness programs; off-leash dog parks; adoption programs; spay/neuter programs; feral cats; discussing and understanding animals in entertainment; and enforcement.

Typical duties of the AWCEP would include:

- advising on issues and concerns faced by animals within the City of London;
- advising on opportunities that have been identified within the community to improve animal welfare;
- reviewing and making recommendations to the Community and Protective Services Committee on solutions to improve animal welfare in the City of London;
- supporting, encouraging and being a resource to the Municipal Council and the Civic Administration

Composition

Voting Members:

A maximum of thirteen voting members consisting of individuals with an interest or background in animal welfare.

Representatives from the following organizations or categories are desirable:

- Friends of Captive Animals;
- London Dog Owners Association;
- Wildlife Rehabilitator, including naturalists with either educational credentials or active involvement with wildlife through an organization;
- Animal Rescue Group;
- Veterinarian or Veterinary Technician; and
- Local Pet Shop Owner.

APPENDIX A

Non-Voting Resource Group:

Representative from organizations within any of the following sectors may be called upon as the AWCEP determines to be necessary:

- Civic Administration (various departments);
- Middlesex-London Health Unit;
- Upper Thames River Conservation Authority;
- Ministry of Natural Resources; and
- student representatives.

Sub-committees and Working Groups

The community engagement panel may form sub-committees and working groups as may be necessary to address specific issues; it being noted that the City Clerk's Office does not provide resources or support to these sub-committees or groups. These sub-committees and working groups shall draw upon members from the community engagement panel as well as outside resource members as deemed necessary. The Chair of a sub-committee and/or working group shall be a voting member of the Community engagement panel.

Term of Office

Appointments to community engagement panels shall be determined by the Municipal Council.

Conduct

The conduct of community engagement panel members shall be in keeping with Council Policy including the Respectful Workplace Policy.

Meetings

Meetings shall be once monthly at a date and time set by the City Clerk in consultation with the community engagement panel. Length of meetings shall vary depending on the agenda. Meetings of working groups that have been formed by the community engagement panel may meet at any time and at any location and are in addition to the regular meetings of the community engagement panel.

Ontario Heritage Act Amendments and New General Regulation

Questions and Answers

Q: What did the ministry do with the feedback that was received regarding the Regulation?

A. The ministry posted a draft of the proposed regulation on the Environmental Registry and the Regulatory Registry for 45 days from September 21, 2020 to November 5, 2020. The ministry received comments from municipal, development and heritage stakeholders. Some adjustments were made to help improve implementation as well as some more significant changes to help ensure that the regulation supports the objectives of the Housing Supply Action Plan.

Q. How do the changes impact proposed designations or applications for alteration or demolition that are already underway at the time of proclamation?

A. The regulation contains transition provisions governing how municipalities and property owners will shift to the new requirements and processes under the OHA. The general rule is that those OHA processes that are initiated prior to July 1, 2021 will continue under the OHA as it read on June 30, 2021. The regulation sets out the specific triggers for determining if a process has commenced. Please see the regulation for full details.

Q: Does this mean the new 90-day timeline on issuing a notice of intention to designate will only apply to prescribed *Planning Act* applications submitted on or after July 1?

A: The changes to the OHA include a new 90-day timeline for issuing a notice of intention to designate where a property is subject to an application for an Official Plan Amendment, Zoning Bylaw Amendment or Plan of Subdivision. This timeline will apply where notices of complete application are given on or after July 1, 2021. This means that the 90-day timeline will apply to some applications that are submitted before July 1. The ministry is providing this advanced notice of proclamation to help municipalities plan accordingly.

Q: How do the transition rules apply to proposed designations initiated prior to proclamation?

A. Municipalities are required to make a final decision on any outstanding notices of intention to designate (NOID) within 365 days of proclamation, or the NOID will be considered withdrawn. Where there was an objection to the NOID and the matter was referred to the Conservation Review Board (or Ontario Land Tribunal, as the case may be), the municipality will have 365 days from the date of the tribunal's

report to pass the by-law. This 365-day timeline can only be extended through mutual agreement between the property owner and the municipality. Please see the regulation for full details.

Q: Are there any other important changes?

A. An amendment made to the OHA through the *Protecting What Matters Most Act, 2019* (Budget Measures) to include email as a form of delivering documents under the OHA is also being proclaimed into force on July 1, 2021. This change will help modernize services and allow for more efficient delivery.

Q. When will the final Tool Kit be available?

A. The final Tool Kit will be posted on the Ministry's website this autumn.



300 Dufferin Avenue
P.O. Box 5035
London, ON, N6A 4L9

Windermere Road Improvements, City of London Municipal Class Environmental Assessment Study Notice of Public Information Centre #1

The Study

The City of London is undertaking a Municipal Class Environmental Assessment (EA) study to identify intersection, active transportation, and transit improvements to the Windermere Road corridor between Western Road and Doon Drive (see map). The study will also assess the potential to connect active transportation facilities along Richmond Street from Windermere Road to the Thames Valley Parkway trail system. In addition, the accessibility improvements along the corridor and intersections will be implemented to accommodate road users of all ages and abilities.

The Process

The study is being conducted in accordance with the requirements of Schedule 'C' projects as outlined in the Municipal Class EA document (2000, as amended in 2007, 2011 and 2015), which is approved under the Ontario Environmental Assessment Act.

Online Public Information Centre

The purpose of this online Public Information Centre (PIC) is to present the problems and opportunities in the area, existing conditions, alternative solutions and next steps. While this project information would typically be presented at a public information centre event, adjustments are being made to ensure public safety and follow COVID-19 restrictions on public gatherings.

The City of London is committed to informing and engaging the public about this study and will be hosting a live webinar via videoconference using the Zoom platform on June 10, 2021 from 5 p.m. to 7 p.m. to present a project update, answer questions, and collect feedback from attendees. A link to the meeting will be posted on the City of London's Get Involved website, at getinvolved.london.ca/windermere. The webinar will also be recorded and posted on the project website on June 11, 2021.

We recognize that not everyone will be able to access this information online. If you require any special accommodation to access the project information or online material, please contact the City Project Manager, Paul Yanchuk, noted below and we will work together to best share the information with you.

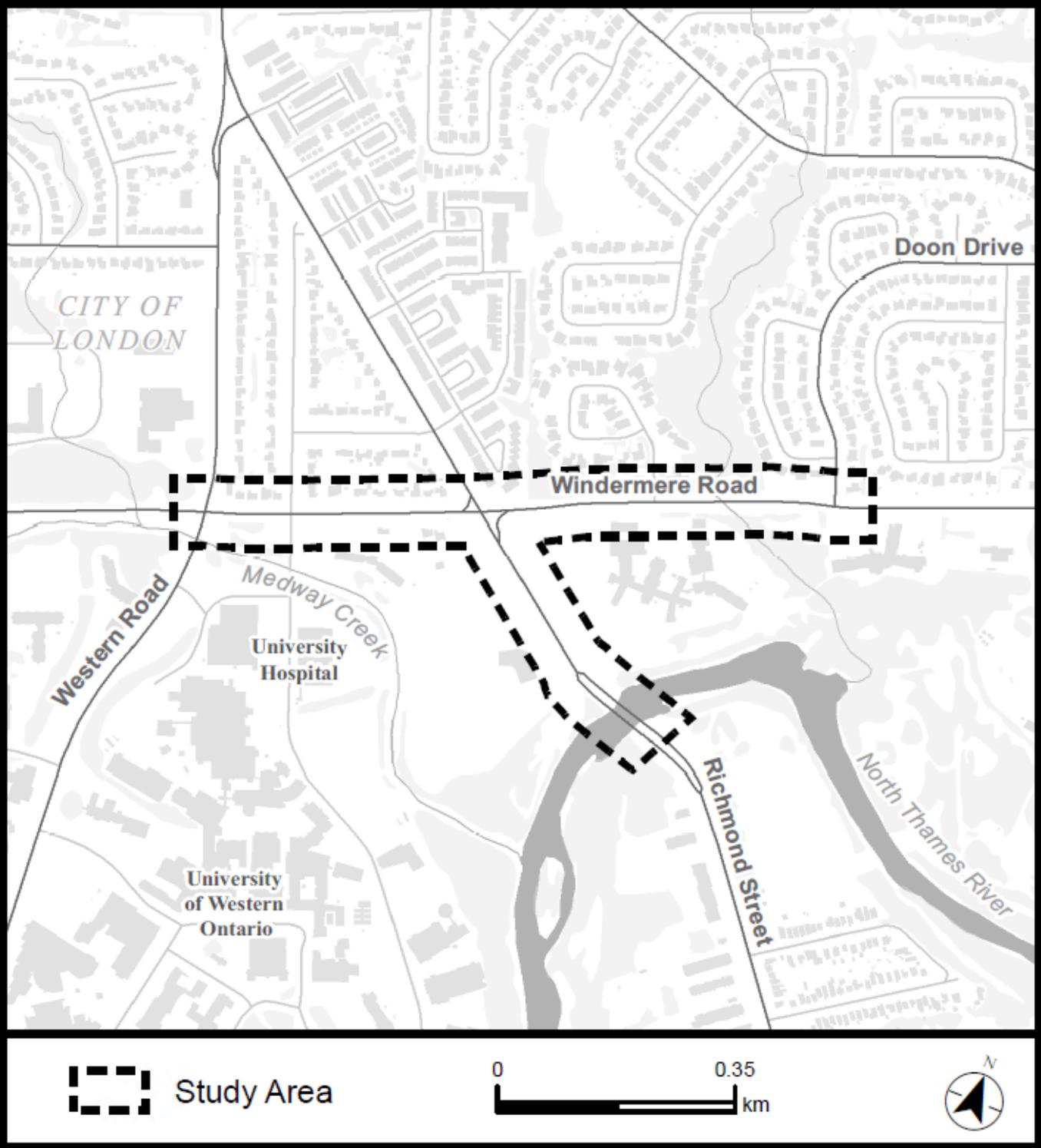
Paul Yanchuk, P.Eng
City of London
Tel: 519-661-2489 ext. 2563
Email: pyanchuk@london.ca

Kevin Welker, P.Eng., Project Manager
Stantec Consulting Ltd.
Tel: 226-919-5979
Email: kevin.welker@stantec.com

Personal information collected on this subject is collected under the authority of the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record and may be included in project documentation.

This notice first published on May 26, 2021.

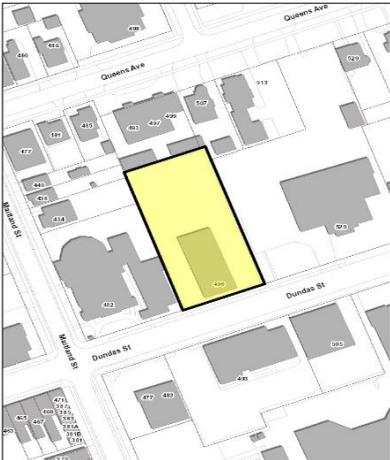
Map of the Windermere Road improvements study area



NOTICE OF PLANNING APPLICATION

Zoning By-Law Amendment

496 Dundas Street



File: Z-9347

Applicant: Amiraco Properties Inc.

What is Proposed?

Zoning amendment to allow:

- a mixed-use, high-rise tower accommodating 170 residential units and a limited amount of commercial space on the main floor, and
- a maximum building height of 57m, reduction of off-street parking requirements to 153 spaces, maximum residential density of 530 units/ha, and a reduction of the interior side yard setback to 0.0 m.



LEARN MORE & PROVIDE INPUT

Please provide any comments by **June 18, 2021**

Planner Name: Isaac de Ceuster

Planner's Email ideceust@london.ca

519-661-CITY (2489) ext. 3835

City Planning, City of London, 206 Dundas St., London ON N6A 1G7

File: Z-9347

london.ca/planapps

You may also discuss any concerns you have with your Ward Councillor:

Councillor Arielle Kayabaga

akayabaga@london.ca

519-661-CITY (2489) ext. 4013

**If you are a landlord, please post a copy of this notice where your tenants can see it.
We want to make sure they have a chance to take part.**

Application Details

Requested Zoning By-law Amendment

To change the zoning from a Office Residential/Business District Commercial (OR*D250*H46*BDC) Zone to a Business District Commercial Special Provision (BDC(_)*D530*H57) Zone to permit a mixed-use development of 170 residential units and limited commercial space on the first floor, and a site-specific regulation for a maximum building height of 57 metres, reduction of off-street parking requirements to 153 spaces, maximum residential density of 530 units/ha, and a reduction of the interior side yard setback to 0.0 metres. Changes to the currently permitted land uses and development regulations are summarized below.

The Zoning By-law is available at london.ca.

Current Zoning

Zone: Office Residential/Business District Commercial (OR*D250*H46/BDC)

Permitted Uses: OR: Office-apartment; Group Home; Lodging House; Office; Medical/dental offices. BDC: Animal Hospital; Apartment Building; Bake shops; Clinics; Commercial recreation establishment; commercial parking structures/ lots; Converted dwellings; Day care centres; Dry Cleaning and laundry depots; Duplicating shops; Emergency care establishments; Existing dwellings; Financial institutions; Grocery Stores, Laboratories; Laundromats; Libraries; Medical/dental offices, Offices; Personal service establishments; Private clubs; Restaurants; Retail stores; Service and repair establishment; Studios.

Special Provision(s): *H46 and maximum residential density of 250 units/ha

Height: 46.0 metres

Requested Zoning

Zone: Business District Commercial Special Provision (BDC(_)*D530*H57) Zone

Permitted Uses: The range of currently permitted uses in the BDC zone would continue to apply to the site.

Special Provision(s): A maximum building height of 57m, reduction of off-street parking requirements to 153 spaces, maximum residential density of 530 units/ha, and a reduction of the interior side yard setback to 0.0 m.

Height: 57 metres

A Planning Justification Report was prepared to assist in the evaluation of this application.

Planning Policies

Any change to the Zoning By-law must conform to the policies of the London Plan, London's long-range planning document. These lands are currently designated as Urban Corridor in the London Plan, which permits a range of residential, retail, service, office, cultural, recreational, and institutional uses.

The subject lands are also in the Old East Village Dundas Corridor Secondary Plan, providing a greater level of detail than the general policies of the Official Plan. Policy 3.3.1.i permits a maximum building height of 16 storeys on lands located at 496 Dundas Street, subject to conformity with angular plane and built form policies of the Secondary Plan.

How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. The ways you can participate in the City's planning review and decision making process are summarized below.

See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at london.ca/planapps
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include City Planning staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

Attend a Future Public Participation Meeting

The Planning and Environment Committee will consider the requested zoning changes on a date that has not yet been scheduled. The City will send you another notice inviting you to attend this meeting, which is required by the Planning Act. You will also be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the [Neighbourgood](#) website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

What Are Your Legal Rights?

Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at docservices@london.ca. You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

Right to Appeal to the Local Planning Appeal Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

For more information go to <https://olt.gov.on.ca/contact/local-planning-appeal-tribunal/>.

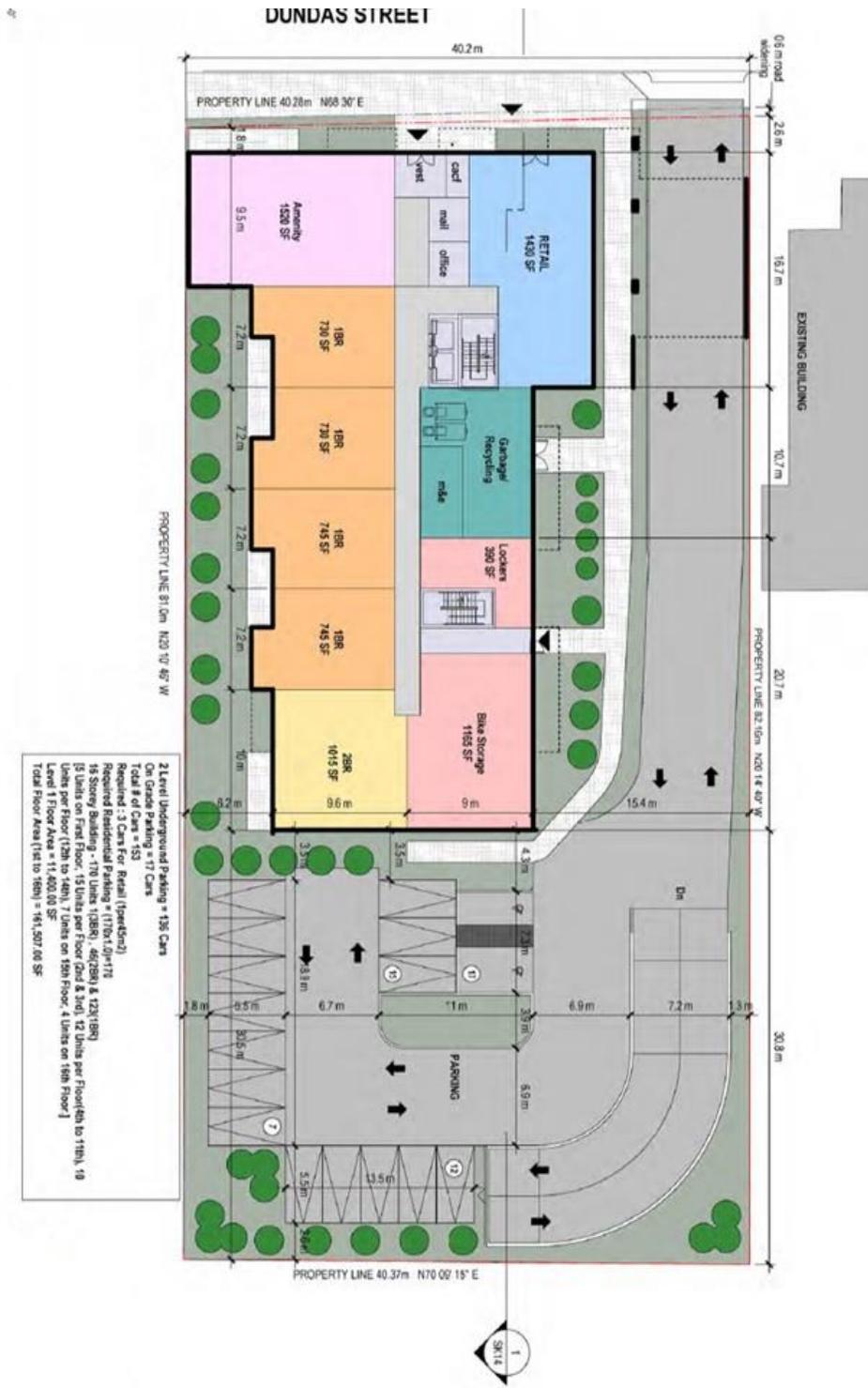
Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Cathy Saunders, City Clerk, 519-661-CITY(2489) ext. 4937.

Accessibility

Alternative accessible formats or communication supports are available upon request. Please contact planning@london.ca or 519-661-4980 for more information.

Site Concept



Existing site plan

The above image represents the applicant's proposal as submitted and may change.

Building Renderings



Architectural rendering showing proposed building from Dundas Street.

The above image represents the applicant’s proposal as submitted and may change.

HERITAGE IMPACT ASSESSMENT

496 Dundas Street,
City of London, ON

Date:
December 15, 2020

Prepared for:
Amiraco Properties Inc.

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TABLE OF CONTENTS

PROJECT PERSONNEL	3
GLOSSARY OF ABBREVIATIONS.....	3
Acknowledgement of Indigenous Communities.....	4
EXECUTIVE SUMMARY	5
1.0 INTRODUCTION	6
1.1 DESCRIPTION OF SUBJECT PROPERTY	7
1.1.1 DESCRIPTION OF EXISTING BUILDING ON SUBJECT PROPERTY.....	7
1.1.2 BRIEF HISTORY OF SUBJECT PROPERTY	10
1.3 LAND USE AND ZONING.....	15
2.0 POLICY CONTEXT.....	17
2.1 THE ONTARIO PLANNING ACT	17
2.2 PROVINCIAL POLICY STATEMENT (2020).....	17
2.3 ONTARIO HERITAGE ACT	18
2.4 CITY OF LONDON OFFICIAL PLAN	19
2.5 OLD EAST VILLAGE STREET CORRIDOR SECONDARY PLAN (DRAFT, FEB 2019).....	20
2.6 CITY OF LONDON TERMS OF REFERENCE.....	21
3.0 HISTORICAL BACKGROUND	22
3.1 INDIGENOUS COMMUNITIES AND PRE-CONTACT HISTORY.....	22
3.2 BRIEF HISTORY OF THE CITY OF LONDON.....	22
3.3 HISTORICAL OVERVIEW OF 496 DUNDAS STREET AND SURROUNDING BLOCK.....	23
4.0 DESCRIPTION OF CULTURAL HERITAGE RESOURCES	30
4.1 REVIEW OF ADJACENT HERITAGE PROPERTIES	30
4.1.1 Evaluation of 434 Maitland Street.....	30
4.1.2 Evaluation of 438 Maitland Street.....	32
4.1.3 Evaluation of 520-526 Dundas Street	33
4.1.4 Evaluation of 507 Queen Avenue - House.....	34

4.1.5 Evaluation of 507 Queen Avenue – Coach House.....	35
4.1.6 Evaluation of 482-484 Dundas Street (Centre United Church)	37
5.0 DESCRIPTION OF PROPOSED DEVELOPMENT.....	39
6.0 IMPACT ANALYSIS	43
6.1 INTRODUCTION	43
6.2 IMPACT ANALYSIS.....	44
6.2.1 Impact of Shadows	46
6.2.2 Impact of Isolation.....	47
6.2.3 Impact of Direct or Indirect Obstruction of Views	49
6.2.4 Impact of Land Disturbances.....	54
6.3 COMPLIANCE WITH THE OFFICIAL PLAN AND OLD EAST VILLAGE DUNDAS STREET CORRIDOR SECONDARY PLAN.....	57
7.0 ALTERNATIVE DEVELOPMENT OPTIONS.....	60
7.1. INTRODUCTION	60
7.1.1 ‘Do Nothing’ Alternative	60
7.1.2 Revised Building Design to be Consistent with Existing Zoning By-law	60
7.1.3 Remove the Underground Parking Garage from Development	60
8.0 MITIGATION AND CONSERVATION RECOMMENDATIONS.....	62
8.1 MITIGATION MEASURES	62
8.2 CONSERVATION RECOMMENDATIONS	63
9.0 CONCLUSIONS & RECOMMENDATIONS.....	64
10.0 BIBLIOGRAPHY	65
APPENDIX A – LOCATION MAP	70
APPENDIX B – SITE PLAN.....	71
APPENDIX C – URBAN DESIGN BRIEF.....	72
APPENDIX D – SHADOW STUDY	73
APPENDIX E – DESIGNATION BY-LAW AND AMENDMENT.....	74
APPENDIX F – PHOTOGRAPHS FROM SITE VISIT (OCTOBER 22, 2020).....	75
APPENDIX G – CURRICULUM VITAE	76

PROJECT PERSONNEL

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GLOSSARY OF ABBREVIATIONS

CHVI	<i>Cultural Heritage Value or Interest</i>
HIA	<i>Heritage Impact Assessment</i>
HCD	<i>Heritage Conservation District</i>
MHBC	<i>MacNaughton Hermsen Britton Clarkson Planning Limited</i>
MHSTCI	<i>Ministry of Heritage, Sport, Tourism and Culture Industries</i>
OHA	<i>Ontario Heritage Act</i>
OHTK	<i>Ontario Heritage Toolkit</i>
O-REG 9/06	<i>Ontario Regulation 9/06 for determining cultural heritage significance</i>
PPS 2020	<i>Provincial Policy Statement (2020)</i>

Disclaimer: Due to the Covid-19 pandemic, in-person research has been limited and therefore, this report may not be able to reference relevant hard copy sources that are within collections that are temporarily closed to the public.

Acknowledgement of Indigenous Communities

This Heritage Impact Assessment acknowledges that the subject property located at 496 Dundas Street, City of London, is situated within territory of the Haudenosaunee Confederacy. These lands are not acknowledged as being associated with any treaties ([whose.land](#), accessed online, 2020).

This document takes into consideration the cultural heritage of indigenous communities including the Chippewas of the Thames First Nation, Oneida Nation of the Thames, Munsee-Delaware Nation, Chippewas of Kettle, Stony Point First Nation and Walpole Island First Nation, including their oral traditions and history when available and related to the scope of work.

EXECUTIVE SUMMARY

The purpose of this Heritage Impact Assessment (HIA) is to assess the impact of the proposed development on the adjacent heritage properties to the subject property that are located at 434 and 438 Maitland Street, 507 Queen Avenue, 520-526 Dundas Street and 482-484 Dundas Street (Dundas Street Centre United Church). This report concluded that adverse impacts are limited to:

- Potential impact of land disturbances for the coach house associated with 507 Queen Avenue and the north-east wing of the Dundas Street Centre United Church as it relates to the construction of the underground parking garage and anticipated construction traffic along the western property line of the subject property.

The following mitigation measures have been identified to mitigate the above identified adverse impacts:

- *A Temporary Protection Plan (TPP)* that would include:
 - A Vibration Monitoring Plan for both the Coach House of 507 Queen Avenue and the adjacent Dundas Street Centre United Church at 482-484 Dundas Street (Dundas Street Centre United Church) and any other building or structure identified by the engineer in the findings of the assessment and Plan; and,
 - Certification by an engineer of the footings and foundation relative to coach house at 507 Queen Avenue will be constructed in a way that will avoid damage to the building.

It is recommended that a landscaped buffer be implemented at the rear of the property to provide a buffer between the new construction and existing mature neighbourhood; this buffer can also allow for a more aesthetically pleasing background view at ground level. Lighting and signage used for the proposed development should be sympathetic to adjacent heritage properties. Signage should not obstruct views of the Dundas Street Centre United Church.

1.0 INTRODUCTION

The purpose of this Heritage Impact Assessment is to assess the impact of the proposed construction of a 16 storey apartment building located at 496 Dundas Street hereafter referred to as “the subject property”. The existing building located at 496 Dundas Street is a two storey commercial building constructed in 1949 and is not listed or designated on the City of London’s Municipal Heritage Register (*Register of Cultural Heritage Resources*, 2019).

The subject property is adjacent to four (4) listed properties (507 Queen Avenue, 434 & 438 Maitland Street and 520-526 Dundas Street) and one (1) designated property (482-484 Dundas Street). The properties located at 438 Maitland Street and 507 Queen Avenue are located within the “Area of Special Sensitivity” as it relates to the *Old East Village Dundas Street Corridor Secondary Plan Area Boundary* and the properties located at 482-484 Dundas Street and 520-526 Dundas Street are located within the boundary in the character area identified as *Dundas Street- Midtown*.

The City of London supports the protection of built and cultural heritage resources to promote the unique identity of the City (Direction #3 & #7 of *The London Plan* (2016)). In accordance with Policy 565 of *The London Plan* and Section 3.7 (a) of the *Old East Village Dundas Street Corridor Secondary Plan*, the City requires a Heritage Impact Assessment when development is proposed on properties located adjacent to a property listed or designated on the Municipal Heritage Register with the secondary plan boundary. This report will analyze the impact of both the proposed new construction at 496 Dundas Street as it relates to adjacent cultural heritage resources and provide mitigation, conservation measures and/ or alternative development options, if necessary.

1.1 DESCRIPTION OF SUBJECT PROPERTY

1.1.1 DESCRIPTION OF EXISTING BUILDING ON SUBJECT PROPERTY

The subject property is located at 496 Dundas Street which is located in Central London (legally described as Lt 17, Ne Dundas St & Pt Lt 17 Se Queens Ave as in 924270 London). It is located within a mixed use area with commercial buildings and residential apartment buildings. It is south Queen Avenue, north of Dundas Street, east of Maitland Street and west of William Street (see Figure 1). Lot sizes in the immediate surrounding area vary in size. Buildings along Dundas Street vary in scale, age and architectural style.

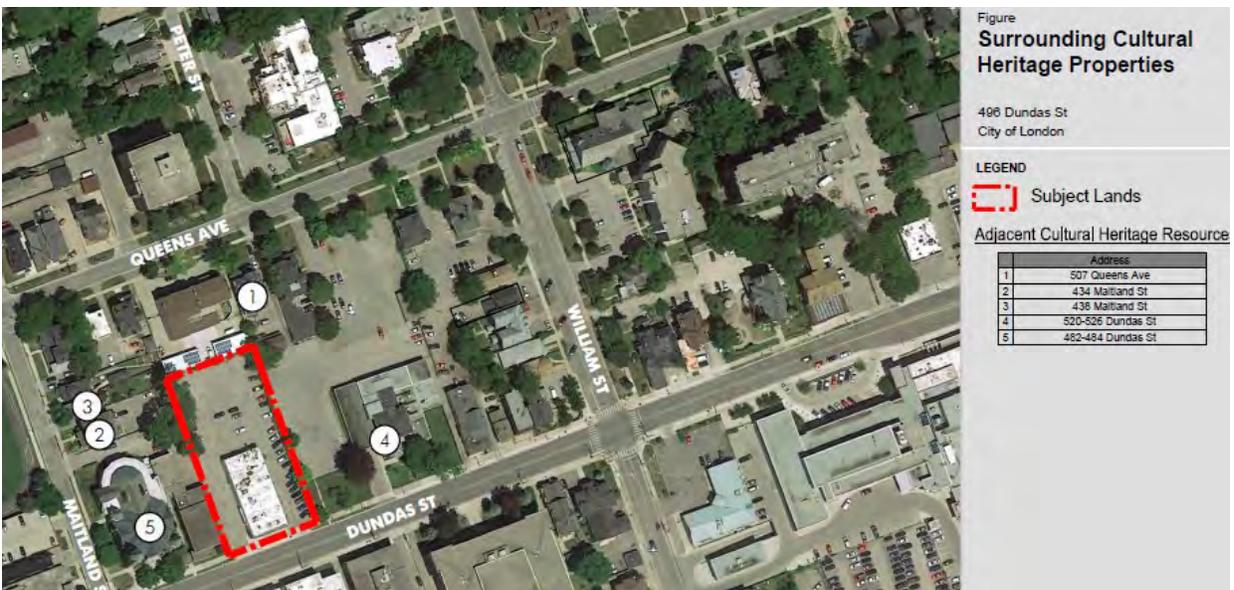


Figure 1: Aerial photograph of the subject property noted in red (Source: MHBC, 2020)

The subject property includes a two storey commercial building constructed in 1949. The property is bound by adjacent properties to the north, east and west. There are no significant landscape features existing on the property.



Figures 2 & 3: (above) Front elevation of 496 Dundas Street; (below) Photograph of existing building on the subject property looking west along Dundas Street towards Dundas Street Centre United Church (Source: MHBC, 2020)

The property is bounded by fences and walls along the west, east and north property lines. There is a retaining wall that runs north and south between the subject property and adjacent Dundas Street Centre United Church to the west. In addition to the retaining wall, there is a chain link fence on the adjacent property that runs from the rear church addition to the rear of the parking lot associated with the church. The rear property lines of remaining adjacent properties to the west are separated from the subject property by a wood board fence. The rear property line of the

subject property consists of the south elevation of two brick ancillary buildings associated 493-499 Queen Avenue. The property line between the subject property and 520-526 Dundas Street is divided by a wood board fence.



Figures 4, 5, 6, 7 & 8: (Above) Short concrete retaining wall between subject property and adjacent church (below left) View of fencing along western property line; (below right) View of wood board fencing on north stretch of western property line (Source: MHBC, 2020)

1.1.2 BRIEF HISTORY OF SUBJECT PROPERTY

The existing building on-site replaced a residence; the Figure below identifies the location of the original brick dwelling on the subject property as it were in the Fire Insurance Plan 1912 (revised 1922) in comparison to the existing building on-site. The overlay also demonstrates that a wood frame building originally was located north-west of the property which no longer exists.

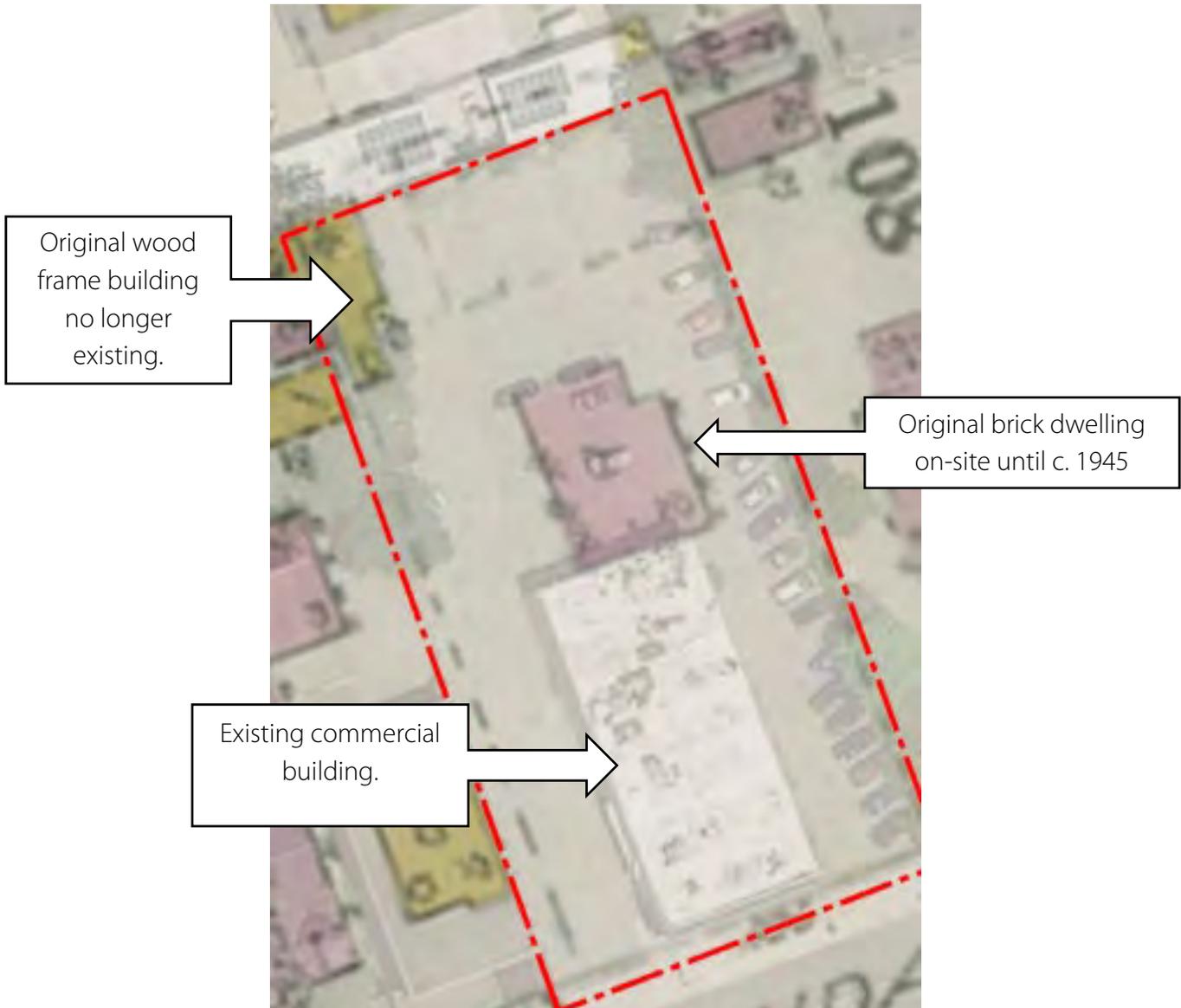


Figure 9: Overlay of Fire Insurance Plan 1912 (revised 1922) on current aerial photograph (Source: MHBC, 2020)

The commercial building existing on-site today was constructed between c.1949. Figure 10 below is a photo dated May 13, 1949 which shows construction of the 'new' Dominion grocery store which opened on June 2, 1949 (June 1949, London Free Press). In 1954, the existing commercial building appears in an aerial photograph. The advertised features of the Dominion grocery store upon opening was its "free parking for one hundred cars" and "6,600 square feet for shipping" (May 1949, London Free Press).



Figure 10: Photograph of the construction of the Dominion grocery store at 496 Dundas Street, City of London on May 13, 1949 (Courtesy of the Western Archives, LFP Negative Collection).

The building was used for commercial businesses including the Dominion grocery store until the late 1970s and later the Marvel Beauty School; the building is currently vacant.

1.2 HERITAGE STATUS

The subject property is not listed or designated on the Municipal Heritage Register. The subject property is adjacent to four (4) listed properties (507 Queen Avenue, 434 & 438 Maitland Street and 520-526 Dundas Street) and one (1) designated property (482-484 Dundas Street) (see Figure

1). Table 1.0 on the following page outlines each property listing on the Municipal Heritage Register; description is extracted from the City's *Register of Cultural Heritage Resources* (2019).

Table 1.0 Heritage Status of Adjacent Listed and Designated Cultural Heritage Resources		
Address and Photograph	Description in Municipal Heritage Register	Heritage Status
434 Maitland Street	Edwardian, c.1910	Listed; March 26, 2019
438 Maitland Street	Craftsman, c.1925	Listed; March 26, 2019
520-526 Dundas Street	Italianate, c. 1870, Needham Funeral Home	Listed; Added to the register on March 26, 2007
507 Queen Avenue	Queen Anne, c.1887; Charles Crawford House, Hardy Geddes House	Listed; March 26, 2007
482-484 Dundas Street	Romanesque Revival, c.1895, Dundas Street Centre United Church	<i>Designated</i> Part IV; By-law L.Sp.-2855-378, L.S.P.-2855(a)-175, September 3, 1985 amended 1991.



Figure 11: Heritage map demonstrating 'listed' and 'designated' heritage properties and districts, the boundary of the Dundas-Midtown Area and "Area of Special Sensitivity" (Source: Old East Village Dundas Street Corridor Secondary Plan, Municipal Heritage Register and MHBC, 2020).

The subject property is not identified by the City of London as being part of a cultural heritage landscape as per Map 9 of The London Plan (see Figure 3). The property is not located in a heritage conservation district or on a 'historic main street' as identified in Figure 15 of the Official Plan, however, it is in close proximity to West and East Woodfield Heritage Conservation District located to the north.

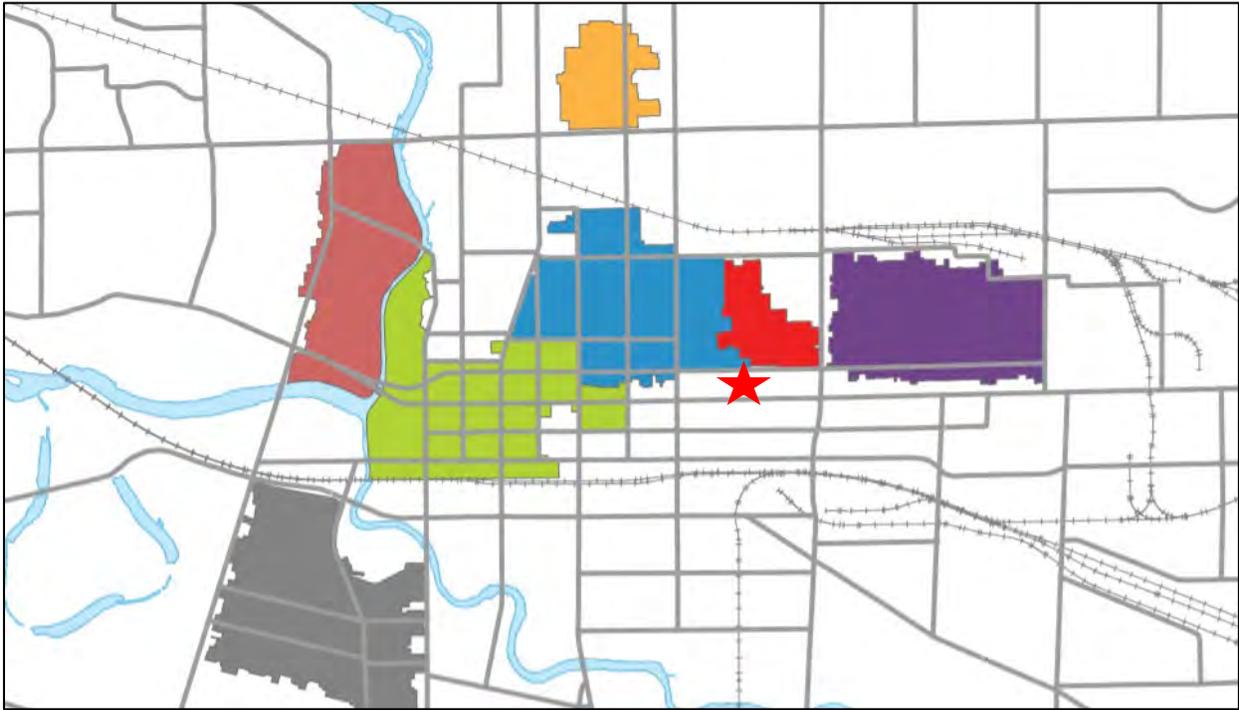


Figure 12: Excerpt of the Map 9 of The London Plan (Heritage Conservation Districts and Cultural Heritage Landscapes). Approximate location of subject property noted in red. (Source: Map 9, City of London Official Plan, accessed 2020)

The subject property and adjacent heritage properties located on Dundas Street are, however, located in the Old East Village Dundas Street Corridor Secondary Plan Area Boundary (see Figure 13). The properties located on the north side of the block at 438 Maitland Street and 507 Queen Avenue are located within the "Area of Special Sensitivity" as a buffer between the West Woodfield and East Woodfield HCDs and the Old East Village Dundas Street Corridor Secondary Plan Area boundary. Furthermore, the properties located on the south side of the block at 482-484 Dundas Street and 520-526 Dundas Street are located in the *Dundas Street-Midtown* character area (see Figure 14). The property located at 424 Maitland Street is neither located in the Secondary Plan or "Area of Special Sensitivity."

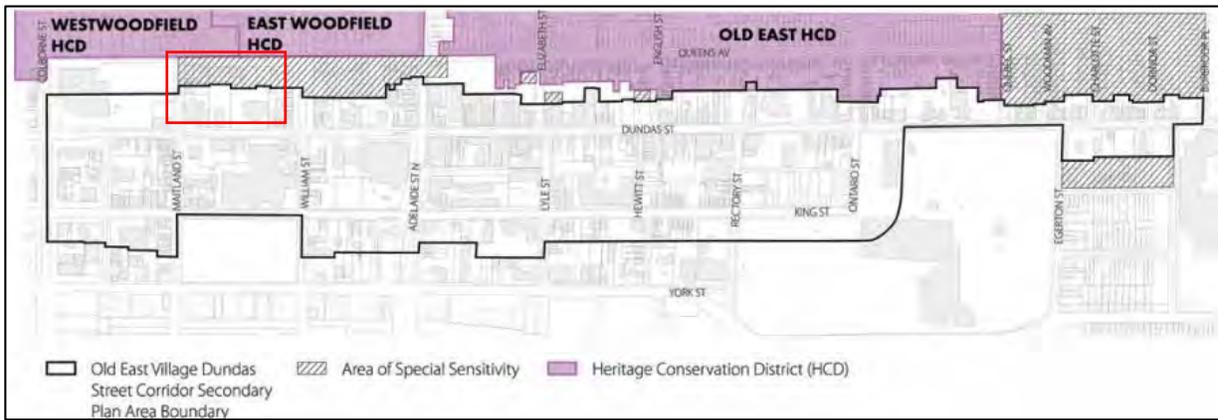


Figure 13: Schedule 1 demonstrating boundary of the Old East Village Dundas Street Corridor Secondary Plan Area Boundary; red block identifies block including subject property (Source: Old East Village Dundas Street Corridor Secondary Plan, p.2)



Figure 14: Character areas within the Old East Village Dundas Street Corridor Secondary Plan Area Boundary; red box outlines the block including the subject property (Source: Old East Village Dundas Street Corridor Secondary Plan, p.5)

1.3 LAND USE AND ZONING

The subject property is located in the Central London Planning District and is Zoned ORD250H46BDC as per Section 16, of By-law No. Z.-1 (see Figure 4). The zoning includes downtown office residential uses in a business district commercial zone. The majority of the surrounding area is zoned for office residential and office conversion and residential zoning to the north.

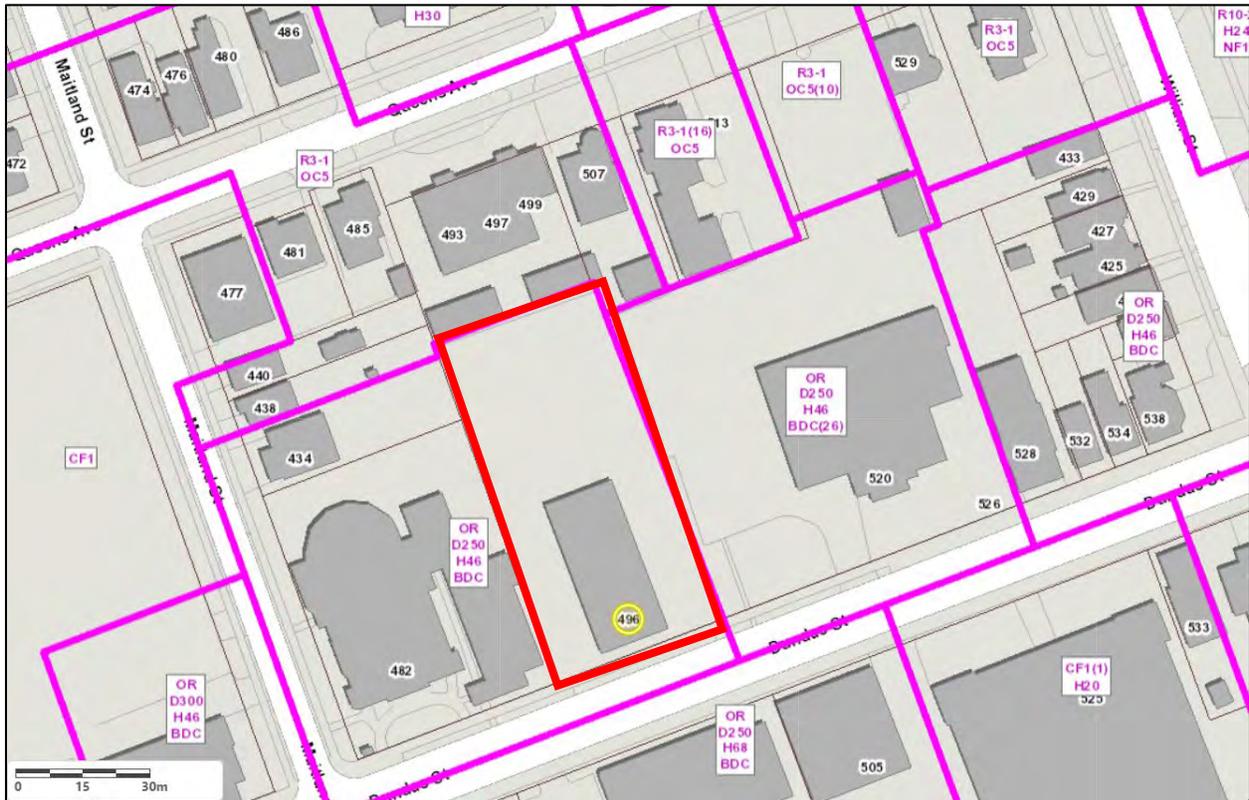


Figure 15: Excerpt of the City of London Interactive Map noting the location of the subject property (outlined in red), zoned R3-2. (Source: City of London Citymap, Zoning layer, accessed 2020)

The scale, mass and use of buildings along Dundas Street looking westward and eastward along Dundas Street in the context of the subject property varies in scale, mass, architectural style and use. The Dundas Street Centre United Church is distinguishable along the streetscape and the buildings in the block bounded by Maitland Street, Queen Avenue, William and Dundas Street are primarily two storey residential buildings.



Figures 16 & 17: (Above) Streetscape view of Dundas Street looking eastward towards subject property; (Below) Streetscape view of Dundas Street looking westward towards subject property (Google Earth Pro, 2020); Red star indicates approximate location of subject property.

2.0 POLICY CONTEXT

2.1 THE ONTARIO PLANNING ACT

The *Planning Act* makes a number of provisions respecting cultural heritage, either directly in Section 2 of the Act or Section 3 respecting policy statements and provincial plans. In Section 2, the *Planning Act* outlines 18 spheres of provincial interest that must be considered by appropriate authorities in the planning process. Regarding cultural heritage, Subsection 2(d) of the Act provides that:

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as, ...

(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

The *Planning Act* therefore provides for the overall broad consideration of cultural heritage resources through the land use planning process.

2.2 PROVINCIAL POLICY STATEMENT (2020)

In support of the provincial interest identified in Subsection 2 (d) of the *Planning Act*, and as provided for in Section 3, the Province has refined policy guidance for land use planning and development matters in the *Provincial Policy Statement, 2020* (PPS). The PPS is “intended to be read in its entirety and the relevant policy areas are to be applied in each situation”. This provides a weighting and balancing of issues within the planning process. When addressing cultural heritage planning, the PPS provides for the following:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Planning authorities shall not permit *development and site alteration on adjacent lands to protected heritage property* except where the proposed *development and site alteration* has been evaluated and it has been demonstrated that the *heritage attributes of the protected heritage property* will be conserved.

The PPS defines the following terms

Significant: *e) in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.*

Built Heritage Resource: *means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers.*

Protected Heritage Property: *means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.*

2.3 ONTARIO HERITAGE ACT

The *Ontario Heritage Act*, R.S.O, 1990, c.0.18 remains the guiding legislation for the conservation of significant cultural heritage resources in Ontario. This HIA has been guided by the criteria provided with *Regulation 9/06* of the *Ontario Heritage Act* outlines the mechanism for determining cultural heritage value or interest. The regulation sets forth categories of criteria and several sub-criteria.

2.4 CITY OF LONDON OFFICIAL PLAN

The London Official Plan requires that a Heritage Impact Assessment be completed when development is proposed adjacent to cultural heritage resources. The London Plan identifies adjacent as follows:

Adjacent when considering potential impact on cultural heritage resources means sites that are contiguous; sites that are directly opposite a cultural heritage resource separated by a laneway, easement, right-of-way, or street; or sites upon which a proposed development or site alteration has the potential to impact identified visual character, streetscapes or public views as defined within a statement explaining the cultural heritage value or interest of a cultural heritage resource.

Policy 152 discusses the importance of urban regeneration in the City which includes the protection of built and cultural heritage resources while “facilitating intensification within [the City’s] urban neighbourhoods, where it is deemed to be appropriate and in a form that fits well within the existing neighbourhood” (Policy 152, 8). Policy 554, reinforces the important of the protection and conservation of built and heritage resources within the City and in particular, in the respect to development. As part of this initiative the City states in Policy 586, that,

The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved.

Thus, it is the purpose of this report to analyze the potential impact(s) to the existing built heritage adjacent to the subject property located at 434 & 438 Maitland Street, 507 Queen Avenue, 520-526 Dundas Street and 482-484 Dundas Street, City of London to determine whether the development is appropriate or not as it relates to the conservation of its associated heritage attributes.

2.5 OLD EAST VILLAGE STREET CORRIDOR SECONDARY PLAN (DRAFT, FEB 2019)

The Old East Village Dundas Street Corridor Secondary Plan is applicable to the general area bounded by Dundas Street between Colborne Street and Burbook Place and King Street between Colborne and Ontario Street (2). The purpose of the Secondary Plan is to provide a framework for “land uses, built form, public realm design and the mobility framework; and, heritage” (p.11). From the six outlined guiding principles the Plan states, “Respect and reinvest in heritage resources to enhance the unique character of the area” (4).

The properties located on the south side of the block at 482-484 Dundas Street and 520-526 Dundas Street are located in the *Dundas Street-Midtown* character area. The character of this area is described in Section 2.2 of the Secondary Plan as, “is characterized by low-rise buildings with institutional and commercial uses fronting Dundas Street.” Furthermore the Plan describes the area as:

High-quality cultural heritage resources line both sides of the street. The area provides a transition between the downtown to the west, and the core of Old East Village to the east. The vision for Midtown is for the area to be a vibrant and pedestrian-oriented connection between the downtown and Old East Village... New development is envisioned, especially on the south side of the corridor, in a form that is well integrated into the existing context and is respectful of the cultural heritage resources in the area (p. 6).

The Plan acknowledges that the area has a variety of building forms and types, which, combined create a ‘unique sense of place’. The boundary reflects low-rise development along Dundas Street to high-rise condominiums to the south along King Street. It states that, “the variety of building types that allow diverse uses to flourish will be key to the area’s continued evolution and vibrancy” (14). The Dundas Street streetscape along the south side of the block reflects the variety of building forms described above and it is acknowledged that diversity is important to the evolution of the area.

Section 3.7 of the Plan outlines its promotion of restoring and enhancing cultural heritage resources and states that, “Significant cultural heritage resources shall be integrated with new development and public realm improvements in respectful and creative ways” (p.32). The proposed development is located adjacent to four (4) listed and (1) designated cultural heritage resource; as a result, the policies in the Plan state that the City will:

a) Require a Heritage Impact Assessment (HIA) to ensure that significant cultural heritage resources are conserved. Any assessment must include consideration of its historical and natural context within the City of London, and should include a comprehensive evaluation of the design, historical, and contextual values of the property.

The Plan outlines the following options for approaches to mitigation to minimize potential impacts to adjacent cultural heritage resource as a result of development in Section 3.7. (b-e):

- *Avoidance and mitigation to allow development to proceed while retaining the cultural heritage resources in situ and intact;*
- *Adaptive re-use of a built heritage structure or cultural heritage resources;*
- *Commemoration of the cultural heritage of a property/structure/area, historical commemoration means such as plaques or cultural heritage interpretive signs; and,*
- *Urban design policies and guidelines for building on, adjacent, and nearby to heritage designated and heritage listed properties, and properties with potential cultural heritage resources to ensure compatibility by integrating and harmonizing mass, setback, setting, and materials.*

This report reflects the policies of the Old East Village Dundas Street Corridor Secondary Plan in its assessment of potential impacts to adjacent cultural heritage resources.

2.6 CITY OF LONDON TERMS OF REFERENCE

This Heritage Impact Assessment is based on the requirements of a Heritage Impact Assessment as per the Ministry of Heritage, Sport, Tourism and Culture Industries *InfoSheet #5* which are as follows:

- Historical Research, Site Analysis and Evaluation;
- Identification of the Significance and Heritage Attributes of the Cultural Heritage Resource;
- Description of the Proposed Development or Site Alteration;
- Measurement of Development or Site Alteration Impact;
- Consideration of Alternatives, Mitigation and Conservation Methods;
- Implementation and Monitoring; and
- Summary Statement and Conservation Recommendations.

The above-noted categories will be the method to determine the overall impact to the subject property and its heritage attributes as it relates to the proposed development.

3.0 HISTORICAL BACKGROUND

3.1 INDIGENOUS COMMUNITIES AND PRE-CONTACT HISTORY

The pre-contact period of history in Ontario specifically refers to the period of time prior to the arrival of Europeans in North America. The prehistory of Ontario spans approximately 11,000 years from the time the first inhabitants arrived in the Paleo-lithic period to the late Woodland period, just before the arrival of Europeans and the “contact” period, in the 16th and 17th centuries. The periods (and sub-periods) of Indigenous history in Ontario includes the Paleo period (beginning approximately 11,500 B.P.), the Archaic Period (9,500 B.P. to 2,900 B.P.), and the Woodland period (900 B.C. to approximately the 16th century). There are several registered archaeological sites in London dating to the Paleo period, the Early, Middle and Late Archaic period, as well as Early, Middle, and Late Woodland period. This includes Iroquoian longhouse settlements during the Early and Late Ontario Iroquoian period (*Archaeological Management Plan* (2017)). The Region included the Anishnaabeg, Haudenosaunee, and Lenni-Lenape Nations (City of London, 2020). In 1796, the initial agreement between indigenous peoples in the Region and European settlers was established, the *London Township Treaty* (Whebell & Goodden, 2020).

Today, the neighbouring indigenous communities including: the Chippewas of the Thames First Nation, Munsee- Delaware Nation and Oneida Nation of the Thames, identify the City of London and area as traditional territory (The London Plan, 2019, 137).

3.2 BRIEF HISTORY OF THE CITY OF LONDON

Three years prior to the establishment of *The London Treaty* of 1796, Lieutenant-Governor John Graves Simcoe, attracted by the Forks of the Thames, envisioned that it would be the location for the capital of the province (City of London, 2020). It was not until more than three decades, in 1826, that London was founded as the district town of the area. The town was surveyed by

Colonel Thomas Talbot in 1824 and later Colonel Mahlon Burwell, “which covered the area now bounded on the south and west by the two branches of the Thames” (City of London, 2020).

The town expanded from the court house with the development of storefronts and by 1834, there were 1,000 residents (City of London, 2020). It is claimed that the Mackenzie Rebellion was the catalyst to establishing a garrison in the town which served as a military base between 1838 and 1869 in what is presently Victoria Park (City of London, 2020). The presence of the military is claimed to be one of the main contributors to the rapid growth in population. Two years after the garrison was established, the town became incorporated which was followed by the development of necessary municipal services. Leading merchants such John Labatt and Thomas Carling were instrumental in connecting the town with the surrounding area in the 1840s by constructing the “Proof Line Road” and manufacturers such as Simeon Morrell and Ellis W. Hyman, Elijah Leonard and McClary brothers became well known in the area as prominent manufacturers (Whebell & Goodden, 2020).

By 1848, however, the town was rebuilt and reincorporated; the population at the time was recorded as 4,584 (Whebell & Goodden, 2020). By 1854, the Great Western Railway line was running through the town, allowing for businesses to flourish with the ability to import and export more goods. In 1855, the Town of London was officially incorporated as a City (Whebell & Goodden, 2020). With the debut of the American Civil War, London was able to prosper with the shipment of wheat. By the 1870s, several buildings were constructed in the centre of the city including the erection of mansions and institutions such as the University of Western Ontario. Infrastructure such the London Street Railway and new bridges (Whebell & Goodden, 2020).

In the latter half of the 19th century, many of London’s neighbouring communities were annexed in 1890. By the First World War, there were approximately 55,000 people living in London (City of London, 2020). Between the first and second world war, the City grew albeit challenges posed by the Great Depression. Many new residences were constructed in London South near Huron Street (City of London, 2020).

The year 1961 marked the great annexation of London which increased its population by 60,000 residents which included the annexation of Westminster Township (Meligrana, 5) (Whebell & Goodden, 2020). Since then, the City has grown and as of 2016, the population of the City has reached approximately 383, 822 (Canadian Census, 2016).

3.3 HISTORICAL OVERVIEW OF 496 DUNDAS STREET AND SURROUNDING BLOCK

The subject property located at 496 Dundas Street is included in a block bounded by Queen Avenue, Dundas Street, Maitland Street and Williams Street which is originally part of Concession

1, Lot 13. Figure 18 below is an excerpt of a map entitled, "Map of London, Canada West" dated 1840-1841 by William Robinson. The south-west corner of the block is included in an area entitled "Schofield" and the remaining block is identified as "Wilson". The area labelled "Schofield" would have referred to Major Ira Schofield who originally settled in the East Woodfield Area and the first house that he erected and a dwelling built between 1830 and 1842 by Bishop Cronyn called "The Pines" formerly located at 580 Dundas Street (Canada's Historic Places, 2020). Wilson likely referenced Justice John Wilson who was the Warden for the London District from 1842 to 1844 and City solicitor (Ivey Family London Room, London Public Library).



Figure 18: Excerpt of Map of London, Canada West, dated 1840 & 1841; red box indicates location of block (Courtesy of Western University).

By 1875, the subject property originally included a residence. John Elliot is listed as residing at this location and he is described as a 'sexton', a term that was associated with a person who would look after a church, churchyard, sometimes acting as bell ringer and formerly as a gravedigger (McAlpine's London city and county of Middlesex, 1875). In 1884, the subject property was associated with Henry Elliot (possibly John's brother), but by 1890 the property was associated with Benjamin Higgins (London city and Middlesex County directory, 1890).

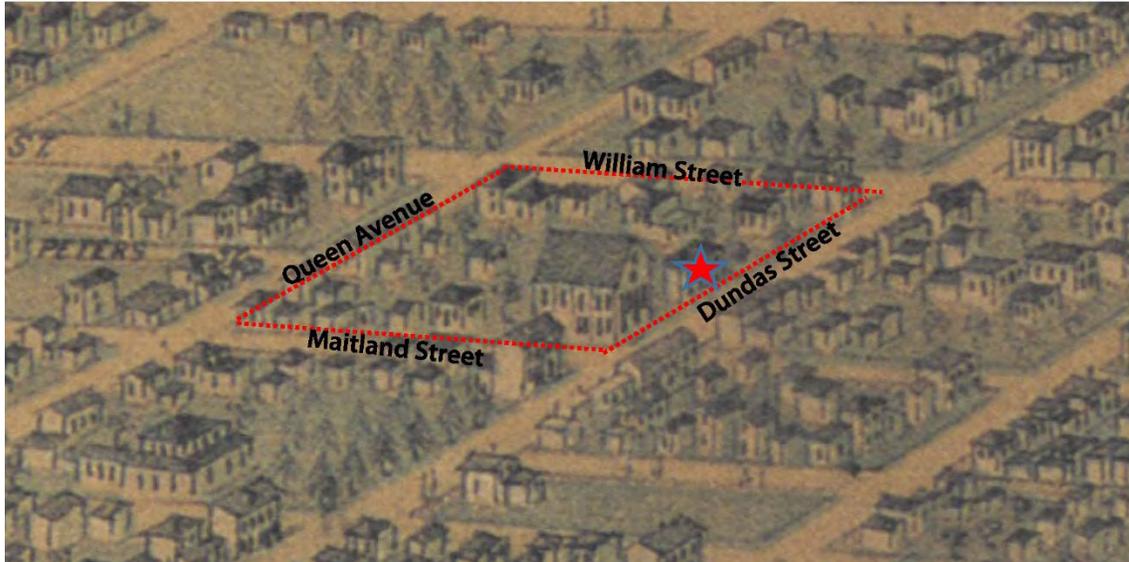


Figure 19: Excerpt of Bird's Eye view of block in 1872; red star indicates approximate location of subject land (Courtesy of Western University).

By 1872, the block contained several residences including a residence on the subject property. The church on the corner of Maitland and Dundas Street depicted in the Bird's Eye View of 1890 and 1893 was destroyed in a fire in 1895. Both of these depictions, including the earlier depiction in 1872, demonstrate that the block did not have an internal central 'laneway' as the block to the north which included Peter Street which remains today. The interior of the block is depicted as being populated by trees/ vegetation. The houses located at 520-526 Dundas Street, 507 Queen Avenue and 434 Maitland Street are depicted in Figure 9 in the 1890 Bird's Eye View.



Figure 20: Excerpt of Bird's Eye view of block in 1890; 1) 520-526 Dundas St, 2) 507 Queen Avenue, 3) 434 Maitland Street (Courtesy of Western University).

The streetscape of Queen Avenue and Dundas Street in the late 19th century was dominated by residences and places of worship. The FIP of 1881 (revised 1889) of the City of London shown in Figure 20 demonstrates that the south side of the block along Dundas Street included several brick residences with the exception of the original brick church at the corner and associated parish hall. It also demonstrates that the original building on the subject property was brick residence with a wood frame addition to the rear. The house was located centrally on the current lot. There was also a brick residence located at 514 Dundas Street between 496 Dundas Street and 520-526 Dundas Street. The lot associated with 520-526 Dundas Street was a through lot, extending to Queen Avenue as it does today.

The FIP of 1892 (revised 1907) shows that the wood frame building to the north-east of the block was replaced by two brick buildings. A lot line was also created between two brick houses (including 507 Queen Avenue) to the north along Queen Avenue and the residence at 514 Dundas Street to the south which included an additional brick building in addition to the larger brick stable; this additional brick building is the existing coach house now associated with 507 Queen Avenue. Note the existing church building replaced the original church building shown in the FIP of 1881 (revised 1888). The parish hall appears in the FIP 1892 (revised 1907), however is no longer present on the subsequent FIP (1912 revised 1922).

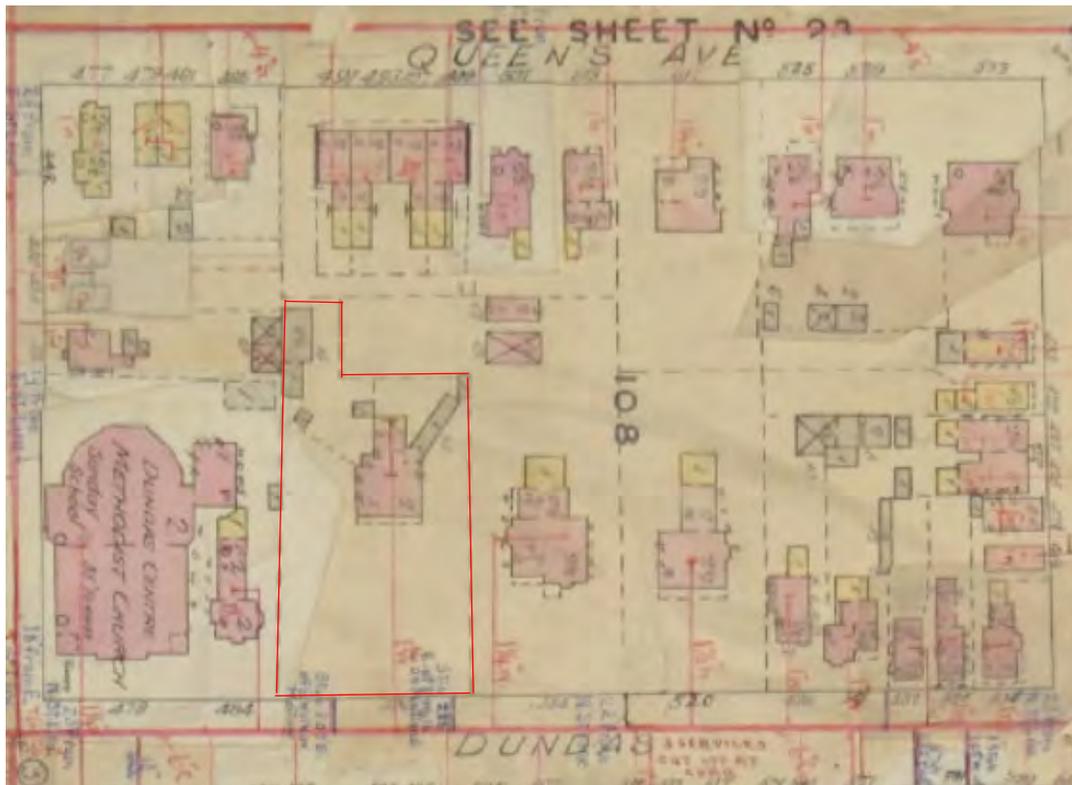
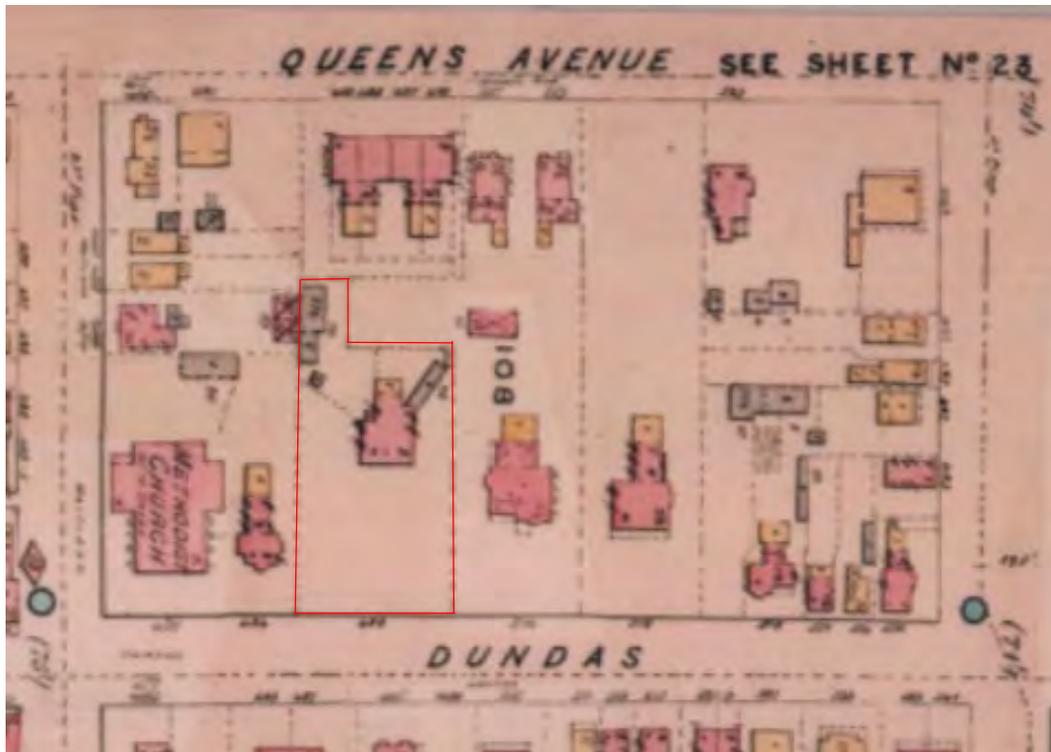


Figure 21 & 22: (above) City of London Fire Insurance Plan 1881 (revised 1888); (below) City of London Fire Insurance Plan 1892 (revised 1907); subject land identified by red outline (Courtesy of Western University).

By 1912, the block consisted of several dwellings both brick and wood frame in construction. The subject property included a brick dwelling setback from the streetscape parallel to the north-east wing of the adjacent church. There was also a brick dwelling between the subject property and the existing building at 520-526 Dundas Street. The coach house/ livery currently associated with 507 Queen Avenue can be viewed at the north-east corner of the subject property outlined in red (see Appendix 'A' for larger version).

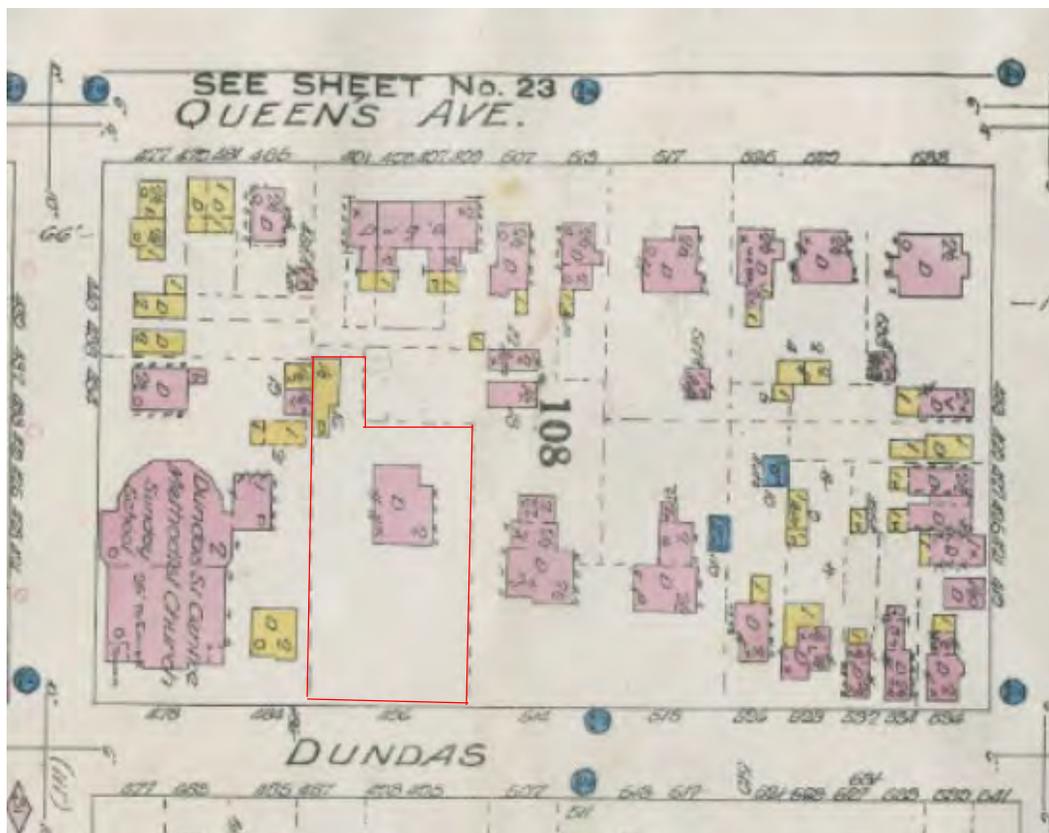
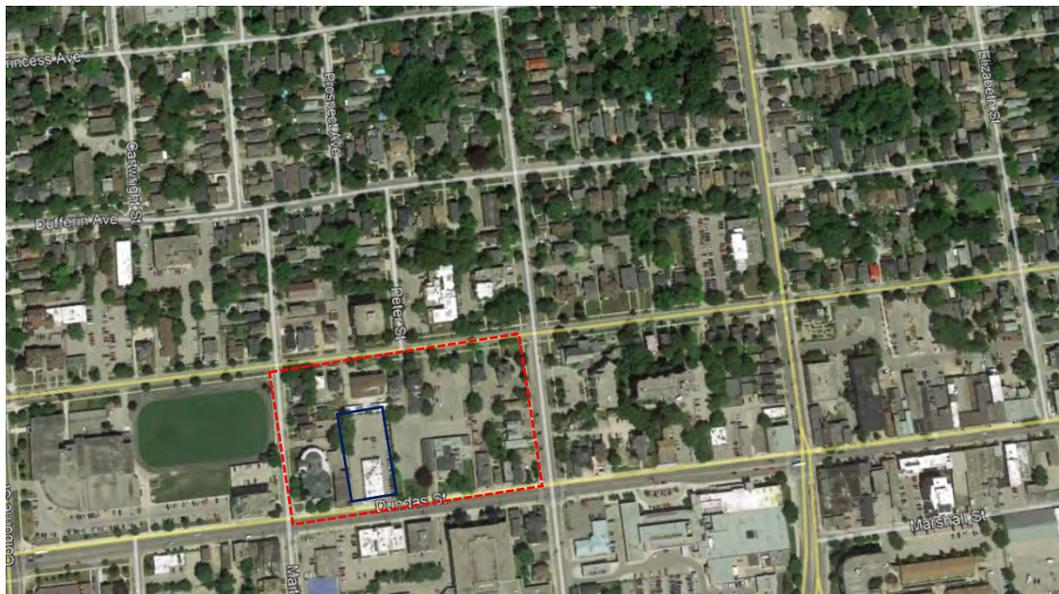


Figure 23: City of London Fire Insurance Plan 1912 (revised 1922); red outline identified subject land (Courtesy of Western University).

In 1954, the original dwelling on the subject property had been replaced by the commercial building that exists on the property today. The laneway no longer exists as it appears in the photograph but merged with the parking area dedicated to Needham Funeral Service which has altered the original landscaped area internal to the east end of the block.

Since the mid-19th century, the block including the subject property has changed. Brick residences along Dundas Street (496 and 514 Dundas Street) have been removed- 496 Dundas Street was replaced with the existing mid-20th century commercial building and the property formerly associated with 514 Dundas Street is now part of the parking lot associated Needham

Funeral Service. Residences transitioned into commercial businesses along Dundas Street which contributes to the variety and diversity along the existing streetscape.



Figures 24 & 25: (above) 1954 aerial photograph of block (red outline) including subject property outlined in blue (Courtesy of University of Toronto Library); (below) 2018 aerial photograph of block (red outline) including subject property outlined in blue (Source: Google Earth Pro, 2020).

4.0 DESCRIPTION OF CULTURAL HERITAGE RESOURCES

4.1 REVIEW OF ADJACENT HERITAGE PROPERTIES

The following sub-section will evaluate the adjacent listed properties located at 434 and 438 Maitland Street, 507 Queen Avenue and 520-526 Dundas Street. This sub-section will also review the adjacent designated property to the west of the subject property located at 482-484 Dundas Street. The property was designated under Part IV of the Ontario Heritage Act in 1985 and an amendment was made to the designation by-law in 1991 to include exterior features. As the evaluation was completed prior to the Ontario Regulation 9/06, this section will also review the heritage attributes of the designation by-law L.Sp.-2855-378, L.S.P-2855(a)-175, September 3, 1985 amended in 1991 to ensure that it is consistent with the Provincial regulation.

4.1.1 Evaluation of 434 Maitland Street



Address: 434 Maitland Street

Legal Description: Lot 9, plan 66 (e) London

Heritage Status: Listed

Approximate Date of Construction: c. 1907

The two storey house is constructed of red buff brick with elements of wood shingling and stone. The asphalt roof is cross gabled and includes two brick chimneys of either side. The front elevation of the house has architectural details representative of the Edwardian Era. Details include: open gable rooflines and dormers, classic pediment surmounting the porch entry which is supported by columns and a stone foundation. Wood corbels decorate the soffits of the porch roofline.

The first floor includes a pair of windows to the east of the façade with a stone sill and lintel. To the west of the façade is a set of three windows with a stone surround. The second level includes a pair of windows to the east with stone sill and lintel and to the west one single pane window with stone sill and lintel and further to the west a pair of windows with stone sill and lintel. The upper storey or attic space includes a set of three windows with stone surround within the open gable with hexagonal shingling; a classic dentil moulding separates the brick from the shingling. There is an open gable dormer to the east of the roof.

The west elevation includes a two storey bay window projection and a stairway/ egress that leads to a door opening below the open gable with hexagonal shingling. The rear of the house includes a variety of window shapes and sizes most of which have stone sills and lintels. There is a chimney shaft which appears to have been capped. There is a rear wing that includes a landing for a human door entry on the second floor to the east of the façade. The north elevation includes a variety of windows including a second storey bay window projection and above this an arched window opening with rounded brick voussoir within a bricked open gabled with stone coping.

The house is representative of Edwardian architecture with elements of classicism such as the porch pediment, columns and dentil moulding. Other notable details include bay windows, hexagonal shingling in open gable and wood corbelling along soffits of porch roofline.

The house was likely commissioned by the Santos Family in 1907 for Mary Santo. Mary Santo was English in origin and a widow to a butcher, John Santo. The property was later owned jointly by Harry and Anthony Grant to use for commercial purposes. Both these families, however, are not notably significant in the City of London.

The house has contextual value as it is physically linked with surrounding Victorian and Edwardian houses within the area and is important in maintaining the character of the area.

Heritage Attributes:

- *Porch pediment with columns;*
- *Wood corbels along soffits of porch roofline;*
- *All original window and door openings including associated stone sills, lintels and quoins;*
- *Hexagonal shingling pattern on open gable;*
- *Dentil moulding between open gable and brick façade;*

- *Stretch bond buff brick construction and stone foundation; and,*
- *Original roofline and chimney shaft.*

4.1.2 Evaluation of 438 Maitland Street



Address: 438 Maitland Street

Legal Description: S ½ Lt 10 Plan 66 (e), S/T & T/w 751916 London

Heritage Status: Listed

Approximate Date of Construction: c. 1930

The one and a half storey house is constructed of brick and stone and has a concrete foundation. It has an intersecting/ overlaid gabled asphalt roof with gable openings on both sides, a centred dormer and one chimney. The first level includes two bays; the bay to the west includes the main door opening with transom and sidelights and a stone door header. To the east of the elevation is a ribbon window with four panes and stone sill and lintel. The dormer on the upper half storey includes a pair of double sash windows and appears to be clad in painted wood. The south elevation includes four window openings of various sizes with stone sills and lintels. The north elevation includes four window openings including two foundation sill windows, one first level window and one second storey window all of which have stone sills and lintels. There is also a door opening on this elevation with stone lintel.

The house is a modest representation of the Arts and Craft architectural movement in the 1920s. Architectural elements include the bungalow style house, simplistic design elements and natural materials. The house was commissioned by Benjamin Noble and his wife Annie. B. Noble. Mr. Noble was a plumber according to the 1921 census. The property was later owned by the Copeland family between 1947 and 1975. Chester Copeland was a mail clerk according to the 1949 census. The owners associated with the house are not significant to the City of London. There are few Arts of Crafts buildings in the surrounding area and the building does not define, maintain or support the surrounding area nor is it linked.

Heritage Attributes:

- Bungalow style massing including brick construction including chimney shaft;
- Front entry with transom and sidelights and stone header; and
- Front window opening with stone sill and lintel

4.1.3 Evaluation of 520-526 Dundas Street



Address: 520-526 Dundas Street

Legal Description: Lot 18 & Part Lot 19 Ne Dundas St; Part Lot 18 Se Queens Av; Part Lot 19 Se Queens Av; Part Lots 1 & 4 Plan 36(e) Designated As Parts 1 & 2, Plan 33r-13208 Save & Except Parts 1 & 2, Plan 33r-18094 Together With An Easement As In Lc127326 Together With An Easement As In 574340 Together With An Easement As In Lc168251 City Of London

Heritage Status: Listed

Approximate Date of Construction: c. 1875

The building complex includes a former two storey house with rear wing which originally was constructed of brick and stone currently clad in a plaster/ stucco with quoins. The house has had several alterations made including several additions to facilitate commercial business. The house has a hipped roof with open gabled dormer on the front elevation. On either side of the second level is a single window opening with double sash window frame; these windows have decorative surrounds. The centre of the second level on the front elevation includes a projecting bay/ sunroom with gallery windows and flat platform roof with soffits and corning reminiscent of classic entablature. The open gable dormer includes a single pane window opening.

The first level of the front elevation is a rounded glass gallery that wraps around the façade with segmental, classic trim which is supported by a column on the west side of the elevation. The west elevation includes one window opening and door opening on the first level and three window openings on the second level; it appears that the window double sash window openings are original and stone sills. The rear elevation includes a contemporary complex of additions which encloses the original rear wing. The east elevation includes a chimney shaft, and exposes the second level of the original house and rear wing. There are two window openings on the main building and three window openings on the second level of the rear wing.

The house has limited Italianate architectural elements of the roofline and quoins and is not a clear representation of this architectural style. The original house is a rectangular plan with rear wing but has been encased by several later additions. The original exterior has been covered with plaster/ stucco. Some of the original window and door openings, frames and stone sills still exist. The original hipped roofline and centred open gable remain. The modern alterations has detracted from the original massing and design elements of the house.

The house is associated originally with James H. Fraser until the turn of the 20th century when it was associated with Robert Nicholson and William Yeates. The house is associated with Russell Needham who purchased the property in 1953 which became the Needham Funeral Home in 1972.

The house is not important in defining, supporting or maintaining the character of the area. It is physically linked to the coach house now associated with the address at 507 Queen Avenue and historically linked as one of the older houses in the block.

Heritage Attributes:

- *Original hipped roofline with centre open gable;*
- *Quoin detailing; and,*
- *Original window and door openings;*
- *Mature trees along frontage of property.*

4.1.4 Evaluation of 507 Queen Avenue - House



Address: 507 Queen Ave.

Legal Description: Pt Lt 18 Se Queens Av As In 555802; S/t & T/w 555802 London

Heritage Status: Listed

Approximate Date of Construction: c. 1887

The two storey house is constructed of brick, wood and stone and has a cross hipped roof with asphalt shingles. The roof includes several open gabled dormers. The front elevation of the house includes several architectural details representative of the Queen Anne style. These details include bay window, open gable dormers with bargeboard, cornice brackets, front porch with pediment

with geometric moulded fascia and conical roof supported by wood posts. The upper storey windows, including the bay window, have individual dichromatic segmental arches situated between double red brick stretcher courses that are parallel to the top and bottom level of the window openings that wrap along the side elevations. There are decorative, painted wood corbels along the roofline accompanied by decorative fascia with geometric shapes along the roofline. The gable dormer above the bay window includes a single window opening and finely decorated bargeboard. The east elevation includes a two storey bay window with similar dichromatic segmental arches above each window opening. A gable dormer is above the bay window projection. The rear elevation includes two narrow open gable dormers.

The house is representative of the Queen Anne architectural style and includes bay windows, open gable dormers with bargeboard, cornice brackets, generous front porch with pediment with geometric moulded fascia and conical roof supported by wood posts.

The original owner of the property was Emerson J. MacRobert who was listed as an Insurance Agent in the 1891 census. He is listed in 1901 as one of the "Present Business Men of London", he was on the Board of Education, a member of the Local Executive Committee, London Old Boys, which produced the International London Old Boys Reunion Souvenir Programme. The house is also associated with Charles Crawford and Hardy Geddes who donated the house for community use. The house is currently used for W.A.Y.S.

The house is important in maintaining the historic residential character of the street. It is physically, functionally, visually, and historically linked to its surroundings as it relates to the coach house to the south of the property and surrounding homes dating to this era.

Heritage Attributes:

- *Two and half storey massing and dichromatic brick exterior including brick coursing and segmental arches above windows;*
- *Decorative fascia, finials and corbels;*
- *Original roofline with gabled dormers and original chimneys;*
- *Original window and door openings include original doors and windows; and,*
- *Front porch with supportive wood posts, pediment and conical roof.*

4.1.5 Evaluation of 507 Queen Avenue – Coach House



Address: 507 Queen Ave.

Legal Description: Pt Lt 18 Se Queens Av As
In 555802; S/t & T/w 555802 London

Heritage Status: Listed

Approximate Date of Construction: c.
1887

The one and half storey coach house to the rear of the property is constructed of yellow brick with an open gabled roof with asphalt shingles. The south elevation includes a slight projection from the façade at the one storey level with a roof overhang. This elevation includes a series of window openings and one door opening. The west elevation includes a door opening at the upper half storey level with transom light. The south elevation is covered in vegetation so openings on this elevation is undetermined. There are two window openings on the east elevation. The building does not have a basement only a foundation sill.

The coach house is representative of Victorian architecture primarily due to its use of yellow brick and shape and size of window openings on the east elevation and the use of a transom light on the second storey door opening. The coach house can yield information as it relates to early transportation in the City of London and the historical use of stables/ coach houses in an urban context. It is supportive of the character of the area and it is historically linked to its surroundings as it relates to the former residence at 514 Dundas Street as it originally was located on this property which still includes the original house.

Heritage Attributes:

- *One and half storey massing with open gabled roof;*
- *Buff, yellow brick, stretch bond;*
- *Original window and door openings with associated sills and transom light;*
- *Original foundation.*

4.1.6 Evaluation of 482-484 Dundas Street (Centre United Church)



Address: 482-484 Dundas Street

Legal Description: Lots 4, 5, 6, 7, 8, Plan 66 (e)
London

Heritage Status: Designated

Approximate Date of Construction: 1895

Note: The following section was developed by using the designation by-law from 1985 for interior features (By-law No. L.S.P. 2855-378) and by-law amendment in 1991 that identified exterior features (By-law No. L.S.P. 2855 (a)-175). As the by-laws and associated amendment were developed prior to Ontario Regulation 9/06, this section has used the information from them and inserted them in a format that is consistent with the Provincial legislation.

The Dundas Street Centre United Church has several elements representative of the Romanesque Revival period of architecture and is constructed of red sandstone (foundation) and brick coursing in between yellow sandstone. The church is based on a corner tower church plan which includes several bays and complex massing which includes a complex roofline. The roof contains the majority of the original slate and includes several chimneys. Architectural details include the main tower with projecting gutter spouts, round arches for window and door openings observed on the south and west elevation primarily. The church has three towers, several turrets and gable ends. The door openings include solid woods doors and segmental transoms with segmental brick surrounds with hanging lanterns below.

A modern addition was added to the church on the east side of the south elevation which wraps around the west elevation. This addition intersects with the original wing of the church constructed of brick and of modest architectural style. The north (rear) elevation of the church includes a projecting apse with an intersecting conical roof.

The original church at this location that was constructed in 1869 and was formed by a Wesleyan Methodist congregation that was established in 1856. Prior to the church being built, the

members met at a cottage on Adelaide Street until the church's construction in 1869 (dedicated April 3, 1870). The original church was destroyed in a fire on February 13, 1895.

The existing church is representative of the Romanesque Revival architectural style based on a corner plan and displays a high degree of craftsmanship both in the interior and exterior. The church was dedicated in May of 1896. The church was originally Methodist but transitioned to the United church in 1925 when they opted for the United Church merging with the Presbyterian Church.

The church supports the character of late 19th century Victorian buildings in the surrounding neighbourhood and is visually and historically linked to its surroundings. The Dundas Street Centre United Church has been located at the corner of Maitland and Dundas Street for over a century and is considered a landmark in the City.

The Exterior Heritage Attributes:

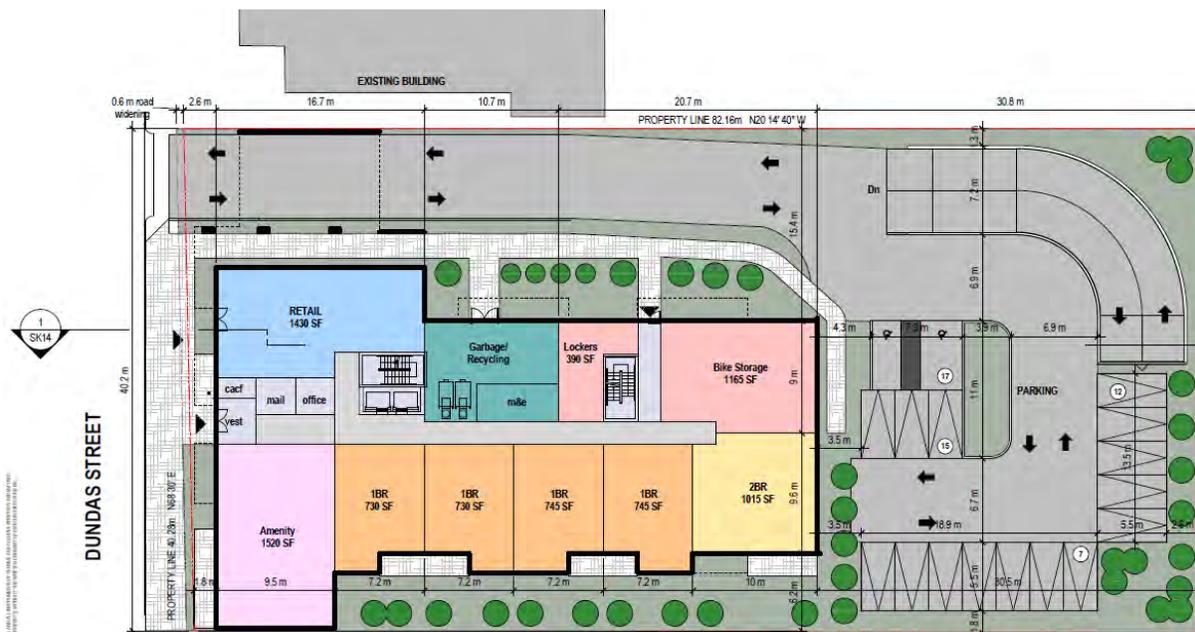
- *Exterior facades with decorative red brick coursing and bands of yellow sandstone;*
- *Red sandstone foundation;*
- *Complex massing with three towers (including main tower), smaller turrets and gable end;*
- *Rounded arches and narrow arched openings and niches;*
- *Arcaded portico;*
- *Remaining original slate roof with projecting gutter spouts on the main tower, several prominent chimneys;*
- *All original window and door openings and tracery; and,*
- *All original windows and doors including the four lanterns over the front doors;*
- *Location at the corner of Maitland and Dundas Street as part of a corner tower church plan.*

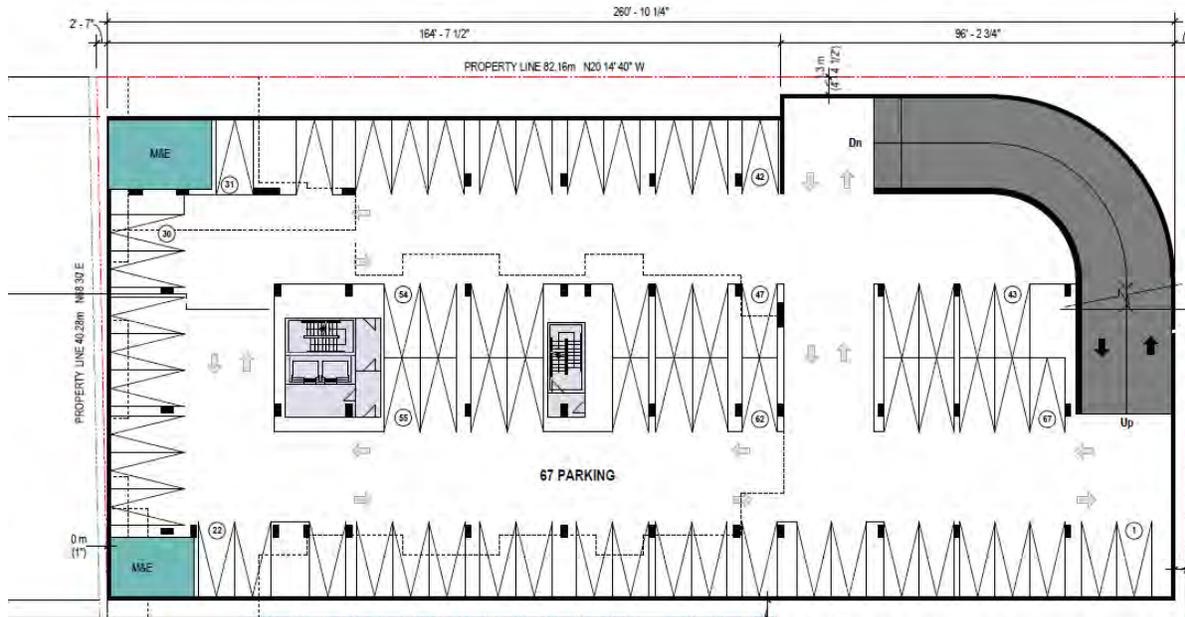
Interior Heritage Attributes:

- *Narthex with stained glass elements and woodwork;*
- *Crescent shaped, stained glass transoms with emblems of St. Luke and Mark within trefoil tracery above front entrance doors;*
- *Woodwork in staircase, wainscoting, ceiling and newel posts;*
- *Granite columns with Romanesque detailing on sandstone capital and a long ceiling beam accompanying each staircase;*
- *Interior sanctuary with original arrangement including centrally placed choir above a pulpit platform with an organ;*
- *Balcony with ornate cast iron railing;*
- *Byzantine decorative details in plaster on pilasters and cornice moulding;*
- *Decorative plaster ceiling with Armenian arches and stained glass lantern.*

5.0 DESCRIPTION OF PROPOSED DEVELOPMENT

The proposed development of the property consists of removing the existing building on site and constructing a 16 storey mixed use multi-unit residential building with 172 units. The total floor area for 1st to 16th level is 161,851 SF. The building will also include a two level underground parking garage accommodating approximately 136 cars (see Appendix B for detailed site plan).





Figures 26 & 27– (Above) Architectural drawing of first floor; (Below) Architectural drawing of underground parking garage (Source: Zedd Architecture, 2020)

The proposed building includes a stepback along the southern portion on the west elevation, front façade and along the south portion of the east elevation (see Figure 28 and 29). This stepback is for the first three levels. The setback is 5 metres in length. There is an additional stepback on the southern side of the building at the 15th level to 16th level which is 6.3 metres. The rear of the building includes stepbacks at the 11th, 14th and 16th levels (see Figure 28).



Figure 28– Massing model of proposed development (Source: Zedd Architecture, 2020)

A parking lot is located to the rear of the building and a landscape buffer proposed at the rear of the property. The entrance to the underground parking garage is at the north- west corner of the property.



Figure 29– (Above) Massing model of proposed development looking westward showing stepbacks on third and 15th floor; (Below) Massing model from the rear demonstrating stepbacks on the 11th, 14th and 16th levels (Source: Zedd Architecture, 2020)

6.0 IMPACT ANALYSIS

6.1 INTRODUCTION

There are three classifications of impacts a proposed development may have on an identified cultural heritage resource: beneficial, neutral or adverse. Beneficial effects may include such actions as retaining a property of cultural heritage value, protecting it from loss or removal, maintaining restoring or repairing heritage attributes, or making sympathetic additions or alterations that allow for a continued long-term use and retain heritage building fabric. Neutral effects have neither a markedly positive or negative impact on a cultural heritage resource. Adverse effects may include the loss or removal of a cultural heritage resource, unsympathetic alterations or additions that remove or obstruct heritage attributes, the isolation of a cultural heritage resource from its setting or context, or the addition of other elements that are unsympathetic to the character or heritage attributes of a cultural heritage resource. Adverse effects may require strategies to mitigate their impact on cultural heritage resources.

The impacts of a proposed development or change to a cultural heritage resource may be direct or indirect. They may occur over a short term or long term duration, and may occur during a pre-construction phase, construction phase or post-construction phase. Impacts to a cultural heritage resource may also be site specific or widespread, and may have low, moderate or high levels of physical impact.

The following sub-sections of this report provide an analysis of the impacts which may occur as a result of the proposed development.

- **Destruction:** of any, or part of any *significant heritage attributes* or features;
- **Alteration:** that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- **Shadows:** created that alter the appearance of a *heritage attribute* or change the viability of a natural feature or plantings, such as a garden;
- **Isolation:** of a *heritage attribute* from its surrounding environment, context or a significant relationship;
- **Direct or Indirect Obstruction:** of significant views or vistas within, from, or of built and natural features;

- **A change in land use:** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;
- **Land disturbances:** such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.

6.2 IMPACT ANALYSIS

The following charts will evaluate the impact that the proposed development has on the adjacent listed and designated properties to the subject land. The first table will evaluate the designated property and the second table will evaluate the impact on adjacent listed properties. The evaluation is based on the criteria mentioned in sub-section 6.1.

Table 2.0 Adverse Impacts for 507 Queen Avenue, 434 & 438 Maitland Street & 520-526 Dundas Street		
Impact	Level of Impact (Potential, No, Minor, Moderate or Major)	Analysis
Destruction or alteration of heritage attributes	No.	The development does not result in destruction or alteration of any heritage attributes of the adjacent listed properties.
Shadows	No	Proposed development will not result in shadows that negatively impact heritage attributes. The new construction is set to the south of the property along the frontage of Dundas Street which allows for a distance between the building and the adjacent properties to the rear to reduce shadowing. During the Spring/ March Equinox, shadows will be cast on 520-526 Dundas Street in the afternoon, however, most of these shadows are cast on the associated parking lot. See Appendix D. See 6.2.1.
Isolation	No	The relationship of the buildings to the street will not change. The buildings will retain their current context in the neighbourhood. See 6.2.2
Direct or Indirect Obstruction of Views	No	There will be no direct or indirect obstruction of significant views any of the buildings which consists primarily of the main façades. The background view of 507 Queen Avenue will be altered by the proposed development but will not obstruct the view of its heritage attributes.
A Change in Land Use	No.	There will be no change in land use.

Land Disturbance	Potential.	<p>The underground parking garage is two levels and extends close to the property lines.</p> <p>The parking areas associated with the adjacent properties located at 434 and 438 Maitland Street and 520-526 Dundas Street create a geographical barrier between the new construction and the buildings on-site.</p> <p>The rear ancillary building (former stable c. 1892) now associated with 507 Queen Avenue is within approximately 4 metres from the construction.</p> <p>6.2.4 for detailed analysis.</p>
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Table 3.0 Adverse Impacts for 482-484 Dundas Street, Dundas Street Centre United Church		
Impact	Level of Impact (Potential, No, Minor, Moderate or Major)	Analysis
Destruction or alteration of heritage attributes	No.	The development will not result in destruction or alteration of any heritage attributes of the church.
Shadows	No	Proposed development will not result in shadows that negatively impact heritage attributes. See Appendix D. See 6.2.1.
Isolation	No	The relationship of the church to Dundas Street and particularly its relationship with the intersection of Dundas and Maitland Street will not change. See 6.2.2
Direct or Indirect Obstruction of Views	No.	The background of views of the church will be altered by the proposed development but will not obstruct the view of its heritage attributes. See 6.2.3 for analysis.
A Change in Land Use	No.	There will be no change in land use.
Land Disturbance	Potential.	<p>The underground parking garage is two levels and extends close to the property lines.</p> <p>The original north east wing of the church (c.1896 at the time the church was rebuilt) is approximately 10 metres from the construction site. See sub-section 6.2.4 for detailed analysis.</p>

6.2.1 Impact of Shadows

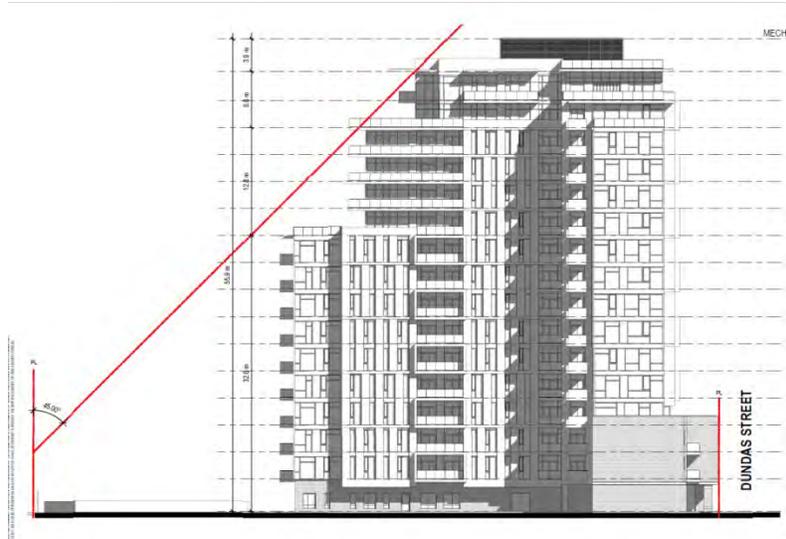
The proposed construction was designed with a 45-degree angular plane which places the building towards the frontage along the Dundas Street streetscape. The location of the building as a result of the angular plane significantly reduces shadowing on neighbouring properties. Shadows that may occur as a result of the new development would appear in the rear yards of adjacent properties located on Maitland Street and Queen Avenue and does not adversely impact the heritage attributes outlined in sub-section 5.2 of this report.

The parking lot associated with Needham's Funeral Service to the west of the property located at 520-526 Dundas Street allows for a significant distance between the new construction and the building on the property (approximately 26 metres between the funeral home and western property line alone). There are shadows on the property during the afternoon of the Spring Equinox but the majority of these shadows are cast on the associated parking lot.

There is approximately 31 metres between the roofline and associated massing of Dundas Street Centre United Church and the new building. There is no significant shadowing cast on the church based on the Shadow Study.

A Shadow Study is included in Appendix 'D' of this report.





Figures 30 & 31– (Above) Massing model of proposed development looking south east in comparison to neighbouring properties; (below) Angular plane study demonstrating the proposed building’s compliance with a 45 degree plane from rear property line (Source: Zedd Architecture, 2020) .

6.2.2 Impact of Isolation

The proposed development is located along Dundas Street which has a variety of lot sizes, mass, scale and uses. Maitland and Queen Avenue within the block are residential character and include older buildings as it transitions to the West Woodfield Heritage Conservation District on the north side of Queen Avenue. Isolation is defined as “Isolation of a heritage attribute from its surrounding environment, context or a significant relationship” (Ontario Heritage Tool Kit, Info Sheet # 5, 3).

The adjacent properties located at 434 & 438 Maitland Street and 507 Queen Avenue will not be isolated from their neighbourhood buildings or streetscapes (see Figures 32 & 33). The coach house at 507 Queen Avenue will not be isolated from the house on its current property or its former associative building located at 520-526 Dundas Street. The proposed development will not isolate Needham Funeral Service from its associated heritage attributes including the mature trees on-site. The proposed development will not isolate heritage attributes of the Dundas Street Centre United Church from its surrounding environment, context or significant relationship as it relates to the north-eastern wing and eastern modern addition or its location at the intersection of Maitland and Dundas Street.



Figures 32 & 33– (above) Aerial view of massing model of proposed development looking north-east in comparison to adjacent properties; (below) Aerial view of massing model of proposed development looking south-east in comparison to adjacent properties (Source: Zedd Architecture, 2020) .

6.2.3 Impact of Direct or Indirect Obstruction of Views

The Standards and Guidelines for the Conservation of Historic Places (Second Edition) defines in Section 4.1.5 “Visual Relationships” which is included as part of a character-defining element of a historic place and relates to an observer and their relationship with a landscape or landscape feature or between the relative dimensions of landscape features (scale). This policy with the Ministry of Heritage, Sport, Tourism and Culture Industries has adopted the following definitions of a view and vista, respectively:

Vista means a distant visual setting that may be experienced from more than one vantage point, and includes the components of the setting at various points in the depth of field.

The Ontario Heritage Toolkit acknowledges that views of a heritage attributes can be components of its significant cultural heritage value. This can include relationships between settings, landforms, vegetation patterns, buildings, landscapes, sidewalks, streets, and gardens, for example.

View means a visual setting experienced from a single vantage point, and includes the components of the setting at various points in the depth of field.

Views can be either static or kinetic. Static views are those which have a fixed vantage point and view termination. Kinetic views are those related to a route (such as a road or walking trail) which includes a series of views of an object or vista. The vantage point of a view is the place in which a person is standing. The termination of the view includes the landscape or buildings which is the purpose of the view. The space between the vantage point and the termination (or object(s) being viewed) includes a foreground, middle-ground, and background. Views can also be ‘framed’ by buildings or features.

While there may be many vantage points providing views and vistas of a property, landscape, building or feature, these must be evaluated to determine whether or not they are significant. Significance is defined by PPS 2020 as follows:

Significant: means e) in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people.

Therefore, a significant view must be identified as having an important contribution to the understanding of a place, event or people.

Views of 434, 438 Maitland Street, 520-526 Dundas Street and 507 Queen Street

The significant views of the adjacent listed properties for 434, 438 Maitland and 507 Queen Avenue include a static view of the front elevation from the associated streetscape. The proposed development will be included in the background but will not obstruct, directly or indirectly, these views (Figures 34 & 36).

The significant view of the building at 520-526 Dundas Street is a perspective view as it relates to the remaining exposed south and west elevations and original massing of the building. This view will not be directly or indirectly obstructed from view (Figure 35).



Figures 34, 35 & 36– (above left) Perspective view of 434 and 438 Maitland Street as it relates to Dundas Street Centre United Church; (above right) Perspective view of 520-526 Dundas Street (below) Elevation view of front façade of 507 Queen Avenue (Source: MHBC, 2020) .

482-484 Dundas Street- Dundas Street Centre United Church

For the purpose of this review, two (2) significant views have been identified that have potential to be impacted. The diagram on the following page outlines these views.

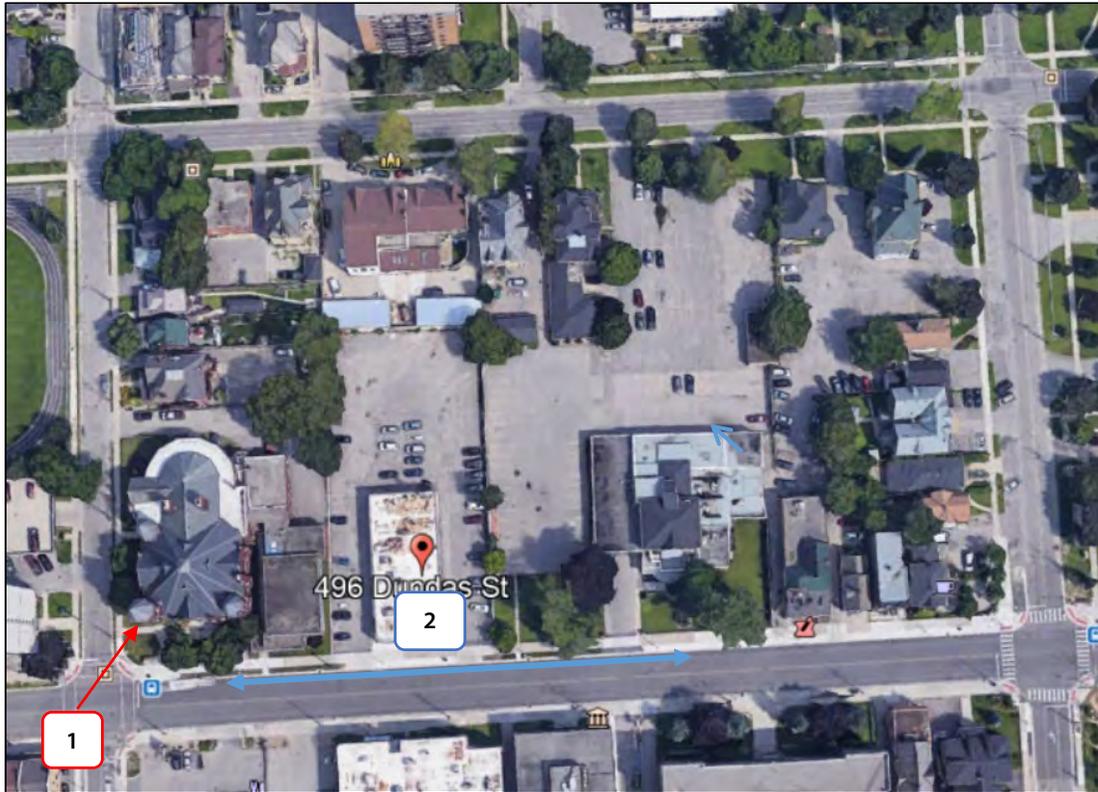
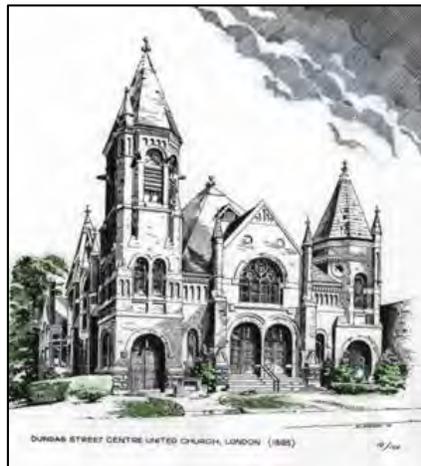


Table 4.0- Significant Views	
View No.	Description of View
View No.1	Static view of church at the intersection of Dundas and Maitland Street.
View No .2	Kinetic view of church moving along Dundas Street.

View No.1 -Static View from intersection of Maitland Street and Dundas Street

The Dundas Street Centre United Church was based upon a corner tower plan which capitalized the location of two intersecting streets. The architectural design of this church draws attention to the highest, and most prominent corner tower at the intersection of Maitland and Dundas Street. Often significant views are demonstrated in artist's depictions, most commonly seen in ephemera such as postcards. The sketch in Figure 38 below depicts the church in 1905. Note that the perspective view includes the corner tower and the south elevation where the front entry is located.

In review of the design intent of the corner church plan and depictions of the church, the view depicted in Figure 37 is identified as the significant static view of the church. It is concluded that the significant views of the church will not be directly or indirectly impacted by the proposed development. The new construction is approximately 31 metres from the church which allows for a visual buffer between the massing and scale of the church and the proposed building.

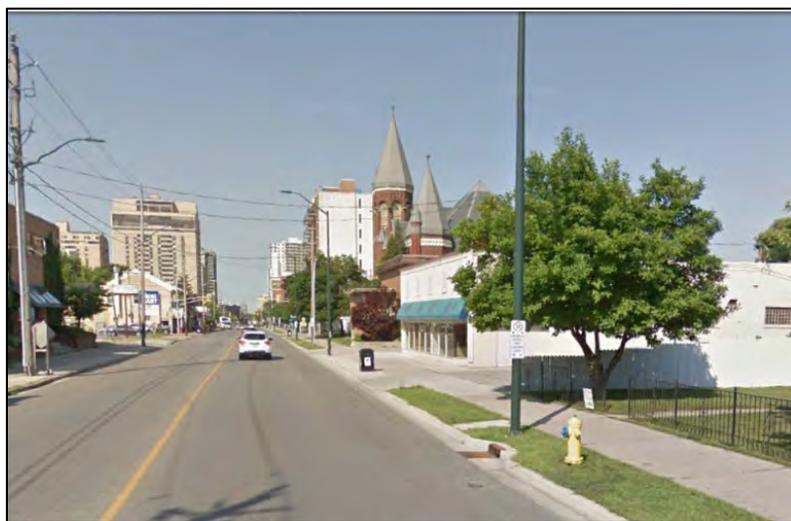


Figures 37 & 38: (above right) Artist's depiction of the church c. 1905 (Source: Dundas Street Centre United Church, 2020) (below) Massing model of proposed development as it relates to adjacent church (Source: Zedd Architecture, 2020)

View No.2 –Kinetic view along Dundas Street

The kinetic view of the church going eastward and westward along Dundas Street is significant as it relates to the projecting towers and turrets of the church which perceptively changes as one approaches the church. The kinetic view moving eastward along Dundas Street will be altered in that the background of the view will include the proposed new building. Currently, the apartment building located at 470 Dundas Street blocks a portion of this view as one approaches the intersection of Maitland and Dundas Street. The massing and scale, particularly as it relates to the complex roofline, will remain prominent in the foreground.

The kinetic view moving eastward along Dundas Street will not be altered due to the proposed stepback (approximately 5.8 metres) at the third level of the building which sets the podium further north to allow for the main corner tower and eastern tower to remain visible along the streetscape.



Figures 39 & 40: (above) Coloured perspective rendering of existing church and proposed development (Zedd Architecture, 2020); (below) Kinetic view going westward along Dundas Street.

6.2.4 Impact of Land Disturbances

A detailed analysis was completed on the distance between the proposed new development and adjacent heritage properties. Larger versions of the figures in this sub-section are included in Appendix 'A' of this report. The development proposes an underground parking garage so in addition to assessing the proximity to the construction of the new building, it also reviews the proximity to construction required as part of the underground parking. The figure below and associated table identifies the approximate distance between the proposed underground parking garage and adjacent heritage properties (see Appendix 'A' for larger figures).



Table 5.0 Distance Between Underground Parking and Adjacent Heritage Properties

Building	Distance from Underground Parking Level
434 Maitland Street	29 metres
438 Maitland Street	34 metres
520-526 Dundas Street	40 metres
507 Queen Street- House Coach House	20 metres 4 metres
482-484 Dundas Street (Dundas Centre Church) Main church building North-east wing	21 metres 10 metres

The figures below and associated table shows the approximate distance between the construction of the new building (ground floor) and adjacent heritage properties (see Appendix 'A' for larger figures).



Table 6.0 Distance Between New Building (Ground Floor) and Adjacent Heritage Properties

Building	Distance from Ground Level
434 Maitland Street	46 metres
438 Maitland Street	57 metres
520-526 Dundas Street	43 metres
507 Queen Street-House Coach House	46 metres 28 metres
482-484 Dundas Street (Dundas Centre Church) Main church building North-east wing	31 metres. 22 metres

In conclusion, the distances between the underground parking garage and new building (ground floor) and adjacent heritage properties is sufficient to not anticipate impacts of land disturbances with the exception of the coach house associated with 507 Queen Avenue and the north-east wing of the church.

The coach house located at 507 Queen Avenue is constructed of brick with a rubble stone foundation (Figure 41). The building does not include a basement which significantly reduces impacts of land disturbances as a result of the construction of the underground parking, however, there is a potential impact of land disturbances.

The original north-east wing of the Dundas Street Centre United Church (Figure 42) is approximately 10 metres from the construction of the underground garage and is adjacent to an entry point that will likely be used for incoming and outgoing traffic during construction. Thus, there is a potential impact of land disturbances.



Figures 41 & 42: (left) Photograph of coach house associated with 507 Queen Avenue looking eastward; (right) Photograph of north-east wing of Dundas Street Centre United Church looking south-west.

6.3 COMPLIANCE WITH THE OFFICIAL PLAN AND OLD EAST VILLAGE DUNDAS STREET CORRIDOR SECONDARY PLAN

Policy 152 of the City of London Official Plan discusses the importance of urban regeneration in the City which includes the protection of built and cultural heritage resources while “facilitating intensification within [the City’s] urban neighbourhoods, where it is deemed to be appropriate and in a form that fits well within the existing neighbourhood”. The proposed development is located in central London and is part of urban regeneration. The surrounding urban neighbourhood as it relates to the Dundas streetscape is various in size of lots and scale and mass of buildings which is consistent with the description of the Dundas Street Midtown character which is described as “highly diverse” (Section 3.3.2 (b)). The Old East Village Dundas Street Corridor Secondary Plan discusses the integration of new development within the existing neighbourhood,

New development is envisioned, especially on the south side of the corridor, in a form that is well integrated into the existing context and is respectful of the cultural heritage resources in the area (p. 6).

The Plan also dictates that within the Midtown character area, “the placement of buildings will respond to the immediately adjacent built form context” (Section 3.3.2 (b)). The compatibility of new development with adjacent cultural heritage resources as it relates to “integrating and harmonizing mass, setback, setting, and materials (Section 3.7 (e)).

The proposed front yard setback for the first three floors of the development is 0.8m which is consistent with the existing building on-site on the buildings along Dundas Street to the east of 520-526 Dundas Street. The proposed design of the building includes a stepback along the southern portion on the west elevation, front façade and along the south portion of the east elevation after the first three levels. There is an additional stepback on the southern side of the building at the 15th level to 16th level which is 6.3 metres (see Appendix ‘C’ for elevations and renderings). The stepbacks reduce the amount of massing to the rear of the property as it transitions to the “sensitive area” on the north half of the block which acts as a buffer for the HCDs to the north.



Figure 43: Coloured massing model perspective on Dundas Street streetscape looking north-east
(Source; Zedd Architecture, 2020)

The first three levels are proposed to be primarily constructed of brick that is a similar hue of the adjacent church (see Figure 43); this brick will also be incorporated in the higher levels of the building. Glazing used in the upper levels reduces the perspective of mass and scale of the building.

The architectural design details of Dundas Street Centre United Church inspire architectural elements of the proposed development inspire, such as the vertical strip of windows openings along the front elevation, mimics the narrow niches that are exemplified on the exterior of the church. The alternation of material and associated natural hues, reduces perspective of mass and scale to promote its integration with the surrounding area and in particular, its integration with the context of the adjacent cultural heritage resource.

The combination of sympathetic material and architectural articulation (step backs) allows for a rhythmic streetscape and sense of consistency with the surrounding context.



Figures 44 & 45: Coloured rendering of proposed front (south) and west elevation of new building demonstrating the sympathetic use of material and colour (Source: Zedd Architecture, 2020).

7.0 ALTERNATIVE DEVELOPMENT OPTIONS

7.1. INTRODUCTION

The following have been identified as a range of development alternatives that may be considered as part of the heritage planning process. These options have been assessed in terms of impacts to cultural heritage resources as well as balancing other planning policies within the planning framework. The following sub-sections of this report consider the potential for alternative development options as it relates to the proposed development.

7.1.1 'Do Nothing' Alternative

The 'do nothing' alternative would prevent the development from occurring and as a result there would be no adverse impacts to adjacent heritage properties. However, the limited adverse impacts of land disturbances does not warrant the negation of development. This option is not recommended.

7.1.2 Revised Building Design to be Consistent with Existing Zoning By-law

The existing zoning for the property permits a height of eight storeys (as per Schedule 3: Old East Village Dundas Street Corridor Secondary Plan). Through the evaluation in sub-section 6.2 of this report it was determined that the height or density of the building does not have an adverse impact on adjacent cultural heritage resources and therefore, a reduction in height would be a neutral impact. The construction of the proposed building is sufficient distance from adjacent heritage buildings that it is not expected to adversely impact the adjacent properties, therefore, a revised building design reducing height is not required.

7.1.3 Remove the Underground Parking Garage from Development

This option would remove underground parking (136 parking spaces) for the proposed development. This option would remove some of the risk of land disturbances to the identified the coach house associated with 507 Queen Avenue. This option, however, is not required as the

8.0 MITIGATION AND CONSERVATION RECOMMENDATIONS

8.1 MITIGATION MEASURES

Section 3.7 of the *Old East Village Dundas Street Corridor Secondary Plan* outlines potential mitigation approaches for consideration and application for minimizing impacts from proposed developments on or adjacent to listed, designated, and potential cultural heritage resources within the Secondary Plan area (in addition the requirement of the HIA a)):

b) Avoidance and mitigation to allow development to proceed while retaining the cultural heritage resources in situ and intact;

c) Adaptive re-use of a built heritage structure or cultural heritage resources;

d) Commemoration of the cultural heritage of a property/structure/area, historical commemoration means such as plaques or cultural heritage interpretive signs; and,

e) Urban design policies and guidelines for building on, adjacent, and nearby to heritage designated and heritage listed properties, and properties with potential cultural heritage resources to ensure compatibility by integrating and harmonizing mass, setback, setting, and materials.

The impact assessment in sub-section 7.2 of this report concluded that there is a potential impact of land disturbances to the coach house associated with 507 Queen Avenue and the original north-east wing of the Dundas Street Centre United Church.

The following is recommended to mitigate potential impacts of land disturbances in accordance with Section 3.7 (b) of the Secondary Plan:

- *A Temporary Protection Plan (TPP)* that would include:
 - A Vibration Monitoring Plan for both the Coach House of 507 Queen Avenue and the adjacent Dundas Street Centre United Church at 482-484 Dundas Street (Dundas Street Centre United Church) and any other building or structure identified by the engineer in the findings of the assessment and Plan; and,
 - Certification by an engineer of the footings and foundation of the new building will be constructed in a way that will avoid damage to the coach house at 507 Queen Avenue.

8.2 CONSERVATION RECOMMENDATIONS

It is recommended that a landscaped buffer be developed along the rear of the property to provide a buffer between the new construction and existing mature neighbourhood; this buffer can also allow for a more aesthetically pleasing background view at ground level. Lighting and signage used for the proposed development should be sympathetic to adjacent heritage properties. Signage should not obstruct views of the Dundas Street Centre United Church.

9.0 CONCLUSIONS & RECOMMENDATIONS

The purpose of this Heritage Impact Assessment (HIA) is to assess the impact of the proposed development on the adjacent heritage properties to the subject property located at 434, 438 Maitland Street, 507 Queen Avenue, 520-526 Dundas Street and 482-484 Dundas Street (Dundas Street Centre United Church). This report concluded that adverse impacts are limited to:

- Potential impact of land disturbances for the coach house associated with 507 Queen Avenue and the north-east wing of the Dundas Street Centre United Church as it relates to the construction of the underground parking garage and anticipated construction traffic along the western side of the subject property.

The mitigation measures described in Section 8.0 will ensure any potential impacts are sufficiently minimized.

Respectfully submitted,



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Partner, MHBC

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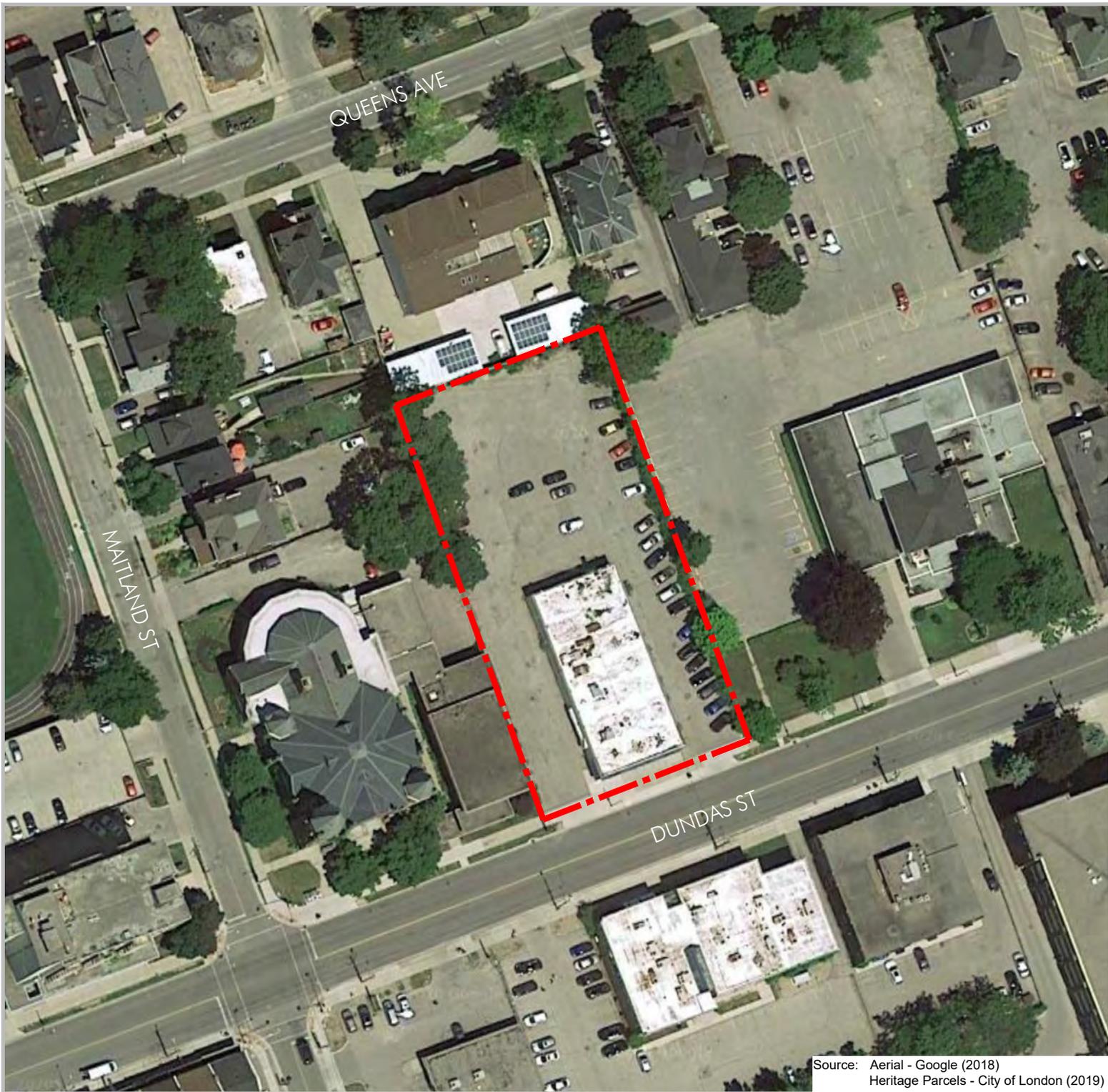
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APPENDIX **A** – LOCATION MAP



Source: Aerial - Google (2018)
Heritage Parcels - City of London (2019)

**Figure
Location**

LEGEND

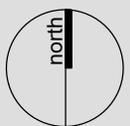
 Subject Lands

DATE: October 2020

SCALE: 1:1,000

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K:\14212C-496 Dundas St-London\Rpt\Location.dwg

496 Dundas St
City of London



**PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE**

200-540 BINGEMANS CENTRE DR, KITCHENER, ON, N2B 3X9
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Figure
Surrounding Cultural Heritage Properties

496 Dundas St
 City of London

LEGEND

 Subject Lands

A

	Address
1	507 Queens Ave
2	434 Maitland St
3	438 Maitland St
4	520-526 Dundas St
5	482-484 Dundas St

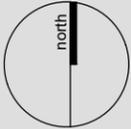
Source: Aerial - Google (2018)

DATE November 2020

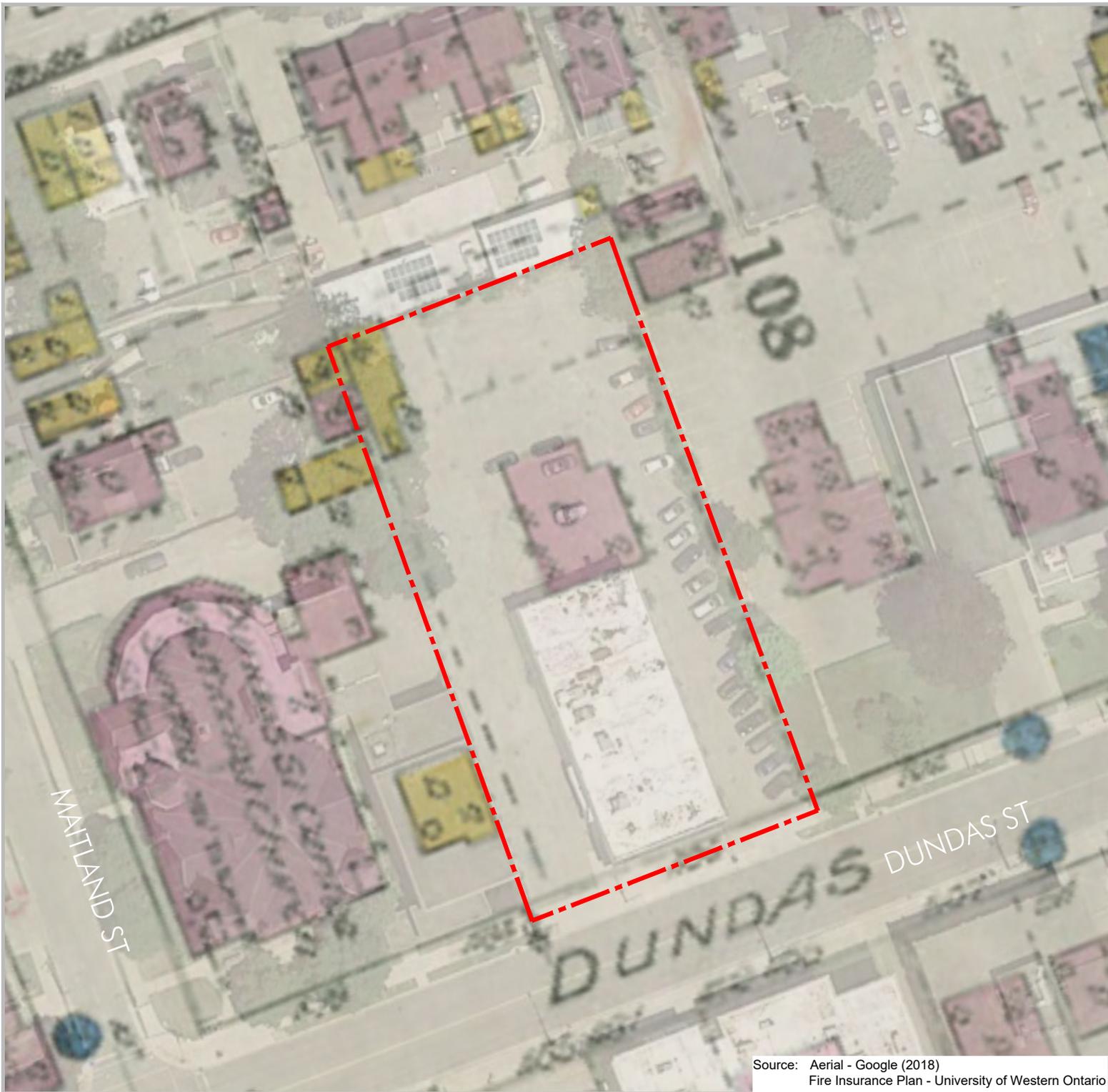
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Source: Aerial - Google (2018)
 Fire Insurance Plan - University of Western Ontario

Figure
**Fire Insurance Plan
 1912-1922**
 (City of London)

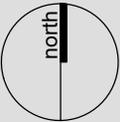
LEGEND
 Subject Lands

DATE: October 2020

SCALE: NTS

FILE: Y509 AW

DRAWN: CAC



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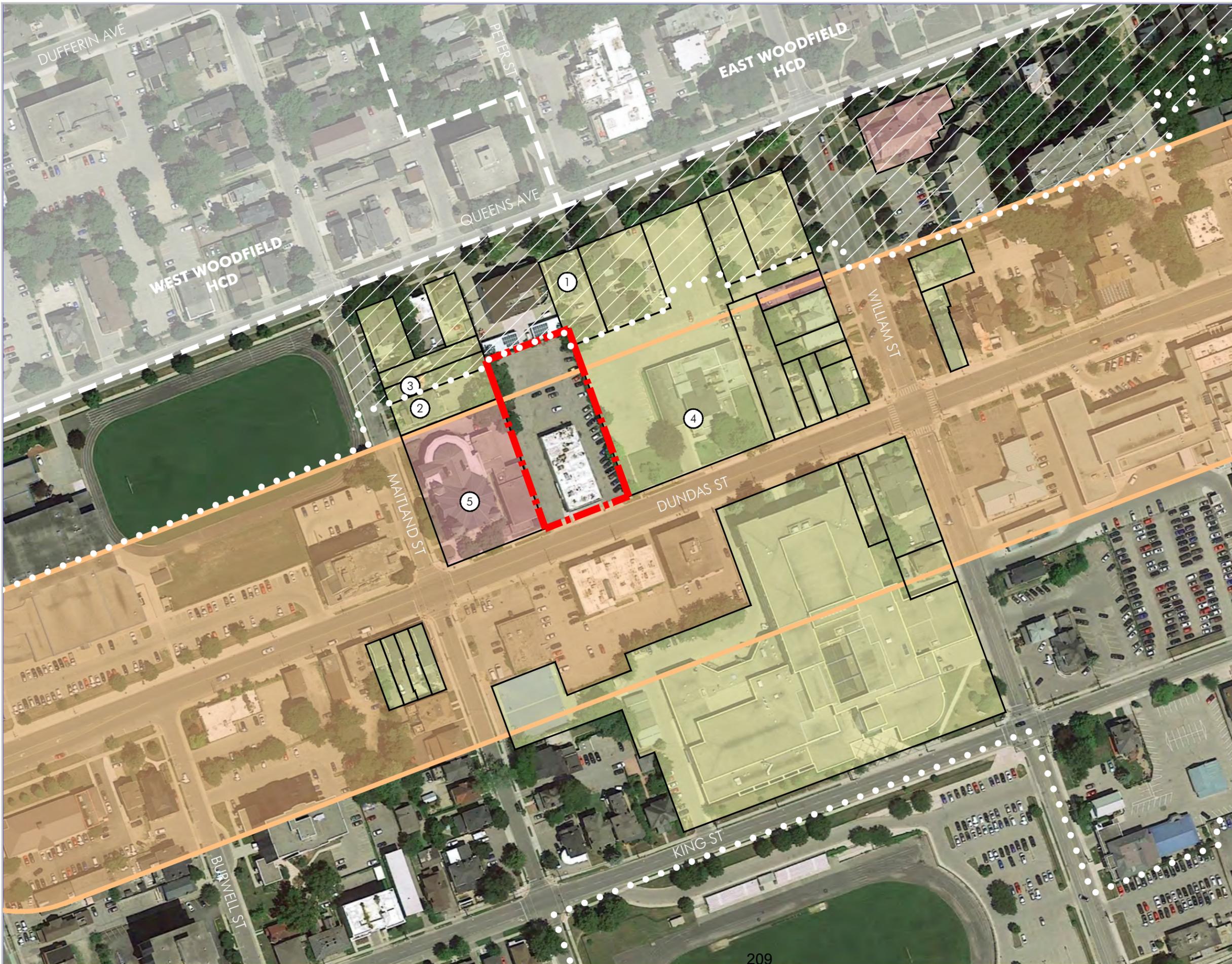


Figure
Heritage Map

496 Dundas St
City of London

LEGEND

- Subject Lands
- Heritage Conservation District
- Old East Village Dundas Street Corridor Secondary Plan
- Area of Special Sensitivity
- Dundas-Midtown Area (Dundas Street Old East Village Core)

Heritage Properties

- Listed
- Designated

Adjacent Cultural Heritage Resources

	Address	Heritage Status
1	507 Queens Ave	Listed; March 26, 2007
2	434 Maitland St	Listed; March 26, 2019
3	438 Maitland St	Listed; March 26, 2019
4	520-526 Dundas St	Listed; March 26, 2007
5	482-484 Dundas St	Designated Part IV; By-law L.Sp.-2855-378, L.S.P.-2855(a)-175, September 3, 1985 amended 1991

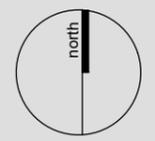
Source: Aerial - Google (2018)

DATE November 2020

SCALE NTS

DRN CAC

FILE 14212C



K:\14212C-496 DUNDAS ST-LONDON\RP\THEHERITAGE_NOV2020.DWG



Source: Aerial - Google (2018)
 Site Plan - Zedd Architecture (2019)

Figure
 Parking Site Plan

LEGEND
 Subject Lands

DATE: October 2020

SCALE: NTS

FILE: Y509 AW

DRAWN: CAC



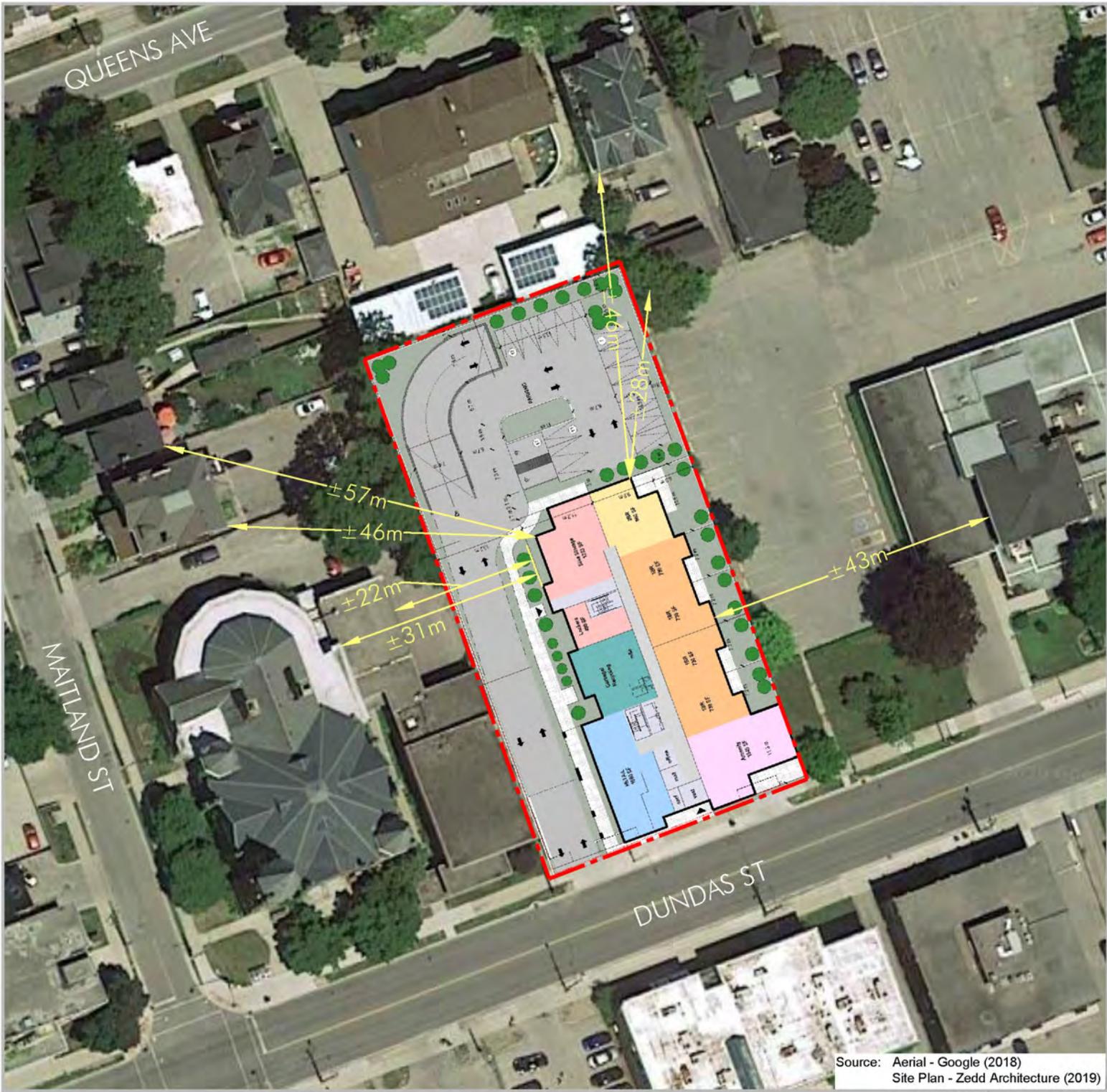
K:\14212C-496 Dundas St-London\Rpt\ParkingPlan.dwg

496 Dundas St
 City of London



**PLANNING
 URBAN DESIGN
 & LANDSCAPE
 ARCHITECTURE**

200-540 BINGEMANS CENTRE DR. KITCHENER, ON, N2B 3X9
 P: 519.576.3650 F: 519.576.0121 | WWW.MHBCPLAN.COM



Source: Aerial - Google (2018)
 Site Plan - Zedd Architecture (2019)

Figure
 Ground Floor
 Site Plan

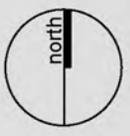
LEGEND
 Subject Lands

DATE: November 2020

SCALE: NTS

FILE: Y509 AW

DRAWN: CAC



K:\14212C-496 Dundas St-London\Rpt\GroundFloorPlan.dwg

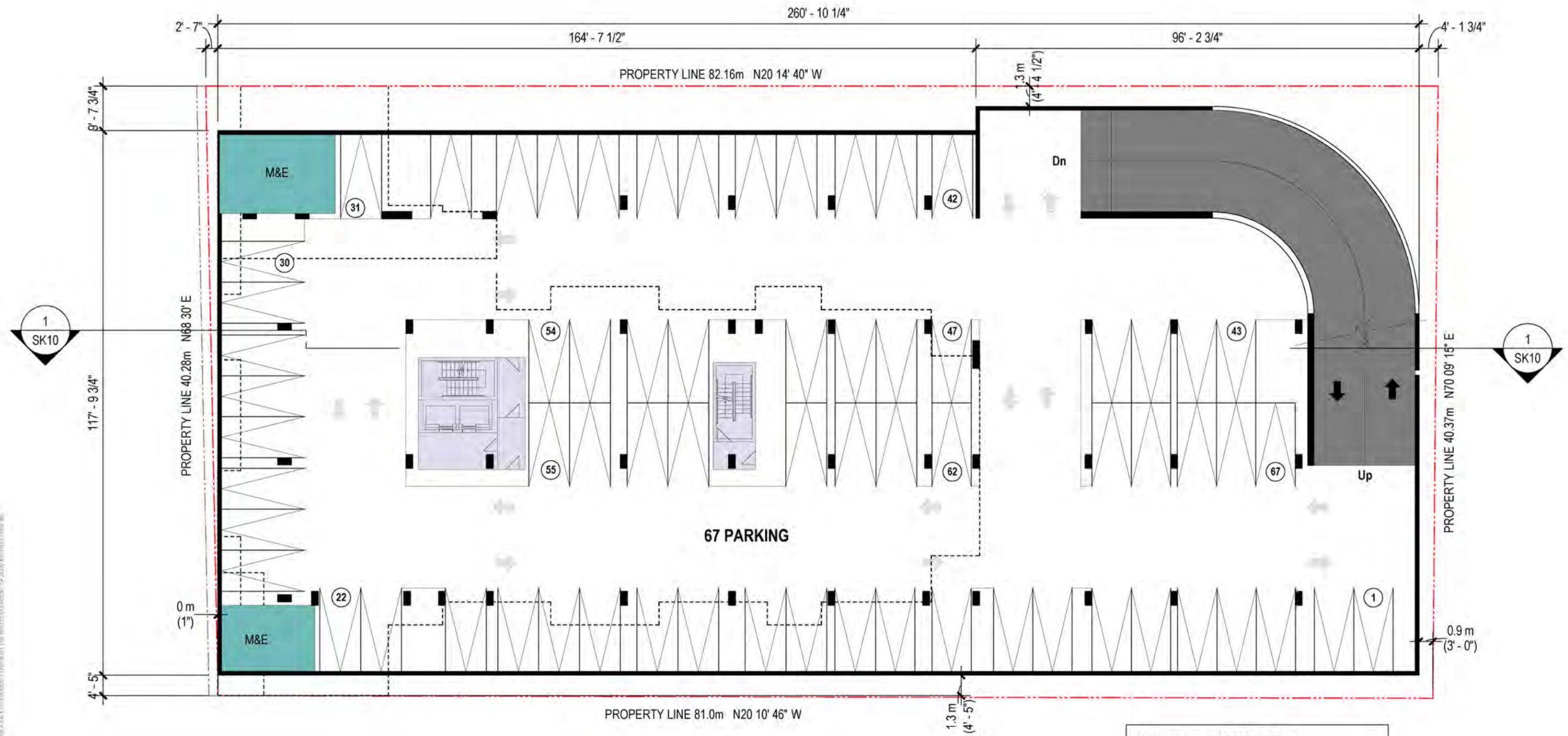
496 Dundas St
 City of London



**PLANNING
 URBAN DESIGN
 & LANDSCAPE
 ARCHITECTURE**

200-540 BINGEMANS CENTRE DR. KITCHENER, ON, N2B 3X9
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APPENDIX **B** – SITE PLAN



P1 Floor Area = 30,800.00 SF
 P2 Floor Area = 30,800.00 SF
 P1 & P2 Total Floor Area = 61,600.00 SF
 Number of Parking = 67 Cars in P1 & 69 in P2
 Total Number of parking in P1&P2 = 136 Cars



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www.zeddarchitecture.com info@zeddarchitecture.com

Scale: 3/64" = 1'-0"

19-019 Dundas Apartments

496 Dundas Street, London Ontario

P1 & P2

2020-07-09

SK02



2 Level Underground Parking = 136 Cars
 On Grade Parking = 17 Cars
 Total # of Cars = 153
 Required : 3 Cars For Retail (1per45m2)
 Required Residential Parking = (172x1.0)=172
 16 Storey Building - 172 Units 1(3BR) , 50(2BR) & 121(1BR)
 [5 Units on First Floor, 15 Units per Floor (2nd & 3rd), 12 Units per Floor(4th to 11th), 10 Units per Floor (12th to 14th), 8 Units on 15th Floor, 3 Units on 16th Floor.]
 Level 1 Floor Area = 11,693.00 SF
 Total Floor Area (1st to 16th) = 161,851.00 SF

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Scale : 3/64" = 1'-0"

19-019 Dundas Apartments

496 Dundas Street, London Ontario

First Floor Plan

2020-07-09 SK03



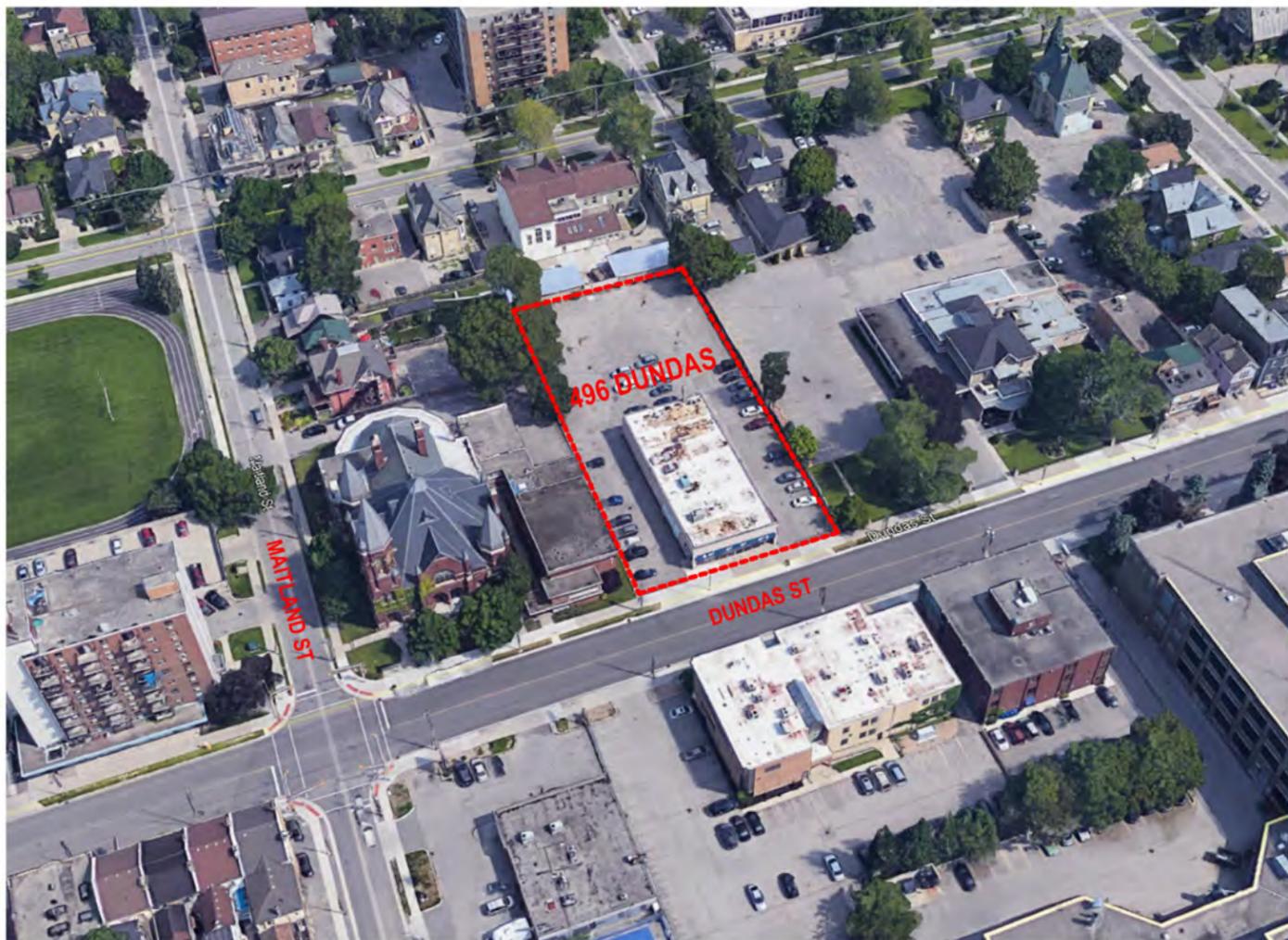
APPENDIX **C** – URBAN DESIGN BRIEF

Dundas Apartments

496 Dundas Street, London Ontario

19-019

2020.08.17



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ARCHITECTURE | DESIGN | PLANNING

zedd architecture inc Z-627 maitland street london ontario N5Y 2V7 519 518 9333 www.zeddarchitecture.com info@zeddarchitecture.com

Site Development Statistics

496 DUNDAS STREET, LONDON ONTARIO

Item	Existing Requirements	Proposed/Provided
ZONE - PROPOSED BLDG. PERMITTED USES		MIXED USE MULTI UNIT RESIDENTIAL
ZONE - EXISTING BLDG. PERMITTED USES		NO CHANGE
LOT AREA (MINIMUM)		35,370 sq ft (3,286 sqm - 0.32 ha)
LOT COVERAGE (MAX. FOR ALL MAIN & ACCESSORY BUILDINGS)		37.7%
LOT FRONTAGE (MINIMUM)		40.2m
LOT DEPTH (MINIMUM)		82.2m
FRONT YARD DEPTH (MINIMUM)		0m
INTERIOR SIDE YARD WIDTH EAST (MINIMUM)		0m
INTERIOR SIDE YARD WIDTH WEST (MINIMUM)		0m
REAR YARD DEPTH (MINIMUM)		30.3m
DENSITY		172 UNITS 538 upha
LANDSCAPED OPEN SPACE (MINIMUM)		24.9%
HEIGHT (MAXIMUM)		55.7m
PARKING	residential: 1.0 spaces per 1 units = 172 commercial: 1 space per 45 sqm = 3	150 RESIDENTIAL SPACES 3 COMMERCIAL SPACES



Scale : 1/2" = 1'-0"

19-019 Dundas Apartments

496 Dundas Street, London Ontario

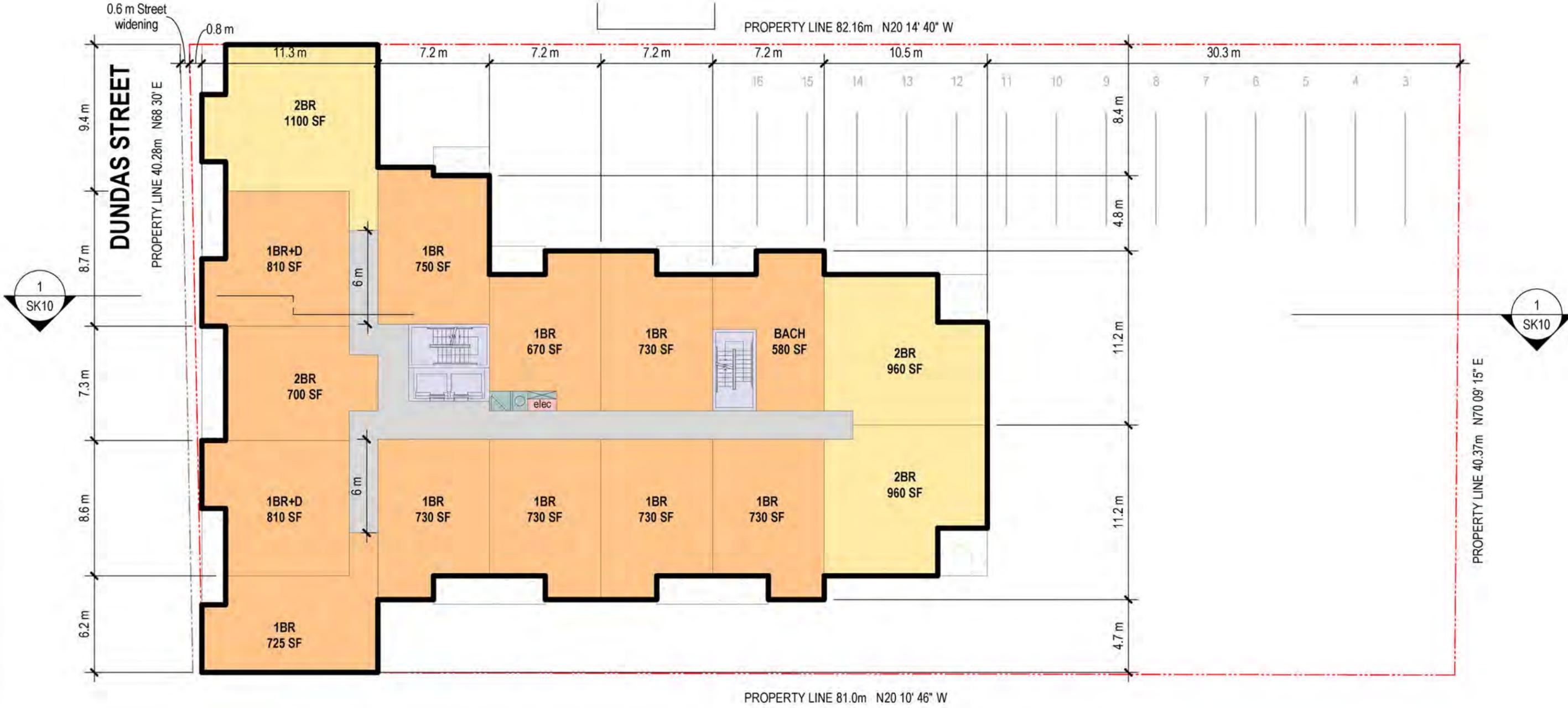
Isometric

07/13/20

SK01

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www.zeddarchitecture.com info@zeddarchitecture.com



15 UNITS
13,350.00 SF (Each Floor)

Scale : 3/64" = 1'-0"

19-019 Dundas Apartments

496 Dundas Street, London Ontario

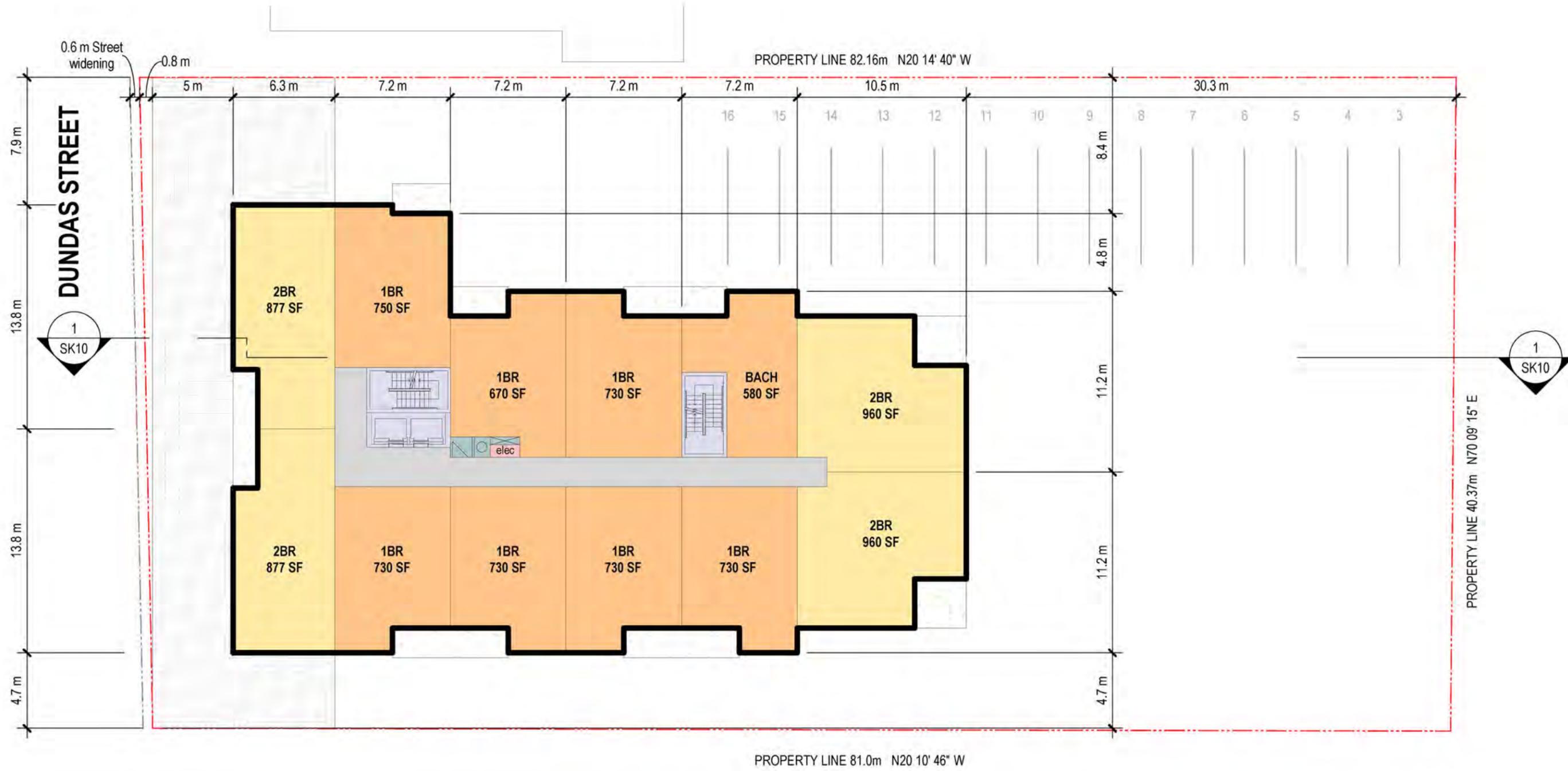
LEVEL 2, 3

2020-07-09 SK04



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12 UNITS
10,595.00 SF (Each Floor)



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Scale : 3/64" = 1'-0"

19-019 Dundas Apartments

496 Dundas Street, London Ontario

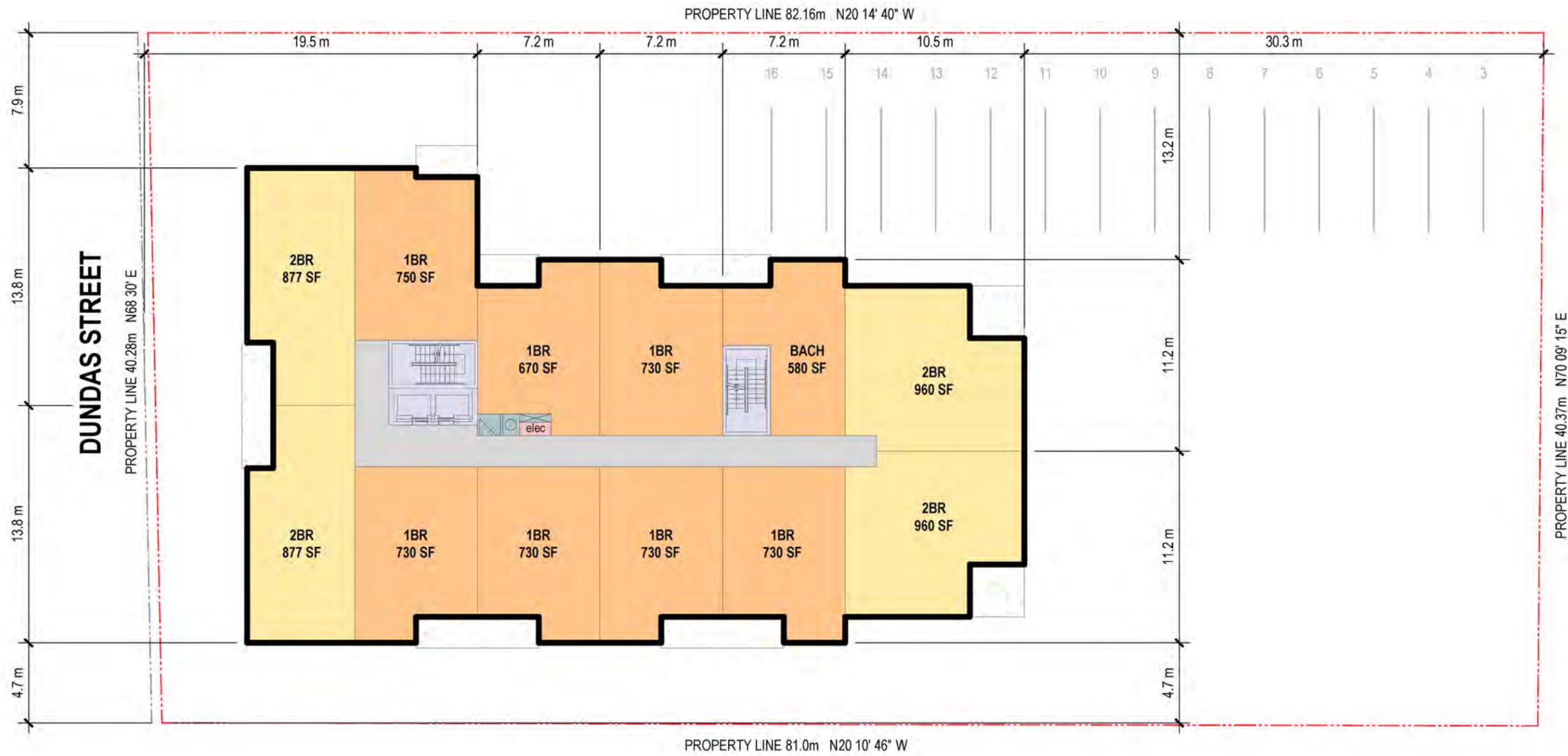
LEVEL 4

2020-07-09 SK05

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File: Z:\Projects\2019-019-496 Dundas St-4th Floor (Res) 04.dwg (19-019-496) (Level 4) (Residential) (Residential.dwg)

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12 UNITS
10,595.00 SF (Each Floor)

Scale : 3/64" = 1'-0"

19-019 Dundas Apartments

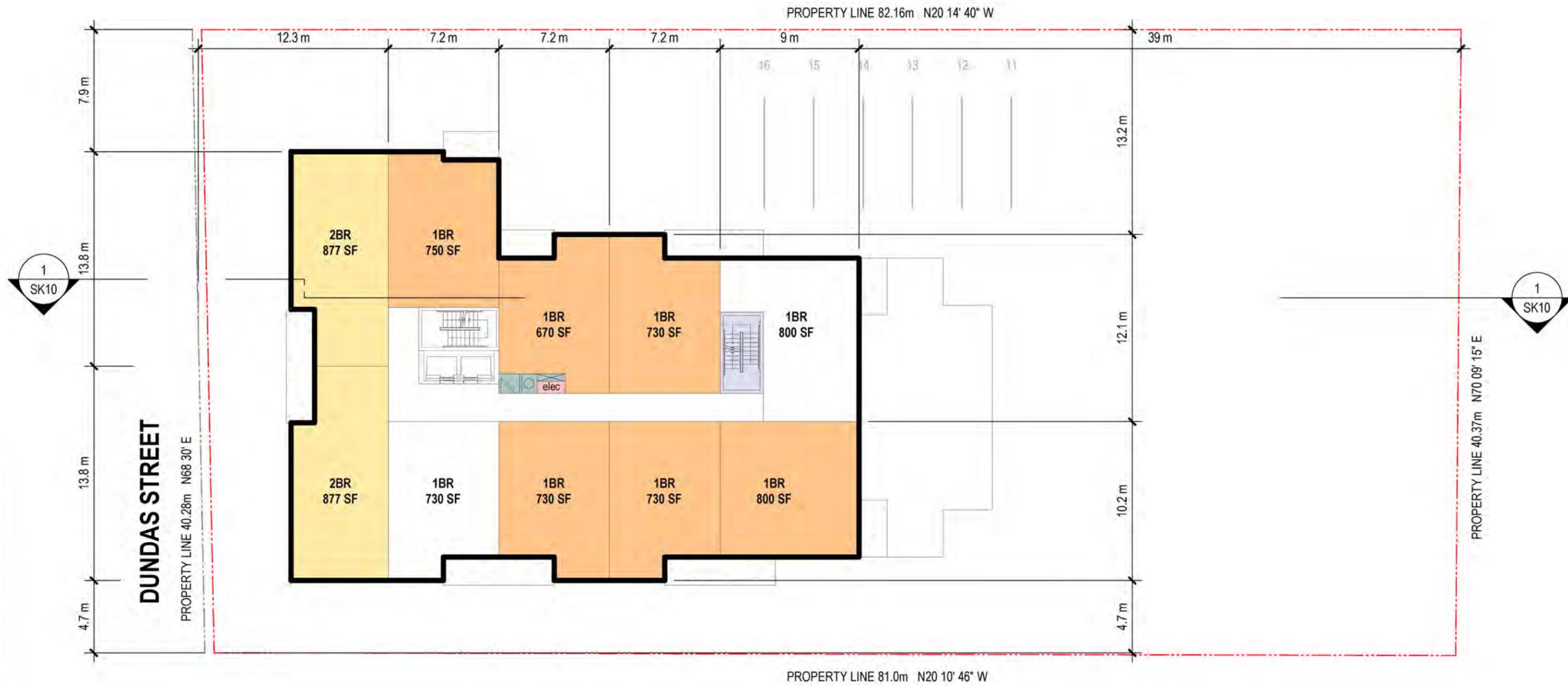
496 Dundas Street, London Ontario

LEVEL 5-11

2020-07-09 SK06



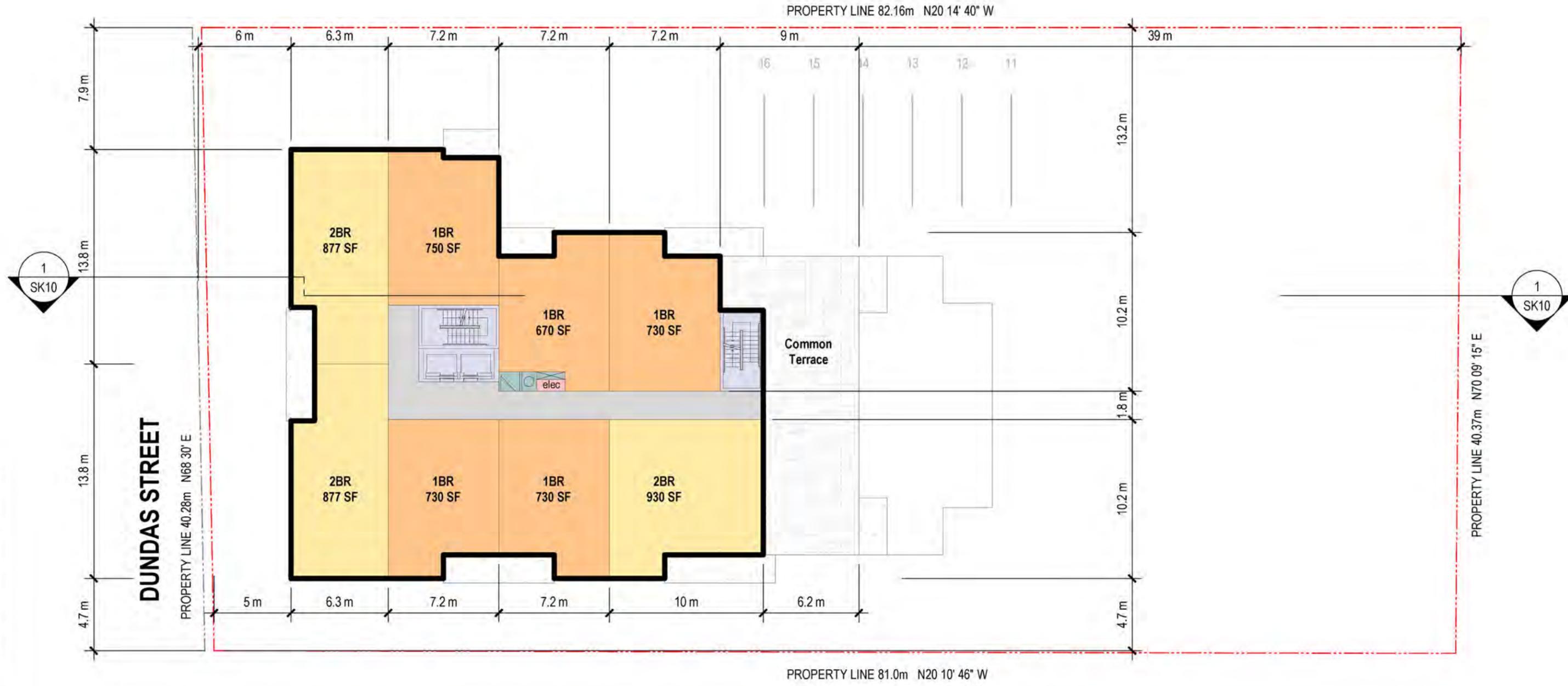
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Scale : 3/64" = 1'-0"



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8 UNITS
7,488.00 SF (Each Floor)



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Scale : 3/64" = 1'-0"

19-019 Dundas Apartments

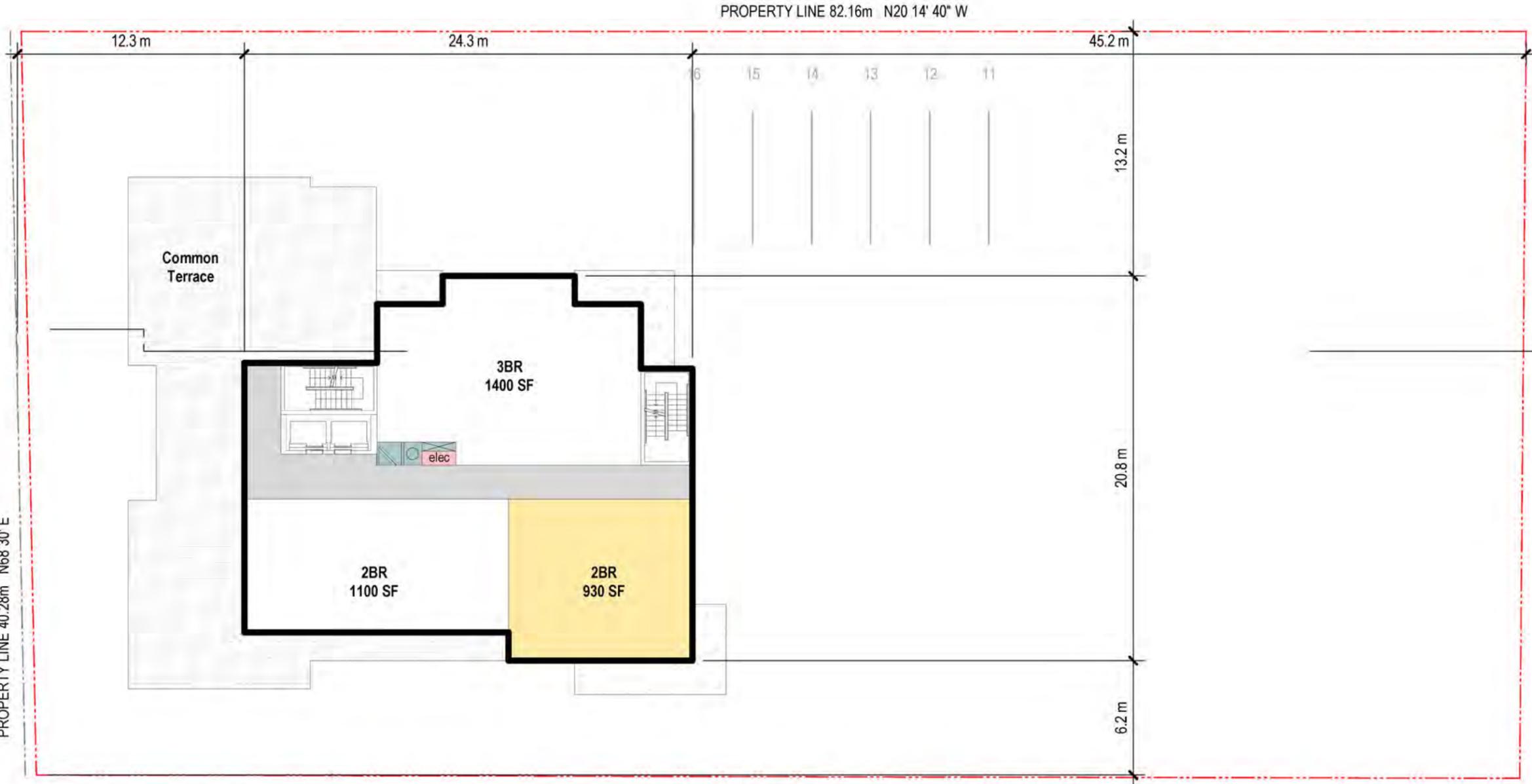
496 Dundas Street, London Ontario

LEVEL 15

07/13/20 SK08

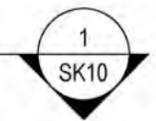
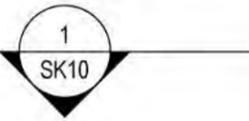
DUNDAS STREET

PROPERTY LINE 40.28m N68 30' E



PROPERTY LINE 81.0m N20 10' 46" W

PROPERTY LINE 40.37m N70 09' 15" E



3 UNITS
4,570.00 SF

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Scale : 3/64" = 1'-0"

19-019 Dundas Apartments

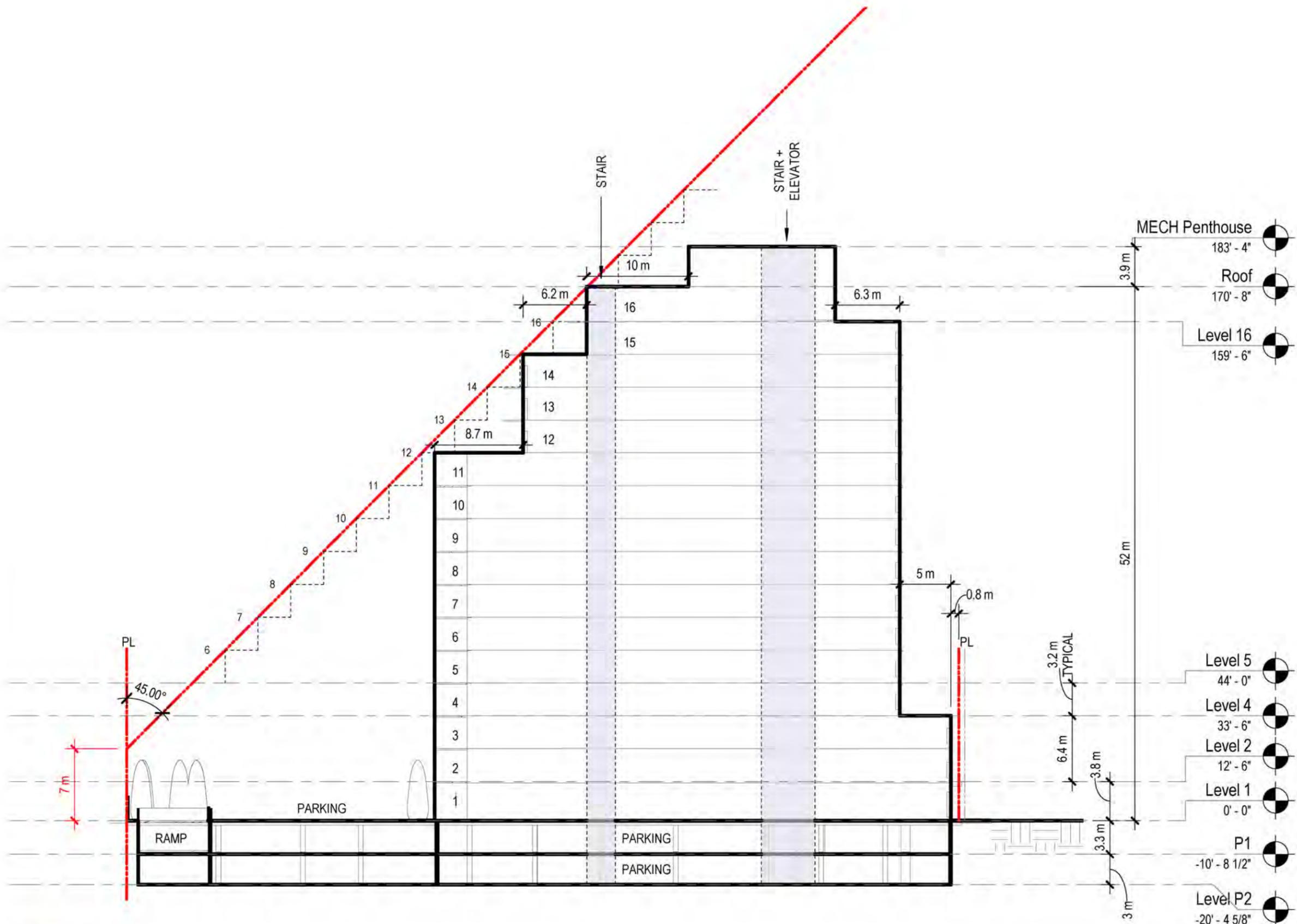
496 Dundas Street, London Ontario

LEVEL 16

2020-07-09 SK09



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Scale : 1/32" = 1'-0"

19-019

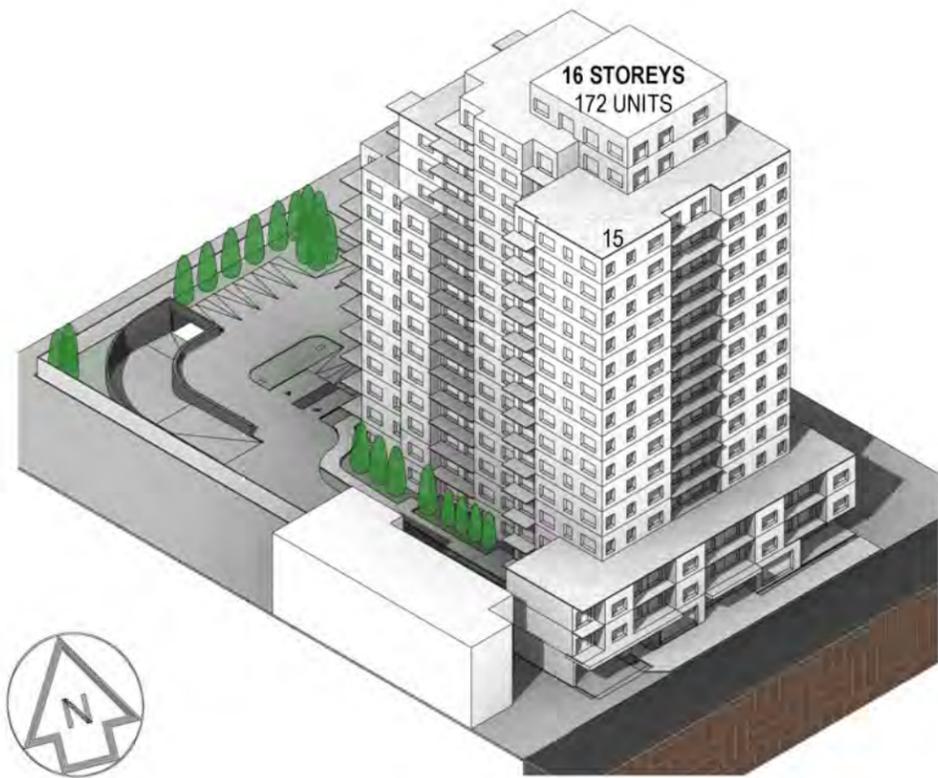
Dundas Apartments

496 Dundas Street, London Ontario

Section A-A

2020-07-09 SK10





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Scale :

19-019 Dundas Apartments

496 Dundas Street, London Ontario

Isometric Views

2020-07-09

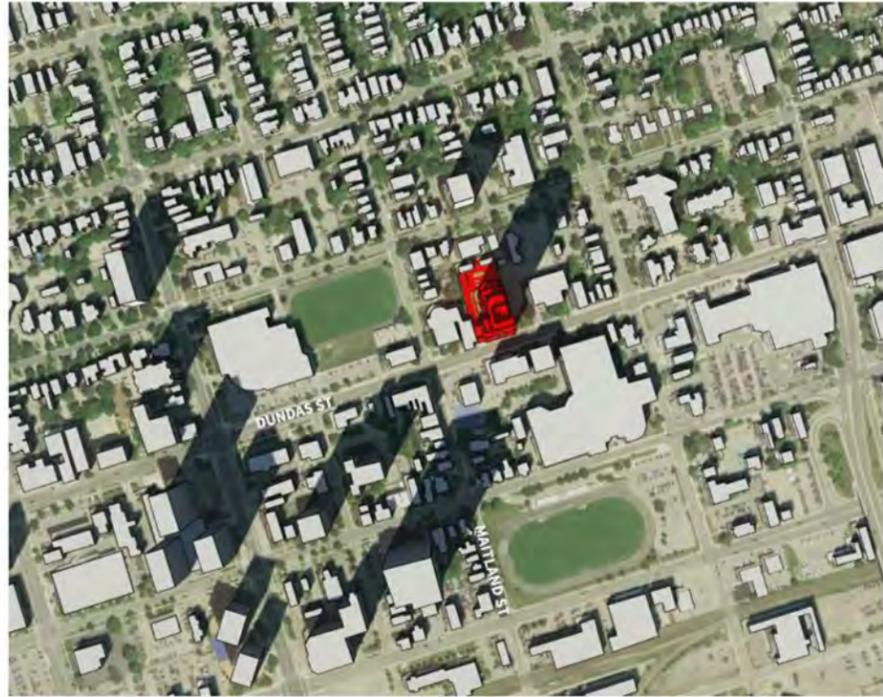
SK11

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ARCHITECTURE

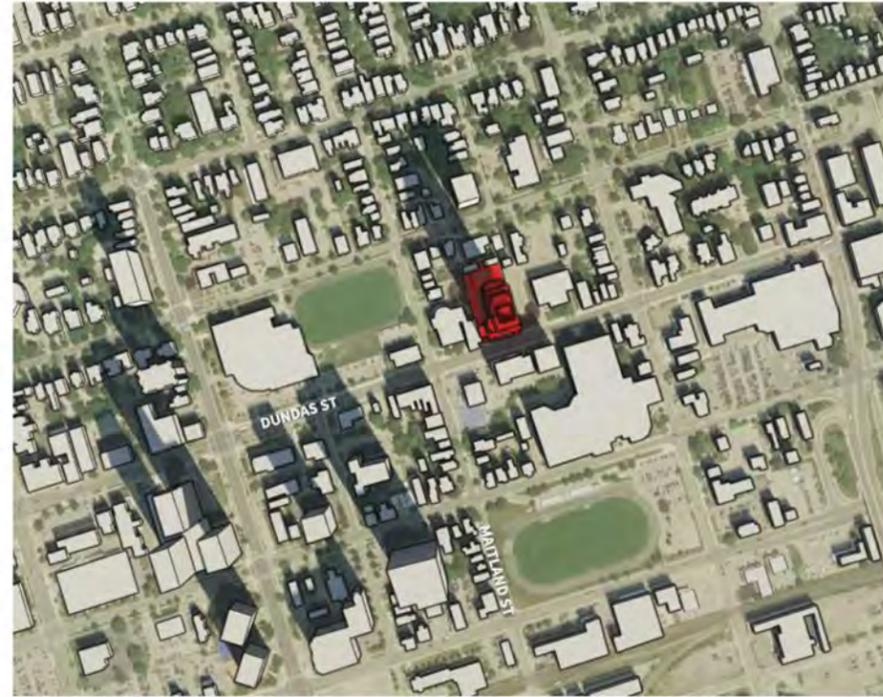
363 horton street east london ontario N6B 1L6 519 518 9333
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APPENDIX **D** – SHADOW STUDY

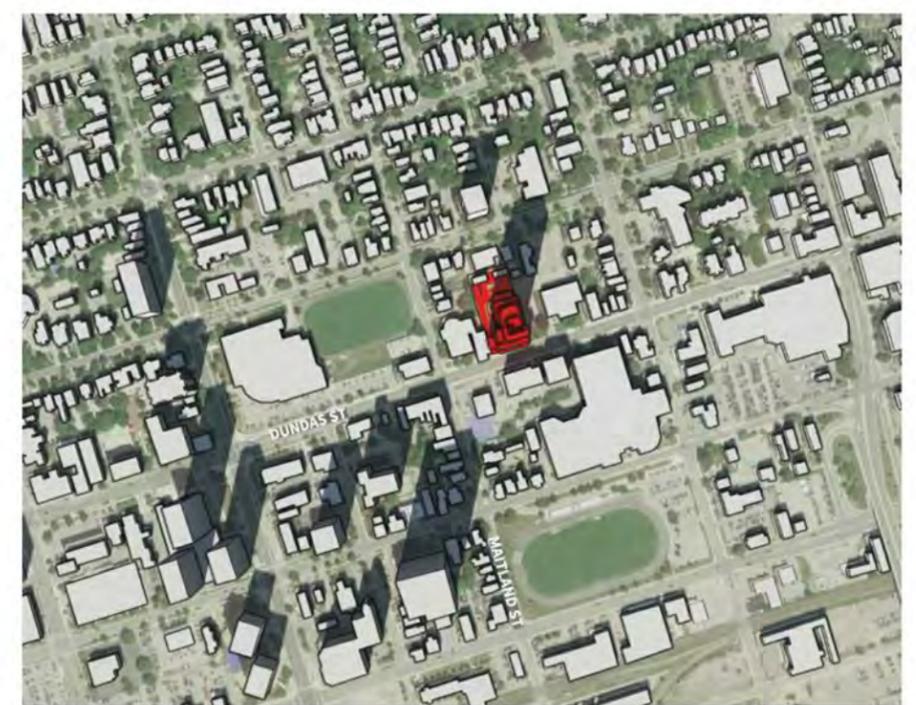
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DECEMBER 21 300 PM



DECEMBER 21 900 AM



DECEMBER 21 1200 PM

Scale :

19-019

Dundas Apartments

496 Dundas Street, London Ontario

SHADOW STUDY - DECEMBER

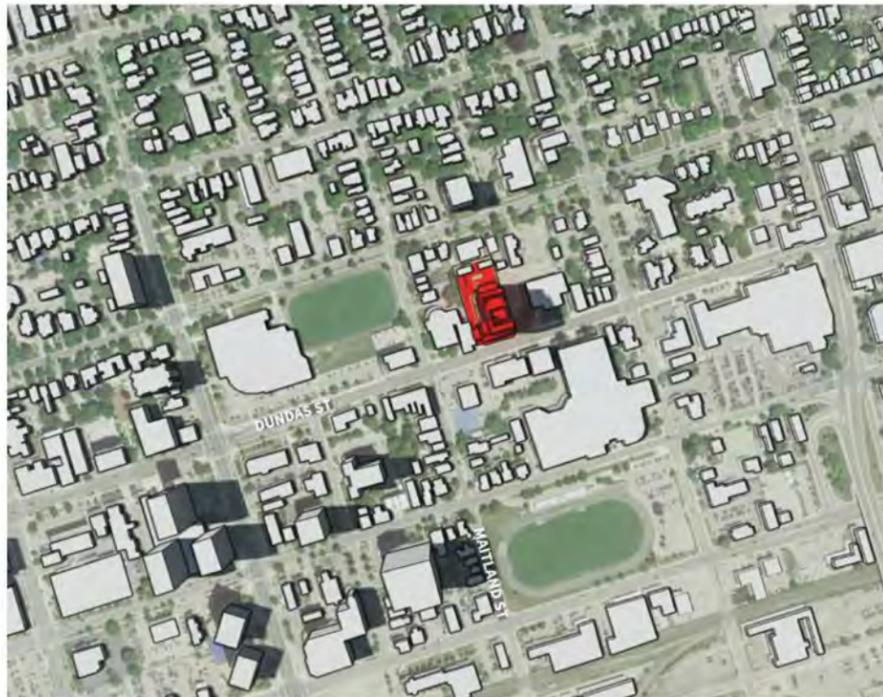
11/03/20

SK-30

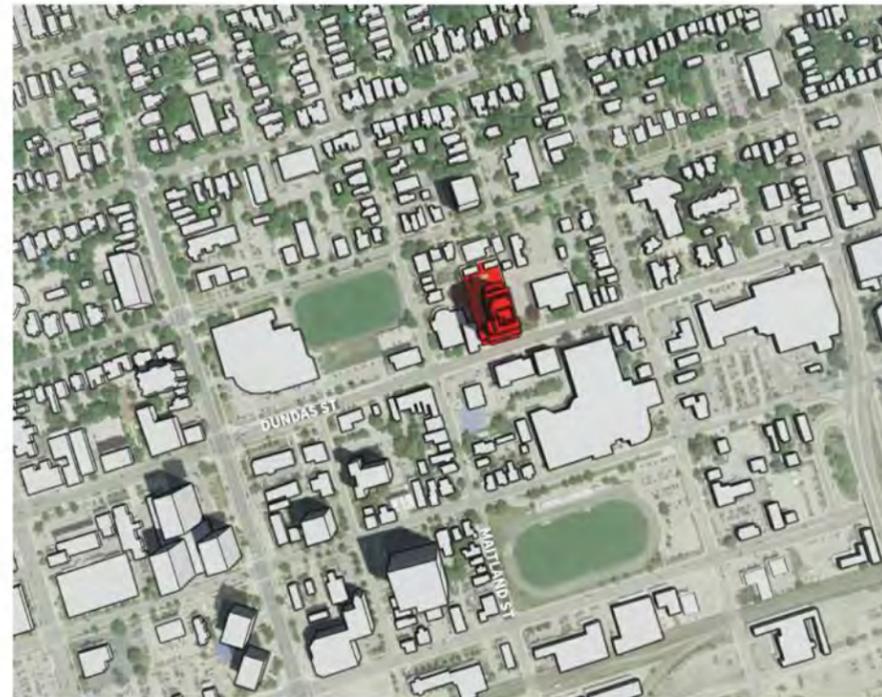
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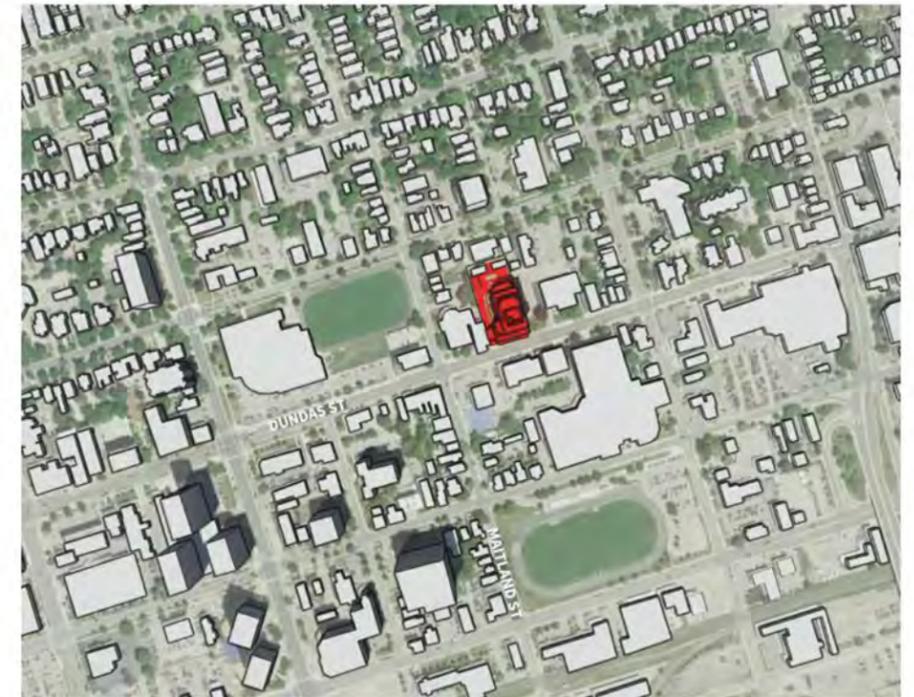
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JUNE 21 300 PM



JUNE 21 900 AM



JUNE 21 1200 PM

Scale :

19-019 Dundas Apartments

496 Dundas Street, London Ontario

SHADOW STUDY - JUNE

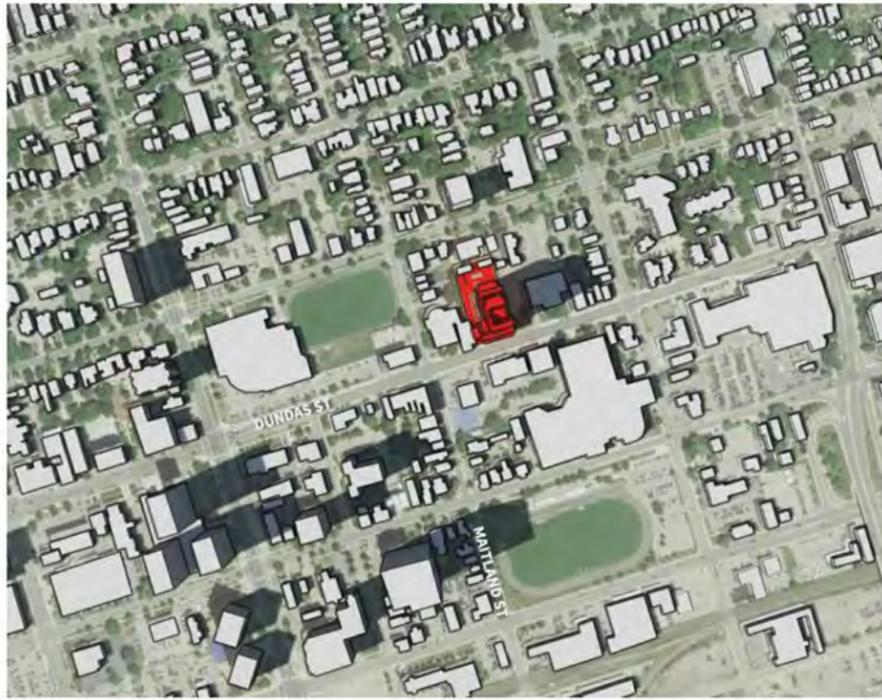
11/03/20

SK-31

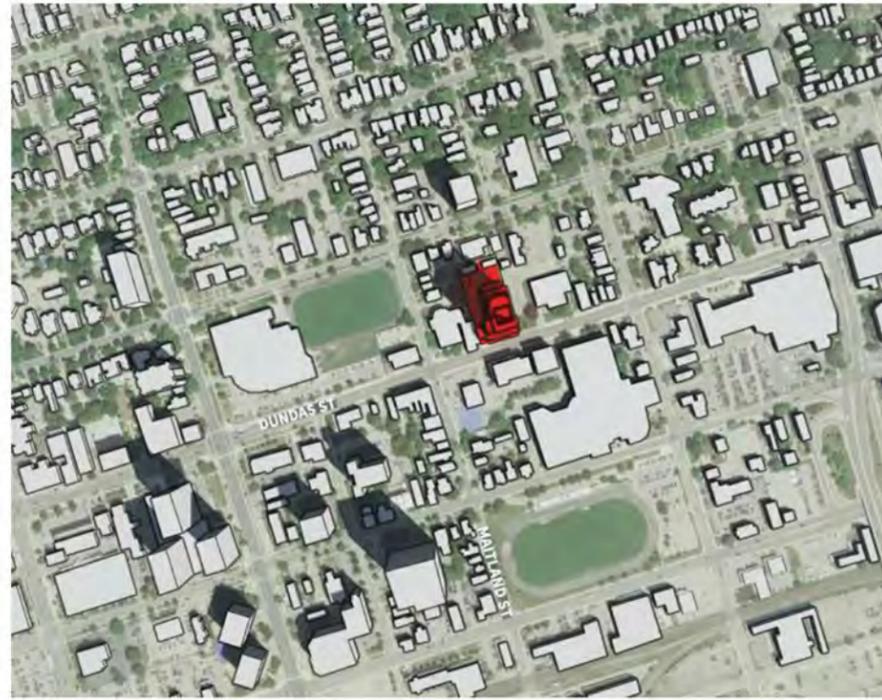
zedd ARCHITECTURE

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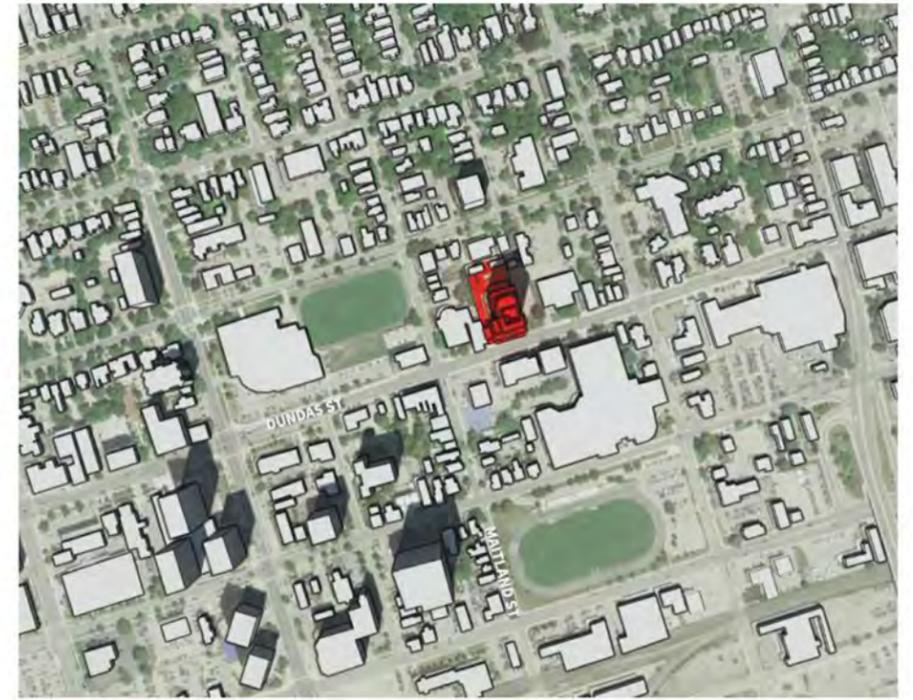
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MARCH 21 300 PM



MARCH 21 900 AM



MARCH 21 1200 PM

Scale :

19-019 Dundas Apartments

496 Dundas Street, London Ontario

SHADOW STUDY - MARCH

11/03/20

SK-32

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APPENDIX **E**– DESIGNATION BY-LAW AND AMENDMENT

By-law No. L.S.P.-2855-378

A by-law to designate 482 Dundas Street
of architectural value.

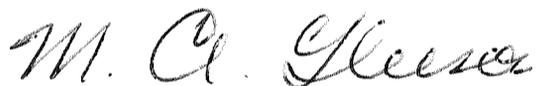
WHEREAS pursuant to The Ontario Heritage Act, R.S.O. 1980, c. 337 the Council of a municipality may by by-law designate a property including buildings and structures thereon to be of historic or architectural value or interest;

AND WHEREAS notice of intention to so designate the property at 482 Dundas Street having been duly published and served, no notice of objection was received to such designation;

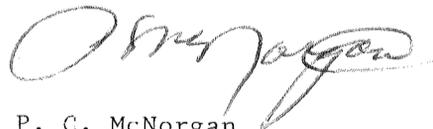
BE IT THEREFORE ENACTED by the Municipal Council of The Corporation of the City of London, as follows:

1. There is designated as being of architectural value or interest the interior portion of the Dundas Street Centre Church, known municipally as 482 Dundas Street, which church is situate on the real property more particularly described in Schedule "A" hereto, known as the Dundas Street Centre at 482 Dundas Street, for the reasons set out in Schedule "B" hereto.
2. The City Clerk is authorized to cause a copy of this by-law to be registered upon the title to the property described in Schedule "A" hereto in the proper Land Registry Office.
3. The City Clerk is authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in the London Free Press, and to enter the description fo the aforesaid property, the name and address of its registered owner, and short reasons for its designation in the Register of all properties designated under The Ontario Heritage Act, R.S.O. 1980.
4. This by-law comes into force on the day it is passed.

PASSED in Open Council on September 3, 1985.



M. A. Gleeson
Mayor



P. C. McNorgan
City Clerk

First reading - September 3, 1985
Second reading - September 3, 1985
Third reading - September 3, 1985

SCHEDULE "A"

to By-law No. L.S.P.- 2855-378

All of Lots 4, 5, 6, 7 and 8, Registered Plan 66(e) in the City of London in the County of Middlesex and Province of Ontario, being the lands described in Instruments 5298 (1868), 6469 (1870), and 21821 (1883).

SCHEDULE "B"

to By-law No. L.S.P.- 2855-378

Architectural Reasons (Interior Only)

Built in 1895, Dundas Street Centre United Church was designed in the then prevalent Romanesque Revival Style of architecture. The interior sanctuary is among the most remarkable and well preserved in London. The arrangement remains in conformity with the Methodist tradition as established in the mid to late 19th century: a centrally-placed choir above a pulpit platform with an ornamental organ case behind. Structurally, the organization of interior spacing is ideally suited for its religious function, for it presents the worshipper with an uninterrupted sightline to the pulpit from any place in the sanctuary. The delicately curving, cantilevered balcony, which sweeps gracefully around three sides of the auditorium, is decorated with an ornate cast iron railing. Byzantine decorative details in plaster adorn the capitols and panels of the pilasters and the cornice moulding that encircles the interior. Beautiful stained glass windows, original to the church, project streams of coloured light into the interior. The decorative plaster ceiling, supported by Armenian arches, is crowned in a culminating touch of splendor by a magnificent stained glass lantern.

889414

CERTIFICATE OF REGISTRATION

24 MAY 91 11 24

MIDDLESEX DISTRICT
REG. 33
LONDON
[Signature]
LAND REGISTRATION

(1) Registry Land Titles (2) Page 1 of 3 pages

(3) Property Identifier(s) Block Property Additional: See Schedule

(4) Nature of Document
By-law No. L.S.P.-2855(a)-175

(5) Consideration
Dollars \$

(6) Description
All of Lots 4, 5, 6, 7 and 8, Registered Plan 66(e) in the City of London in the County of Middlesex and Province of Ontario, being the lands described in Instruments 5298 (1868), 6469(1870) and 21821 (1883).

New Property Identifiers Additional: See Schedule

Executions Additional: See Schedule

(7) This Document Contains: (a) Redescription New Easement Plan/Sketch (b) Schedule for: Description Additional Parties Other

(8) This Document provides as follows:

A copy of the By-law is attached.

Continued on Schedule

(9) This Document relates to instrument number(s)
5298, 6469 and 21821

(10) Party(ies) (Set out Status or Interest)
Name(s) Signature(s) Date of Signature
THE CORPORATION OF THE CITY OF LONDON Applicant *[Signature]* 1991 05 23
R. J. Tolmie
Assistant City Clerk
I have the authority to bind the Corporation.

(11) Address for Service P.O. Box 5035, London, Ontario, N6A 4L9

(12) Party(ies) (Set out Status or Interest)
Name(s) Signature(s) Date of Signature
Y M D

(13) Address for Service

(14) Municipal Address of Property
482 Dundas Street

(15) Document Prepared by:
City Clerk's Office
P.O. Box 5035
LONDON, Ontario
N6A 4L9

Fees and Tax	
Registration Fee	
Total	

By-law No. L.S.P.-2855(a)-175

A by-law to amend By-law No. L.S.P.-2855-378 entitled "A by-law to designate 482 Dundas Street of architectural value."

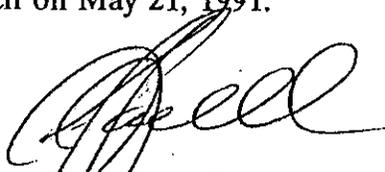
WHEREAS pursuant to The Ontario Heritage Act, R.S.O. 1980, c. 337, the Council of a municipality may by by-law designate a property including buildings and structures thereon to be of historic or architectural value or interest;

AND WHEREAS notice of intention to so designate the property known as 482 Dundas Street having been duly published and served and no notice of objection to such designation has been received;

The Municipal Council of The Corporation of the City of London enacts as follows:

1. There is designated as being of architectural value or interest, the narthex in the interior and the exterior of the Dundas Street Centre United Church, known municipally as 482 Dundas Street, which church is situate on the real property more particularly described in Schedule "A" hereto, for the reasons set out in Schedule "B" hereto.
2. The City Clerk is authorized to cause a copy of this by-law to be registered upon the title to the property described in Schedule "A" hereto in the proper Land Registry Office.
3. The City Clerk is authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in the London Free Press, and to enter the description of the aforesaid property, the name and address of its registered owner, and short reasons for its designation in the Register of all properties designated under The Ontario Heritage Act, R.S.O. 1980.
4. This by-law comes into force on the day it is passed.

PASSED in Open Council on May 21, 1991.


T. C. Gosnell
Mayor


K. W. Sadler
City Clerk

First reading - May 21, 1991
Second reading - May 21, 1991
Third reading - May 21, 1991

SCHEDULE "A"

To By-law No. L.S.P.-2855(a)-175

All of Lots 4, 5, 6, 7 and 8, Registered Plan 66(e) in the City of London in the County of Middlesex and Province of Ontario, being the lands described in Instruments 5298 (1868), 6469 (1870), and 21821 (1883).

SCHEDULE "B"

To By-law No. L.S.P.-2855(a)-175

Architectural Reasons:

Exterior

The red brick exterior of Dundas Centre is in the Romanesque Revival style, with a corner tower church plan, a restrained façade, complex massing and a strong impression of solidity providing the architectural statement. The church possesses typical Romanesque features such as the main tower, rounded arches, many narrow arched openings and niches and an arcaded portico (narthex). The main mass of the building is punctuated by three towers, many smaller turrets, and gable ends. The red sandstone foundation, decorative brick coursing and bands of yellow sandstone break up the building mass. The original slate remains on much of the roof, but the ornamental work at the tops of the towers and the tower roofs have recently been covered with metal. Other features of note include projecting gutterspouts on the main tower, several prominent chimneys, and four lanterns over the front doors.

Interior

The narthex provides a splendid entry point to the sanctuary with its stained glass and woodwork. It is divided into three sections by two sets of stained glass doors. The four exterior double doors also have beautiful glass, with particular reference to the painted glass transoms with the emblems of Sts. Luke and Mark. At either end of the narthex are curved staircases. A great deal of detailed woodwork can be seen in the staircase, wainscotting, ceiling and on the newel posts. Each staircase is identified by a granite column with Romanesque detailing on the sandstone capital and along a ceiling beam.

APPENDIX **F** – PHOTOGRAPHS FROM SITE VISIT (OCTOBER 22, 2020)

434 Maitland Street



(Above left) Front elevation of house; (above right) North elevation of house; (below left) south elevation of house; (below right) Rear elevation of house (Source: MHBC, 2020).

438 Maitland Street



(Above) Front elevation of house; (below left) North elevation of the house; (below right) South elevation of house (Source: MHBC, 2020).

520-526 Dundas Street



(Above left) Front elevation of building; (above right) West elevation of building; (middle left) West and north (rear) elevation of building; (middle right) Rear elevation of building; (below left) Rear elevation of the building; (below right) East elevation of building (Source: MHBC, 2020).

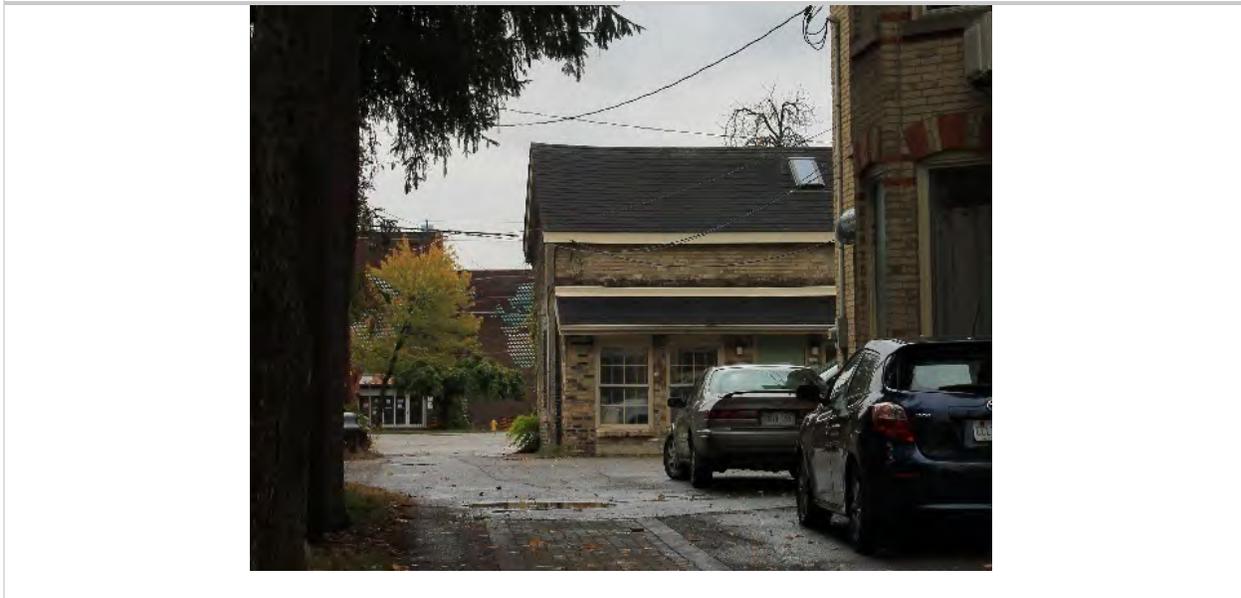
507 Queen Avenue

House



(Above left) View of front elevation of house; (above right) View of front (north) and east elevation looking south east; (below left) View of east elevation; (below right) View of rear dormers along south elevation (Source: MHBC, 2020).

Coach House/Stable



(Above left) View of west elevation of coach house from subject property; (above right) View from Dundas Street of south elevation of the coach house covered with vegetation (below) Partial view of south elevation of coach house from Queen Avenue (Source: MHBC, 2020).

482-484 Dundas Street



(Above left) View of church at intersection of Dundas and Maitland Street; (above right) View of portion of south elevation where main entry is located; (Upper middle left) View of eastern addition along Dundas Street; (upper middle right) View of rear addition and portion of original wing of church; (lower middle left) View of church looking south west at original wing and later addition; (below middle right) View of portion of original wing and later addition; (below left) View of rear of church looking south east from Maitland Street; (below right) View of main entry on south elevation (Source: MHBC, 2020).

APPENDIX **G**– CURRICULUM VITAE



CURRICULUM VITAE

Dan Currie, MA, MCIP, RPP, CAHP

Dan Currie, a Partner and Managing Director of MHBC's Cultural Heritage Division, joined MHBC Planning in 2009, after having worked in various positions in the public sector since 1997 including the Director of Policy Planning for the City of Cambridge and Senior Policy Planner for the City of Waterloo.

Dan provides a variety of planning services for public and private sector clients including a wide range of cultural heritage policy and planning work including strategic planning, heritage policy, heritage conservation district studies and plans, heritage master plans, heritage impact assessments and cultural heritage landscape studies.

EDUCATION

2006

Masters of Arts (Planning)
University of Waterloo

1998

Bachelor of Environmental Studies
University of Waterloo

1998

Bachelor of Arts (Art History)
University of Saskatchewan

PROFESSIONAL ASSOCIATIONS

Full Member, Canadian Institute of Planners

Full Member, Ontario Professional Planners Institute

Professional Member, Canadian Association of Heritage Professionals

SELECTED PROJECT EXPERIENCE

Heritage Conservation District Studies and Plans

Alton Heritage Conservation District Study, Caledon (underway)

Port Stanley Heritage Conservation District Plan (underway)

Port Credit Heritage Conservation District Plan, Mississauga

Town of Cobourg Heritage Conservation District Plan updates

Rondeau Heritage Conservation District Study & Plan, Chatham Kent,

Barriefield Heritage Conservation District Plan Update, Kingston

Victoria Square Heritage Conservation District Study, Markham

Bala Heritage Conservation District Study and Plan, Township of Muskoka Lakes

Downtown Meaford Heritage Conservation District Study and Plan

Brooklyn and College Hill Heritage Conservation District Plan, Guelph

Garden District Heritage Conservation District Study and Plan, Toronto

Heritage Master Plans and Management Plans

City of Guelph Cultural Heritage Action Plan

Town of Cobourg Heritage Master Plan

Burlington Heights Heritage Lands Management Plan

City of London Western Counties Cultural Heritage Plan

CONTACT

540 Bingham Centre Drive,
Suite 200
Kitchener, ON N2B 3X9
T 519 576 3650 x 744
F 519 576 0121
dcurrie@mhbcplan.com
www.mhbcplan.com

CURRICULUM VITAE

Dan Currie, MA, MCIP, RPP, CAHP

Cultural Heritage Evaluations

MacDonald Mowatt House, University of Toronto
City of Kitchener Heritage Property Inventory Update
Niagara Parks Commission Queen Victoria Park Cultural Heritage Evaluation
Designation of Main Street Presbyterian Church, Town of Erin
Designation of St Johns Anglican Church, Norwich
Cultural Heritage Landscape evaluation, former Burlingham Farmstead, Prince Edward County

Heritage Impact Assessments

Heritage Impact Assessment for Pier 8, Hamilton
Homer Watson House Heritage Impact Assessment, Kitchener
Expansion of Schneider Haus National Historic Site, Kitchener
Redevelopment of former industrial facility, 57 Lakeport Road, Port Dalhousie
Redevelopment of former amusement park, Boblo Island
Redevelopment of historic Waterloo Post Office
Redevelopment of former Brick Brewery, Waterloo
Redevelopment of former American Standard factory, Cambridge
Redevelopment of former Goldie and McCullough factory, Cambridge
Mount Pleasant Islamic Centre, Brampton
Demolition of former farmhouse at 10536 McCowan Road, Markham

Heritage Assessments for Infrastructure Projects and Environmental Assessments

Heritage Assessment of 10 Bridges within Rockcliffe Special Policy Area, Toronto
Blenheim Road Realignment Collector Road EA, Cambridge
Badley Bridge EA, Elora
Black Bridge Road EA, Cambridge
Heritage and Cultural Heritage Landscape Assessment of Twenty Mile Creek Arch Bridge, Town of Lincoln
Heritage Evaluation of Deer River, Girven, Burnt Dam and MacIntosh Bridges, Peterborough County

Conservation Plans

Black Bridge Strategic Conservation Plan, Cambridge
Conservation Plan for Log house, Beurgetz Ave, Kitchener
Conservation and Construction Protection Plan - 54 Margaret Avenue, Kitchener

CONTACT

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dcurrie@mhbcplan.com
www.mhbcplan.com

CURRICULUM VITAE

Dan Currie, MA, MCIP, RPP, CAHP

Tribunal Hearings: Local Planning Appeal Tribunal & Conservation Review Board
 Port Credit Heritage Conservation District (LPAT)
 Demolition 174 St Paul Street (Collingwood Heritage District) (LPAT)
 Brooklyn and College Hill HCD Plan (LPAT)
 Rondeau HCD Plan (LPAT)
 Designation of 108 Moore Street, Bradford (CRB)
 Redevelopment of property at 64 Grand Ave, Cambridge (LPAT)
 Youngblood subdivision, Elora (LPAT)
 Designation of St Johns Church, Norwich (CRB - underway)
 Designation of 27 Prideaux Street, Niagara on the Lake (CRB – underway)

MASTER PLANS, GROWTH MANAGEMENT STRATEGIES AND POLICY STUDIES

Town of Frontenac Islands Marysville Secondary Plan
 Niagara-on-the-Lake Corridor Design Guidelines
 Cambridge West Master Environmental Servicing Plan
 Township of West Lincoln Settlement Area Expansion Analysis
 Ministry of Infrastructure Review of Performance Indicators for the Growth Plan
 Township of Tiny Residential Land Use Study
 Port Severn Settlement Area Boundary Review
 City of Cambridge Green Building Policy
 Township of West Lincoln Intensification Study & Employment Land Strategy
 Ministry of the Environment Review of the D-Series Land Use Guidelines
 Meadowlands Conservation Area Management Plan
 City of Cambridge Trails Master Plan
 City of Kawartha Lakes Growth Management Strategy

DEVELOPMENT PLANNING

Provide consulting services and prepare planning applications for private sector clients for:

- Draft plans of subdivision
- Consent
- Official Plan Amendment
- Zoning By-law Amendment
- Minor Variance
- Site Plan

CONTACT

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 F 519 576 0121
 dcurrie@mhbcplan.com
 www.mhbcplan.com



EDUCATION

2011

Higher Education Diploma
Cultural Development/ Gaelic Studies

Sabhal Mòr Ostaig, University of the Highlands and Islands

2012

Bachelor of Arts
Joint Advanced Major in Celtic Studies and Anthropology

Saint Francis Xavier University

2014

Master of Arts
World Heritage and Cultural Projects for Development

The International Training Centre of the ILO in partnership with the University of Turin, Politecnico di Torino, University of Paris 1 Pantheon- Sorbonne, UNESCO, ICCROM, Macquarie University

www.linkedin.com/in/rachelredshaw

CONTACT

540 Bingemans Centre
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Kitchener, ON N2B 3X9
T 519 576 3650 x751
F 519 576 0121
redshaw@mhbcplan.com
www.mhbcplan.com

CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

Rachel Redshaw, a Heritage Planner with MHBC, joined the firm in 2018. Ms. Redshaw has a Bachelor of Arts in Anthropology and Celtic Studies and a Master of Arts in World Heritage and Cultural Projects for Development. Ms. Redshaw completed her Master's in Turin, Italy; the Master's program was established by UNESCO in conjunction with the University of Turin and the International Training Centre of the ILO. Rachel is member of the Canadian Association of Heritage Professionals.

Ms. Redshaw provides a variety of heritage planning services for public and private sector clients. Ms. Redshaw has worked for years completing cultural heritage planning in a municipal setting. She has worked in municipal building and planning departments and for the private sector to gain a diverse knowledge of building and planning in respect to how they apply to cultural heritage. Rachel enjoys being involved in the local community and has been involved in the collection of oral history, in English and Gaelic, and local records for their protection and conservation and occasionally lecturers on related topics. Her passion for history and experience in archives, museums, municipal building and planning departments supports her ability to provide exceptional cultural heritage services.

PROFESSIONAL ASSOCIATIONS

Intern Member, Canadian Association of Heritage Professionals (CAHP)

PROFESSIONAL HISTORY

2018 - Present Heritage Planner,
MacNaughton Hermsen Britton Clarkson Planning Limited

2018 Building Permit Coordinator, (Contract)
Township of Wellesley

2018 Building Permit Coordinator (Contract)
RSM Building Consultants

2017 Deputy Clerk,
Township of North Dumfries

2015-2016 Building/ Planning Clerk
Township of North Dumfries



CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

- 2009-2014 Historical Researcher & Planner
Township of North Dumfries
- 2012 Translator, Archives of Ontario
- 2012 Cultural Heritage Events Facilitator (Reminiscence Journey)
and Executive Assistant, Waterloo Region Plowing Match
and Rural Expo
- 2011 Curatorial Research Assistant
Highland Village Museum/ Baile nan Gàidheal

PROFESSIONAL/COMMUNITY ASSOCIATIONS

- 2019-2020 Intern Member, Canadian Association of Heritage
Professionals
- 2017-2020 Member, AMCTO
- 2018-2019 Member of Publications Committee, Waterloo Historical
Society
- 2018 Member, Architectural Conservancy of Ontario- Cambridge
- 2018 - 2019 Secretary, Toronto Gaelic Society
- 2012 -2017 Member (Former Co-Chair & Co-Founder), North Dumfries
Historical Preservation Society
- 2011 - 2014 Member, North Dumfries Municipal Heritage Committee
- 2013 Greenfield Heritage Village Sub-committee, Doors Open
Waterloo Region
- 2012 Volunteer Historical Interpreter, Doon Heritage Village, Ken
Seiling Waterloo Region Museum
- 2008-2012 Member, Celtic Collections, Angus L. Macdonald Library
- 2012-2013 Member (Public Relations), Mill Race Folk Society
- 2011 Member, University of Waterloo Sub-steering Committee for
HCD Study, Village of Ayr, North Dumfries
- 2010-2011 Member (volunteer archivist), Antigonish Heritage Museum

AWARDS / PUBLICATIONS / RECOGNITION

- 2019 Waterloo Historical Society Publication, *Old Shaw: The Story
of a Kindly Waterloo County Roamer*
- 2014 Master's Dissertation, *The Rise of the City: Social Business
Incubation in the City of Hamilton*
- 2014 Lecture, *A Scot's Nirvana*, Homer Watson House and
Gallery

CONTACT

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F 519 576 0121
redshaw@mhbcplan.com
www.mhbcplan.com



CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

- | | |
|-----------|--|
| 2013 | Lecture, <i>The Virtual Voice of the Past: The Use of Online Oral Accounts for a Holistic Understanding of History</i> , University of Guelph Spring Colloquium |
| 2012-2013 | Gaelic Events Facilitator, University of Guelph |
| 2012-2015 | Intermediate Gaelic Facilitator, St. Michael's College, University of Toronto |
| 2012 | <i>Nach eil ann tuilleadh: An Nòs Ùr aig nan Gàidheal</i> (BA Thesis) Thesis written in Scottish Gaelic evaluating disappearing Gaelic rites of passage in Nova Scotia. |
| 2012 | Waterloo Historical Society Publication, <i>Harvesting Bees and Feasting Tables: Fit for the Men, Women and Children of Dickie Settlement and Area, Township of North Dumfries</i> |
| 2007-2012 | 25 historical publications in the Ayr News (access to some articles http://ayrnews.ca/recent) |

PROFESSIONAL DEVELOPMENT COURSES

- | | |
|-----------|---|
| 2020 | Condo Director Training Certificate (CAO) |
| 2018 | Building Officials and the Law (OBOA Course) |
| 2017-2018 | AMCTO Training (MAP 1) |
| 2017 | AODA Training |
| 2010 | Irish Archaeological Field School Certificate |

COMPUTER SKILLS

- Microsoft Word Office
- Bluebeam Revu 2017
- ArcGIS
- Keystone (PRINSYS)
- Municipal Connect
- Adobe Photoshop
- Illustrator
- ABBYY Fine Reader 11
- Book Drive

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CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

SELECT PROJECT EXPERIENCE 2018-2020

CULTURAL HERITAGE IMPACT ASSESSMENTS

- Peterborough Lift Lock and Trent-Severn Waterway (TSW), National Historic Sites, Development for 380 Armour Road, City of Peterborough
- City of Waterloo Former Post Office, Development for 35-41 King Street North, City of Waterloo, Phase II
- Consumers' Gas Station B, Development for 450 Eastern Avenue, City of Toronto
- 82 Weber Street East, City of Kitchener
- 87 Scott Street, City of Kitchener
- 2348 Sovereign Street, Town of Oakville (Phase I)
- Carriage House Restaurant, 2107-2119 Old Lakeshore Road, City of Burlington
- 34 Manley Street, Village of Ayr, Township of North Dumfries
- Quinte's Isle Campark, 558 Welbanks Road, Prince Edward County (LPAT)
- 174 St. Paul Street, Town of Collingwood (LPAT)
- 30-40 Margaret Avenue, City of Kitchener
- McDougall Cottage and Historic Site, Development for 93 Grand Avenue South, City of Kitchener
- 60 Broadway, Town of Orangeville
- 45 Duke Street, City of Kitchener
- 383-385 Pearl Street, City of Burlington
- Old Kent Brewery, 197 Ann Street, City of London
- St. Patrick's Catholic Elementary School, (SPCES), 20 East Avenue South, City of Hamilton
- 2325 Sunningdale Road, City of London
- 250 Allendale Road, City of Cambridge
- 110 Deane Avenue, Town of Oakville
- 249 Clarence Street, City of Vaughan
- 2-16 Queen Street West, City of Cambridge (Hespeler)

Specific for Relocation of Heritage Buildings

- 1395 Main Street, City of Kitchener
- 10379 & 10411 Kennedy Road, City of Markham
- 50-56 Weber Street West & 107 Young Street, City of Kitchener (temporary relocation of 107 Young St)

CONTACT

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CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

CULTURAL HERITAGE SCREENING REPORT

- Kelso Conservation Area, Halton County

CULTURAL HERITAGE EVALUATION REPORTS

- 52 King Street North, City of Kitchener
- Sarnia Collegiate Institute and Technical School (SCITS), 275 Wellington, City of Sarnia (Municipal contingency study)
- 10536 McCowan Road, City of Markham
- Former Burns Presbyterian Church, 155 Main Street, Town of Erin (Designation Report)
- Former St. Paul's Anglican Church, 23 Dover Street, Town of Otterville, Norwich Township (CRB)
- 6170 Fallsview Boulevard, City of Niagara Falls

CONSERVATION PLANS

- City of Waterloo Former Post Office, 35-41 King Street North, City of Waterloo
- 82 Weber Street East, City of Kitchener
- 87 Scott Street, City of Kitchener
- 107 Young Street, City of Kitchener (Temporary relocation)
- 1395 Main Street, City of Kitchener (Relocation)
- 10379 & 10411 Kennedy Road, City of Markham (Relocation)

Cultural Heritage Conservation Protection Plans (Temporary protection for heritage building during construction)

- 12 & 54 Margaret Avenue, City of Kitchener
- 45 Duke Street, City of Kitchener
- 82 Weber Street West and 87 Scott Street, City of Kitchener

DOCUMENTATION AND SALVAGE REPORTS

- 57 Lakeport Road City of St. Catharines
- Gaslight District, 64 Grand Avenue South, City of Cambridge
- 242-262 Queen Street South, City of Kitchener (Photographic Documentation Report)
- 721 Franklin Boulevard, City of Cambridge

HERITAGE PERMIT APPLICATIONS

- 35-41 King Street North, City of Waterloo (Old Post Office), Phase II (alteration to building with a municipal heritage easement, Section 37, OHA)

CONTACT

540 Bingham Centre Drive,
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T 519 576 3650 x751
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redshaw@mhbcplan.com
www.mhbcplan.com



CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

- 50-56 Weber Street West & 107 Young Street, City of Kitchener (demolition and new construction within HCD)
- 30-40 Margaret Avenue, City of Kitchener (new construction within HCD)
- 249 Clarence Street, City of Vaughan (alteration within HCD)
- 174 St. Paul Street, Town of Collingwood (demolition within HCD)

MASTER PLANS/ HERITAGE CHARACTER STUDY

- Elgin, Central and Memorial Neighbourhoods, Municipality of Clarington

CONTACT

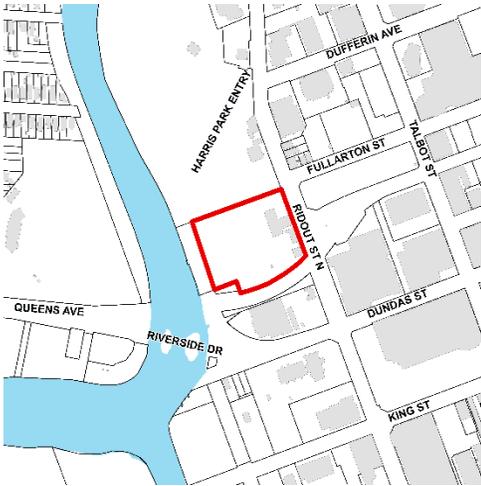
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MHBC
PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

Official Plan and Zoning By-law Amendments

435-451 Ridout Street North



File: OZ-9157

Applicant: Farhi Holdings Corporation

What is Proposed?

Official Plan and Zoning amendments to allow:

- Adaptive reuse of the existing heritage buildings containing 1,627 square metres of commercial/office gross floor area
- A 40-storey mixed-use building containing 280 residential units and 6,308 sq.m of commercial/office gross floor area
- A maximum density of 500 units per hectare
- A maximum building height of 40-storeys (125 metres)
- A setback of 17.9 metres to the residential component of the building

YOU ARE INVITED!

Further to the Notice of Application you received on December 18, 2019, you are invited to a public meeting of the Planning and Environment Committee to be held:

Meeting Date and Time: Monday, May 31, 2021, no earlier than 5:30 p.m.

Meeting Location: During the COVID-19 emergency, the Planning and Environment Committee meetings are virtual meetings, hosted in City Hall, Council Chambers (see insert)

For more information contact:

Catherine Maton
cmaton@london.ca
519-661-CITY (2489) ext. 5074
Development Services, City of London
300 Dufferin Avenue, 6th Floor,
London ON PO Box 5035 N6A 4L9
File: OZ-9157

london.ca/planapps

To speak to your Ward Councillor:

Councillor Arielle Kayabaga
akayabaga@london.ca
519-661-CITY (2489) ext. 4013

**If you are a landlord, please post a copy of this notice where your tenants can see it.
We want to make sure they have a chance to take part.**

Application Details

Requested Amendment to The London Plan (New Official Plan)

To add a specific policy to the Downtown Place Type to permit a maximum of building height of 40-storeys, to facilitate the development of a mixed-use building containing 280 residential units and 6,308 square metres of commercial/office gross floor area, in addition to 1,627 square metres of commercial/office gross floor area in the existing heritage buildings.

Requested Zoning By-law Amendment

To change the zoning from a Downtown Area Special Provision (DA2(3)*D350) Zone, a Heritage/Regional Facility (HER/RF) Zone, and an Open Space (OS4) Zone to a Downtown Area Special Provision Bonus (DA2(3)*D350*B-_) Zone and an Open Space (OS4) Zone. Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at london.ca/planapps.

Both Official Plans and the Zoning By-law are available at london.ca.

Current Zoning

Zone: Downtown Area Special Provision (DA2(3)*D350) Zone, a Heritage/Regional Facility (HER/RF) Zone, and an Open Space (OS4) Zone

Permitted Uses: Retail stores; supermarkets; amusement game establishments; apartment buildings; apartment hotel; art galleries; assembly halls; bake shops; clinics; commercial parking structures; commercial recreation establishments; convenience stores; day care centres; dry cleaning and laundry depots; duplicating shops; dwelling units; emergency care establishments; film processing depots; financial institutions; funeral homes; group home type 2; hotels; institutions; laboratories; laundromats; libraries; medical/dental offices; museums; offices; patent testing centre laboratories; personal service establishments; places of worship; printing establishments; private clubs; repair and rental establishments; restaurants; restaurants, outdoor patio; schools; senior citizen apartment buildings; service and repair establishments; service trades; studios; taverns; theatres and cinemas; video rental establishments; lodging house class 2; place of entertainment; artisan workshop; craft brewery; adult secondary schools; ancillary residential and/or hostels and accommodations, together with permitted uses in the RF Zone; commercial schools; community colleges; elementary schools; hospitals; private schools; recreational buildings; secondary schools; stadia; supervised residences; universities; conservation lands; conservation works; golf courses without structures; private parks without structures; public parks without structures; recreational golf courses without structures; cultivation or use of land for agricultural/horticultural purposes; sports fields without structures

Special Provisions: Permitted uses only in existing buildings and height as existing on the date of the passing of By-law No. Z.-1.

Density: 350 units per hectare.

Requested Zoning

Zone: Downtown Area Special Provision (DA2(3)*D350*B-_) Zone and an Open Space (OS4) Zone

Permitted Uses: Retail stores; supermarkets; amusement game establishments; apartment buildings; apartment hotel; art galleries; assembly halls; bake shops; clinics; commercial parking structures; commercial recreation establishments; convenience stores; day care centres; dry cleaning and laundry depots; duplicating shops; dwelling units; emergency care establishments; film processing depots; financial institutions; funeral homes; group home type 2; hotels; institutions; laboratories; laundromats; libraries; medical/dental offices; museums; offices; patent testing centre laboratories; personal service establishments; places of worship; printing establishments; private clubs; repair and rental establishments; restaurants; restaurants, outdoor patio; schools; senior citizen apartment buildings; service and repair establishments; service trades; studios; taverns; theatres and cinemas; video rental establishments; lodging house class 2; place of entertainment; artisan workshop; craft brewery; conservation lands; conservation works; golf courses without structures; private parks without structures; public parks without structures; recreational golf courses without structures; cultivation or use of land for agricultural/horticultural purposes; sports fields without structures.

Special Provision: Permitted uses only in existing buildings and height as existing on the date of the passing of By-law No. Z.-1.

Density: 350 units per hectare.

Bonus Zone: To permit a mixed-use apartment building with a density of 500 units per hectare; a building height of 40-storeys (125 metres); and a setback of 17.9 metres to the residential component of the building, whereas 44.4 metres is required, in return for eligible facilities, services, and matters including but not limited to: provision of affordable housing; heritage retention and conservation; green building design; and/or public parking.

The City may also consider the use of holding provisions or additional special provisions.

An Environmental Impact Study has been prepared to assist in the evaluation of this application.

Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as Downtown and Open Space in the Official Plan, which permits a broad range of retail, service, office, institutional, entertainment, cultural, high density residential, transportation, recreational, and open space uses as the main uses.

The subject lands are in the Downtown Place Type and the Green Space Place Type in *The London Plan*, permitting a range of residential, retail, service, office, cultural, institutional, hospitality, entertainment, recreational, and other related uses. Permitted uses in the Green Space Place Type include agriculture, woodlot management, horticulture, conservation, and recreational uses

How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the Official Plan designation and the zoning of land located within 120 metres of a property you own, or your landlord has posted the public meeting notice in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. If you previously provided written or verbal comments about this application, we have considered your comments as part of our review of the application and in the preparation of the planning report and recommendation to the Planning and Environment Committee. The additional ways you can participate in the City's planning review and decision making process are summarized below.

See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at london.ca/planapps
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

Attend This Public Participation Meeting

The Planning and Environment Committee will consider the requested Official Plan and zoning changes at this meeting, which is required by the Planning Act. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the Neighbourgood website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

Attendance is available through telephone or virtual web streaming (computer) application. Pre-registration is required to access these options and can be found in the Public Participation insert.

Please refer to the enclosed Public Participation Meeting Process insert.

What Are Your Legal Rights?

Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed official plan amendment and zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at docservices@london.ca. You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

Right to Appeal to the Local Planning Appeal Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written

submissions to the City of London before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

For more information go to <https://olt.gov.on.ca/contact/local-planning-appeal-tribunal/>.

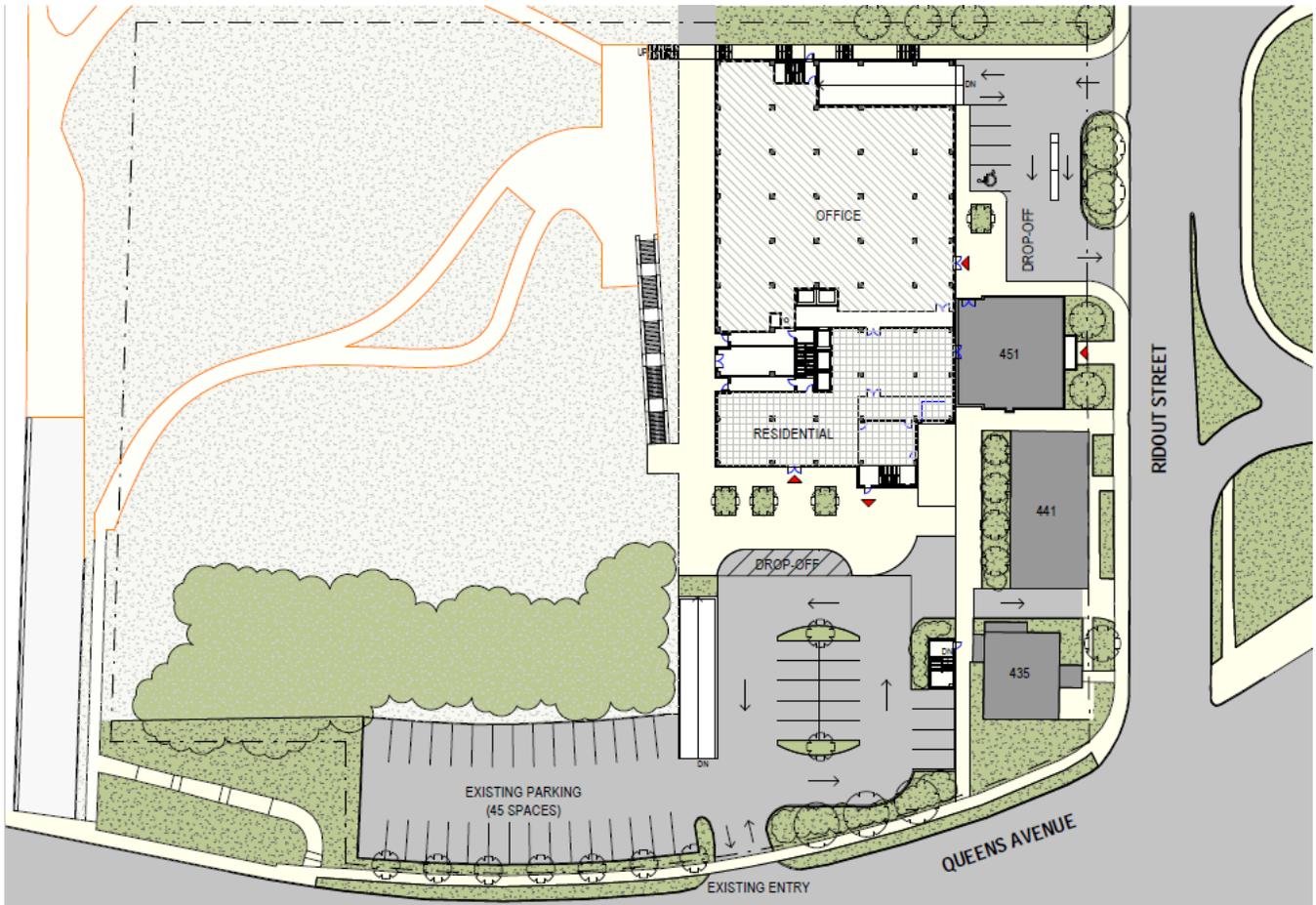
Notice of Collection of Personal Information

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Accessibility

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Site Concept



Site Concept Plan

Building Renderings



Conceptual Renderings

The above images represent the applicant's proposal as submitted and may change.



Public Participation Meeting Process

As part of the City's ongoing efforts to slow the spread of COVID-19, and in keeping with the regulations and guidelines provided by the Province of Ontario, the Public Participation Meeting process has been modified. The Public Participation Meeting process has been modified to protect the health and well-being of members of the public and City employees during the pandemic. City Hall is currently closed to in-person meeting participation.

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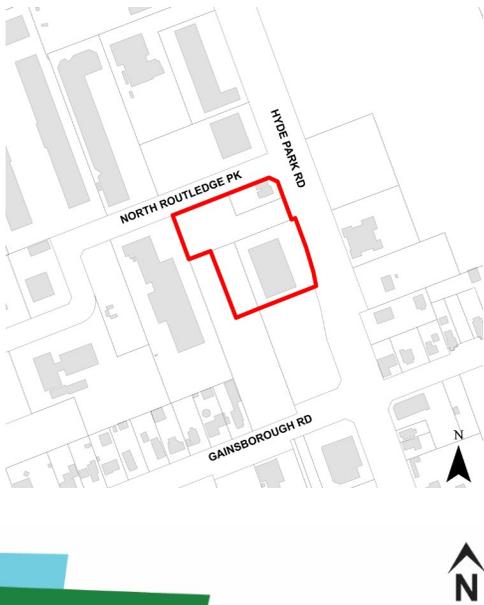
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Zoning By-Law Amendment

1634 – 1656 Hyde Park Road and Other Properties



File: Z-9301

Applicant: 1630 HP Inc.

What is Proposed?

Zoning amendment to allow:

- An eight storey mixed-use apartment building with 144 residential dwelling units and 1,279.3m² of retail space
- Retention, slight relocation and integration of Heritage building at 1656 Hyde Park Road
- Special zoning provisions to establish a maximum building height and a maximum mixed-use density, modify the maximum yard depth adjacent to Hyde Park Road, permit apartment buildings with dwelling units in the front portion of the ground floor along North Routledge Park, establish a standard commercial parking rate and reduce residential parking requirements
- Bonus zoning for additional height

YOU ARE INVITED!

Further to the Notice of Application you received on January 27, 2021, you are invited to a public meeting of the Planning and Environment Committee to be held:

Meeting Date and Time: Monday, May 31, 2021, no earlier than 5:30 p.m.

Meeting Location: During the COVID-19 emergency, the Planning and Environment Committee meetings are virtual meetings, hosted in City Hall, Council Chambers (see insert)

For more information contact:

Barb Debbert
bdebbert@london.ca
519-661-CITY (2489) ext. 5345
Development Services, City of London
300 Dufferin Avenue, 6th Floor,
London ON PO Box 5035 N6A 4L9
File: Z-9301

london.ca/planapps

To speak to your Ward Councillor:

Josh Morgan
joshmorgan@london.ca
519-661-CITY (2489) ext. 4007

If you are a landlord, please post a copy of this notice where your tenants can see it. We want to make sure they have a chance to take part.

Application Details

Requested Zoning By-law Amendment

To change the zoning from a Business District Commercial (BDC) Zone and Holding Business District Commercial Special Provision (h-18*BDC(39)) Zone to a Business District Commercial Special Provision Bonus (BDC()*B-) Zone. Changes to the currently permitted land uses and development regulations are summarized below.

The Zoning By-law is available at london.ca.

Current Zoning

Zone: Business District Commercial (BDC) Zone and Holding Business District Commercial Special Provision (h-18*BDC(39)) Zone

Permitted Uses: A wide range of compatible office, retail, facility and residential uses which are appropriate in all Business District Commercial Zone variations.

Special Provision(s): In the Business District Commercial (BDC(39)) Zone, maximum building height of 29 metres, maximum mixed-use density of 150 units per hectare, permit dwelling units in the front portion of the ground floor along Gainsborough Road, maximum gross floor area of 605 square metres for any restaurant use, parking rate of 1 space per 20 square metres for all commercial uses, including patios, parking rate of 1 space per residential dwelling unit

Residential Density: except as in the Business District Commercial (BDC(39)) Zone, to be determined through site-specific zoning

Height: except as in the Business District Commercial (BDC(39)) Zone, 12 metres

Bonus Zone: n/a

Requested Zoning

Zone: Business District Commercial Special Provision Bonus (BDC()*B-) Zone

Permitted Uses: A wide range of compatible office, retail, facility and residential uses which are appropriate in all Business District Commercial Zone variations.

Special Provision(s): Maximum building height of 29 metres, maximum mixed-use density of 169 units per hectare, (144 residential units and 1,279.3square metres of commercial floor area); a maximum front yard depth of 10.1m in place of 3.0 metres located within the courtyard abutting the heritage building; dwelling units on the entire first floor along North Routledge Park; a parking rate of 1 space per 20 square metres for all commercial uses, including patios; and a parking rate of 1 space per residential unit.

Residential Density: 169 units per hectare

Height: 29 metres

Bonus Zone: Permit density greater than 150 units per hectare and height greater than 4 storeys. The proposed facilities, services and matters to support Bonus Zoning include building design, affordable housing and the preservation of structures identified as being of cultural heritage value or interest.

The City may also consider a holding provision with respect to heritage matters, and the use of alternative or additional Special Provisions and/or Bonus Zoning requirements to implement the proposed plan.

Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as Main Street Commercial Corridor in the Official Plan, which permits small-scale retail uses; service and repair establishments, food stores; convenience commercial uses; personal and business services; pharmacies; restaurants; financial institutions; small-scale offices; small-scale entertainment uses; galleries; studios; community facilities such as libraries and day care centres, correctional and supervised residences; residential uses (including secondary uses) and units created through the conversion of existing buildings, or through the development of mixed-use buildings as the main uses.

The subject lands are in the Main Street Place Type in The London Plan, permitting a broad range of residential, retail, service and office uses. Mixed-use buildings will be encouraged and retail and service uses will be encouraged at grade, with residential and non-service office uses directed to the rear of buildings and to upper floors. .

How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the Official Plan designation and the zoning of land located within 120 metres of a property you own, or your landlord has posted the public meeting notice in your building. The City reviews and makes

decisions on such planning applications in accordance with the requirements of the Planning Act. If you previously provided written or verbal comments about this application, we have considered your comments as part of our review of the application and in the preparation of the planning report and recommendation to the Planning and Environment Committee. The additional ways you can participate in the City's planning review and decision making process are summarized below.

See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at london.ca/planapps
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

Attend This Public Participation Meeting

The Planning and Environment Committee will consider the requested Official Plan and zoning changes at this meeting, which is required by the Planning Act. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the Neighbourgood website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

Attendance is available through telephone or virtual web streaming (computer) application. Pre-registration is required to access these options and can be found in the Public Participation insert.

Please refer to the enclosed Public Participation Meeting Process insert.

What Are Your Legal Rights?

Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at docservices@london.ca. You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

Right to Appeal to the Local Planning Appeal Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

For more information go to <https://olt.gov.on.ca/contact/local-planning-appeal-tribunal/>.

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Building Rendering



View from Intersection of Hyde Park Road and North Routledge Park

The above image represents the applicant’s proposal as submitted and may change.



Public Participation Meeting Process

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LACH Stewardship Sub-Committee
Report
May 26, 2021

Location: Zoom Call

6:30pm

Present: M. Whalley, J. Hunten, J. Cushing, T. Regnier, M. Bloxam; M. Greguol, K. Gonyou (staff)

Regrets: K. Waud

Agenda Items:

1. Request for Designation: 1903 Avalon Street (Clarke House)

The Stewardship Sub-Committee received a verbal update about research efforts associated with the property at 1903 Avalon Street. K. Gonyou advised of the current task in researching the Argyle Land Company which is noted in the land transactions for the property in the early-20th century. K. Gonyou advised of difficulty in accessing information on the Supreme Court of Ontario decision noted in the land transactions. Research efforts will continue.

2. Request for Designation: 80 Ann Street (Polish Combatants Association Building)

The Stewardship Sub-Committee received a request for designation for the property located at 80 Ann Street, otherwise known as the Polish Combatants Association building. The request was referred to the Stewardship Sub-Committee by the LACH at its last meeting in May, 2021. The Stewardship Sub-Committee discussed some of the key questions and considerations for this property including; how this property compares with other Polish Combatants building in Ontario/Canada, if the building looks similar to Polish Combatants buildings elsewhere, and if there are further themes to consider for Polish Combatants settling within London. Further research will be required. M. Greguol will further investigate these considerations and report back to the Stewardship Sub-Committee.

No updates:

1. Request for Designation: 514 Pall Mall Street
 - a. A request from the property owners of 514 Pall Mall Street has been received. Staff are seeking research support/ideas.

2. Request for Designation: 1424 Clarke Road
 - a. A request for designation for the property at 1424 Clarke Road was referred to the Stewardship Sub-Committee at the LACH meeting held on February 10, 2021.

3. Referred by Council: Halls Mill Road Properties
 - a. Staff are continuing research for the properties located at 1288 Halls Mill Place, 255 Halls Mill Road, 247 Halls Mill Road, 249 Halls Mill Road, Halls Mill Park, 1289 Commissioners Road West, 1344 Commissioners Road West.
4. Property Evaluation: 2056 Huron Street (House in the Grove)
 - a. Stewardship Sub-Committee recommended that the property be evaluated for designation under the *Ontario Heritage Act* by City Staff (2020-10-28). No further updates at this time.
5. Request for Information on Designation: 415 Base Line Road East
 - a. Staff will continue to work with the property owners of the heritage listed property at 415 Base Line Road East and will report back to the Stewardship Sub-Committee.
6. Request for Designation: 13 Prospect Avenue
 - a. A request from the property owner of 13 Prospect Avenue has been received. The Stewardship Sub-Committee previously noted that the property is already designated as a part of a Heritage Conservation District and suggested that the property owners be provided with information related to researching their property to assist with research for the purposes of an evaluation (2020-10-28).
7. Request for Designation: 46 Bruce Street
 - a. A request from the property owner of 46 Bruce Street was received. Staff have met with the property owner. Staff will continue to work with the property owner to consider designation pursuant to Part IV of the *Ontario Heritage Act*.
 - b. The Stewardship Sub-Committee previously noted that the property is already designated as a part of a Heritage Conservation District and suggested that the property owners be provided with information related to researching their property to assist with research for the purposes of an evaluation (2020-10-28).
8. Request for Designation: 44 Bruce Street
 - a. A request from the property owner of 44 Bruce Street was received. The Stewardship Sub-Committee previously noted that the property is already designated as a part of a Heritage Conservation District and suggested that the property owners be provided with information related to

researching their property to assist with research for the purposes of an evaluation (2020-10-28).

Report to London Advisory Committee on Heritage

To: Chair and Members
London Advisory Committee on Heritage
From: Gregg Barrett, Director, Planning and Development
Subject: Heritage Alteration Permit application by J. Forbes at 827
Elias Street, Old East Heritage Conservation District
Date: Wednesday June 9, 2021

Recommendation

That, on the recommendation of the Director, Planning and Development, with the advice of the Heritage Planner, the application under Section 42 of the Ontario Heritage Act seeking retroactive approval for the removal and replacement of the windows and front door on the heritage designated property at 827 Elias Street, within the Old East Heritage Conservation District, **BE REFUSED**.

Executive Summary

Alterations were undertaken to the heritage designated property at 827 Elias Street, located within the Old East Heritage Conservation District prior to obtaining Heritage Alteration Permit approval. The alterations included the removal and replacement of two double-hung wood windows, an arched front window, and the front door on the front façade of the dwelling. As the alterations commenced prior to obtaining Heritage Alteration Permit approval, this Heritage Alteration Permit application has met the terms and conditions for referral requiring consultation with the London Advisory Committee on Heritage (LACH). This Heritage Alteration Permit application seeks retroactive approval for the removal and replacement of two double-hung wood windows, an arched front window, and the front door. The recommended action is to refuse the application, as the windows and door are not sufficiently compatible with the policies and guidelines of the Old East Heritage Conservation District.

Linkage to the Corporate Strategic Plan

This recommendation supports the following 2019-2023 Strategic Plan areas of focus:

- Strengthening Our Community:
 - Continuing to conserve London's heritage properties and archaeological resources.

Analysis

1.0 Background Information

1.1 Location

The property at 827 Elias Street is located on the south side of Elias Street, between English Street and Ontario Street (Appendix A).

1.2 Cultural Heritage Status

The property at 827 Elias Street is located within the Old East Heritage Conservation District, which was designated pursuant to Part V of the Ontario Heritage Act by By-law No. L.S.P.-3383-111. The Old East Heritage Conservation District came into force and effect on September 10, 2006. The property is noted as a C-ranked property within the Old East Heritage Conservation District. C-ranked properties are described within the Old East Heritage Conservation District Study as being "of value as part of the environment" (Section 4.2).

1.3 Description

The existing dwelling at 827 Elias Street was constructed in circa 1900. The dwelling is a two-storey vernacular buff brick dwelling and demonstrates many of the architectural elements that are commonly found on Elias Street and elsewhere within the Old East Heritage Conservation District.

The buff brick dwelling includes a covered front porch with wood posts, rails, and spindles. The fenestration on the house includes a fixed first floor window with a curved arched transom, and the second storey includes two symmetrical windows with brick voussoirs. The gable peak of the dwelling appears to have been clad with aluminum siding. The east side of the dwelling includes a cross gable dormer (Appendix B).

2.0 Discussion and Considerations

2.1 Legislative and Policy Framework

Cultural heritage resources are to be conserved and impacts assessed as per the fundamental policies in the *Provincial Policy Statement (2020)*, the *Ontario Heritage Act*, *The London Plan* and the *Official Plan (1989 as amended)*.

2.1.1 Provincial Policy Statement

Heritage Conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (2020)* promotes the wise use and management of cultural heritage resources and directs that “significant built heritage resources and significant cultural heritage landscapes shall be conserved” (Policy 2.6.1, *Provincial Policy Statement 2020*).

“Significant” is defined in the *Provincial Policy Statement (2020)* as, “resources that have been determined to have cultural heritage value or interest.” Further, “processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*.”

Additionally, “conserved” means, “the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained.”

2.1.2 Ontario Heritage Act

The Ontario Heritage Act enables municipalities to protect properties of cultural heritage value or interest. Properties of cultural heritage value can be protected individually, pursuant to Section 29 of the Ontario Heritage Act, or where groups of properties have cultural heritage value together, pursuant to Section 41 of the Ontario Heritage Act as a Heritage Conservation District (HCD). Designations pursuant to the Ontario Heritage Act are based on real property, not just buildings.

2.1.2.1 Contravention of the Ontario Heritage Act

Pursuant to Section 69(1) of the *Ontario Heritage Act*, failure to comply with any order, direction, or other requirement made under the *Ontario Heritage Act* or contravention of the *Ontario Heritage Act* or its regulations, can result in the laying of charges and fines up to \$50,000 for an individual and \$250,000 for a corporation.

When amendments to the *Ontario Heritage Act* in Bill 108 are proclaimed in force and effect, the maximum fine for the demolition or removal of a building, structure, or heritage attribute in contravention of Section 42 of the *Ontario Heritage Act* will be increased to \$1,000,000.

2.1.2.2 Heritage Alteration Permit

Section 42 of the *Ontario Heritage Act* requires that a property owner not alter, or permit the alteration of, the property without obtaining Heritage Alteration Permit approval. The *Ontario Heritage Act (OHA)* enables Municipal Council to give the applicant of a Heritage Alteration Permit:

- a) The permit applied for;

- b) Notice that the council is refusing the application for the permit; or,
- c) The permit applied for, with terms and conditions attached. (Section 42(4), *Ontario Heritage Act*)

Municipal Council must make a decision on the heritage alteration permit application within 90 days or the request is deemed permitted (Section 42(4), *Ontario Heritage Act*).

2.1.3 The London Plan/Official Plan

The London Plan is the new official plan for the City of London (Municipal Council adopted, approved by the Ministry of Municipal Affairs and Housing with modifications, and the majority of which is in force and effect). *The London Plan* policies under appeal to the Local Planning Appeal Tribunal (Appeal PL170100) and not in force and effect are indicated with an asterisk throughout this report. *The London Plan* policies under appeal are included in this report for informative purposes indicating the intent of Municipal Council but are not determinative for the purposes of this application.

The policies of *The London Plan* found in the Key Directions and Cultural Heritage chapter support the conservation of London's cultural heritage resources for future generations. To ensure the conservation of significant cultural heritage resources, including properties located within a Heritage Conservation District, the policies of *The London Plan* provide the following direction:

*Policy 594_ * Within heritage conservation districts established in conformity with this chapter, the following policies shall apply:*

- 1. The character of the district shall be maintained by encouraging the retention of existing structures and landscapes that contribute to the character of the district.*
- 2. The design of new development, either as infilling, redevelopment, or as additions to existing buildings, should complement the prevailing character of the area.*
- 3. Regard shall be had at all times to the guidelines and intent of the heritage conservation district plan.^a*

Policy 596_ A property owner may apply to alter a property within a heritage conservation district. The City may, pursuant to the Ontario Heritage Act, issue a permit to alter the structure. In consultation with the London Advisory Committee on Heritage, the City may delegate approvals for such permits to an authority.

2.1.4 Old East Heritage Conservation District

A number of goals and objectives have been established to provide a framework for the protection and preservation of the unique heritage features in the Old East Heritage Conservation District (*Old East Heritage Conservation District Conservation Plan*, Section 3.2). The dwellings within the Old East Heritage Conservation District are described within the *Old East Heritage Conservation District Conservation and Design Guidelines* as having fairly narrow front façades, and as a result elements such as doors and windows take up proportionally large amounts of space and contribute substantially to the heritage appeal of the buildings. Further, the repetition of specific window shapes including arched windows, keyhole windows, and rectangular double-hung windows are noted for their continuity within the Old East Heritage Conservation District. Retaining the shape, size, and proportion of window is an important aspect of conserving the heritage character of the district.

The *Old East Heritage Conservation District Conservation and Design Guidelines* provides guidance for alterations and replacement of and installation of windows within the Heritage Conservation District:

^a Policy 13.3.6 of the *Official Plan* (1989, as amended) contains very similar policy language applicable to Heritage Conservation Districts. Specifically, Policy 13.3.6.iii: "regard shall be had at all times to the guidelines and intent of the Heritage Conservation District Plan."

Section 3.6 Doors and Windows – The replacement of original wood framed windows by vinyl or aluminum clad windows is discouraged. If this is the only reasonable option, the replacement windows should mimic the original windows with respect to style, size and proportion, with a frame that is similar in colour, or can be painted, to match other windows.

Section 4.3.1.c. Guidelines for Alterations – Seek similar properties (same age, same design, same builder) for evidence of details that may still exist as samples for reconstruction.

Section 4.3.1.f Guidelines for Alterations – Where replacement of features (e.g. doors, windows, trim) is unavoidable, the replacement components should be of the same general style, size and proportions.

2.2 Heritage Alteration Permit (HAP21-042-L)

Complaints about unapproved alterations to the property at 827 Elias Street were brought to the attention of the City in March 2021. A Heritage Alteration Permit application was received on May 27, 2021. The applicant has applied for a Heritage Alteration Permit seeking retroactive approval for:

- Removal of the existing front door;
- Removal of the existing arched window on the front of the dwelling;
- Removal of two wood, double-hung windows on the second storey on the front of the dwelling;
- Installation of a new fibre glass front door;
- Installation of a new vinyl arched window; and,
- Installation of new vinyl casement windows with brick moulds on the second storey.

As the alterations commenced prior to obtaining Heritage Alteration Permit approval, this application has met the terms and conditions for referral requiring consultation the London Advisory Committee on Heritage (LACH).

Per Section 42(4) of the *Ontario Heritage Act*, the 90-day timeline for this Heritage Alteration Permit application will expire on August 25, 2021.

3.0 Financial Impact/Considerations

None.

4.0 Key Issues and Considerations

Door and window removal, replacement or additions on street facing facades are identified as a class of alterations that requires Heritage Alteration Permit approval in Table 7.1 of the *Old East Heritage Conservation District Conservation Plan*.

The review of the window replacements included within this Heritage Alteration Permit application considers the direction outlined in Section 3.6. of the *Old East Heritage Conservation District Conservation and Design Guidelines* as well as the recommended practices and design guidelines that are outlined in Section 4.2 of the *Old East Heritage Conservation District Plan*.

In general, the *Old East Heritage Conservation District Conservation Plan* supports an approach to “‘restore’ wherever possible rather than ‘replace’, particularly for features such as windows, doors, porches, and decorative trim...Where replacement of features (e.g.- doors, windows, trim) is unavoidable, the replacement components should be of the same general style, size, and proportions.” (Section 4.2). Further, Section 3.6 of the *Old East Heritage Conservation District Conservation and Design Guidelines* states “The replacement of original wood framed windows by vinyl or aluminum clad window is discouraged. If this is the only reasonable option, the replacement windows should

mimic the original windows with respect to style, size and proportion, with a frame that is similar in colour, or can be painted, to match other windows.”

The replacement door and windows on the dwelling at 827 Elias Street consist of elements that are not consistent or compatible with the policies and guidelines for the Old East Heritage Conservation District. The existing door that was removed from the dwelling did not appear to be an original feature of the dwelling, however, the modern fibre glass replacement door includes a design style that is not sufficiently compatible with the dwelling and character of the Old East Heritage Conservation District. Likewise, the style of the replacement windows are not compatible. In particular, the undivided casement windows and the arched window are not sufficiently similar in style, size, and proportions, as directed in the *Old East Heritage Conservation District Conservation and Design Guidelines*. A visual guide to style and design elements compatible with dwellings within the Old East Heritage Conservation District as shown in the *Old East Heritage Conservation District Conservation Plan* is shown in Appendix C, to demonstrate styles more sufficiently compatible.

Conclusion

The windows and door previously installed prior to obtaining Heritage Alteration Permit approval are not consistent with the *Old East Heritage Conservation District Conservation and Design Guidelines*. In particular, the casement windows in the second storey of the dwelling and the new front door are styles that are not compatible with the guidelines for the Old East Heritage Conservation District. The alterations seeking retroactive approval should not be permitted.

Prepared by: Michael Greguol, CAHP, Heritage Planner
Submitted by: Britt O’Hagan, MCIP, RPP Manager, Community
Planning, Urban Design, and Heritage
Recommended by: Gregg Barrett, AICP, Director, Planning and Development

Appendices

- Appendix A Property Location
- Appendix B Images
- Appendix C Old East Heritage Conservation District Conservation Plan, Design Guidelines (Windows and Doors)

Sources

Corporation of the City of London. *Old East Heritage Conservation District Conservation Plan* 2005.

Corporation of the City of London. *Old East Heritage Conservation District Conservation and Design Guidelines*. 2005.

Corporation of the City of London. *Register of Cultural Heritage Resources*. 2019.

Corporation of the City of London. *2019-2023 Strategic Plan*.

Corporation of the City of London. *The London Plan*. 2019 (consolidated).

Ontario Heritage Act. 2019, c.9, Sched. 11. Retrieved from

<https://www.ontario.ca/laws/statute/90o18>.

Appendix A – Property Location

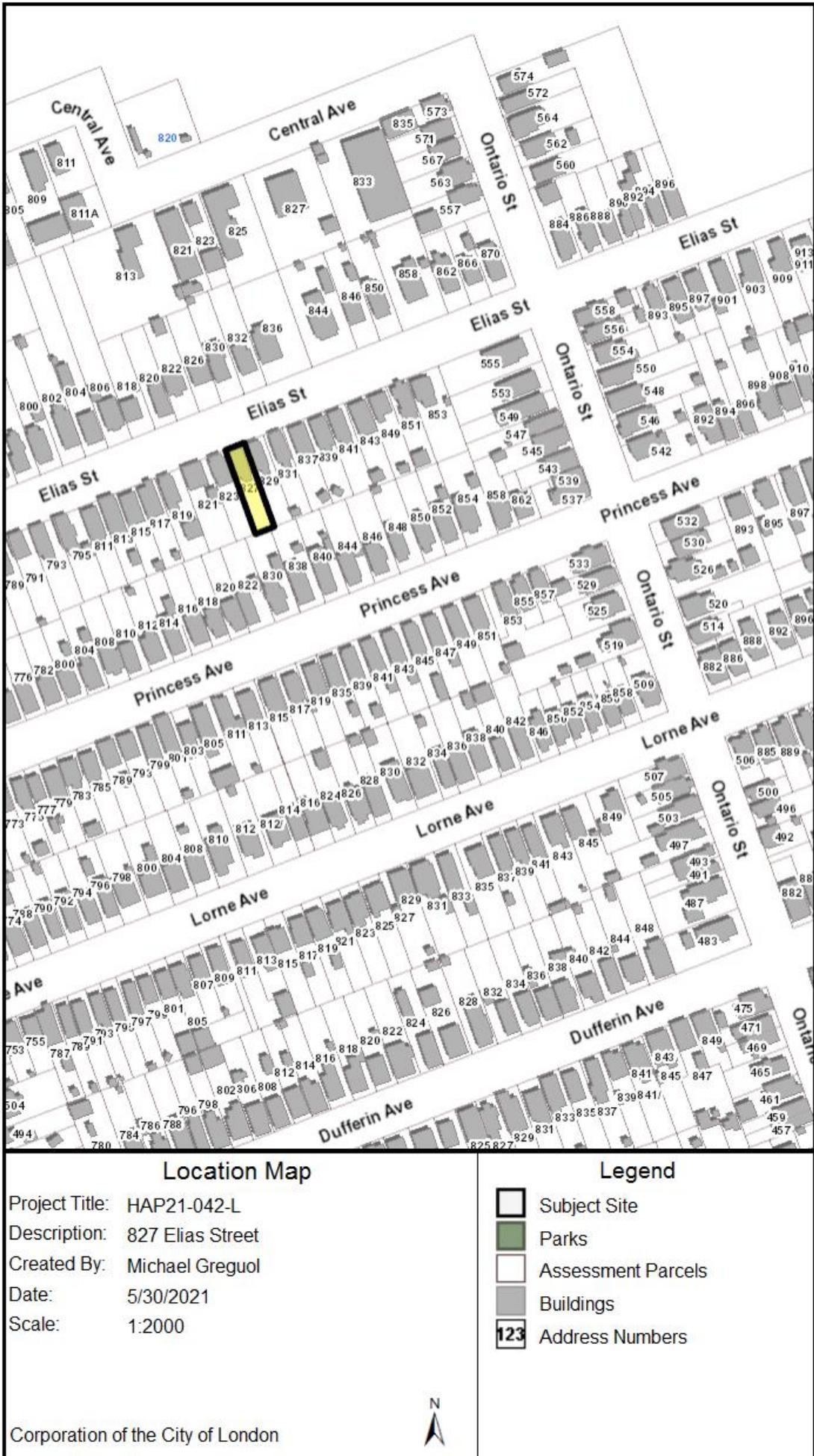


Figure 1: Property Location Map showing the subject property at 827 Elias Street, located within the Old East Heritage Conservation District.

Appendix B – Images



Image 1: Image of the subject property at 827 Elias Street (Google Street, 2009).



Image 2: Image of the subject property at 827 Elias Street (Google Street, 2014).



Image 3: Photograph of the subject property at 827 Elias Street (Google Street, October 2020).



Image 4: Photograph of the subject property at 827 Elias Street showing the unapproved alterations to the windows and door (May 2021).



Image 5: Photograph showing detail of the unapproved front door and the arched window on the dwelling located at 827 Elias Street (May 2021).

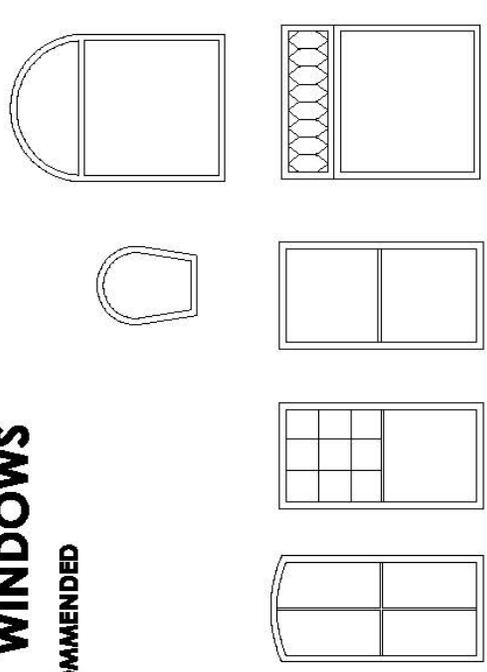


Image 6: Photograph showing detail of the casement windows on the dwelling at 827 Elias Street (May 2021).

Appendix C - Old East Heritage Conservation District Conservation Plan, Design Guidelines (Windows and Doors)

WINDOWS

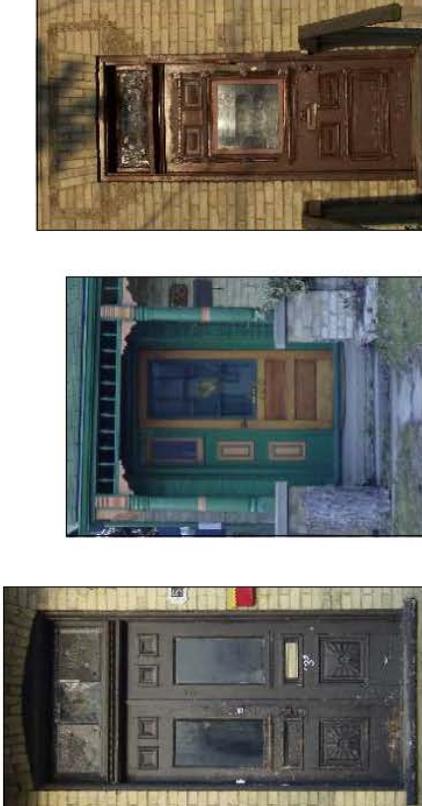
RECOMMENDED



Examples of typical window styles and proportions (double hung variations, arched, leaded glass). Retain and restore whenever possible. If replacement is necessary, use the same size, style and proportion as the original.

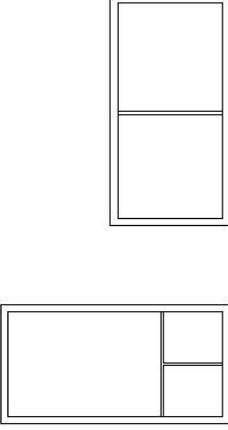
DOORS

RECOMMENDED



Retain, repair and restore original wood doors, sidelights and transoms above doors. If replacement is necessary, use the same size door with similar style and details as original.

NOT RECOMMENDED



Avoid blocking original windows or replacing them with different sizes, styles and proportions.

NOT RECOMMENDED



Avoid removing or blocking transom windows above doors.

Figure 2: Excerpt from the Old East Heritage Conservation District Conservation Plan demonstrating window and door styles as design guidelines for alterations and replacements within the Old East Heritage Conservation District (City of London, 2005).



Mike Baker



Design Guidelines: Style & Design Elements
Old East Heritage Conservation District Plan



Report to London Advisory Committee on Heritage

To: Chair and Members
London Advisory Committee on Heritage
From: Gregg Barrett, Director, Planning and Development
Subject: Heritage Alteration Permit application at 330 St James Street,
Bishop Hellmuth Heritage Conservation District by P. Brown
Date: Wednesday June 9, 2021

Recommendation

That, on the recommendation of the Director, Planning and Development, with the advice of the Heritage Planner, the application under Section 42 of the *Ontario Heritage Act* seeking approval and retroactive approval for alterations to the heritage designated property at 330 St James Street, in the Bishop Hellmuth Heritage Conservation District, **BE PERMITTED** with the following terms and conditions:

- a) The porch skirt be painted to minimize the plastic and faux wood appearance of the material;
- b) The property owner be encouraged to plant and maintain vegetation, such as coniferous shrubs, to minimize the visibility of the porch skirt;
- c) The Heritage Alteration Permit be displayed in a location visible from the street until the work is completed.

Executive Summary

Alterations were undertaken to the heritage designated property at 330 St. James Street, located within the Bishop Hellmuth Heritage Conservation District, without Heritage Alteration Permit approval. A previous Heritage Alteration Permit application, which sought retroactive approval, was refused by Municipal Council.

This new Heritage Alteration Permit seeks to better comply with the direction of the *Bishop Hellmuth Heritage Conservation District Plan* by replacing the non-compliant vinyl railing system with a more appropriate painted wood railing with turned spindles. The porch skirt is proposed to be painted to minimize its plastic and faux wood appearance, with plantings to obscure its visibility. The existing porch deck is requested to be retained. These alterations should be permitted with terms and conditions to bring the property into better compliance with the direction of the *Bishop Hellmuth Heritage Conservation District Plan*.

Linkage to the Corporate Strategic Plan

This recommendation supports the following 2019-2023 Strategic Plan areas of focus:

- Strengthening Our Community:
 - Continuing to conserve London's heritage properties and archaeological resources

Analysis

1.0 Background Information

1.1 Property Location

The property at 330 St James Street is located on the north side of St. James Street between Hellmuth Avenue and Waterloo Street (Appendix A).

1.2 Cultural Heritage Status

The property at 330 St James Street is located within the Bishop Hellmuth Heritage Conservation District, which was designated pursuant to Part V of the *Ontario Heritage Act* in 2003 by By-law No. L.S.P.-3333-305.

1.3 Property Description

The dwelling located at 330 St James Street was constructed in circa 1906. It is a two-and-a-half storey buff brick dwelling which demonstrates elements or influences of the Queen Anne Revival architectural style that characterizes the Bishop Hellmuth Heritage Conservation District. These elements include: the asymmetrical massing with the double-storey bay and gable, wood shingle imbrication in the gables, rounded roof of the dormer, wood door and transom, and the porch.

The porch is located on the westerly two-thirds (approximately) of the main (south) façade of the dwelling. Accessed via steps, the nearly flat roof of the porch is supported by paired columns (with engaged columns at the building's face) set on rusticated block plinths. The porch had a low balustrade composed of heavy, turned spindles set between a top and bottom rail. The porch also featured a skirt, composed of framed lattice. The porch was constructed of wood with a painted finish.

2.0 Discussion and Considerations

2.1 Legislative and Policy Framework

Cultural heritage resources are to be conserved and impacts assessed as per the fundamental policies in the *Provincial Policy Statement (2020)*, the *Ontario Heritage Act*, *The London Plan* and the *Official Plan (1989 as amended)*.

2.1.1 Provincial Policy Statement

Heritage Conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (2020)* promotes the wise use and management of cultural heritage resources and directs that “significant built heritage resources and significant cultural heritage landscapes shall be conserved” (Policy 2.6.1, *Provincial Policy Statement 2020*).

“Significant” is defined in the *Provincial Policy Statement (2020)* as, “resources that have been determined to have cultural heritage value or interest.” Further, “processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*.”

Additionally, “conserved” means, “the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained.”

2.1.2 Ontario Heritage Act

The Ontario Heritage Act enables municipalities to protect properties of cultural heritage value or interest. Properties of cultural heritage value can be protected individually, pursuant to Section 29 of the Ontario Heritage Act, or where groups of properties have cultural heritage value together, pursuant to Section 41 of the Ontario Heritage Act as a Heritage Conservation District (HCD). Designations pursuant to the Ontario Heritage Act are based on real property, not just buildings.

2.1.2.1 Heritage Alteration Permit

Section 42 of the *Ontario Heritage Act* requires that a property owner not alter, or permit the alteration of, the property without obtaining Heritage Alteration Permit approval. The *Ontario Heritage Act (OHA)* enables Municipal Council to give the applicant of a Heritage Alteration Permit:

- a) The permit applied for;
- b) Notice that the council is refusing the application for the permit; or,
- c) The permit applied for, with terms and conditions attached. (Section 42(4), *Ontario*

Heritage Act)

Municipal Council must make a decision on the heritage alteration permit application within 90 days or the request is deemed permitted (Section 42(4), *Ontario Heritage Act*).

2.1.2.2 Contravention of the *Ontario Heritage Act*

Pursuant to Section 69(1) of the *Ontario Heritage Act*, failure to comply with any order, direction, or other requirement made under the *Ontario Heritage Act* or contravention of the *Ontario Heritage Act* or its regulations, can result in the laying of charges and fines up to \$50,000 for an individual and \$250,000 for a corporation.

When amendments to the *Ontario Heritage Act* in Bill 108 are proclaimed in force and effect, the maximum fine for the demolition or removal of a building, structure, or heritage attribute in contravention of Section 42 of the *Ontario Heritage Act* will be increased to \$1,000,000.

2.1.3 *The London Plan/Official Plan*

The London Plan is the new official plan for the City of London (Municipal Council adopted, approved by the Ministry of Municipal Affairs and Housing with modifications, and the majority of which is in force and effect). *The London Plan* policies under appeal to the Local Planning Appeal Tribunal (Appeal PL170100) and not in force and effect are indicated with an asterisk throughout this report. *The London Plan* policies under appeal are included in this report for informative purposes indicating the intent of Municipal Council but are not determinative for the purposes of this application.

The policies of *The London Plan* found in the Key Directions and Cultural Heritage chapter support the conservation of London's cultural heritage resources for future generations. To ensure the conservation of significant cultural heritage resources, including properties located within a Heritage Conservation District, the policies of *The London Plan* provide the following direction:

*Policy 594_ * Within heritage conservation districts established in conformity with this chapter, the following policies shall apply:*

- 1. The character of the district shall be maintained by encouraging the retention of existing structures and landscapes that contribute to the character of the district.*
- 2. The design of new development, either as infilling, redevelopment, or as additions to existing buildings, should complement the prevailing character of the area.*
- 3. Regard shall be had at all times to the guidelines and intent of the heritage conservation district plan.^a*

Policy 596_ A property owner may apply to alter a property within a heritage conservation district. The City may, pursuant to the Ontario Heritage Act, issue a permit to alter the structure. In consultation with the London Advisory Committee on Heritage, the City may delegate approvals for such permits to an authority.

2.1.4 *Bishop Hellmuth Heritage Conservation District Plan*

The authenticity and architectural integrity of the Queen Anne Revival architectural style of the Bishop Hellmuth area some of the reasons why the area was designated as a Heritage Conservation District pursuant to Part V of the *Ontario Heritage Act* in 2003. The quality and consistency of the homes, predominantly built between 1895 and 1910

^a Policy 13.3.6 of the *Official Plan* (1989, as amended) contains very similar policy language applicable to Heritage Conservation Districts. Specifically, Policy 13.3.6.iii: "regard shall be had at all times to the guidelines and intent of the Heritage Conservation District Plan."

mainly in the Queen Anne Revival style, is highlighted in the *Bishop Hellmuth Heritage Conservation District Plan*.

Physical goals of the designation of the Bishop Hellmuth area as a Heritage Conservation District, in Section 3 of the *Bishop Hellmuth Heritage Conservation District Plan*, are:

- *To encourage the retention and conservation of historic buildings and landscapes;*
- *To guide the design of new work to be compatible with the old;*
- *To enhance the historic character and visual appeal of the area;*
- *To achieve and maintain a cohesive, well designed and identifiable historic area.*

To implement these goals, policies are established to manage change within the Bishop Hellmuth Heritage Conservation District. Section 4.2 provides policies for building alterations including the following guiding principles:

- *Identify the architectural style – the architectural style of the building should be identified to ensure the building alterations are in keeping with the style and its characteristics.*
- *Preserve historic architectural features – alterations should preserve important architectural features of the main building.*
- *Conserve rather than replace – original building materials, features and finishes should be repaired and conserved rather than replaced, when possible. The original has greater historical value.*
- *Replicate in keeping – when replacing building features, they should be duplicated or be in keeping with the character of the original.*
- *Record changes – building alterations should be recorded by the owner through “before and after” photographs or drawings for future reference/ They should be deposited with the heritage planner.*
- *Save removed architectural features – historic materials and features, such as old windows and trim, when in sound condition should be saved and stored for future use in a dry and safe part of the building.*

The following policies are applicable for verandahs (porches):

80% of the buildings in the heritage district have verandahs, most of which are decorative highlights of the front façade. Together with stained glass windows and decorative gables, the conservation of verandahs is a high priority. Alterations should ensure their conservation, particularly the original posts, handrails and brackets. If parts are to be replaced, they should duplicate the original. Closing in of verandahs is discouraged as not in keeping with the character of the district.

Section 6.1, Work Requiring Approval, clearly identifies verandah (porch) changes as requiring Heritage Alteration Permit approval.

Conservation Principles for porches in the *Bishop Hellmuth Heritage Conservation District Guidelines* emphasize the importance of duplicating originals, or appropriate existing, when repairing. It states, “it is important to avoid such incompatible changes and to conserve the original appearance of an historic porch.”

Guidelines for porch replacement include details for the following: style, foundation, floor, steps, skirting, posts, handrail, spindles, and decorative features.

Floor – porch floors were typically 7/8” deep, 6” wide, tongue-and-groove planks of Douglas fir. This makes for a sound floor and is preferable to the 3/4” deep planks more commonly manufactured today.

Steps – porch steps were traditionally constructed with wood stringers, risers and treads. This should be continued. Precast concrete, while requiring less maintenance, do not belong on an historic building and should be avoided. The riser and tread dimensions should comply with the OBC. Risers should not exceed 7/8”. A comfortable rise is between 7” and 7&1/2”.

Skirting – the porch skirting which closes in the area under the raised floor should be of wood and in the architectural style of the building. Typically, skirts were either wood diagonal or rectangular lattice of vertical wood slats.

Handrail – Handrails and newel posts should match the post style. Typically old handrails were 30” high. Today, the OBC requires 36” to 42”, depending on circumstances. This can upset the original proportions of the porch. A partially successful remedy is to build the handrail to the traditional height and add a second higher rail in slender metal pipe that does not clash with the original. This should be discussed with the building inspector.

Spindles – traditionally, spindles were 1&3/4” square and 3&1/2” apart between centres. Frequently new spindles are thinner and further apart. This should be avoided as the rail looks weak and light-weight.

2.2 Heritage Alteration Permit (HAP21-001-L)

A previous Heritage Alteration Permit application was submitted by the property owner and received on December 23, 2020. The Heritage Alteration Permit application (HAP21-001-L) sought retroactive approval for the porch alterations, including removal and replacement with vinyl/plastic materials.

Staff recommended refusal of the Heritage Alteration Permit application as the work completed was contrary to the policies and guidelines of the *Bishop Hellmuth Heritage Conservation District Plan* and failed to conserve the heritage attributes of the heritage designated property. A link to the staff report can be found following the conclusion of this report. The LACH supported the staff recommendation at its meeting on February 10, 2021 and encouraged further consultation between the Heritage Planner and the property owner. The Heritage Alteration Permit application was refused by Municipal Council at its meeting on March 23, 2021.

2.3 Heritage Alteration Permit (HAP21-039-L)

Since the LACH meeting on February 10, 2021, the Heritage Planner and property owner have discussed potential resolutions to the non-compliance of the porch alterations to the heritage designated property at 330 St James Street.

On May 21, 2021, a new Heritage Alteration Permit application (HAP21-039-L) was received by the City. The property owner has applied for a Heritage Alteration Permit seeking approval for:

- Removal of the current railings and post system (installed without Heritage Alteration Permit approval);
- Installation of a new painted wood railing, affixed to the existing stone plinths, with turned spindles set between top and bottom rails (see Appendix C);
- Retroactive approval for porch alterations:
 - Installation of vinyl porch boards and steps (“Wolf Serenity”);
 - Installation of vertical plastic board porch skirt; and,
- Painting the porch skirt and planting vegetation (e.g. shrubs, plants, and/or small trees) around the porch skirt to minimize visibility.

As the alterations were completed prior to obtaining a Heritage Alteration Permit, the Heritage Alteration Permit application has met a condition for referral requiring

consultation with the London Advisory Committee on Heritage (LACH) and a decision by Municipal Council.

Per Section 42(4) of the *Ontario Heritage Act*, the 90-day timeline for this Heritage Alteration Permit application will expire on August 19, 2021.

In addition to the requirement to obtain a Heritage Alteration Permit, a Building Permit is also required for the alterations to the porch. No Building Permit was obtained.

3.0 Financial Impact/Considerations

None.

4.0 Key Issues and Considerations

In the previous staff report (see link to the previous staff report following the conclusion of this report) three major issues with the current porch alterations were identified: material, style of the railing and spindles, and style of the porch skirt.

4.1 Material

Painted wood is the most appropriate material for porches in the Bishop Hellmuth Heritage Conservation District as it has historic authenticity. The alterations proposed by the property owner in this Heritage Alteration Permit application seek to better comply with the direction of the *Bishop Hellmuth Heritage Conservation District Plan*.

The railings and spindles are one of the most visually prominent features of the porch. The proposed replacement of the current vinyl railing system with a painted wood railing with turned spindles is more appropriate and consistent with the direction of the *Bishop Hellmuth Heritage Conservation District Plan*.

The proposed painting of the vertical boards of the porch skirt is an effort to mitigate its non-compliance. Replacing the current porch skirt with a painted wood material would be more compatible, but painting will minimize the non-compliance. Planting shrubs, plants, and/or trees, particularly coniferous species, will further minimize the non-compliance of this material by obscuring its view from the street.

The existing vinyl (plastic) porch boards and steps are requested to be retained.

4.2 Style of Railing and Spindles

To address the incompatible style of the current railings and spindles, the property owner has submitted a revised drawing showing a more appropriate painted wood railing with turned spindles constructed of painted wood (see Appendix C).

The proposed railing and spindles in this Heritage Alteration Permit application are more consistent with the former railing and spindles of the porch and more compatible with the heritage character of the Bishop Hellmuth Heritage Conservation District (see Appendix C).

The railing is proposed at 28" above the height of the deck, which is higher than the former railing but at the approximate top of the plinths/base of the columns. This is a more appropriate height for the porch railing than the current railing system. The connection of the railing to the plinth/base of the column is much more appropriate than the current freestanding railing system.

4.3 Style of the Porch Skirt

The style of the porch skirt, with vertical boards set in a frame, is unlike the former porch skirt or the style of porch skirt recommended in the *Bishop Hellmuth Heritage Conservation District Plan*. The style of porch skirt, with vertical boards set in a frame, is found on other properties within the Bishop Hellmuth Heritage Conservation District.

Conclusion

This new Heritage Alteration Permit application for the porch of the heritage designated property at 330 St James Street, in the Bishop Hellmuth Heritage Conservation District, seeks to address the most visually apparent issues of non-compliance with the *Bishop Hellmuth Heritage Conservation District Plan*. While short of returning the porch to its former state, the proposed alterations will better conserve the property's heritage attributes in a manner more consistent with the policies and guidelines of the *Bishop Hellmuth Heritage Conservation District Plan* than its current condition. The resolutions proposed in this Heritage Alteration Permit application should be approved with terms and conditions to ensure that the appropriate resolution is achieved.

Painted wood remains the most appropriate and historically authentic material for porches in the Bishop Hellmuth Heritage Conservation District.

Prepared by: Kyle Gonyou, CAHP, Heritage Planner

Submitted by: Britt O'Hagan, MCIP RPP, Manager, Community Planning Urban Design and Heritage

Recommended by: Gregg Barrett, AICP, Director, Planning and Development

Appendix A	Property Location
Appendix B	Images
Appendix C	Proposed Porch Railing

Link

Staff report to the London Advisory Committee on Heritage on February 10, 2021 for previous Heritage Alteration Permit application (HAP21-001-L): <https://pub-london.escribemeetings.com/Meeting.aspx?Id=ccb50400-b4f3-41f2-8ad9-39b8e3526ce7&Agenda=Merged&lang=English> (see Item 5.1)

Sources

Corporation of the City of London. *Bishop Hellmuth Heritage Conservation District Plan*. 2003.

Corporation of the City of London. *Register of Cultural Heritage Resources*. 2019.

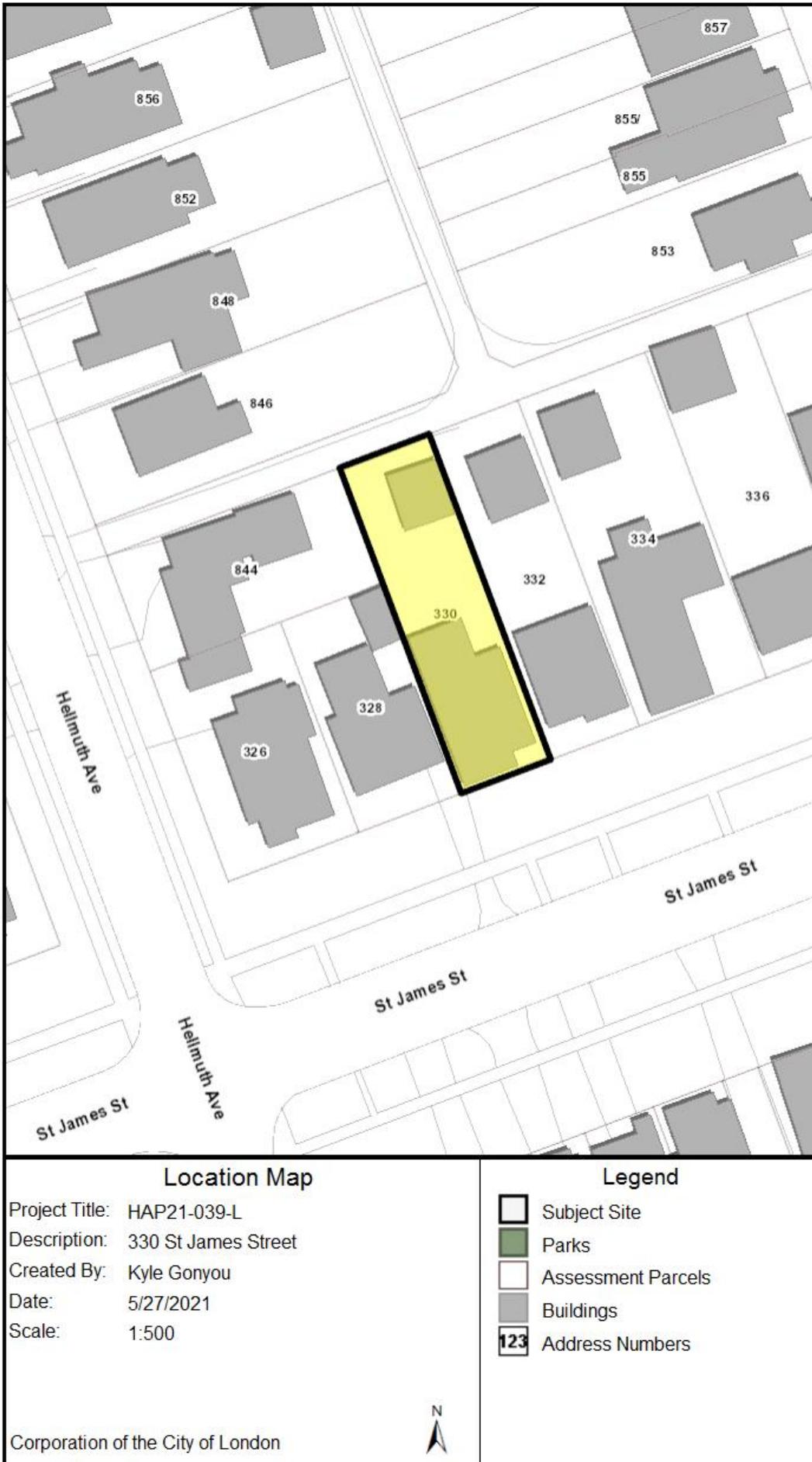
Corporation of the City of London. *2019-2023 Strategic Plan*.

Corporation of the City of London. *The London Plan*. 2019 (consolidated).

Ontario Heritage Act. 2019, c.9, Sched. 11. Retrieved from

<https://www.ontario.ca/laws/statute/90o18>.

Appendix A – Property Location



Appendix B – Images



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Item # PS0113

Image 1: Before (former; bottom) and after (current; top) images, submitted as part of the previous Heritage Alteration Permit application (HAP21-004-L), of the porch on the heritage designated property at 330 St. James Street.

Appendix C – Proposed Porch Railing

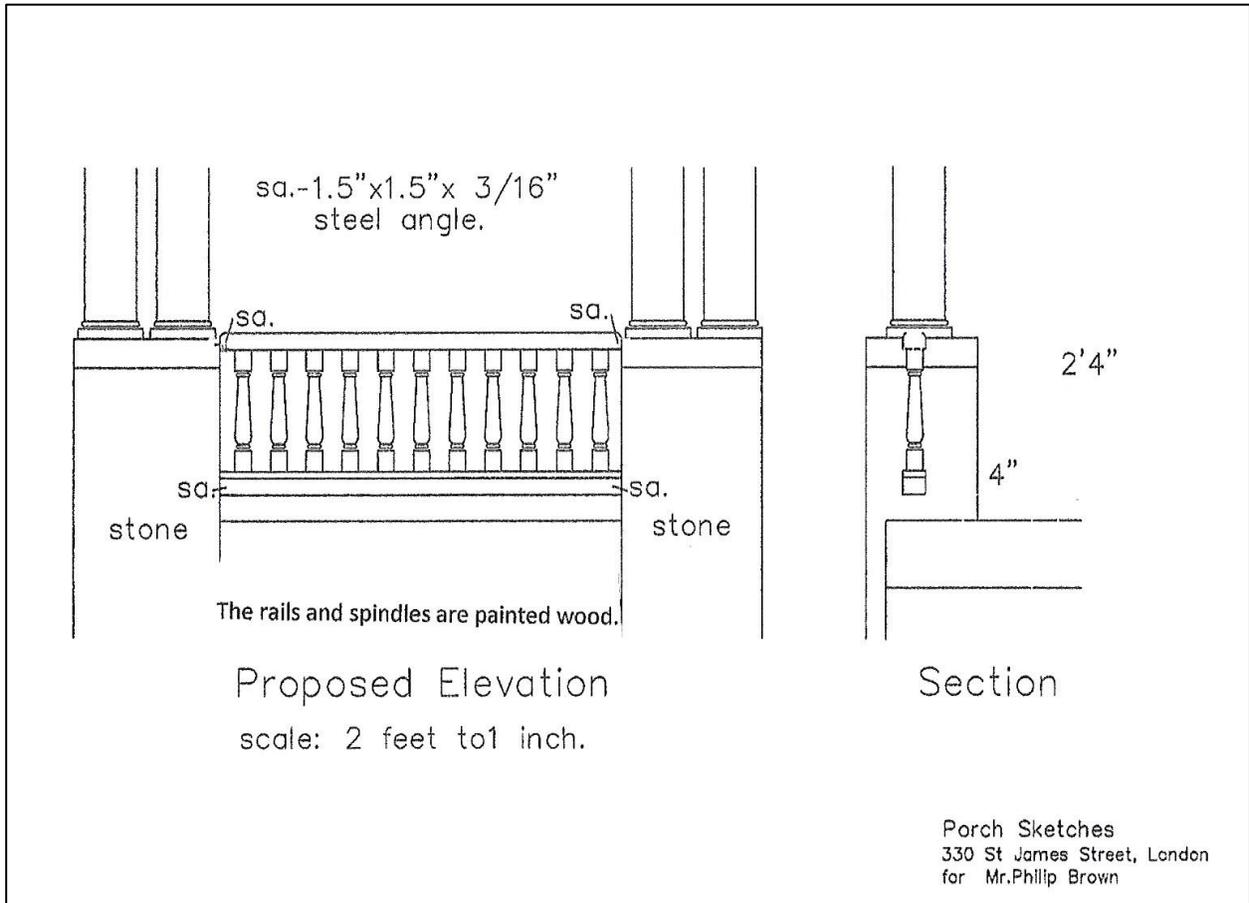


Figure 1: Drawing, submitted as part of this Heritage Alteration Permit application (HAP21-039-L), showing the proposed railing affixed to the existing piers with turned spindles set between top and bottom rails and made of painted wood.

Report to London Advisory Committee on Heritage

To: Chair and Members
London Advisory Committee on Heritage
From: Gregg Barrett, Director, Planning and Development
Subject: Heritage Alteration Permit Application on a Heritage Designated Property at 2096 Wonderland Road North by S. Saltaji
Date: Wednesday June 9, 2021

Recommendation

That, on the recommendation of the Director, Planning and Development, with the advice of the Heritage Planner, the application under Section 33 of the *Ontario Heritage Act* seeking approval to alter the heritage designated property at 2096 Wonderland Road North **BE PERMITTED** with the following terms and conditions:

- a) Prior to any alteration or construction, full documentation of the building including photo-documentation and a set of as-built drawings be provided to the City;
- b) Prior to any alteration or construction, Heritage Planning Staff be consulted and the following details be provided:
 - i. Double hung vinyl replacement windows with simulated divided lites to be installed throughout, and replicate current muntin patterning;
 - ii. Vinyl replacement entry door surround with simulated divided lites to be installed, and replicate current surround details and muntin patterning;
 - iii. Proposed fieldstone finish for the exterior surface of exposed new concrete foundation walls and on the new concrete entry porch and steps;
- c) Prior to building permit approval, an addendum to the Conservation Plan be submitted, to the satisfaction of the City, which includes:
 - i. a monitoring program; and,
 - ii. a detailed strategy to conserve the chimneys;
- d) Direction **BE GIVEN** to the Site Plan Approval Authority that the following clauses be added to the Development Agreement (DA) for Site Plan Approval (SPA20-022):
 - i. During pre-construction, construction, and post-construction activity, the assessment, stabilization, bracing, and monitoring of the building must be consistent with the Conservation Plan prepared by a+LiNK Architecture Inc. (dated March 26, 2021);
 - ii. If the building or any of the identified heritage attributes are accidentally damaged during the raising and final setting onto the new foundation, or during ongoing construction of the surrounding townhouse development, construction will cease immediately, and the City will be notified. Qualified experts will be contacted to conduct an assessment of the damage and determine an appropriate course of action. Damaged heritage attributes will be assessed to determine if repairs can be made. If repairs are possible, the applicant will retain, at their cost, the appropriate professionals to conduct repairs. If repairs to damaged heritage attributes are not possible, the applicant will replace the heritage attribute in kind, at their cost, based on information contained in the as-built drawings and photographs. If irreparable damage is done to the building or heritage attributes, such that none can be salvaged, the applicant will reconstruct the building with sympathetic materials. This shall include using salvaged buff bricks or appropriate new materials from other sources and reconstructing heritage attributes identified in the designating by-law. Reconstruction will be based on the as-built drawings and photographs of the building and heritage attributes. Should this situation occur, reconstruction plans will be prepared for the City's review and approval;

- iii. The applicant will provide the City with a security in the form of an irrevocable Letter of Credit, in order to secure the applicant's obligations related to the heritage alteration permit (HAP21-031-L). The amount of the Letter of Credit is the full estimated cost for raising and holding the building, demolition of the existing foundation and construction of the new foundation. The Letter of Credit will be released when the applicant has completed the work outlined in the heritage alteration permit to the satisfaction of the City;
- e) The Heritage Alteration Permit shall be displayed in a location visible from the street until the work is completed.

Executive Summary

The building on the property at 2096 Wonderland Road North is a significant cultural heritage resource protected by its designation pursuant to the Ontario Heritage Act by By-law No. L.S.P.-3477-475. Alterations that may affect the property's heritage attributes are required to support the retention of the heritage building on the property and its integration with the new townhouse development, and to facilitate its adaptive reuse through its conversion into 2-dwelling units. With terms and conditions, Municipal Council should consent to the proposed alterations.

Linkage to the Corporate Strategic Plan

This recommendation supports the adaptation of the property which contributes to implementing the City's 2019-2023 Strategic Plan through 'Strengthening Our Community', by continuing to conserve London's heritage properties and archaeological resources.

Analysis

1.0 Background Information

1.1 Previous Reports Related to this Matter

May 9, 2018 — Report to London Advisory Committee on Heritage – Demolition Request for Heritage Listed Property at 2096 Wonderland Road North

May 28, 2018 — Report to Planning & Environment Committee – Demolition Request for Heritage Listed Property at 2096 Wonderland Road North.

September 10, 2018 — Report to Planning & Environment Committee – Passage of Heritage Designation By-law for 2096 Wonderland Road North

May 13, 2019 — Report to Planning & Environment Committee – 2096 Wonderland Road North PPM (Z-9010).

1.2 Property Location

The property at 2096 Wonderland Road North is located on the east side of Wonderland Road North between Fanshawe Park Road West and Sunningdale Road West [Appendix A]. The property is part of the former London Township that was annexed by the City of London in 1993. Staff undertook a site visit of the property on May 29, 2021.

1.3 Cultural Heritage Status

2096 Wonderland Road North was designated in 2018 (September 18, 2018) under Part IV of the *Ontario Heritage Act* by By-law No. L.S.P.-3477-475 [Appendix C D].

1.4 Description

The building located at 2096 Wonderland Road North is a two-storey brick house with stone foundation [Appendix B]. The building has a square plan, with rear addition. A hipped roof caps the original portion of the building, which was accented by a pair of double stack chimneys. The building has a balanced, three bay main (west) façade. A

doorway with a single leaf door, with replacement sidelights and a rectangular transom, and an applied wood frame entablature, is located in the centre bay. The centre bay of the building is flanked by a window to each side. Three window voids are centred across the second storey of the west façade, above the openings of the ground storey. The windows in the original openings appear to be replacement (vinyl) windows. Original brick detailing, including common bond pattern and voussoirs above the windows, can be found on the façade. Symmetry can also be found in the placement of windows on the other façades of the building as well.

An addition is located at the rear of the original building, which includes a two-bay garage. This addition is clad in board and batten which distinguishes it from the original building. Access to the property is facilitated by a gravel and asphalt driveway off Wonderland Road North. The property features mature trees with grass lawns. The property is currently vacant.

2.0 Discussion and Considerations

2.1 Legislative and Policy Framework

Cultural heritage resources are to be conserved and impacts assessed as per the fundamental policies in the *Provincial Policy Statement (2020)*, the *Ontario Heritage Act*, *The London Plan* and the *Official Plan (1989 as amended)*.

2.1.1 Provincial Policy Statement

Heritage conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (PPS-2020)* promotes the wise use and management of cultural heritage resources and directs that “significant built heritage resources and significant cultural heritage landscapes shall be conserved.” (Section 2.6.1)

‘Significant’ is defined in the *PPS-2020* as, “[r]esources that have been determined to have cultural heritage value or interest.” Further, “[p]rocesses and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*.” (p51)

Additionally, ‘conserved’ means, “[t]he identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the *Ontario Heritage Act*. To ‘conserve’ may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment. [...] Mitigative measures and/or alternative development approaches can be included in these plans and assessments.” (pp41-42)

2.1.2 Ontario Heritage Act – Heritage Alteration Permit

The *Ontario Heritage Act* enables municipalities to protect properties of cultural heritage value or interest. An individual property may be designated pursuant to Section 29 of the *Ontario Heritage Act*. A heritage designating by-law, which includes a statement explaining the cultural heritage value or interest of the property and describes its heritage attributes, is registered on the title of the property. This ensures that the property is protected by the provisions of the *Ontario Heritage Act* even if the property is sold or transferred.

Per Section 33 of the *Ontario Heritage Act*, a Heritage Alteration Permit is required for any alteration that is “likely to affect” any of a property’s heritage attributes as identified in a heritage designating by-law pursuant to Section 29, *Ontario Heritage Act*. Section 33(1), *Ontario Heritage Act* states”

No owner of property designated under section 29 shall alter the property or permit the alteration of the property if the alteration is likely to affect the property’s heritage attributes, as set out in the description of the property’s heritage attributes that was required to be served and registered under subsection 29(6) or (14), as the case may be, unless the owner applies to the council of the municipality in which the property is situate and received consent in writing to the alteration.

Consistent with Section 33(4), *Ontario Heritage Act* within 90-days of receipt of a complete Heritage Alteration Permit application and following consultation with the London Advisory Committee on Heritage (LACH), Municipal Council shall,

- i. Consent to the application;
- ii. Consent to the application with terms and conditions; or,
- iii. Refuse the application.

2.1.3 The London Plan

The policies of *The London Plan* support the conservation, maintenance, retention, and protection of London's cultural heritage resources. The Cultural Heritage chapter of *The London Plan* recognizes that cultural heritage resources define the City's unique identity and contribute to its continuing prosperity. *The London Plan* states that, "the quality and diversity of these resources are important in distinguishing London from other cities and make London a place that is more attractive for people to visit, live or invest in."

Importantly, "our heritage resources are assets that cannot be easily replicated, and they provide a unique living environment and quality of life." Further, "by conserving them for future generations, and incorporating, adapting, and managing them, London's cultural heritage resources define London's legacy and its future." (552_)

The cultural heritage policies of *The London Plan* are to:

1. Promote, celebrate, and raise awareness and appreciation of London's cultural heritage resources.
2. Conserve London's cultural heritage resources so they can be passed onto our future generations.
3. Ensure that new development and public works are undertaken to enhance and be sensitive to our cultural heritage resources. Generally, the policies of *The London Plan* support the conservation and retention of significant cultural heritage resources." (554_)

Where a property of cultural heritage value or interest is designated under Part IV of the Ontario Heritage Act, no alteration, removal or demolition shall be undertaken that would adversely affect the reasons for designation except in accordance with the Ontario Heritage Act. (Policy 587)

Finally, policy 589 states that: "[a] property owner may apply to alter the cultural heritage attributes of a property designated under the Ontario Heritage Act. The City may, pursuant to the Act, issue a permit to alter the structure. In consultation with the London Advisory Committee on Heritage, the municipality may delegate approvals for such permits to an authority."

2.1.4 Heritage Community Improvement Plan

The Heritage Community Improvement Plan (Heritage CIP) offers two grant programs to address some of the financial aspects of heritage conservation by offering incentive programs that promote building rehabilitation in conjunction with new development or adaptive reuse. The Tax Increment Grant provides the registered owner a refund on the increase in the municipal portion of the property tax ensuing from a reassessment as a result of a development or rehabilitation project related to an intensification or change of use which incorporates a heritage designated property. The second incentive program is a Development Charges Equivalent Grant which is issued when a heritage designated property is conserved and rehabilitated in conjunction with a development project relating to an intensification or change of use.

2.1.5 Designating By-Law – 2096 Wonderland Road North (No. L.S.P.-3477-475)

2096 Wonderland Road North was designated in 2018 (September 18, 2018) under Part IV of the *Ontario Heritage Act* by By-law No. L.S.P.-3477-475. The by-law describes the cultural heritage value or interest of the property and reasons for its designation [Appendix C]. The heritage attributes which support or contribute to the cultural heritage value or interest of the property at 2096 Wonderland Road North include:

- Georgian two-storey farmhouse

- Square shaped plan
- Low pitched hip roof with bookend chimneys
- Buff brick construction
- Field stone foundation
- Brick voussoirs above windows

The addition at the rear of the brick building is not considered to be a heritage attribute.

2.2 Planning Application

The heritage building on the property at 2096 Wonderland Road North is an integral component of a proposal which includes an 18-unit cluster townhouse development, underground parking, and the conversion of the heritage building into 2 dwelling units. A zoning by-law amendment (Z-9010) was approved on May 21, 2019 to permit the use of the subject lands for cluster housing. A site plan approval application (SPA20-022) was submitted May 25, 2020 and is being reviewed concurrently with this heritage alteration permit (HAP) application.

2.2.1 Heritage Alteration Permit Application (HAP21-031-L)

A Heritage Alteration Permit application (HAP21-031-L) was submitted by Kirkness Consulting Inc. on behalf of the property owner and received by the City on April 19, 2021. A Conservation Plan (March 26, 2021) was also a component of the HAP application [Appendix F].

The Heritage Alteration Permit application seeks consent for alterations that are likely to affect the property's heritage attributes – as identified in the heritage designating by-law; these alterations support the retention of the heritage building on the property and its integration with the new townhouse development.

The proposed alterations to the heritage building on the property are summarized here:

- removal of the contemporary addition at the rear, east elevation
- existing buff brick to remain throughout; repoint and repair as required
- both existing brick chimneys to remain; repoint and repair any damaged surfaces; concrete cap to be replaced
- new asphalt shingles on existing sheathing and rafters; repair damaged structure as required
- existing moulding beneath eaves to be removed and re-installed – throughout, after raising of structure
- new metal eavestroughs, fascia board and perforated metal soffit – throughout
- all existing openings (window and doors) to be maintained on front façade, north, south and east elevations
 - existing windows to be replaced with UPVC double glazed, double hung windows c/w 3x3 muntin in each pane
 - existing openings to be maintained
 - new UPVC sliding patio door c/w transom in existing opening (east elevation)
- existing 12" soldier coursing above existing window openings to remain, throughout; repoint and repair any damaged surfaces made after raising of structure
- all existing sills to remain, throughout; metal clad to be removed; provide new where damaged sills are unusable

Further alterations specific to the front façade include:

- new concrete entry porch and steps on front façade, with stone finish to match existing
- existing entry mantle on front facade to be removed prior to raising of the structure and re-installed; repair any damage caused by removal and repaint to match existing colour
- existing window shutters on front façade to be removed prior to raising of structure then re-installed and repainted colour to match existing

- new solid wood entry door on front facade; painted to match existing
- new UPVC double glazed transom and sidelights surrounding entry door (colour to match existing)

Finally, alterations to the foundation are proposed due to grading changes on the property to accommodate underground parking. A new sidewalk along Wonderland Road North and an associated higher street level per City standards (road widening allocation) is being undertaken. As a result, the new grade adjacent to the heritage building will be above the existing fieldstone foundation which will impede necessary drainage requirements and likely further compromise its stability. Primary alterations specific to the foundation include:

- installation of a new concrete foundation (wall and floor slab)
- raising of existing house (30”) onto the new foundation
- removal of interior walls and floors of the heritage building to accommodate raising
- exposed exterior foundation to be finished in a fieldstone surface – throughout

Architectural drawings can be found in the Appendix E.

As this is a complex application with impacts to the heritage attributes of this heritage resource, this application has met the Conditions for Referral to the LACH in the Delegated Authority By-law (By-law No. C.P.-1502-129).

Per Section 33(4) of the *Ontario Heritage Act*, the 90-day review timeline for this Heritage Alteration Permit application will expire on July 18, 2021.

3.0 Financial Impact/Considerations

This application is eligible for financial incentives under the Heritage Community Improvement Program.

4.0 Key Issues and Considerations

The adaptive reuse approach for 2096 Wonderland Road North retains the Georgian character of the heritage building on the property and conserves the exterior heritage attributes identified in the heritage designating by-law (By-law No. L.S.P.-3477-475). The retention of the building in situ, and its interior conversion to a (2) dwelling residence, retains its form, roof profile, exterior buff brick walls and window detailing (brick voussoirs); as well, all existing window and door openings are to be maintained. The contemporary addition at the rear is not considered a heritage attribute; its removal does not negatively impact the cultural heritage value or interest of the property. Further, the heritage alteration permit application also proposes repair of existing heritage attributes (as needed) which supports the conservation of these attributes; this includes the repointing of existing brick and repair of chimney features. Finally, new metal eavestroughs, fascia board and perforated metal soffit are also proposed throughout.

4.1 Windows and Doors

The existing windows and doors are not original and are not identified as a heritage attribute in the designating by-law. The HAP application proposes that the existing windows and doors be replaced with vinyl – UPVC (windows throughout as well as sliding door at rear and entry door surround). Double hung vinyl replacement windows are permitted but should use simulated divided lites and replicate muntin patterning. Further, a vinyl replacement entry door surround is also permit but should use simulated divided lites and replicate surround details and muntin patterning.

4.2 Raising of Heritage Building onto New Foundation

Retention of the existing designated heritage building on the property in situ is proposed by way of raising the structure to remove the existing foundation and construct a new foundation. Significant work is required to raise the existing heritage building onto a new foundation. There are a several interventions that are noted on Drawing SPA08 –

Heritage Dwelling Section and Elevations to facilitate the raising of the building onto a new foundation; these include: 1) maintaining the structural integrity of exterior walls, roof and interior floor system during the removal of the existing foundation and interior load bearing wall, 2) raising of the building, 3) pouring of the new foundation, and 4) positioning the building onto the new foundation.

The Conservation Plan submitted with the heritage alteration permit (HAP) application [Appendix F] includes strategies for the restoration of heritage attributes and actions which should be taken prior to, during, and post- construction. Processes and strategies to achieve this work require description that is extensive and technical. Detailed information is found specifically in Section 7.0 of the Conservation Plan regarding documentation, assessment, stabilization, bracing, and monitoring; **the Conservation Plan should be referenced directly.**

It is expected that subject matter experts be engaged – at the appropriate phase of the project – to complete the following (as stated in the Conservation Plan):

- The building be properly documented and heritage elements recorded and reviewed for a baseline condition [and for reconstruction of parts or whole if failure occurs during raising]. (7.2.1, p21)
- A structural assessment of the building be prepared – in discussion with building movers experienced with heritage building. (7.2.3, p22)
 - existing roof system be confirmed for stability (7.2.3, p22)
- Temporary interventions needed to stabilize the brick prior to relocation, should conform with the *Standards and Guidelines for the Conservation of Historic Places*. (7.2.3, p22)
- The building should be reviewed by a structural engineer and heritage architect prior to raising and once it has been moved onto the new foundation to address heritage elements affected (7.3.2, p23 & 7.3.5, p24).
- A monitoring program be developed, because of the intensive work to stabilize and relocate the building onto a new foundation and potential impacts to the structure and heritage attributes. The monitoring program should include a review of any major changes to the exterior should be documented and addressed, if necessary. (7.3.5, p24)
- An updated baseline report for the building should be completed post-construction and referenced to determine the need for remediation work or repairs. [It is recommended that] periodic monitoring of the building and heritage elements continue beyond the completion of the project to ensure there are no major changes to the structure evidenced through new cracks or brick failure. (7.4.2, p26)

4.2.1 Chimneys

The existing brick chimneys are identified as a heritage attribute in the designating by-law. The HAP application indicates that both brick chimneys are to remain with the concrete caps to be replaced and the repointing and repair any damaged surfaces. With the raising of the house there are likely impacts to the chimneys that have not been addressed in the Conservation Plan. An addendum to the Conservation Plan is required which includes a detailed strategy to conserve these features.

Conclusion

The building on the property at 2096 Wonderland Road North is a significant cultural heritage resource. Alterations that may affect the property's heritage attributes are required to support the retention of the heritage building on the property and its integration with the new townhouse development, and to facilitate its adaptive reuse through its conversion into 2-dwelling units. Consent, with terms and conditions, should be given for this Heritage Alteration Permit.

Prepared by: Laura E. Dent, M.Arch PhD MCIP RPP
Heritage Planner

Submitted by: Britt O'Hagan, MCIP, RPP

**Manager, Community Planning, Urban Design and
Heritage**

**Recommended by: Gregg Barrett, AICP
Director, Planning & Development**

June 3, 2021
LED/

K:\Shared\policy\HERITAGE\Heritage Alteration Permit Reports\Wonderland Road North, 2096\HAP21-031-
L\9_PEC-LACH-Reports_Notifications\2021-06-09_LACH HAP21-031-L_2096 Wonderland Rd N (LD) (004).docx

Appendices

- Appendix A Maps
- Appendix B Images
- Appendix C Heritage Designating By-law (2096 Wonderland Road North)
- Appendix D Heritage Attributes Identified in Heritage Designating By-law
- Appendix E Architectural Drawings
- Appendix F Conservation Plan

Sources

City of London. By-law No. L.S.P.-3477-475. A by-law to designate 2096 Wonderland Road North to be of cultural heritage value or interest. London, ON: Author.

City of London. (2020, December 8). *Register of cultural heritage resources*. London, ON: Author.

Corporation of the City of London. n.d. Property files: 2096 Wonderland Road North.

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<https://www.ontario.ca/laws/statute/90o18>

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Appendix A – Subject Property

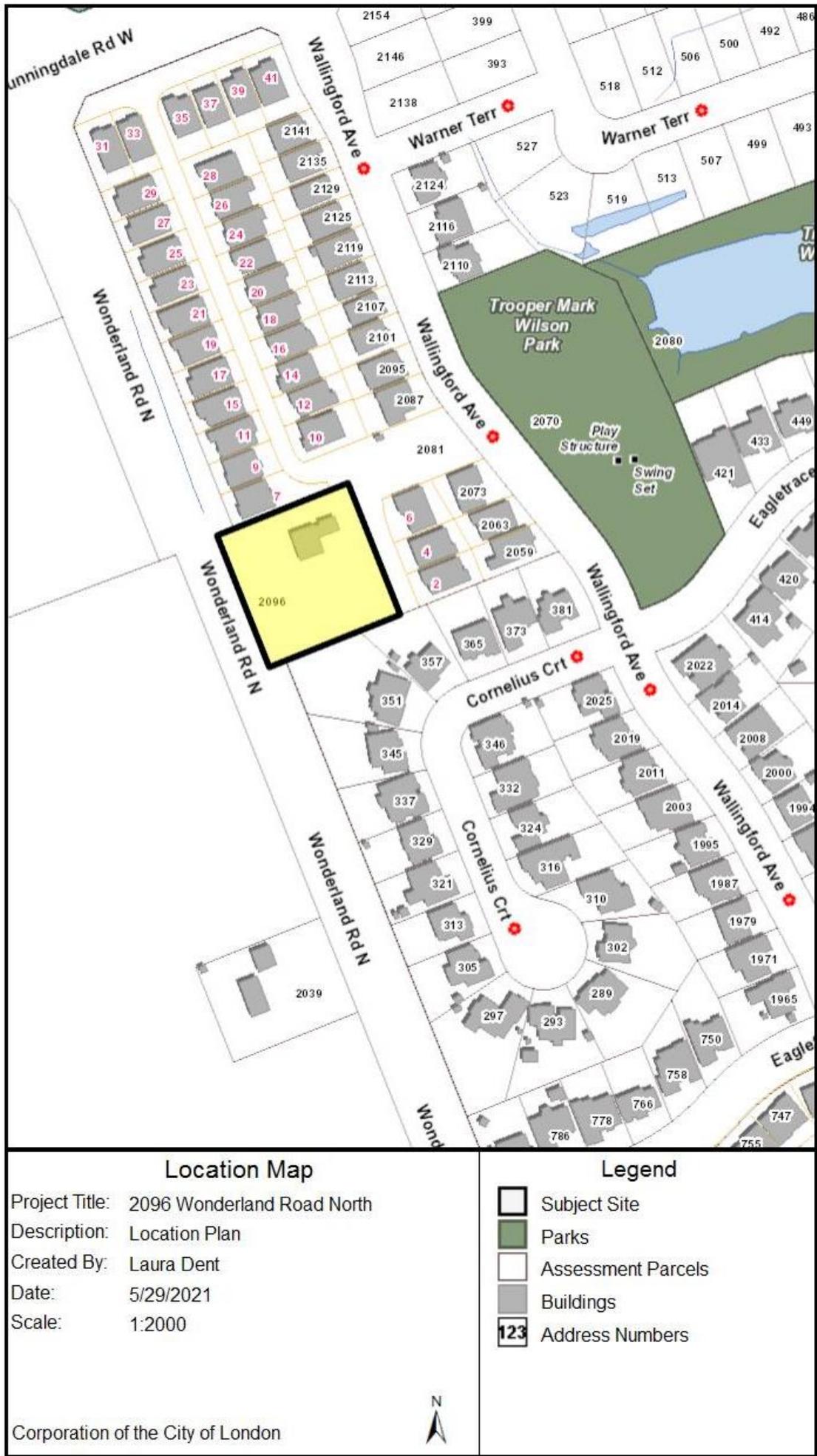


Figure 1: Location Map identifying the property at 2096 Wonderland Road North

Appendix B – Images



Image 1: View of façade framed by landscape (May 29, 2021)



Image 2: Close-up view of façade (May 29, 2021)



Image 3: View of south-side elevation (May 29, 2021)



Image 4: View of rear elevation including contemporary addition (May 29, 2021)



Image 5: View of north-side elevation, contemporary addition at rear (May 29, 2021)



Image 6: Detailed view of fieldstone foundation (May 29, 2021)

Appendix C – Designating By-law for 2096 Wonderland Road North

Bill No. 550
2018

By-law No. L.S.P.-3477-475

A by-law to designate 2096 Wonderland Road North to be of cultural heritage value or interest.

WHEREAS pursuant to the *Ontario Heritage Act, R.S.O. 1990, c. 0.18*, the Council of a municipality may by by-law designate a property including buildings and structures thereon to be of cultural heritage value or interest;

AND WHEREAS notice of intention to so designate the property known as 2096 Wonderland Road North has been duly published and served and no notice of objection to such designation has been received;

NOW THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

1. The real property at 2096 Wonderland Road North is designated as being of cultural heritage value or interest for the reasons set out and more particularly described in Schedule "A" attached hereto.
2. The City Clerk is authorized to cause a copy of this by-law to be registered upon the title to the property described in Schedule "A" hereto in the proper Land Registry Office.
3. The City Clerk is authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Trust and to cause notice of this by-law to be published once in a newspaper of general circulation in The City of London, to the satisfaction of the City Clerk, and to enter the description of the aforesaid property, the name and address of its registered owner, and designation statement explaining the cultural heritage value or interest of the property and a description of the heritage attributes of the property in the Register of all properties designated under the *Ontario Heritage Act*.
4. This by-law comes into force and effect on the day it is passed.

PASSED in Open Council on September 18, 2018.



Matt Brown
Mayor



Catharine Saunders
City Clerk

First Reading – September 18, 2018
Second Reading – September 18, 2018
Third Reading – September 18, 2018

SCHEDULE "A"

To By-law No. L.S.P.-3477-475

Legal Description

Lot 17, RCP 1028, London

Statement for Designation

Description of Property

The property at 2096 Wonderland Road North is located on the east side of Wonderland Road North between Fanshawe Park Road East and Sunningdale Road East. A two-storey brick building is located near the northeast corner of the property.

Statement of Cultural Heritage Value or Interest

The residence at 2096 Wonderland Road North has local significance for design/physical value, historical/associative value, and contextual value.

The residence at 2096 Wonderland Road North has physical or design value as a rare and representative example of a mid-19th century Georgian farmhouse. The residence is a two storey structure with a low-pitched hip roof and bookend chimneys. It has a buff brick exterior with a common bond, brick voussoirs, and a stone foundation. The Georgian style of architecture is reflected in the symmetrical façade and minimal use of ornamenting and detail.

The residence at 2096 Wonderland Road North has historical and associative value because of its link with the Warner family. William Warner was the original patent holder on the property, receiving it in 1819. His son, Wesley Warner, inherited the farmstead and was a noted member of London Township for his involvement in the temperance society.

The residence at 2096 Wonderland Road North has contextual value because it is physically and historically linked to its surroundings. It remains located in its original spot on the property and historically reflects the prominent role agriculture played in London Township.

Heritage Attributes

The heritage attributes which support or contribute to the cultural heritage value or interest of the property at 2096 Wonderland Road North include:

- Georgian two storey farmhouse
- Square shaped plan
- Low pitched hip roof with bookend chimneys
- Buff brick construction
- Field stone foundation
- Brick voussoirs above windows

The addition at the rear of the brick building is not considered to be a heritage attribute.

Appendix D – Heritage Attributes Identified in Designating By-law



1. Georgian two storey farmhouse



2. Square shaped plan



3. Low pitched hip roof



4. Bookend chimneys (one of two)



5. Buff brick construction



6. Fieldstone foundation



7. Brick voussoirs above windows



REV.	DATE	DESCRIPTION
01	18-03-2020	SUBMIT FOR PERMITS
02	18-03-2020	REVISION TO COORDINATE
03	20-11-2020	REVISION TO PERMITS

PROJECT NAME
Wonderland Townhouses
2100 Wonderland Road N,
London Ontario

DRAWING TITLE
Townhouse 3 & 4 Elevations

DRAWING INFO
Project Number: 18-027
Date: November 02, 2020
Scale: As Indicated
Drawn by: MHI
Checked by: MHI

SHEET NO.
SPA06

2 Townhouse 3 & 4 & Heritage Dwelling East Elevation
SPA01 1:100

1 West Elevation - Wonderland Road
SPA01 1:100

Exterior Finish Legend

Symbol	Panel Type	Colour
①	BRICK FACED BRICKWORK	COLOUR: MEDIUM BUFF
②	PANELS	COLOUR: LIGHT TAN
③	PANELS	COLOUR: PINK GRAY
④	PRE-FINISHED GLASS RAILING	COLOUR: BLACK
⑤	PRE-FINISHED WINDOW DOOR	COLOUR: BLACK
⑥	METAL FLASHING	COLOUR: BLACK
⑦	PARKING	COLOUR: LIGHT GRAY

Level callouts include: Lo Parking (18.0), Lo New FDN (27.10), Lo Ex Lvl 01 (27.10), Lo Ex Lvl 02 (27.70), Lo Ex Lvl 03 (28.45), Lo Walkway (28.14), Lo Parking Slab (28.24), Lo Wall (28.22), Lo Parapet (28.22).

Architectural Drawing Set – SPA06, Townhouse 3&4 Elevations (Jan 20, 2021)



ISSUE	NO.	DATE	DESCRIPTION
	01	15/02/2020	ISSUED FOR PERMITS
	02	16/01/2020	REVISED FOR PERMITS
	03	16/01/2020	REVISED FOR PERMITS

NO.	DATE	DESCRIPTION
04	15/02/2020	ISSUED FOR PERMITS

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PROJECT NAME

Wonderland Town Houses
2100 Wonderland Road N,
London Ontario

DRAWING TITLE

Heritage Dwelling Section &
Elevations

DRAWING INFO

Project Number: 15-027
 Number: 02-2020
 Scale: As Indicated
 Drawn by: NP
 Checked by: MM
SHEET 110

SPA08

Heritage Dwelling - North Elevation

Heritage Dwelling - South Elevation

Heritage Dwelling - West elevation

Heritage Dwelling - East Elevation

4 Heritage Dwelling Section
SPA00 1:50

Architectural Drawing Set – SPA08, Heritage Dwelling Sections & Elevations (Jan 20, 2021)

CONSERVATION PLAN

2096 Wonderland Road North Warner Family Farmhouse *Part Lot 20, Concession 5, Former Township of London* London, Ontario

Date:

26 March 2021

Prepared for:

Invest Group Ltd.

4308 Village Centre Court
Mississauga ON, L4Z 1S2

Prepared by:

a+LiNK Architecture Inc.

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London, ON N6C 4M8
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a+LiNK Project: 2107

a+LiNK
architecture inc.
preserve + create + sustain

26 March 2021

Project No. 2107

Mr. Sinan Saltaji
Invest Group Ltd.

4308 Village Centre Court
Mississauga ON, L4Z 1S2

Re: Conservation Plan
2096 Wonderland Road North
London, Ontario

Dear Mr. Saltaji,

Attached is the Conservation Plan for the property located at 2096/2100 Wonderland Road North in regards to the residential development proposal incorporating the Part IV Designated Heritage building as provided by your company, Invest Group Ltd.

We look forward to the opportunity to present this report to the City as you may require. Please do not hesitate to contact us with any questions or comments regarding this report.

Sincerely,



Ed van der Maarel
Partner, Principal Architect + Heritage Consultant
dipl. Arch., OAA, dipl. Arch.Tech., CAHP, OAHP

with
Tara McLaughlin, OAA, Architect + Heritage Consultant

TABLE OF CONTENTS

CONSERVATION PLAN - ROUTLEDGE FARMHOUSE

EXECUTIVE SUMMARY

CONSULTANTS

1. INTRODUCTION	1
1.1 PURPOSE OF REPORT	1
1.2 METHODOLOGY	1
2. CONSERVATION PRINCIPLES	2
2.1. THE STANDARDS AND GUIDELINES FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA	2
2.2. EIGHT GUIDING PRINCIPLES IN THE CONSERVATION OF HISTORIC PROPERTIES	5
<i>Understanding</i>	
3. DESCRIPTION OF PROPERTY	6
3.1. DESCRIPTION OF RESOURCE	6
3.2 SIGNIFICANCE	8
3.3. PLANNING POLICY FRAMEWORK	10
4. ASSESSMENT OF PROPERTY.....	13
4.1 CONDITION OF RESOURCE + RECOMMENDATIONS	
4.1.2 Building Condition Assessment - Review	13
<i>Planning</i>	
5. PROPOSED USE OF PROPERTY	14
5.1 MITIGATION + RECOMMENDATIONS	
5.1.1 Heritage Impact Statement	14
6. DETERMINING THE PRIMARY TREATMENT: PRESERVATION	17
6.1 IDENTIFY PROJECT REQUIREMENTS	17
6.1.2 Primary Conservation Treatment	17
6.2 GOALS OF CONSERVATION	19
6.2.1 Ensure the Integrity of the Building Envelope and Structure	19
6.2.2 Preserve and Restore Exterior Heritage Elements where possible.	19
6.2.3 Enhance the Sustainability, Usability, and Heritage Value	20
<i>Intervention</i>	
7. CONSERVATION MEASURES - COMPREHENSIVE REHABILITATION PLAN	21
7.1 INTRODUCTION	21
7.2 SHORT TERM CONSERVATION MEASURES	21
7.2.1 Documentation	21
7.2.2 Demolition and Salvage	21
7.2.3 Stabilization	22

TABLE OF CONTENTS

7.3	MEDIUM TERM CONSERVATION MEASURES	22
7.3.1	Preparation for Relocation	22
7.3.2	Foundation Alterations	23
7.3.3	Relocation and Stabilizing	23
7.3.4	Mothballing	23
7.3.5	Monitoring	24
7.4	LONG TERM CONSERVATION MEASURES	25
7.4.1	Preservation and Restoration Work	25
7.4.2	Monitoring	26
8.	RESOURCES.....	27
9.	SUPPLEMENTARY INFORMATION.....	28
	A. PART IV DESIGNATING BY-LAW 2096 WONDERLAND ROAD N. BY-LAW L.S.P. 3477-475, SEPTEMBER 18, 2018	
	B. 2096 WONDERLAND ROAD NORTH - STRUCTURAL ASSESSMENT LETTER STRIK BALDINELLI MONIZ LTD, MARCH 29, 2018	
	C. HERITAGE IMPACT STATEMENT - 2096 WONDERLAND ROAD NORTH STANTEC CONSULTING LTD, APRIL 10, 2018	
	D. PROPOSED DRAWINGS - SITE PLAN + RENDERING CONCEPT ZEDD ARCHITECTURE, NOV 2020	
	E. TREE ASSESSMENT REPORT + LANDSCAPE PLAN RON KOUDYS LANDSCAPE ARCHITECTS, OCTOBER 2020	

EXECUTIVE SUMMARY

This Conservation Plan is intended as a tool to evaluate and review the three stages of conservation as it applies to the property located at 2096 Wonderland Road North (now 2100 Wonderland Road North) as part of a proposed future residential condo development for the site. As the first stage, *Understanding*, this plan identifies the site, context and the heritage value of the 2096 Wonderland Road North, and provides an assessment of its condition, including those elements considered of value, as outlined in the Structural Assessment by SBM Ltd. During the *Planning* stages of conservation, the document clarifies the primary treatment approach for conservation, based on the proposed future continued use as outlined in the Heritage Impact Statement, completed by Stantec Consulting Ltd. Finally, the Conservation Plan (CP) determines preferred methods for *Intervention*, and provides goals and conservation measures with reference to best practices as outlined in *the Standards and Guidelines*, the *MTCs Eight Guiding Principles*, and as provided by the expertise of heritage architects +LiNK Architecture Inc, and the consultant team.

The two-story, yellow-brick heritage farmhouse building will be rehabilitated by relocation (lifting) process and re-use as a residence, integrated into the proposed development. Renovation on the interior will be minimal to accommodate spaces as per the original residence. The proposal retains the structure as a unique presence within the neighbourhood along Wonderland Road and respects the cultural heritage value of the property and its deep connection to the development of the north of London.

Review of the Heritage Impact Assessment as part of this Conservation Plan helped to identify and provide guidance on the primary treatment for the Warner Family Farmhouse; **preservation**. Key goals for conservation were developed considering this approach, including: stabilizing the structure and building envelope system, preserving and restoration exterior heritage elements.

Suggestions for conservation measures made in Section 7 the Conservation Plan offer recommendations for the approach to interventions, the sequencing of this work considering short, medium and long-term implementation periods, and possible costs associated with the preferred approach and methods. Ultimately, the Warner Family Farm House will benefit from a conservation approach to rehabilitation that aligns with the goals and conservation measures as outlined in this report. One that considers the existing conditions, the proposed re-use as a residence, and the longterm viability of the property as part of the future development would be valuable to ensure the sustainability of the heritage fabric, and the success of its future integration and use within the proposed development for *North London*.

In closing, the preservation of this house, lifting, and integration into a larger plan is common place in City planning and Provincial Policy today. Based on our heritage experience, the preservation and integration of this existing residence is a relatively simple project and will be a welcome asset in London for years to come.

Respectfully submitted.



CONSULTANTS

Consultants

Heritage Consultant: a+LiNK Architecture Inc.

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1 INTRODUCTION

1.1 Purpose of the Report

Invest Grout Ltd. retained a+LiNK Architecture Inc. to prepare a Conservation Plan for the property located at 2096 Wonderland Road North, as part of the application requirements for a Heritage Alteration Permit by the City of London.

The proposal is currently in the Site Plan Application phase, and includes the proposed development. The proposed development and heritage alterations will involve both the heritage preservation and rehabilitation work: stabilizing and raising/setting of residence, restoration of heritage elements, and completing any new work required to make the home liveable as a single family home within the larger adjacent proposed condo development. The proposed condo development construction can occur in parallel to the work on the heritage residence, but the residence must be stabilized and reset on new foundations before any excavation work can be completed on the adjacent parking lot. A site plan of the proposed development and the phases of work is provided in Appendix D.

The proposed Conservation Plan provides conservation guidance for the heritage farmhouse at 2096 Wonderland Road N. by first identifying the appropriate primary treatment for conservation, highlighting goals for conservation based on previously completed reports such as the Structural Assessments and Heritage Impact Statement, and recommending appropriate conservation measures for the heritage farmhouse to achieve these goals. The interventions are recommended over the short, medium and long term as part of the proposed phasing of the project.

1.2 Methodology

The content and organization of this CP is guided by the Ministry of Tourism, Culture and Sport's (MTCS) InfoSheet #5 Heritage Impact Assessments and Conservation Plans (MTCS, 2006), and The Standards and Guidelines for the Conservation of Historic Places in Canada (Standards and Guidelines, 2010), developed by Parks Canada, referred to as *the Standards and Guidelines* in this report. This report structures the Conservation Decision-Making Process into three stages, outlines The Standards (to help guide primary treatment), and provides The Guidelines (advice and direction on heritage elements requiring intervention). The Guidelines are further divided into various areas of focus, including Historic Places, Cultural Heritage Landscapes and Heritage Districts, Archaeological Sites, Buildings, Engineering Works and Materials.

The methods for conservation are based on the *Standards and Guidelines*, along with the MTCS Eight Guiding Principles in the Conservation of Built Heritage Properties (MTCS, 2007), outlined by The Ministry of Tourism, Culture and Sport and referred to as *the Eight Guiding Principles* in this report. These are included in the report under Section 2: Conservation Principles.

A site visit was conducted by Ed Van der Maarel of a+LiNK Architecture Inc., to review the proposed development in regards to considering relocation/lifting of the existing residence. Continental Building Movers Ltd. were also consulted by the project team to review relocation strategies as part of this process.

2. CONSERVATION PRINCIPLES

2.1 THE STANDARDS AND GUIDELINES FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA

Conservation Plan

The *Standard and Guidelines* have been developed as a general guideline for properties that are listed as part of the Canadian Register of Historic Places as National historic sites. These guidelines, often established as conservation strategies, provide framework that can be adopted and applied to many other historic sites and properties that are not listed as part of the register, but designated within municipalities throughout Canada.

As outlined in the *Standards and Guidelines*, there are three stages involved in the Conservation Decision-Making Process as it relates to historic places: understanding, planning and intervening. The Conservation Plan for 2096 Wonderland Road N. is framed using these three stages as a tool for conservation review, evaluation and implementation.

1. *Understanding*: Referring to a statement of significance and character-defining elements that are considered of heritage value, and assessing the major alterations and changes that have occurred to the property or site. This is critical and can often take time, as this builds the foundation on which the planning and intervening stages can depend, establishing a baseline for the site.

The first part of the report examines the Understanding stage with regards to the site, its context and condition.

2. *Planning*: involves either maintaining the current use or selecting an appropriate future use for the site that is sustainable, and identifying the key project requirements necessary to meet that use. Once the use has been identified, the appropriate conservation approach as a primary treatment can be determined by using and following the applicable Standards and Guidelines.

The second part of the Conservation Plan is structured such that the primary treatment options are considered and the appropriate approach determined, based on the understanding of heritage value and conditions, paired with the proposed development plans for the site. This is the Planning stage.

3. *Intervening*: undertake project work to actively intervene and address areas required to meet the use, based on the outcomes of the previous two steps. Once the work has been completed, carry out regular maintenance work-maintenance plans can help with this.

The third part of the plan provides recommendations for Intervention, by prescribing methods and actions to address conservation needs, using the primary approach (and secondary techniques) determined in stage two.

2. CONSERVATION PRINCIPLES

Conservation Treatments

Conservation is intended to protect the character-defining elements (or heritage attributes), that give a place heritage value and, where possible, ensure longevity of those elements. Conservation ensures the “safeguarding” of heritage value by selecting an appropriate process by which to intervene onto the site. The *Standards and Guidelines* outline three primary treatment options to achieve conservation goals for a heritage site:

Preservation

The action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.

Rehabilitation

The action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, while protecting its heritage value.

Restoration

The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Conservation Standards

The *Standards and Guidelines* provide general standards for preservation, rehabilitation and restoration projects, as described below, and referred to by Parks Canada as *the Standards*:

1. Conserve the heritage value of an historic place. Do not remove, replace, or substantially alter its intact or repairable heritage attributes. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an historic place that, over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining elements of the same property that never coexisted.
5. Find a use for an historic place that requires minimal or no change to its character-defining elements.
6. Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken.
7. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

2. CONSERVATION PRINCIPLES

8. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
9. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
10. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference. (Parks Canada 2010)

Additional Standards Relating to Rehabilitation

11. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
12. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
13. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing components from the restoration period with new components whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

(Parks Canada 2010)

2. CONSERVATION PRINCIPLES

4.2 EIGHT GUIDING PRINCIPLES IN THE CONSERVATION OF HISTORIC PROPERTIES

The *Eight Guiding Principles* were established by the Ministry of Tourism, Sport and Culture to provide a basis for best practice decisions regarding heritage conservation and are based on international charters. These are similar to the *Standards and Guidelines* and include the following:

1. Respect for Documentary Evidence: Do not base restoration on conjecture. Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.
2. Respect for the original location: Do not move buildings unless there is no other means to save them. Site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.
3. Respect for historic material: Repair/conservate - rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the heritage content of the built resource.
4. Respect for original fabric: Repair with like materials. Repair to return the resource to its prior condition, without altering its integrity.
5. Respect for the Building's history: Do not restore to one period at the expense of another period. Do not destroy later additions to a building or structure solely to restore to a single time period.
6. Reversibility: Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. e.g. When a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.
7. Legibility: New work should be distinguishable from old. Buildings or structures should be recognized as products of their own time, and new additions should not blur the distinction between old and new.
8. Maintenance: With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

(MTCS, 2007)

3. DESCRIPTION OF PROPERTY

3.1. DESCRIPTION OF RESOURCE

Constructed circa 1850, the Georgian farmhouse is located at 2096 Wonderland Road North (now 2100 Wonderland Road North) on the east side of Wonderland between Fanshawe Park Road and Sunningdale Road, Part Lot 20, Concession 5, Former Township of London. The two-storey brick structure is located to the northeast corner of the property, and is designated under Part IV of the Ontario Heritage Act as a property of cultural heritage value. The following property description in *Italics* is taken from the Heritage Impact Statement, page 3.3, prepared by Stantec Consulting Ltd. for 2096 Wonderland Road N. in April, 2018.

The residence at 2096 Wonderland Road North is a two-storey Georgian style farmhouse with a buff brick exterior and stone foundation. The house has a square shape plan, with an addition connecting to a modern garage on the east elevation. The addition likely dates to the 1970s or 1980s. According to the City of London Heritage Register, the original portion of the residence dates to about 1850. The original portion of the residence has a hip roof clad in asphalt shingles and bookend chimneys. The chimney on the south elevation is brick and the chimney on the northern elevation is clad in concrete, the original brick partially visible. The addition is a shed roof garage with loft that is connected to the residence by a buff brick flat roof addition to the original residence.



Image 1: Front façade (West elevation). Photo: a+LiNK architecture inc.



Image 2: North elevation. Photo: a+LiNK architecture inc.



Image 3: East elevation. Photo: a+LiNK architecture inc.

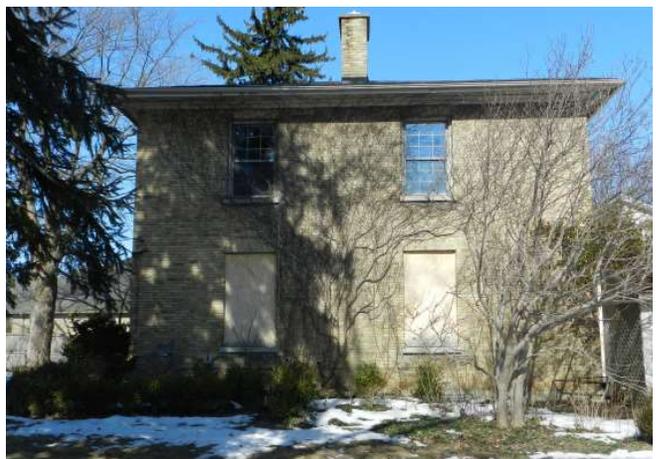


Image 4: South elevation. Photo: a+LiNK architecture inc.

3. DESCRIPTION OF PROPERTY

The front façade (western elevation) is symmetrical with a concrete partial entrance porch. Above the first storey are three modern windows with modern shutters. Each window has a brick voussoir. The first storey of the front façade has two modern windows with modern shutters that also have brick voussoirs. The main entrance has wooden lintels and a transom above the doorway. The door itself is modern. The north elevation (side) on the second storey has two modern windows with brick voussoirs. The first storey also has two modern windows with brick voussoirs. The stone foundation of the residence is visible and this elevation has three modern basement windows with brick voussoirs just above the foundation where the buff brick exterior meets the stone foundation



Image 5 + 6: Exist. Building in Context of City and Proposed Development Area- 2096 Wonderland Road N.; Basemap, Google Images, 2021.

3. DESCRIPTION OF PROPERTY

The east elevation (rear) of the second storey has two modern windows with brick voussoirs and a modern door that leads to the flat roof portion of the addition to the residence. The door has a brick voussoir above it. The first storey has one modern window with a brick voussoir and a slide doorway leading to a deck and detached sauna. The east elevation has a flat roof and buff brick addition that connects the original residence with the garage and loft. The flat roof addition has modern double doors and a transom. The garage has a shed roof with a loft and is clad in vertical wooden siding. The garage type is double. The south elevation (side) has two modern windows on the second storey with brick voussoirs. The first storey has two modern windows with brick voussoirs. The foundation on this elevation is not as visible compared to the north elevation. Two basement windows are located below the first storey windows and these windows have brick voussoirs where the foundation meets the buff brick exterior.

Current Management and Ownership

The property is currently owned by Invest Group Ltd. The two-storey structure is currently boarded up (mothballed) and vacant at the time of this report.

3.2 SIGNIFICANCE

The property at 2096 Wonderland Road North, inclusive of the Georgian farmhouse, was designated as being of cultural heritage value or interest, as per By-law No. L.S.P.-3477-475, on September 18, 2018. The By-Law is included with this report as Appendix A. As per the Statement of Cultural Heritage Value or Interest, “2096 Wonderland Road North is of cultural heritage value or interest because of its physical or design value, its historical or associative values, and its contextual values.”

The residence at 2096 Wonderland Road N. has physical or design value as a rare and representative example of a mid-19th century Georgian farmhouse. The residence is a two storey structure with a low-pitched hip roof and bookend chimneys. It has a buff brick exterior with a common bond, brick voussoirs, and a stone foundation. The Georgian style of architecture is reflected in the symmetrical façade and minimal use of ornamentation and detailing.

The residence at 2096 Wonderland Road North has historical and associative value because of its link with the Warner family. William Warner was the original patent holder on the property, receiving it in 1819. His son, Wesley Warner, inherited the farmstead and was a noted member of London Township for his involvement in the temperance society.

The residence at 2096 Wonderland Road has contextual value because it is physically and historically linked to its surroundings. It remains located in its original spot on the property and historically reflects the prominent role agriculture played in London Township.

3. DESCRIPTION OF PROPERTY

3.3 PLANNING POLICY FRAMEWORK

The Provincial and Municipal authorities have set in place a number of policies and terms of reference for the purpose of protecting, preserving, and integrating cultural heritage resources within Ontario cities. The following Policies and Terms of Reference have been used in the preparation of this Conservation Plan:

A. The Planning Act and Provincial Policy Statement (PPS) 2020

The Provincial Policy Statement (PPS) is the statement of the government's policies on land use planning. It applies province-wide and provides clear policy direction on land use planning to promote strong communities, a strong economy, and a clean and healthy environment.

The PPS is issued under Section 3 of the Planning Act and is utilized by municipalities to develop their official plans and to provide guidance and information in regards to planning matters. Specifically, and in regards to cultural heritage, the Planning Act has provisions respecting the province's cultural heritage. The PPS provides general guidance for municipalities for planning and development of communities in a number of ways by; encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes.

Section 2.6 of the Act, specifically 2.6.1, 2.6.3, 2.6.4 and 2.6.5 provides municipalities with rules as to the cultural resources within the community.

- 2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.
- 2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.
- 2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.
- 2.6.5 Planning authorities shall consider the interests of Aboriginal communities in conserving cultural heritage and archaeological resources.

The PPS 2020 further provides definition to municipalities in regards to the terms used to describe cultural heritage.

Built heritage resource: means a building, structure, monument, installation or any manufactured remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Aboriginal community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the Ontario Heritage Act, or included on local, provincial and/or federal registers.

Conserved: means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the Ontario Heritage Act. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

3. DESCRIPTION OF PROPERTY

Cultural heritage landscape: means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Aboriginal community. The area may involve features such as structures, spaces, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Examples may include, but are not limited to, heritage conservation districts designated under the Ontario Heritage Act; villages, parks, gardens, battlefields, main streets and neighbourhoods, cemeteries, trailways, viewsheds, natural areas and industrial complexes of heritage significance; and areas recognized by federal or international designation authorities (e.g. a National Historic Site or District designation, or a UNESCO World Heritage Site).

Heritage attributes: means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant views or vistas to or from a protected heritage property).

Protected heritage property: means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

Since the property is designated under Part IV of the Ontario Heritage Act as per City of London By-law No. L.S.P-3477-745 an Heritage Impact Statement was completed utilizing the PPS as a guide. The PPS also provides background information for the Conservation Plan approach.

B. The Ontario Heritage Act

The Ontario Heritage Act, R.S.O, 1990, c.0.18 is the legislation for the conservation of significant cultural heritage resources in Ontario. The criteria within the Ontario Regulation 9/06 of the Ontario Heritage Act provided the tools to determining the cultural heritage value of a property. This regulation provides the criteria which the property must meet in order to become designated.

C. The London Plan

The London Plan, Minister Approved, December 28, 2016, 'constitutes the Official Plan for the City of London, prepared and enacted under the authority of the provisions of Part III of the Planning Act, R.S.O. 1990, c. P.13. It contains goals, objectives, and policies established primarily to manage and direct physical change and the effects on the social, economic, and natural environment of the city.'

The London Plan provides for provincial interest and is designed to include the requirements of the Provincial Policy Statement (PPS) 2014. Section 24 of the Planning Act, R.S.O. 1990, c. P. 13, identifies that "no public work shall be undertaken and no by-law shall be passed for any purpose that does not conform with this Plan. This includes for approvals of planning and development applications such as official plan amendments, Zoning by-law Amendments, plans of condominium, site plans, consents to sever, and minor variances.

While 'The London Plan' is organized in nine (9) parts, Part 4 specifically outlines 'Cultural Heritage' in its City

3. DESCRIPTION OF PROPERTY

Building Policies. However other Parts, ie. Part 7 Secondary Plans contribute to the Planning Process and the preservation and integration of the City's cultural heritage.

The specific direction provided in The London Plan is to: "Protect our built and cultural heritage, to promote our unique identity and develop links to arts and eco-tourism in the London region" and "Protect what we cherish by recognizing and enhancing our cultural identity, cultural heritage resources, neighbourhood character, and environmental features."

The London Plan and its Policies apply to the proposed development site and therefore the preservation of the City's cultural heritage must align with these policies. The London Plan is currently partially under review by Local Planning Appeal Tribunal (LPAT) for appeals as of October 2020.

D. City of London CP Terms of Reference - Other

The site is not within a Heritage Conservation District (HCD) and therefore presently there are no guidelines required for review and adherence. Specifically, 2096 Wonderland Road is Designated under Part IV of the Heritage Act and therefore the architectural and historical 'Reasons for Designation' are important in identifying the specific approaches to conservation for the property.

The City of London does not have specific Terms of Reference for the preparation of Conservation Plans. Generally, municipal Terms of Reference are based on Provincial Policy Statements' Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the PPS. The methods for conservation approach in this report are based on the *Standards and Guidelines*, along with the MTCS Eight Guiding Principles in the Conservation of Built Heritage Properties (MTCS, 2007), outlined by The Ministry of Tourism, Culture and Sport and referred to as *the Eight Guiding Principles* in this report. These are included in the report under Section 2: Conservation Principles.

E. Municipal Regulatory Context for Designated Heritage Property Alterations and Easements

The property at 2096 Wonderland Road North is designated under By-Law 3477-475, July 26, 2016, of the OHA. The property is designated because of cultural heritage value or interest. Therefore, any proposed work on the property or the building requires a Heritage Alteration Permit (HAP) Application be submitted, and a Heritage Alteration Permit as part of any construction completed on the building and property. Any alteration work completed on the property must align with the requirements of the heritage easement and designation, as outlined in the Heritage Designation By-Law unless otherwise agreed upon through the alteration permit process. A Conservation Plan is required to fulfill the HAP Application with the City of London.

F. Zoning

The current zoning of the property is R5-6(11). As per the By-law, the current property is zoned for residential use medium density residential development in the form of cluster townhouses as of March 2019. A Heritage Impact Statement has already been completed for the property by Stantec Consulting Ltd April 2018, and submitted as part of the Zoning Bylaw Amendment Application.

Currently, the proposed development is in the Site Plan Application Review Process stage for the proposed development planned at 2096 Wonderland Road N. (now 2100 Wonderland Road N.). This includes the submission of the HAP.

4. ASSESSMENT OF PROPERTY

4.1 CONDITION OF RESOURCE

As part of the first step to good conservation practice, an assessment of the condition should be completed to ascertain the condition of the building with particular attention paid to the character-defining elements (heritage attributes in this case). A Structural Assessment letter was completed by Stirk Baldinelli Moniz (SBM) Civil and Structural Engineers in March 2018 in order to assess the condition of the property. Refer to Appendix B for the complete review letter by SBM.

4.2.1 Building Condition Assessment

The following review of the existing two storey dwelling is taken from the Structural Assessment by SBM dated March 29, 2018.

The existing building was found to be a two storey home built around 1860 with a one storey addition & garage at the rear of the original house. The main floor and second floor of the home were mostly finished at the time of inspection. Partial access to the existing attic space was provided at the time of inspection. The existing roof framing was timber trusses with stick framed rough lumber rafters. The existing floor construction was 2"x12" rough lumber floor joists at 16" o/c spanning front to back with an approximate span of 17'-0". The existing main floor wall construction was found to be triple wythe masonry construction with an approximate wall height of 10'-0". The existing second floor wall construction was found to be triple wythe masonry construction with an approximate wall height of 9'-0". The existing crawl space had an approximate ceiling height of 6'-2". The existing foundation wall was rubble/fieldstone with mortar. We were unable to inspect the existing foundation wall thoroughly as the crawl space had approx. 16" of water on the floor at the time of inspection.



Image 8: Existing basement joists on rubble/fieldstone foundation. Photo Source: HIS, Stantec Consulting Ltd, April 2018.

Two masonry fireplaces were on the main floor with chimneys extending up through the roof structure. The fireplaces continued down to a double wythe masonry foundation in the basement. We completed a walkthrough of the exterior of the building. Some brick cracking was noted with some areas having previous re-pointing. All sides of the existing building had large window openings on both the main floor & second floor.

Based on the weight of the existing building, the lateral strength of the existing wall framing, and the wall, roof & floor construction of the existing building, moving the building to a different location either on the site or off the site would be extremely difficult and costly, if even possible. The existing masonry fireplaces would likely be damaged during moving due to the height & construction of the fireplaces. Due to the construction of the existing building, the building is likely to be extensively damaged during moving.

The structural review of the property at 2096 Wonderland Road N. indicates that a move would likely cause extensive damage. It is likely that the rubble/fieldstone with mortar would likely need to be significantly upgraded to ensure its longevity if the building were to remain in-situ and withstand disturbances from nearby construction of the proposed development and underground parking. Confirmation of the extent of work needed on the foundations from a Structural Engineer is required. Further conservation measures to implement this work are outlined in the Conservation Measures, Section 7 of this report.

5. PROPOSED USE OF PROPERTY

5.1 MITIGATIONS + RECOMMENDATIONS

Heritage Impact Statement (HIS)

A Heritage Impact Statement was completed for the 2096 Wonderland Road N. in April 2018 by Stantec Consulting Ltd. The purpose of the HIS was to analyze the impact of the new development proposal on the existing residence at 2096 Wonderland Road N. At the time, the residence was a listed heritage property. The HIS determined that the property had significant cultural heritage value or interest, and was henceforth designated under Part IV of the Heritage Act, By-Law No. L.S.P.-3477-475, September 18, 2018. The following excerpt has been provided from the HIS Executive Summary. For the complete report, refer to the Heritage Impact Statement by Stantec Consulting Ltd., April 10, 2018, included as Appendix C with this Conservation Plan.

Executive Summary

Invest Group Ltd. retained Stantec Consulting Ltd (Stantec) to conduct a Heritage Impact Statement (HIS) for the property at 2096 Wonderland Road North, in the City of London, Ontario. The property is included on the City of London's list of heritage properties as a Priority 2 building, though it is not designated under Part IV of the Ontario Heritage Act. Invest Group Ltd. is considering a draft plan to rezone the property for townhouses.

The study area at 2096 Wonderland Road North contains a two storey Georgian residence that dates to approximately 1850, with a later addition. Landscape features including plantings and mature trees. The property is historically associated with the Warner family, who owned the property from 1819 to about 1891.

Determination of cultural heritage value or interest (CHVI) was undertaken according to criteria outlined in Ontario Regulation 9/06 made under the Ontario Heritage Act. The property at 2096 Wonderland Road North was determined to have CHVI based on the design of the residence, its association with the Warner family, and for its connection to the early settlement and development of the former London Township.

The two storey residence is an example of the Georgian style. The residence is a symmetrical structure, with a low-pitched hip roof, bookend chimneys, buff brick exterior, brick voussoirs, and stone foundation.

The proposed changes in land-use to townhouse development in the study area will have an effect on the heritage value of this property since the house will be directly impacted and the historical connection to the land will be permanently altered.

Based on the impacts identified to this cultural heritage resource, two mitigation options have been identified. These options are ranked in order of preference. The recommended mitigation options include:

1) Relocation of the house is the preferred mitigation option for this property, if feasible. Relocation within the property is preferred in order to maintain some aspect of the contextual and historical associations the house has with its setting. If relocation within the site is demonstrated not to be feasible, relocation to an adjacent site is also a valid mitigation option, if an adjacent site is available. If relocation to an adjacent site is not possible, advertising the house for sale at a discounted price with the condition that the buyer relocate the house is also a valid relocation strategy. A structural engineer has indicated that relocation may be difficult and could potentially cause damage to the house and brick fireplaces.

5. PROPOSED USE OF PROPERTY

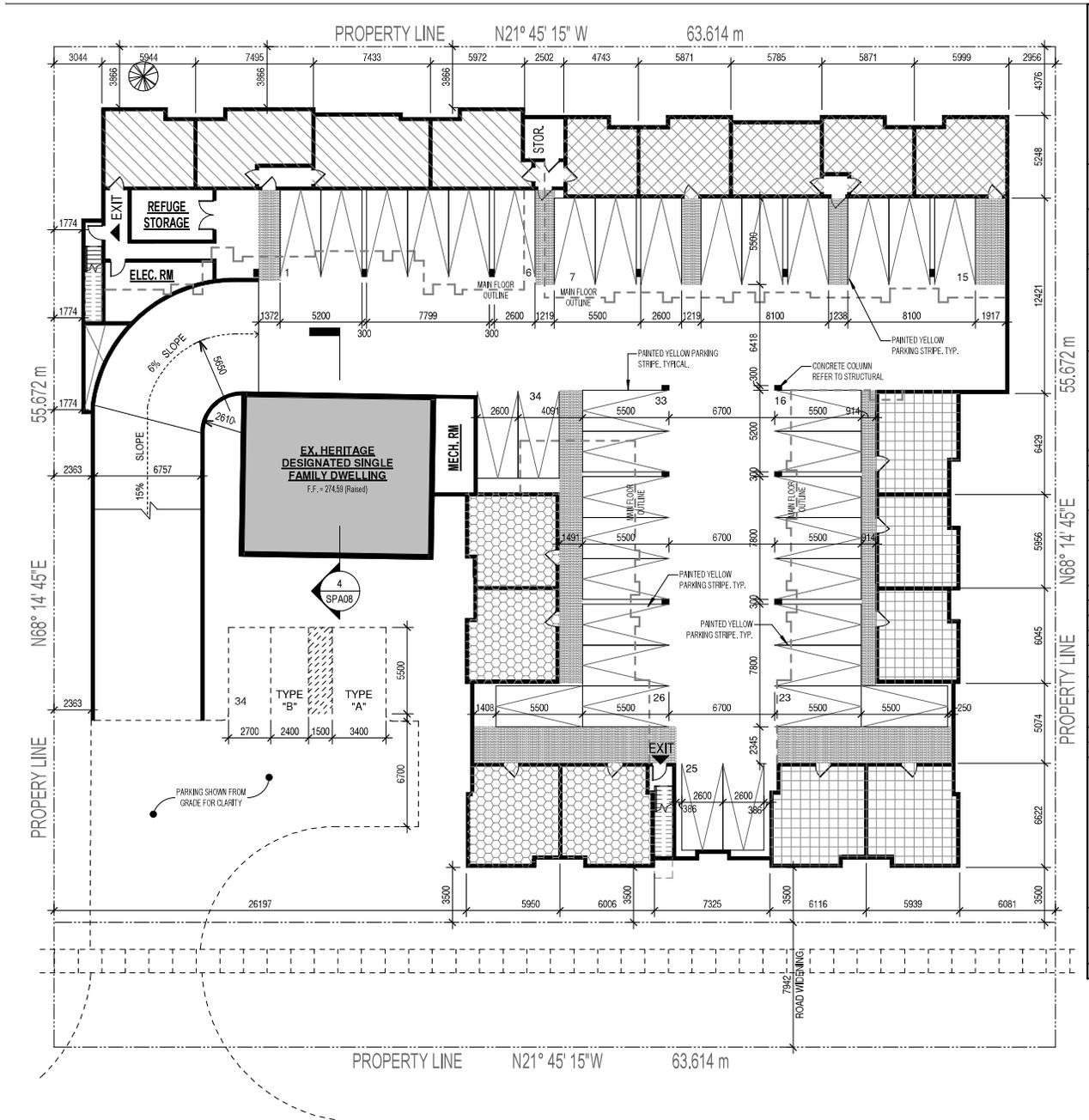
2) If relocation of the house is not feasible, if no prospective buyer can be found to relocate the house, or if the structure is deemed not structurally sound enough to survive relocation, then documentation and salvage (as applicable) of the property is the next preferred mitigation option. Documentation and salvage should be carried out prior to relocation or demolition. Documentation activities should consist of the full heritage recording of the house and landscape through photography, photogrammetry, or LiDAR scan. Salvage activities should consist of the identification and recovery re-useable materials by a reputable salvage company or charity. The documentation and salvage work should be carried out under the direction of a Cultural Heritage Specialist in good professional standing with the Canadian Association of Heritage Professionals (CAHP).

Since the submission of this HIS by Stantec in April 2018, the owner of the property, Invest Group Ltd. has investigated various options for the residence, as it was formally designated under Part IV of the OHA in September 2018. The option to relocate the designated building as well as the option to dismantle and reconstruct it in-situ as possible mitigation to protect the cultural heritage value of the property were reviewed. The owner also looked at retention in situ with reconstruction of the foundations. Ultimately, the owner has decided to pursue this third option; retention of the residence in-situ and incorporate it into the proposed residential development as a stand-alone residence (retaining its original use). Due to the structural concerns regarding the foundation, the structure will need to be raised up, the existing foundation demolished, and a new foundation constructed in place of the previous rubble/fieldstone foundation. The house can then be lowered onto the new foundations so that the construction of the proposed townhouse condos will not impact the structural integrity of the heritage residence. This approach is highlighted in the HAP Application. Further information pertaining to the process of raising the house is outlined under Section 7.0 Conservation Measures.



Rendering of 2096 Wonderland Road N. proposed development of townhouse condos located around the existing heritage house, in-situ. Retention of the existing designated heritage property in-situ is proposed by way of raising the structure to remove the existing foundations and construct new foundations. A proposed underground parking lot not pictured will be located adjacent to the heritage home. Drawing by ZEDD Architecture, Nov 2020.

5. PROPOSED USE OF PROPERTY



Site Plan of 2096 Wonderland Road N. proposed development of townhouse condos located around the existing heritage house, in-situ. Retention of the existing designated heritage property in-situ is proposed by way of raising the structure to remove the existing foundations and construct new foundations. The proposed underground parking lot is accessed from the ramp to the north of the existing heritage house. Drawing by ZEDD Architecture, Nedd 2020.

6. DETERMINING THE PRIMARY TREATMENT: PRESERVATION

6.1 IDENTIFY PROJECT REQUIREMENTS

The Standards and Guidelines outline the required actions as part of conservation activities that are relevant to this CP: understanding, planning, and intervening. The identification of heritage elements and heritage value, the description of the property and previous the Structural Assessment completed for the property at 2096 Wonderland Road N discussed in preceding sections of this report, provide a good baseline for understanding the property and its intended continued use as a single-family stand-alone residence, now included as part of a proposed townhouse condo residential development.

The Heritage Impact Statement completed for the property is also critical in helping to plan for the appropriate intervention onto the property, providing the anticipated design concepts for the future development and the inclusion of original Georgian farmhouse (Warner Family Farmhouse) as part of the project, continuing its use as a single family home. This helps to inform the *planning* stage of conservation. Through an assessment of the existing conditions of the building (Structural Assessment) and the assessment of the proposed use and impact of design (HIS), project requirements have been identified. These include:

- Stabilizing structure and building envelope;
- Restoring and preserving exterior heritage elements;
- Reinstating the building in-situ, upgrading systems and interior finishes as required to ensure sustainability as a single family residence within the proposed development while protecting its heritage value

6.1.2 Primary Conservation Treatment

To successfully conserve a historic place, or place of cultural value in the case of the property at 2096 Wonderland Road N., a decision must be made on the primary treatment, or approach, for conservation before appropriate methods can be recommended and implemented. This is considered stage two of the process, known as *Planning*. Once an understanding of the heritage resource exists, and considers the intended future use and plans for the property related to that use, the Planning can be implemented. According to the *Standards and Guidelines*, before conservation activity begins, a clear objective for conservation must be defined. The objectives, or primary treatments, include preservation, rehabilitation, and restoration. The definitions were outlined in Section 7.0 Conservation Principles, and reiterated in this section. When to apply each treatment has also been provided below.

Preservation: the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value. Preservation is the recommended primary treatment when:

- Materials, features and spaces of the historic place are essentially intact and convey the historic significance, without extensive repair or replacement;
- Depiction during a particular period in its history is not appropriate; and,
- Continuation or new use does not require extensive alterations or additions.

Rehabilitation: the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value. Rehabilitation is the recommended primary treatment when:

- Repair or replacement of deteriorated features is necessary;
- Alterations or additions to the historic place are planned for a new or continued use; and,

6. DETERMINING THE PRIMARY TREATMENT: PRESERVATION

- Depiction during a particular period in its history is not appropriate.

Restoration: the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Restoration is the recommended primary treatment when:

- An historic place's significance during a particular period in its history significantly outweighs the potential loss of existing, non-character-defining materials, features and spaces from other periods;
- Substantial physical and documentary or oral evidence exists to accurately carry out the work; and,
- Contemporary additions or alterations and are not planned.

(Parks Canada 2010: 15 – 17)

Most conservation projects have various treatments included as part of the overall plan. It is important to first establish a primary treatment plan so that each conservation method, can be compared to the original requirements, goals and objectives.

Preservation has been determined to be the best approach to property at 2096 Wonderland Road N., since the wide-ranging interventions all aim to enable the continued use of the farmhouse as a single family residence following the raising and resetting of the home after foundation construction. No additions or alterations are planned, and removal of the contemporary addition will bring the house back to its original form. Within the preservation approach, the conservation program includes retaining and restoring existing exterior heritage brick and wood elements where possible (preservation); accurately representing missing elements through reinstatement of the facade once the addition is removed (restoration); and ensuring the integrity of the structure by dismantling and constructing a more suitable foundation (rehabilitation). Both restoration and rehabilitation apply beyond the primary treatment of preservation.

Conservation measures outlined in this report under Section 7.0 assess the short, medium and long term plans for this approach, based on the continued use of the building as a residence as part of the proposed development plan for 2096 Wonderland Road N. The following section provides an overview of the goals of conservation for 2096 Wonderland Road N., based on the preservation approach to conservation.

6. DETERMINING THE PRIMARY TREATMENT: PRESERVATION

6.2 GOALS OF CONSERVATION - PRESERVATION

For a CP to be reasonably applicable, the goals of the conservation approach must align with the heritage values of the site as well as inform the future use and viability of a property. The goals of a conservation plan might be similar to a mission statement, and are specific to the needs of the property and the planned use. Based on the review of the property, and the planned integration of the building through continued for the proposed vision for the development of 2096 Wonderland Road N. by Invest Group Ltd., the following goals have been developed for the preservation of the original Georgian farmhouse. General Standards 1 through 9 of the *Standards and Guidelines* apply to all of the goals of conservation, but those that are specifically applicable are identified. Applicable aspects of the MTCS *Eight Guiding Principles* are also included for each goal.

6.2.1 Ensure the Integrity of the Building Envelope and Structure

Goal:

- ***Ensuring the structure is stabilized to withstand the intended use and longevity of the proposed plan during and after raising of the building, including any interventions made, as well as completing a re-pointing program for brick masonry as required to ensure the integrity of the building envelope and heritage value.***

Applicable *Standards*: 4, 5, 6, 7, 8, 9. Applicable *MTCS Eight Guiding Principles*: 3, 4, 5, 6, 7, 8.

The preservation of 2096 Wonderland Road N. is comprehensive in scope, and includes several aspects of the structural systems, with particular focus on the foundations and building envelope, to ensure its sustained use as an integral part of a new residential condo development project. The foundations have been assessed by the team's structural consultant as part of the Structural Assessment. At present, the foundations will not withstand disturbance from construction and occupancy habitation. In order to sustain the building for the long-term, these unstable foundations will need to be replaced with new foundations. The current rubble foundations will need to be documented, carefully removed, properly salvaged and stored. Stabilization of the entire building is required prior to raising the building, such that the structure and exterior building envelope, including the brick (heritage attribute) can withstand being lifted in order to construct new foundations on which it will be placed, in-situ. Proper mothballing and other protective measures might also be necessitated as part of the process, should there be a potential period of vacancy following the construction of the new foundations and repositioning of the heritage residence prior to the preservation, restoration and rehabilitation work as part of the continued use as a single family home within the future development adjacent. The condition of the roof may also need to be confirmed to determine if any stabilization is required as part of the overall structural work.

6.2.2 Preserve and Restore Exterior Heritage Elements where possible

Goal

- ***Repair and restore (rather than replace) exterior heritage elements that have degraded through a comprehensive conservation program, including original wood windows, doors, shutters and detailing along the facade and roofline. Document and remove contemporary addition and reinstate east elevation following removal to previous condition. These approaches will help ensure the sustainability and viability of the heritage attributes.***

6. DETERMINING THE PRIMARY TREATMENT: PRESERVATION

Applicable *Standards*: 1, 2, 3, 4, 7, 8, 9. *Applicable MTCS Eight Guiding Principles*: 1, 3, 4, 5, 7, 8.

Any exterior heritage elements that have fallen into disrepair may require restoration, including frames, storm windows. These heritage attributes are integral to the cultural heritage value of the property but are outside of the structure. A conservation program to repair, restore and preserve these as much as possible, while also considering the plans for raising the farmhouse and its continued use (including removing the garage and reinstating the east elevation) are important for the longevity of the property.

6.2.3 Enhance the Sustainability, Usability and Heritage Value of the Residence

Goal

- ***Reinstating the building in-situ, continuing its use as a single family residential home and attracting a family to reside in the home is important, especially as it is located within a unique and higher density condo development. Upgrading mechanical and electrical systems and renovating the interiors to improve the longevity of the home will also improve the overall sustainability, usability and heritage value by creating a desirable property to inhabit, and encourage its maintenance.***

Applicable *Standards*: 1, 5, 7, 8, 9. *Applicable MTCS Eight Guiding Principles*: 6, 7, 8.

The proposed development seeks to continue the use of the vacant heritage home as a single family residence as part of the overall residential project for the property. The opportunity to preserve the building and prolong its lifespan is present through rehabilitation. Resetting the original residence in-situ also means rehabilitating the residence on a holistic level. Replacement of the mechanical and electrical systems as needed, and removal of the interior finishes not protected by the designated and replaced with upgraded finishes that are complementary to the home will improve the overall aesthetic. These aspects fall outside of the heritage value of the farmhouse, but are mentioned as they can impact the heritage elements, such as integrity and building envelope. Considering exterior elements such as lights, vegetation and accessibility will enhance and conserve the overall heritage value of the property. Any new work must be physically and visually compatible with, subordinate to, and distinguishable from the heritage farmhouse.

7. CONSERVATION MEASURES

7.1 INTRODUCTION

The following measures provide an outline of the conservation methods necessary to meet the conservation goals for the Warner Family Farmhouse to rehabilitate the heritage resource for a residence as part of a larger development by Invest Group Ltd. The aspects of the measures proposed include considerations for conservation required prior to, during and immediately following the relocation of the structure. Further, the rehabilitation of the heritage building, including preservation, restoration/repair and alteration work may not begin for some time and proper mothballing of the building may continue for a prolonged period until the development project is implemented. Monitoring of the building will be required, and re-visiting of the proposed conservation methods considered as part of the long-term project may need to be completed in order to ensure that the work proposed has not changed in any significant way from the time of this report.

The conservation measures will be implemented once construction of the main development is underway, with preservation, restoration, repair and alteration work happening concurrently alongside new construction. Some of the exterior conservation methods will be implemented so that the work can be properly executed without disturbances related to the new construction, and coordinated with the site work and mobilization for new development so as not to interfere with the conservation programs for the heritage farmhouse.

Drawings are included as Appendix C of this report. The proposed drawings including the site plan, elevations and renderings for the use of the Warner Family Farmhouse and the future development are included as Appendix D of this report.

7.2 SHORT TERM CONSERVATION MEASURES

7.2.1 Documentation

Prior to any other conservation methods or relocation work, the resource must be properly documented and heritage elements recorded and reviewed for a baseline condition. Relocation for the purposes of this report is defined as lifting with new foundations to raise the main floor finished line to address grading issues for the development. These will form the baseline benchmark for maintenance and restoration should any issues or changes arise during relocation that could alter the heritage attributes.

7.2.2 Removal, Demolition and Salvage

Addition

Demolition of the rear addition is expected to be completed before any relocation is undertaken. The east addition removal should be undertaken with care, particularly where the addition is connected to the existing main heritage house. To protect the join area, the walls should be removed within two feet of the actual main farmhouse, such that a short stub wall can be ascertained and possibly even relocated with the main structure, then cut flush with the brick of the existing house. If any brick is removed during this process, it should be salvaged and stored for future use in the rehabilitation project.

During demolition, elements of the building that are of heritage value that are uncovered should also be carefully documented and noted, and consultation with the heritage architect regarding further steps to ensure the protection of those elements before further work or demolition is completed.

7. CONSERVATION MEASURES

7.2.3 Stabilization

The structural assessment of the building prepared in concert with discussion with experienced building movers Continental Movers, or other, should be adhered to during moving of the structure. Coordination and instillation of shoring is required to stabilize the existing building and remove the weight and load of the structure from the existing foundations. A new foundation will be constructed to support the moved structure in advance of the building move.

A complete assessment of the stone foundations should be completed in advance of the building move and monitored during the move process. The existing roof system must be confirmed for stability, but it is expected that the roof system is in good condition and will not require significant stabilization work beyond what is required to move the building.

Brick Tie-Back

As with most heritage buildings, review of masonry attachment to the wood frame must be assessed by the structural engineer in advance of the move. Re-securing the heritage fabric to the existing wood frame structure is imperative for the survival of the building in the long term, and specifically if it will be moved. Any horizontal tie-back of the brick to the building structure required to prepare the farmhouse for relocation should be ensured at this stabilization stage prior to any relocation measures. Bracing any major vertical cracks in the masonry should also be done at the same time, to prevent further cracking during lifting, relocation and setting the farmhouse in place. This brickwork must be completed with care, recognizing that negative impacts on the interior of the brick could adversely affect the exterior of the facade and the heritage fabric.

In order to tie-back the brick to the structure, the preferred rehabilitation method involves adding new ties to the original brick; in the original approach, the ends of nails were hammered into the outside face of the wood stud walls and the head of the nails embedded into the existing mortar bed. This results in corrosion of the nails, as water will have infiltrated the brick over time, causing the ties to weaken. The method for stabilizing the brick recommended by a+LiNK Architecture Inc. involves the use of brick-tie backs by way of helio-piers. Stainless steel drill bits are inserted into the brick and the stud to form helio piers, which re-secure the brick back to the stud wall of the wood framing. The actual methods would require determination, verification, detailing, and reviews by a structural engineer.

If any temporary interventions to stabilize the brick are needed prior to relocation, these should follow *the Standards and Guidelines*, and allow for ease of reversibility once the house is relocated, with minimal impact on the heritage elements to avoid compromising the integrity of the heritage fabric.

7.3 MEDIUM TERM CONSERVATION MEASURES

7.3.1 Preparation for Relocation

Preparation of the site for relocation involves some key elements to be addressed. First, the site will need to be prepared in order to remove the foundations, including possible trenching around the house to access the foundations. The vegetation surrounding the house, while not specifically a heritage element, will need to be removed as part of this site work. Any vegetation removed should occur with reference to any Tree Protection by-

7. CONSERVATION METHODS

laws, and as part of Building Permit regulatory requirements. These should be retained for future re-use once the building is relocated (depending on the outline for the landscape plan as agreed upon for the site).

In order to relocate the building within the site, a temporary roadway will need to be established with at least one foot of granular base to support the weight of the heritage building as it is being relocated. Shear weight of the structure is at more risk of weighing down the hydraulic relocation system without the base, putting pressure on the system that could cause it to become stuck or fail in loose, uneven or weak terrain. The actual methods would require determination, verification, detailing, and reviews by a structural engineer and/or geo technical engineer.

7.3.2 Foundation Alterations

The existing foundation walls below the house (stabilized as part of the short term measures), should be reviewed by the structural engineer and heritage architect once the building is lifted. Stone foundations should be stabilized for incorporation in the conserved building. If any other heritage elements are affected during the removal of the foundations, these should be addressed with the heritage architect and team.

7.3.3 Relocation and Stabilizing

Best practices for relocation recommend mild weather conditions for relocation; temperatures below even 30 degrees Celsius or can present problems for the operation of the hydraulic system. Rain and snow can also be problematic as this can contribute to changes in the terrain and increased risk to the building relocation.

The relocation of the structure and instillation onto altered foundations can take approximately a week to ten days. All detailing and foundations should be reviewed by a structural engineer prior to, during, and after the relocation. After the building is relocated, the farmhouse will require re-stabilization. The temporary shoring will be removed so that the house can be supported by its foundations. A complete a review of the structural system and building envelope as well as exterior elements for any signs of failure during the move is recommended. If there are any immediate concerns, these will need to be implemented and addressed promptly; any additional cracks, or shifting, or any increase in existing cracks, or critical brick and mortar failure may need to be addressed by way of a re-pointing program at the time once the building is sitting on its permanent foundations; any critical failure of specific exterior heritage elements identified post-move, that cannot withstand mothballing until a complete program is implemented, will need attention. Otherwise, any updates to the building review should be identified and if necessary, implemented into the Conservation Plan to be completed as part of the rehabilitation intervention.

Any immediate roof repair work required as part of the temporary work completed to-date on the roof should also be completed during this period, once the building has been relocated in order to prevent any moisture penetration into the heritage building, prior to mothballing.

7.3.4 Mothballing

Mothballing is a process that can effectively control and protect the viability of a heritage resource from potential long-term deterioration during a prolonged period where the building may be unoccupied while preparing for its future use. Deactivating the Warner Family Farmhouse once it has been relocated, may be necessary, depending on the timeline for site work and construction of the adjacent proposed development project. Beyond this, mothballing does not protect a building indefinitely, so even marginal interim uses or non-flammable storage might be considered.

7. CONSERVATION METHODS

Security

As part of the process to protect the building, securing the building and its component features to reduce vandalism or break-ins is recommended. Construction fencing is a good way to deter trespassing.

Pests

Another important step in this process involves controlling pests. Pests such as small rodents, vermin, raccoons, termites, bugs and birds can wreak havoc on heritage buildings. It is important to remove all animals or insects from the property and seal off any access to prevent deterioration of the heritage resource by these pests once the building is vacated.

Localized Critical Brick Repointing and Repair

Further, localized brick masonry repairs through repointing may be required in areas where very serious moisture penetration could occur as part of the mothballing process. These should be completed based on the updated review of the brick condition at the time of mothballing. The mortar should match the historic mortar in composition, colour and tooling. Further details regarding brick restoration are outlined in Section 7.4.1.

Ventilation

Finally, once the building is secured, pests removed and any critical brick repaired, adequate ventilation is recommended to provide air exchange throughout the building while vacant. If the building is unoccupied and mothballed for winter months, minimal heating at 7 degrees Celsius may be needed, with forced-fan ventilation in the summer months. Louvered openings should be added to wood window and/or door coverings to permit natural ventilation, and equipped with wire mesh to avoid wildlife ingress. Typically, 1-4 air exchanges per hour is considered the minimum for mothballed buildings. Assessment by a qualified Mechanical engineer should be done at the time of to determine the level of required ventilation.

Since the Warner Family Farmhouse exterior is a brick heritage building constructed without insulation and air barriers, keeping the interior temperature above the spring dew point to avoid damaging condensation should be followed. While the majority of the interior work will be altered and removed to re-use the building, it should still be protected from the elements through the means recommended above, as prolonged exposure to moisture or other issues could result in mold, rot and degrade structure beyond just the finishes. Retaining electrical services to London Hydro will be necessary to provide this ventilation.

7.3.5 Monitoring

Because of the intensive work to stabilize and relocate the building onto a new foundation footprint, periodic monitoring of the building structure and its impacts on any heritage fabric is critical. A monitoring program is recommended every two months or so, until the building has time to settle, and a review of any major changes to the exterior as a result should be documented and addressed, if necessary.

If the building is mothballed for an extended period of time, monitoring (and possible maintenance) will also be important to ensure the building remains well ventilated, sealed and protected until ready for future use. Periodic monitoring provides a known presence on the site, and can also detect any critical issues such as water ingress or failure to the systems or heritage elements. An updated assessment may be required prior to the implementation of the rehabilitation and restoration programs recommended in this Conservation plan, depending on the length of time the building is mothballed.

7. CONSERVATION METHODS

7.4 LONG TERM CONSERVATION MEASURES

7.4.1 Preservation and Restoration Work

While the primary treatment recommended for the conservation of the Warner Family Farmhouse is **rehabilitation**, some key aspects of the approach include preservation and restoration as secondary treatment programs to prolong the lifespan of the heritage property and its value. As outlined in the goals for conservation, these programs include measures for heritage elements: brick masonry restoration and mortar repointing, preservation and restoration of exterior wood attributes and re-instating of the original front porch. These should be completed outside of the addition work constructed so as to avoid interference. The replacement of the roof should be completed as part of these measures, and every effort should be made to replace the roof with material and design similar to the original. If no evidence of the original design can be confirmed, replacement with asphalt shingles would be appropriate, considering the colour and style choices: any new work should be complementary, and subordinate to, the original fabric.

Brick Masonry: Restoration

A comprehensive brick masonry repair and repointing program should be completed; a complete survey at the time to confirm percentage required and exact repointing locations should be performed using a boom lift as necessary to review all aspects of each elevation. Measured drawings locating areas and depth required should be completed as part of this program. Cracked and failing mortar joints will be repointed alongside repair and replacement of spalled bricks, as identified in the assessment. Mortar should be sympathetic to the original mortar beds used on the heritage fabric, avoiding the use of hard portland cement or vapour-impermeable waterproof coatings.

Exterior Wood Heritage Elements - Windows, Doors, Shutters, and Roofline Detail: Preservation and Restoration

Preservation and restoration of the wood heritage elements located on the exterior of the heritage resources. Primarily, the wood windows, door, shutters and detailed elements at the roof lines and porch should be preserved, restored and repaired where appropriate. This work is considered integral to the heritage value of the property, and should be completed as part of a comprehensive conservation program for exterior wood elements. The existing elements should be thoroughly assessed and planned by a qualified heritage architect, and completed by a qualified heritage restoration contractor.

Wood fenestration and windows, original doors and shutters should be repaired, in-situ, wherever possible. This includes stripping, sanding and repainting. Remove old caulking and replace with new. Storms should first be removed prior to work. Reinstall storms and replace with like for like on windows missing. The heritage attributes note that the storms are aluminum. Use wood restoration consolidator material to areas of wood window showing signs of decay, and Dutchman where small sections of damaged or decayed wood can be locally repaired. Where the damage of the window and shutter elements are too severe, or they are missing completed, replacement with exact replicas matching form, materials and detailing compatible with the original should be used. A program to review these elements should be conducted and should include a boom lift to access the upper level to properly ascertain the conservation interventions needed for each element.

There is minimal detailing along the roof soffit line. Any detailed cornices or brackets along the roof line should also be assessed, in situ, when reviewing the windows and shutters using a lift to determine the condition and evaluate if they require comprehensive restoration, or repainting and repair as needed. If possible, retain the

7. CONSERVATION METHODS

cornices in-situ, rather than remove them, to complete restoration work. If this is not an option, the woodwork restoration should be carefully removed, numbered and conserved before being reinstalled in the exact original location using methods similar to the original connections.

Interior Renovations

The existing building will be used as a residence and therefore interior wall systems will be maintained in their original location, for the most part. Any openings in walls to be created will be required to be reviewed by a structural engineer.

The system constructed should make every effort to avoid negatively impacting the heritage elements on the exterior, especially the brick and the roof system. The existing roof system is in good condition.

Mechanical and Electrical System Replacement

While not part of the heritage attributes, the replacement of these systems may impact the heritage fabric where new openings are created in the building envelope for these services. These openings must consider the heritage elements and ensure that careful attention in the design avoids the excess removal of, or degradation to, the original brick. Any bricks that must be removed should be salvaged and stored.

7.4.2 Monitoring

Upon completion of the preservation, restoration and alteration work to the exterior heritage elements, an updated baseline report for the building should be completed and referenced for any future reversibility or work that needs to be completed. Periodic monitoring of the heritage elements should continue beyond the completion of the adaptive re-use project to ensure there are no major changes to the structure evidenced through new cracks or brick failure, and to ensure that the restoration programs continue. This monitoring, paired with continued maintenance of the heritage building will ensure the longevity and sustainability of the Warner Family Farmhouse for generations to come.

8. RESOURCES

Federal and Provincial Documents

1. Her Majesty the Queen in Right of Canada. *Standards and Guidelines for the Conservation of Historic Places in Canada*. 2010.
2. Ministry of Tourism, Culture and Sport. *Eight Guiding Principles in the Conservation of Built Heritage Properties*. 2013.
3. Ministry of Municipal Affairs and Housing. *Ontario Provincial Policy Statement, Under the Planning Act*. 2020.
4. Ontario Ministry of Culture. *Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement*. 'Info Sheet #5, Heritage Impact Assessments and Conservation Plans.' 2005.

Municipal Documents

1. City of London. *Heritage Designation By Law L.S.P.-3455-204.*, September 18, 2018.
2. City of London. *Illustrated Urban Design Principles*. May 2010.
3. City of London - The London Advisory Committee on Heritage Department of Planning and Development. *Inventory of Heritage Resources 2006*. 2005.
5. City of London. *The London Plan*. Minister Approved December 28, 2016.
6. City of London. *Strategic Plan for the City of London 2015-2019*.

Other - Provided by Client and Team

1. Map Images: *London, Ontario*. 2021. Google Maps, <https://www.google.ca/maps/place/London,+ON>
2. Drawings and Images. Zedd Architecture, 2018 - 2020.

9. SUPPLEMENTARY INFORMATION

APPENDICES:

- A. PART IV DESIGNATING BY-LAW 2096 WONDERLAND ROAD N.
BY-LAW L.S.P. 3477-475, SEPTEMBER 18, 2018
- B. 2096 WONDERLAND ROAD NORTH - STRUCTURAL ASSESSMENT LETTER
STRIK BALDINELLI MONIZ LTD, MARCH 29, 2018
- C. HERITAGE IMPACT STATEMENT - 2096 WONDERLAND ROAD NORTH
STANTEC CONSULTING LTD, APRIL 10, 2018
- D. PROPOSED DRAWINGS - SITE PLAN + RENDERING CONCEPT
ZEDD ARCHITECTURE, NOV 2020
- E. TREE ASSESSMENT REPORT + LANDSCAPE PLAN
RON KOUDYS LANDSCAPE ARCHITECTS, OCTOBER 2020

a+LiNK
architecture inc.
preserve + create + sustain

Heritage Planners' Report to LACH: June 9, 2021

1. Heritage Alteration Permits processed under Delegated Authority By-law:
 - a) 893 Elias Street (OE HCD): Window replacement
 - b) 875 Hellmuth Avenue (BH HCD): Detached garage
 - c) 272 Dundas Street ROW (WW HCD): Bicycle storage
 - d) 216 York Street (DT HCD): Exterior alterations, addition
 - e) 380 Wellington Street (DT HCD): Signage
 - f) 63 Thornton Avenue (Part IV): Window replacement
 - g) 498 Dufferin Avenue (EW HCD): Roof material replacement
 - h) 275 Dundas Street (DT HCD): Signage
 - i) 392 Richmond Street (DT HCD): Security door
 - j) 252 Dundas Street (DT HCD): Signage

2. Bill 108 Update

Changes to the *Ontario Heritage Act* arising from Bill 108 are coming into effect on July 1, 2021.

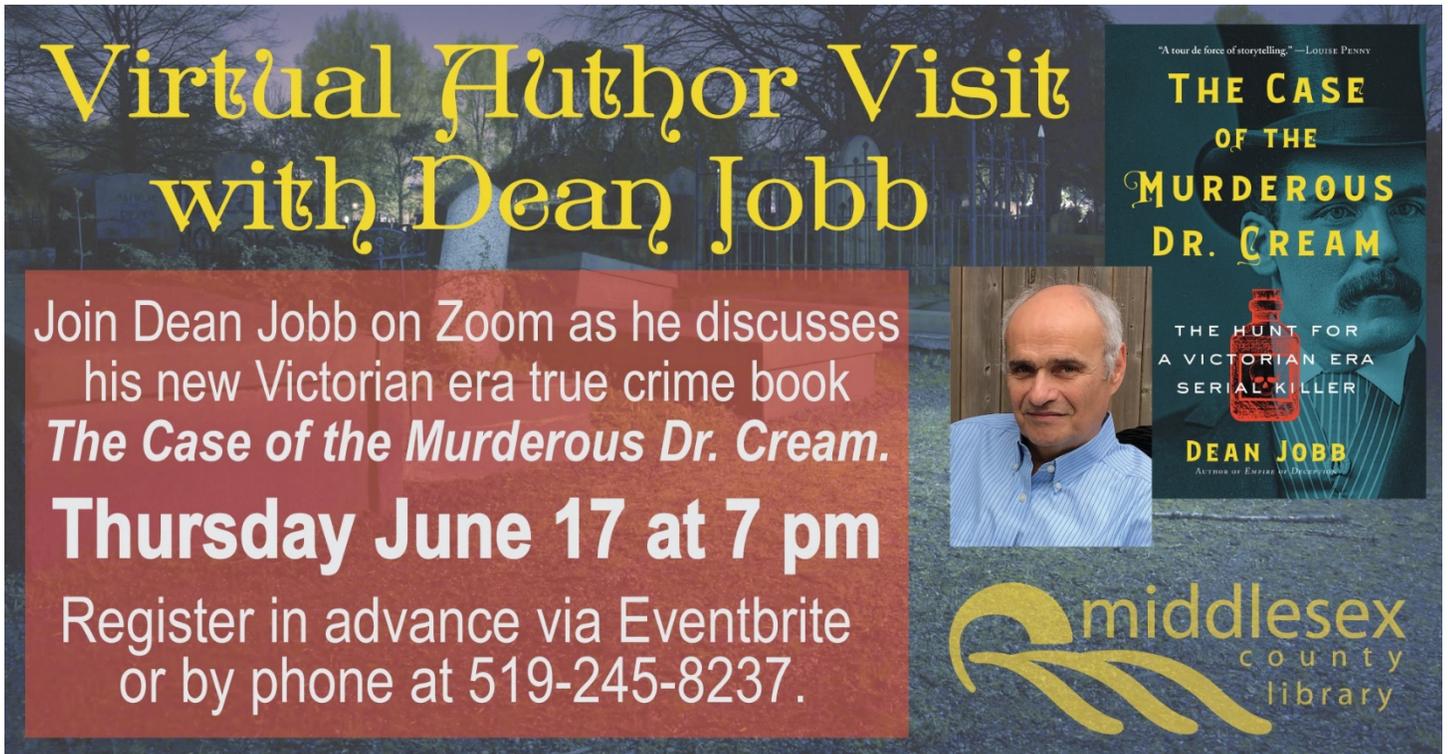
- A regulation is required to implement the amendments made by Bill 108. Regulation 385/21 and the Bill 108 amendments to the *Ontario Heritage Act* will be proclaimed on July 1, 2021. O. Reg. 385/21 can be found online: <https://www.ontario.ca/laws/regulation/r21385>.
- Draft updated Ontario Heritage Toolkit guidance material is available on the Environmental Registry Ontario for review: <https://ero.ontario.ca/notice/019-2770> (comments due July 1, 2021). Information sessions linked below.

Upcoming Heritage Events

- Community Heritage Ontario – video: “What’s Next?: Moving Forward with Decolonization and Inclusivity in the Heritage Field”:
<https://www.youtube.com/watch?v=BqtyFQagqwc>
- Middlesex County Library
 - Virtual Author Visit with Dean Jobb (see attached)
 - Author of *The Case of the Murderous Dr. Cream: The Hunt for a Victorian Era Serial Killer*
 - Thursday, June 17, 7pm – Register in advance via Eventbrite or by phone at 519-245-8227
- Ontario Ministry of Heritage, Sport, Tourism, and Culture Industries
 - “Changes to the Ontario Heritage Act: What it means for you” - June 10, 2021 (1:00pm-2:30pm) and June 17, 2021 (2:00-3:30pm) -
<https://www.eventbrite.ca/e/changes-to-the-ontario-heritage-act-what-it-means-for-you-registration-157696276809>

- “Introduction to the Ontario Heritage Act” - June 22, 2021, 2:00pm - <https://www.eventbrite.ca/e/introduction-to-the-ontario-heritage-act-registration-158007052347>
- Architectural Conservancy of Ontario – Toronto Branch
 - Spring Speaker Series – videos from the speaking events held in May 2021 are now available online:
 - Part 1 – On Demolition: <https://www.youtube.com/watch?v=x4CTzrrvzdE>
 - Part 2 – On Deconstruction: <https://www.youtube.com/watch?v=-nxB2jTg5Wg>
 - Part 3 – On Displacement: <https://www.youtube.com/watch?v=7Vf06-aKdjA>

Attachments



The poster features a background image of a cemetery at night. On the left, a large red rectangular box contains white text. On the right, there is a book cover for 'The Case of the Murderous Dr. Cream' by Dean Jobb, which includes a portrait of a man with a mustache and a small image of a red bottle. Below the book cover is a smaller portrait of Dean Jobb, a man with short grey hair wearing a light blue striped shirt. At the bottom right is the Middlesex County Library logo, which consists of a stylized yellow bird-like shape and the text 'middlesex county library'.

Virtual Author Visit with Dean Jobb

Join Dean Jobb on Zoom as he discusses his new Victorian era true crime book *The Case of the Murderous Dr. Cream*.

Thursday June 17 at 7 pm

Register in advance via Eventbrite or by phone at 519-245-8237.

THE CASE OF THE MURDEROUS DR. CREAM
THE HUNT FOR A VICTORIAN ERA SERIAL KILLER
DEAN JOBB
AUTHOR OF *EMPIRE IN DESTRUCTION*

middlesex county library