

Cycling Advisory Committee

Report

3rd Meeting of the Cycling Advisory Committee
February 20, 2019
Committee Room #4

Attendance PRESENT: D. Doroshenko (Acting Chair), D. Foster, R. Henderson, J. Jordan, D. Szoller, M. Zunti and J. Bunn (Acting Secretary)

ABSENT: D. Mitchell, W. Pol and R. Sirois

ALSO PRESENT: K. Grabowski, Sgt. S. Harding, L. Maitland, A. Miller and S. Wilson

The meeting was called to order at 4:04 PM.

1. **Call to Order**

1.1 Disclosures of Pecuniary Interest

That it BE NOTED that no pecuniary interests were disclosed.

2. **Scheduled Items**

2.1 Thames Valley Parkway, North Branch Connection Project

That it BE NOTED that the attached presentation from C. Watson, Dillon Consulting Limited, with respect to the Thames Valley Parkway North Branch Connection Project, was received.

3. **Consent**

3.1 2nd Report of the Cycling Advisory Committee

That it BE NOTED that the 2nd Report of the Cycling Advisory Committee, from its meeting held on January 16, 2019, was received.

3.2 Notice of Planning Application - Zoning By-law Amendment - 945 Bluegrass Drive

That it BE NOTED that the Notice of Planning Application, dated February 6, 2019, from C. Lowery, Planner II, with respect to a Zoning By-law Amendment for the property located at 945 Bluegrass Drive, was received.

3.3 Notice of Planning Application - Zoning By-law Amendment - 1081 Riverside Drive

That it BE NOTED that the Notice of Planning Application, dated January 31, 2019, from N. Pasato, Senior Planner, with respect to a Zoning By-law Amendment for the property located at 1081 Riverside Drive, was received.

3.4 Notice of Planning Application - Official Plan and Zoning By-law Amendments - 1631-1649 Richmond Street

That it BE NOTED that the Notice of Planning Application, dated February 6, 2019, from C. Lowery, Planner II, with respect to Official Plan and Zoning By-law Amendments for the properties located at 1631-1649 Richmond Street, was received.

4. Sub-Committees and Working Groups

None.

5. Items for Discussion

5.1 Request for Funds

That the expenditure of \$300.00 from the 2019 Cycling Advisory Committee (CAC) budget BE APPROVED for R. Henderson to attend the 2019 Ontario Bike Summit Conference being held in Toronto on April 1 and 2, 2019; it being noted that R. Henderson will report back on the Conference at a future CAC meeting.

6. Deferred Matters/Additional Business

6.1 (ADDED) London Police Service Pamphlet

That the pamphlet, entitled "Drivers, Pedestrians, Cyclists - We're in this Together", submitted by Sgt. S. Harding, BE REFERRED to the next meeting of the Cycling Advisory Committee for further discussion and comments.

7. Adjournment

The meeting adjourned at 4:51 PM.



THAMES VALLEY PARKWAY NORTH BRANCH CONNECTION

Richmond Street to Adelaide Street

Cycling Advisory Committee Information Meeting
February 20, 2019

Project Background



The Thames Valley Corridor is London's *most important natural, cultural, recreational and aesthetic resource*. The river corridor is a complex system of sensitive ecological habitats, intensive public recreation areas and developed urban lands which are all interconnected by a municipal pathway system, the *Thames Valley Parkway (TVP)*.

- A Class Environmental Assessment was completed in July 2016 which selected the preferred route to connect the Thames Valley Parkway, from Richmond Street to Adelaide Street
- The preferred alignment includes two new pedestrian bridges over the Thames River
- Detailed Design was initiated in 2017
- Construction is anticipated to begin in late Spring 2019 and be completed in the Fall of 2020.

Design Overview



- Thames Valley Parkway (TVP) Extension:
 - Connects to existing TVP at Ross Park and North London Athletic Fields
 - Easements for the pathway have been provided by the Sisters of St. Joseph, Scouts Canada and Western University
 - Pathway includes an emergency access connection to Tetherwood Boulevard.
- Pedestrian Bridges:
 - Two new bridges will be constructed – at Ross Park and North London Athletic Fields
 - Both bridges are nearly identical designs, providing a consistent look and allowing for efficiencies in the design and construction approach
 - Pathway across the bridges is 4 m wide to provide a comfortable width for two directions of travel by cyclists, pedestrians and other users.
- An Environmental Impact Study (EIS) was completed as part of the Class Environmental Assessment (EA) process and commitments are being met. Throughout the design and construction planning phase, the design team has worked closely with staff from the Upper Thames River Conservation Authority (UTRCA) and City Ecologists. Their input has been incorporated into the plans.

Construction Overview



Subject to receiving final permit/approvals and approval of Council, the schedule includes:

- Tender – February/March 2019
- Construction start – June 2019
- Construction may continue over the winter of 2019/2020 or shut down for a period of time
- Construction complete – anticipate October 2020.

Construction highlights include:

- A temporary access will be constructed from Windermere Road, along Scouts Canada and Western University property to provide access north of the river.
- Construction traffic is only permitted on Tetherwood Boulevard to construct the emergency access pathway. The access will not be used as the primary access for construction vehicles entering the site.
- The Contract includes measures to reduce impacts to the natural environment, including:
 - Minimize tree removals required
 - Exclusionary fencing to restrict wildlife from entering the construction area
 - Tree removals outside of the bird nesting season (April 1 to July 31)
 - Landscape plan to restore the area and compensate for trees and other vegetation removed
 - In-water work is not planned
 - Ecologist and landscape architect will be included on the construction administration team.

THAMES VALLEY PARKWAY NORTH BRANCH PROPOSED PLAN



SISTERS OF ST. JOSEPHS

SCOUTS CANADA

NORTH BRANCH PARK

WESTERN UNIVERSITY

NORTH LONDON ATHLETIC FIELDS

ROSS PARK

RICHMOND STREET

RAYMOND AVENUE

TETHERWOOD BOULEVARD

ROSS PARK

ROSS 2

ROSS 3

ROSS PARK

ROSS 2

ROSS 3

TVP

TVP

TVP

TVP

TVP

NB-1

NB-1

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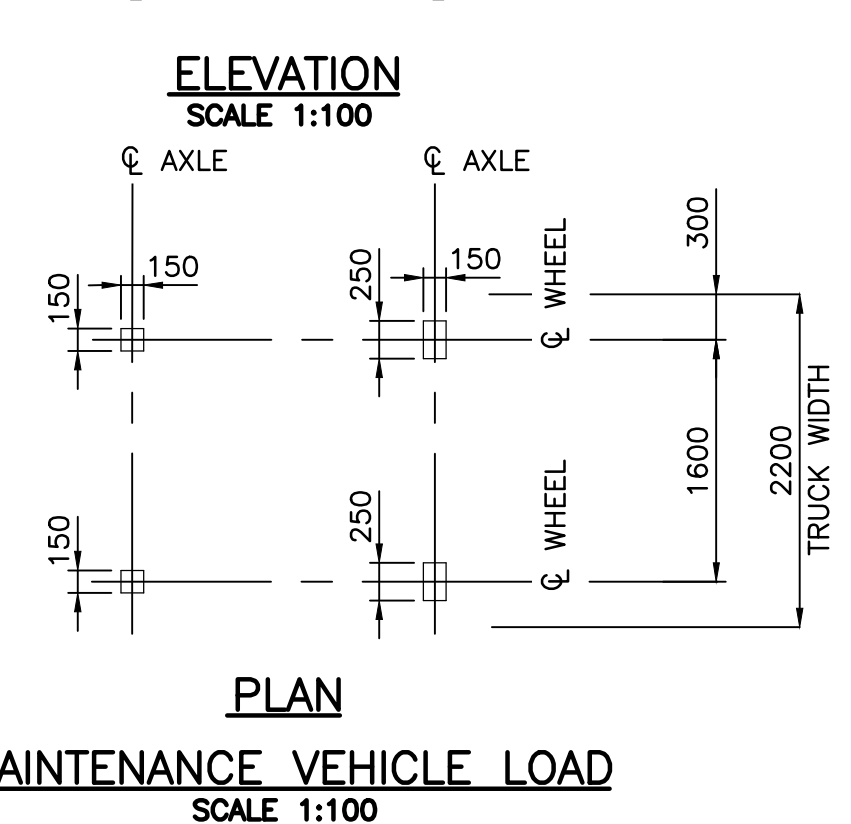
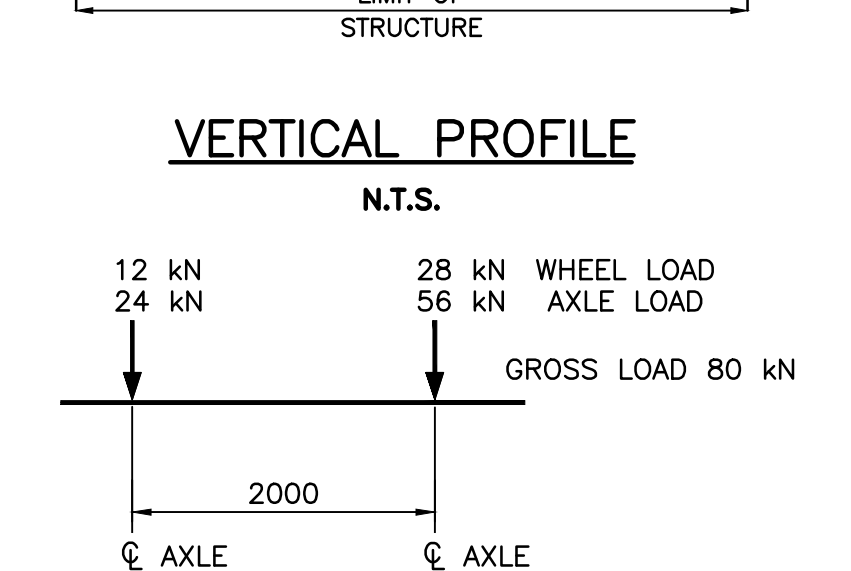
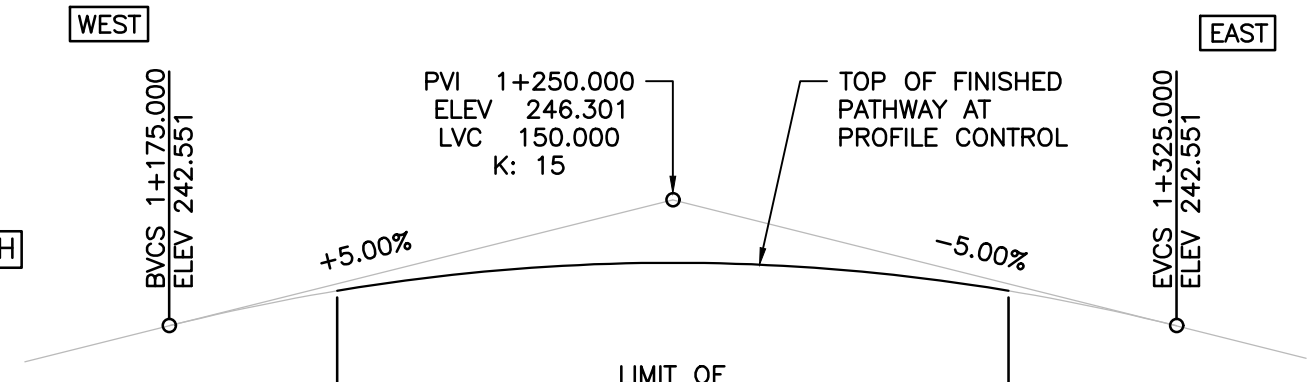
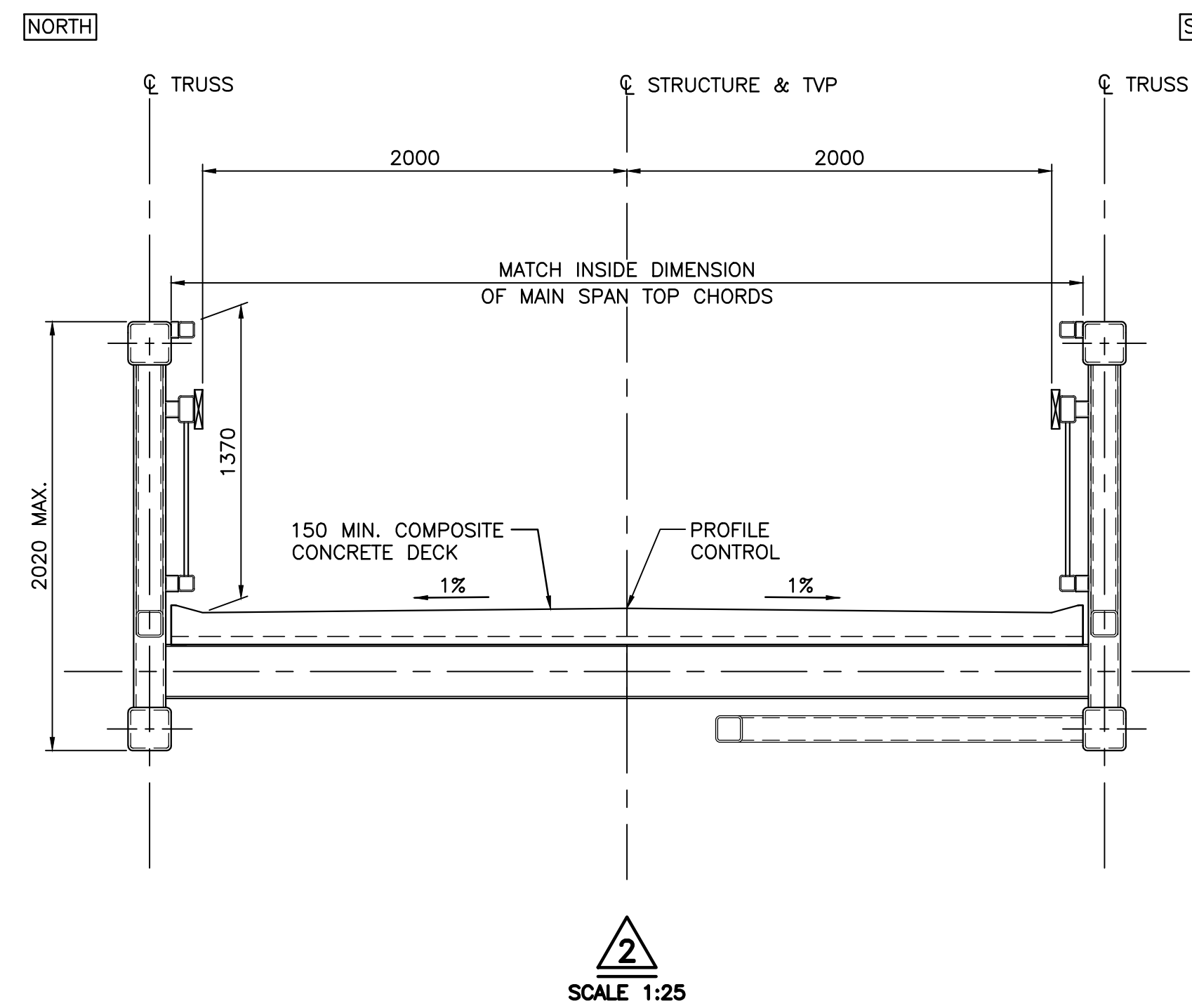
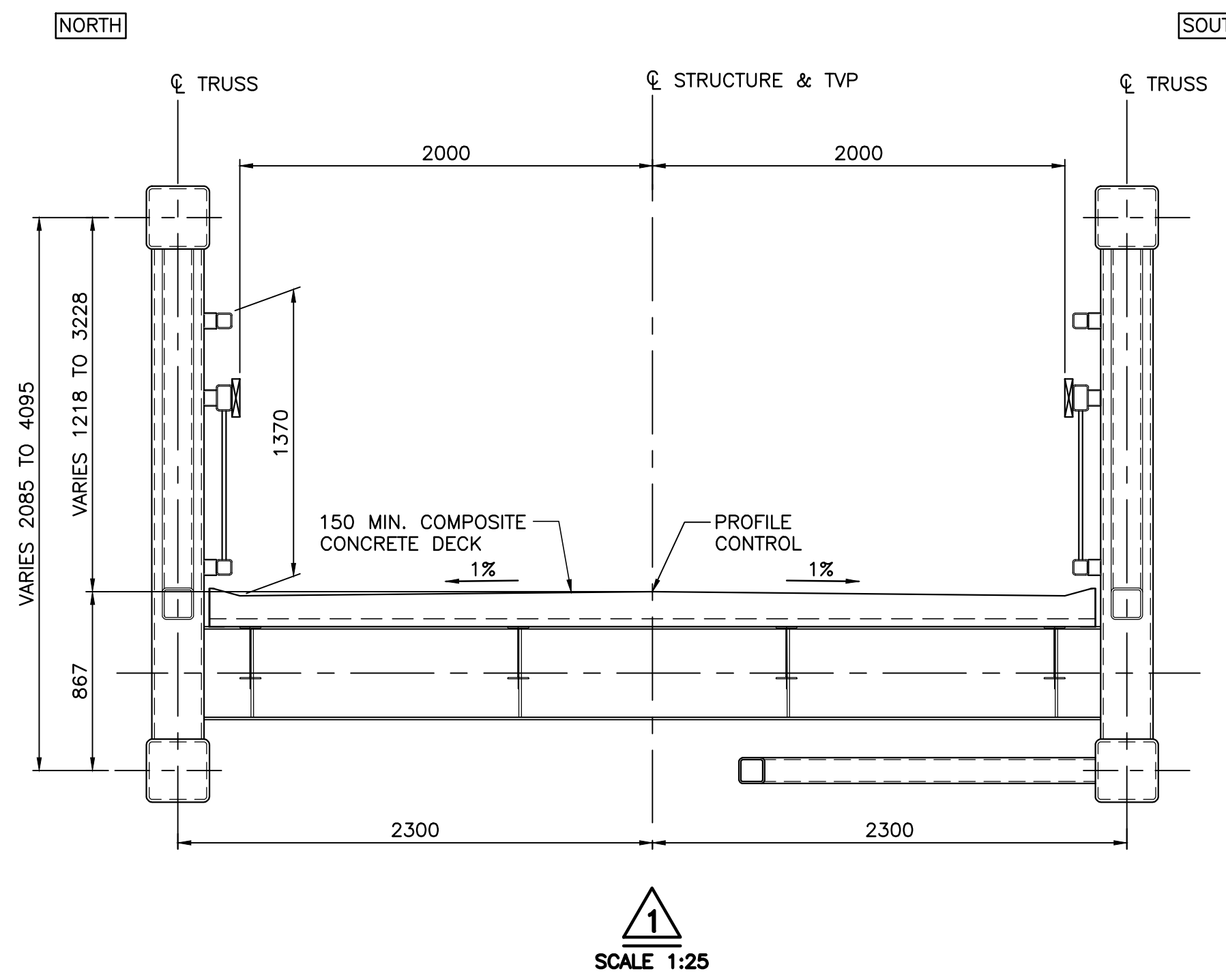
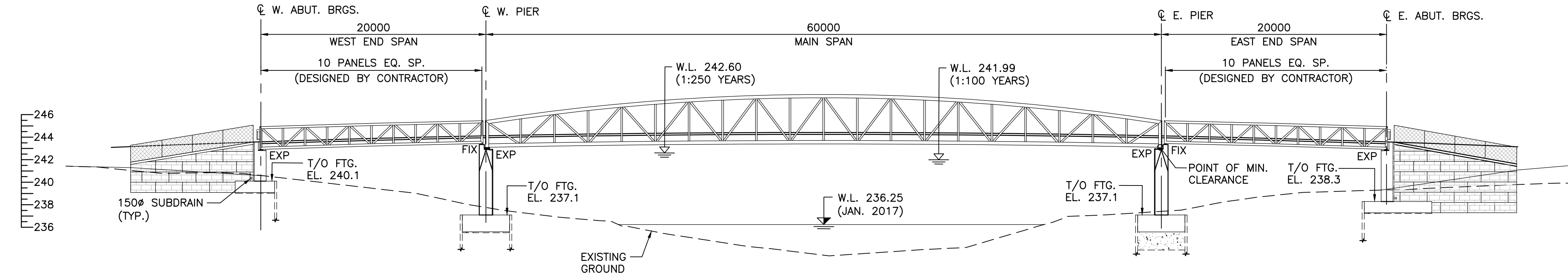
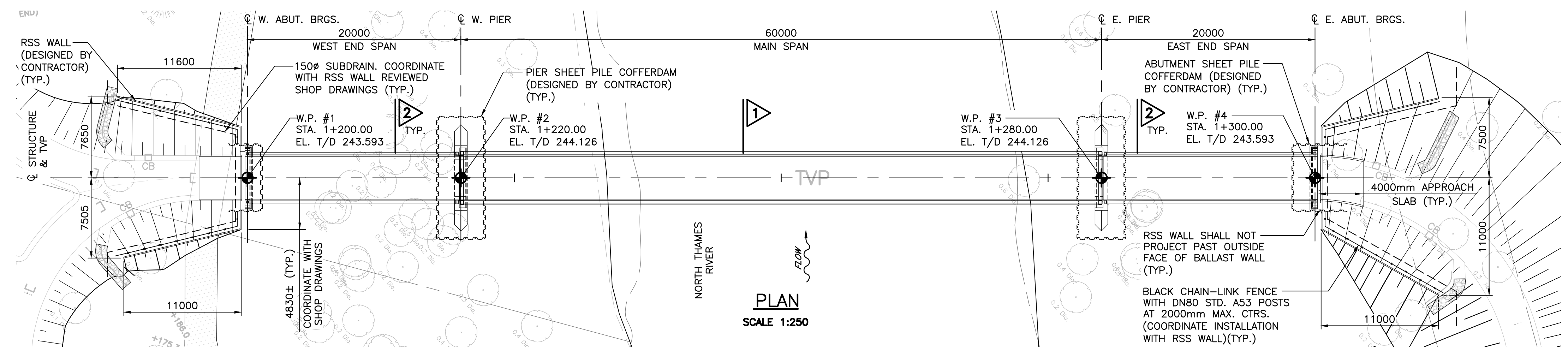
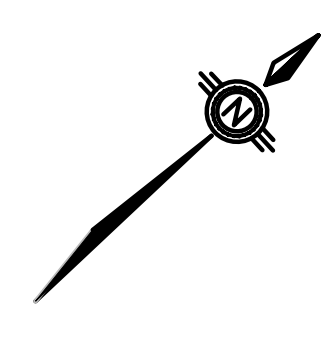
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AF-2

NORTH FOR CONSTRUCTION



- GENERAL NOTES**
- CLASS OF CONCRETE**
UNLESS OTHERWISE NOTED 35MPa, CLASS C-1
 - CLEAR COVER TO REINFORCING STEEL**
FOOTINGS 100 ± 25
REMAINDER 70 ± 20 UNLESS OTHERWISE NOTED
 - REINFORCING STEEL**
REINFORCING STEEL SHALL BE GRADE 400W. (UNLESS NOTED OTHERWISE)
BARS MARKED WITH PREFIX 'S' DENOTE STAINLESS STEEL BARS.
STAINLESS STEEL BARS SHALL BE TYPE 316 LN OR DUPLEX 2205 WITH A MINIMUM YIELD STRENGTH OF 500 MPa.
UNLESS SHOWN OTHERWISE, TENSION LAP SPLICES FOR REINFORCING STEEL BARS SHALL BE CLASS B.
BAR HOOKS SHALL HAVE STANDARD HOOK DIMENSIONS USING MINIMUM BEND DIAMETERS, WHILE STIRRUPS SHALL HAVE MINIMUM HOOK DIMENSIONS. ALL HOOKS SHALL BE IN ACCORDANCE WITH THE STRUCTURAL STANDARD DRAWING SS12-1, UNLESS INDICATED OTHERWISE.
 - STRUCTURAL STEEL**
ALL STRUCTURAL STEEL SHALL CONFORM TO CSA STANDARD CAN/CSA-G40.20/G40.21 GRADE 350AT OR GRADE 350A. ALL HOLLOW STRUCTURAL SECTIONS SHALL BE CLASS C.
MEMBER SIZES WITH THE SUFFIX 'FC' ARE FRACTURE CRITICAL MEMBERS. THE CHARPY IMPACT REQUIREMENTS FOR FRACTURE CRITICAL MEMBERS SHALL BE 27 JOULES AND THE TEST TEMPERATURE SHALL BE -20°C FOR BASE METAL AND -30°C FOR WELD METAL.
MEMBER SIZES WITH THE SUFFIX 'PTM' ARE PRIMARY TENSION MEMBERS. THE CHARPY IMPACT REQUIREMENTS FOR PRIMARY TENSION MEMBERS SHALL BE 27 JOULES AND THE TEST TEMPERATURE SHALL BE 0°C FOR BASE METAL AND -30°C FOR WELD METAL.
ALL LENGTHS SHOWN ARE IN THE HORIZONTAL PLANE AND MEASURED AT 20°C.
THE CONTRACTOR SHALL ENSURE THE STABILITY OF ALL COMPONENTS DURING HANDLING, TRANSPORTATION AND ERECTION UNTIL THE STRUCTURAL STEEL IS IN ITS FINAL LOCATION WITH ALL PERMANENT BRACING, CONNECTIONS AND SUPPORTS IN PLACE.

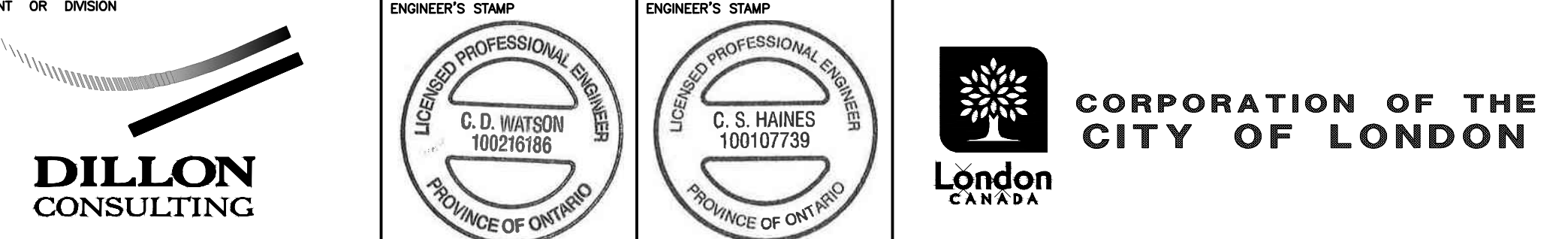
- UNLESS OTHERWISE NOTED THE MINIMUM FILLET WELD SHALL BE AS FOLLOWS:
- | MATERIAL THICKNESS OF THICKER PART JOINED (mm) | MINIMUM SIZE OF SINGLE PASS FILLET WELD (mm) |
|--|--|
| TO 12 INCLUSIVE | 5 |
| OVER 12 TO 20 | 6 |
| OVER 20 TO 40 | 8 |
| OVER 40 TO 60 | 10 |
| OVER 60 TO 120 | 12 |
- BRIDGE SUPERSTRUCTURES SHALL BE CAMBERED TO THE VERTICAL PROFILE SHOWN ON THIS SHEET AND SHALL INCLUDE AN ALLOWANCE FOR THE SUPERSTRUCTURE DEAD LOAD DEFLECTION.
THE ENDS OF TRUSSES AND VERTICALS SHALL BE TRULY VERTICAL UNDER FULL DEAD LOAD.
ALL BUTT WELDS IN TOP AND BOT. CHORD SHOP SPLICES SHALL BE MADE WITH COMPLETE JOINT PENETRATION GROOVE WELDS AND FINISHED FLUSH BY GRINDING WHERE NECESSARY IN THE DIRECTION OF APPLIED STRESS. ALL CHORD SPLICES SHALL BE IDENTIFIED TO THE CONTRACT ADMINISTRATOR.
ALL BOLTS SHALL BE ASTM A325 TYPE 3, 7/8" DIAMETER UNLESS OTHERWISE NOTED. BOLT THREADS SHALL BE EXCLUDED FROM THE SHEAR PLANES.

- CONSTRUCTION NOTES**
- THE CONTRACTOR SHALL ESTABLISH THE BEARING SEAT ELEVATIONS BY DEDUCTING THE ACTUAL BEARING THICKNESS FROM THE TOP OF BEARING SEAT ELEVATIONS. IF THE ACTUAL BEARING THICKNESSES ARE DIFFERENT FROM THOSE GIVEN WITH THE BEARING DESIGN DATA, THE CONTRACTOR SHALL ADJUST THE REINFORCING STEEL TO SUIT.
 - RETAINED SOIL SYSTEM (RSS) WALLS SHALL HAVE THE FOLLOWING ATTRIBUTES:
APPLICATION WALL/SLOPE PERFORMANCE HIGH APPEARANCE HIGH
 - THE LOCATION, DIMENSION AND ELEVATIONS OF THE ABUTMENT AND PIER BEARING PEDESTALS, BEARING SEATS AND BALLAST WALLS SHALL BE ADJUSTED TO COORDINATE WITH REVIEWED SUPERSTRUCTURE WORKING DRAWINGS.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE PROPOSED WORK AND ALL DETAILS ON SITE AND REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR BEFORE PROCEEDING WITH THE WORK.
 - NO IN-WATER WORK IS PERMITTED.

- LIST OF APPLICABLE STANDARD DRAWINGS**
- | | |
|---------------|---|
| OPSD 3101.150 | WALLS, ABUTMENT, BACKFILL, MINIMUM GRANULAR REQUIREMENT |
| OPSD 3102.100 | WALLS, ABUTMENT, BACKFILL DRAIN |
| OPSD 3290.100 | PIERS CUTWATER ASSEMBLY |
- DRAWING NOT TO BE SCALED
100 mm ON ORIGINAL DRAWING

C:\projects\1641\176484-09-CA-CON.dwg

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT	CONSULTANT OR DIVISION	ENGINEER'S STAMP	ENGINEER'S STAMP	SCALE	TITLE	PROJECT No.
					DESIGN	1	ISSUED FOR TENDER	FEB 2019	DILLON CONSULTING				METRIC DIMENSIONS ARE IN METRES AND/OR MILLIMETRES UNLESS OTHERWISE SHOWN	THAMES VALLEY PARKWAY - NORTH BRANCH	176484
					DRAWN BY									GENERAL ARRANGEMENT	S1
					CHECKED									ROSS PARK	
					APPROVED										
					DATE										



Cycling Advisory Committee

Report

2nd Meeting of the Cycling Advisory Committee
January 16, 2019
Committee Room #4

Attendance PRESENT: D. Mitchell (Chair), D. Doroshenko, R. Henderson,
J. Jordan, W. Pol, D. Szoller; and P. Shack (Secretary)

ABSENT: D. Foster, R. Sirois and M. Zunti

ALSO PRESENT: J. Ackworth, J. Bruin, A. Giesen, K.
Grabowski, S. Harding, P. Kavcic, T. Koza, L. Maitland, A. Miller,
J. Stanford and S. Wilson

The meeting was called to order at 12:25 PM.

1. Call to Order

1.1 Disclosures of Pecuniary Interest

That it BE NOTED that no pecuniary interests were disclosed.

2. Scheduled Items

2.1 Wonderland Road Class Environmental Assessment Study

That it BE NOTED that the attached presentation from J. Johnson, Project Manager, Dillon Consulting, with respect to the Wonderland Road Class Environmental Assessment Study, was received.

2.2 Thames Valley Corridor: SOHO

That it BE NOTED that the attached presentation from K. Preston, Associate, Dillon Consulting, with respect to the Thames Valley Corridor: SOHO, was received.

2.3 Update on Bike Share Activities and Development of Business Case

That it BE NOTED that the attached presentation from J. Stanford, Director-Environmental, Fleet and Solid Waste and A. Miller, Co-ordinator Transport Demand Management, with respect to an update on Bike Share Activities and Development of Business Case, was received.

2.4 East-West Bikeway Evaluation

That it BE NOTED that the attached presentation from P. Kavcic, Transportation Design Engineer, with respect to the East-West Bikeway Evaluation, was received.

3. Consent

3.1 1st Report of the Cycling Advisory Committee

That it BE NOTED that the 1st Report of the Cycling Advisory Committee, from its meeting held on December 19, 2018, was received.

3.2 West London Dyke Erosion Control-Municipal Class Environmental Assessment-Notice of Study Completion

That it BE NOTED that the Notice of Study Completion-West London Dyke Erosion Control-Municipal Class Environmental Assessment, was received.

3.3 Notice of Planning Application - Official Plan Amendment - Victoria Park Secondary Plan

That it BE NOTED the Notice of Planning Application-Official Plan Amendment-Victoria Park Secondary Plan, was received.

3.4 Bicycle Lane over Blackfriars Bridge - M. Temme

That the following action be taken with respect to the communication from M. Temme dated December 12, 2018, concerning the bicycle lane over Blackfriars Bridge:

that Civic Administration BE REQUESTED to consider on-site monitoring of the use of the bridge to ensure that cyclists are not comprised, and the information be shared with Cycling Advisory Committee;

it being noted that the communication with respect to the above matter, was received.

3.5 Greg Cunroe Tunnel Repairs (6-PT-02) Horton Street to Evergreen Avenue Under CN Rail - Tender No. RFT-18-22

That it BE NOTED that the communication dated January 8, 2019 from J. Fullick with respect to the Greg Cunroe Tunnel Repairs (6-PT-02) Horton Street to Evergreen Avenue under CN Rail, was received.

4. Sub-Committees and Working Groups

None.

5. Items for Discussion

5.1 (ADDED) Budget

That Civic Administration BE ADVISED of the following comments with respect to the 2020-2025 Budget for Cycling:

a) to continue support and explore opportunities to maintain the 2016-2019 allocation budget for Cycling;

b) be encouraged to pursue Senior Levels of Government to replace lost funding;

it being noted that the Cycling Advisory Committee (CAC) held a general discussion with respect to the 2020-2025 Budget for Cycling.

6. Deferred Matters/Additional Business

None.

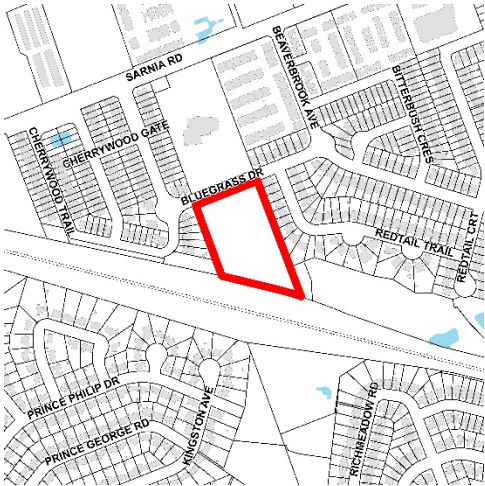
7. Adjournment

The meeting was adjourned at 6:30 PM.

NOTICE OF PLANNING APPLICATION

Zoning By-Law Amendment

945 Bluegrass Drive



File: Z-9020

Applicant: Gateway Church

What is Proposed?

Zoning amendment to allow:

- Two 3-storey, 40-unit apartment buildings
- A reduced minimum parking rate of 66 spaces (whereas 100 spaces are required)



LEARN MORE & PROVIDE INPUT

Please provide any comments by **February 27, 2019**

Catherine Lowery

clowery@london.ca

519-661-CITY (2489) ext. 5074

Development Services, City of London, 300 Dufferin Avenue, 6th Floor

London ON PO BOX 5035 N6A 4L9

File: Z-9020

london.ca/planapps

You may also discuss any concerns you have with your Ward Councillor:

Councillor Steve Lehman

slehman@london.ca

519-661-CITY (2489) ext. 4008

**If you are a landlord, please post a copy of this notice where your tenants can see it.
We want to make sure they have a chance to take part.**

Application Details

Commonly Used Planning Terms are available at london.ca/planapps.

Requested Zoning By-law Amendment

To change the zoning from a Holding Community Facility Special Provision (h*h-1*h-18*CF1(3)*CF3(1)*D40*H12) Zone and Urban Reserve (UR3) Zone to a Holding Residential R8 Special Provision (h*h-1*R8-1(__)) Zone. Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at london.ca/planapps.

Current Zoning

Zone: Holding Community Facility Special Provision (h*h-1*h-18*CF1(3)*CF3(1)*D40*H12) Zone and Urban Reserve (UR3) Zone

Permitted Uses: Places of worship, public swimming pools, day care centres, elementary schools, group home type 2, libraries, post office depots, private schools, secondary schools, police stations, clinics in association with other permitted uses, continuum-of-care facilities for seniors, hostels, medical/dental offices in association with other permitted uses, nursing homes, personal service establishments associated with the main permitted use, rest homes, and retirement lodges

Special Provision(s): Minimum 30 metre setback from a Railway Right-of-Way

Residential Density: 40 units per hectare

Height: 12 metres

Requested Zoning

Zone: Holding Residential R8 Special Provision (h*h-1*R8-1(__)) Zone

Permitted Uses: Apartment buildings, handicapped person's apartment buildings, lodging house class 2, stacked townhousing, senior citizen apartment buildings, emergency care establishments, continuum-of-care facilities

Special Provision(s): A reduced minimum parking rate of 66 spaces

Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as Low Density Residential and Multi-Family, Medium Density Residential in the Official Plan, which permits a range of low rise and mid-rise residential uses as the main uses.

The subject lands are in the Neighbourhoods Place Type in *The London Plan*, permitting a range of low rise residential uses.

How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. The ways you can participate in the City's planning review and decision making process are summarized below. For more detailed information about the public process, go to the [Participating in the Planning Process](http://london.ca/planapps) page at london.ca.

See More Information

You can review additional information and material about this application by:

- visiting Development Services at 300 Dufferin Ave, 6th floor, Monday to Friday between 8:30am and 4:30pm;
- contacting the City's Planner listed on the first page of this Notice; or
- viewing the application-specific page at london.ca/planapps.

Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Development Services staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

Attend a Future Public Participation Meeting

The Planning and Environment Committee will consider the requested zoning changes on a date that has not yet been scheduled. The City will send you another notice inviting you to attend this meeting, which is required by the *Planning Act*. You will also be invited to provide

your comments at this public participation meeting. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

What Are Your Legal Rights?

Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at docservices@london.ca. You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

Right to Appeal to the Local Planning Appeal Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

For more information go to <http://elto.gov.on.ca/tribunals/lpat/about-lpat/>.

Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the *Municipal Act*, 2001, as amended, and the *Planning Act*, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Cathy Saunders, City Clerk, 519-661-CITY(2489) ext. 4937.

Accessibility – Alternative accessible formats or communication supports are available upon request. Please contact accessibility@london.ca or 519-661-CITY(2489) extension 2425 for more information.



NOTICE OF PLANNING APPLICATION

Zoning By-Law Amendment

Address – 1081 Riverside Drive



File: Z-9017

Applicant: Hajar Properties Inc.

What is Proposed?

Zoning amendment to allow:

- An additional unit within the existing building (for a total of three units)

LEARN MORE & PROVIDE INPUT

Please provide any comments by **February 20, 2019**

Nancy Pasato

npasato@london.ca

519-661-CITY (2489) ext. 4586

Development Services, City of London, 300 Dufferin Avenue, 6th Floor,
London ON PO BOX 5035 N6A 4L9

File: Z-9017

london.ca/planapps

You may also discuss any concerns you have with your Ward Councillor:

Steve Lehman

slehman@london.ca

519-661-CITY (2489) ext. 4008

**If you are a landlord, please post a copy of this notice where your tenants can see it.
We want to make sure they have a chance to take part.**

Date of Notice: January 31, 2019

Application Details

Commonly Used Planning Terms are available at london.ca/planapps.

Requested Zoning By-law Amendment

To change the zoning from a Private Road Residential R6 (PR*R6-1) Zone to a Residential R3 (R3-2) Zone. Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at london.ca/planapps.

Current Zoning

Zone: Private Road Residential R6 (PR*R6-1) Zone

Permitted Uses: The "PR" symbol denotes development on individually owned parcels with frontage on a private road (not owned or maintained by the municipality). The R6-1 Zone permits single detached dwellings in a cluster housing form.

Residential Density: 15 units per hectare

Height: 10.5 metres (34.4 feet)

Requested Zoning

Zone: Residential R3 (R3-2) Zone

Permitted Uses: single detached dwellings, semi-detached dwellings, duplex dwellings, triplex dwellings, converted dwellings, fourplex dwellings.

Height: 10.5 metres (34.4 feet)

Planning Policies

The subject lands are in the in the 'Neighbourhoods' Place Type in The London Plan, permitting a wide range of residential uses, including single detached dwellings, converted dwellings, townhouses, secondary suites, home occupations, low-rise apartments and emergency care establishments; and designated as Low Density Residential in the 1989 Official Plan, which permits single detached dwellings, semi-detached dwellings, duplexes, triplexes, and converted dwellings as the main uses.

How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. The ways you can participate in the City's planning review and decision making process are summarized below. For more detailed information about the public process, go to the [Participating in the Planning Process](http://london.ca/planapps) page at london.ca.

See More Information

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- viewing the application-specific page at london.ca/planapps.

Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Development Services staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

This request represents residential intensification as defined in the policies of the Official Plan. Under these policies, Development Services staff and the Planning and Environment Committee will also consider detailed site plan matters such as fencing, landscaping, lighting, and driveway locations. We would like to hear your comments on these matters.

Attend a Future Public Participation Meeting

The Planning and Environment Committee will consider the requested zoning changes on a date that has not yet been scheduled. The City will send you another notice inviting you to attend this meeting, which is required by the *Planning Act*. You will also be invited to provide your comments at this public participation meeting. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

What Are Your Legal Rights?

Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at docservices@london.ca. You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

Right to Appeal to the Local Planning Appeal Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

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For more information go to <http://elto.gov.on.ca/tribunals/omb/about-the-omb/>.

Notice of Collection of Personal Information

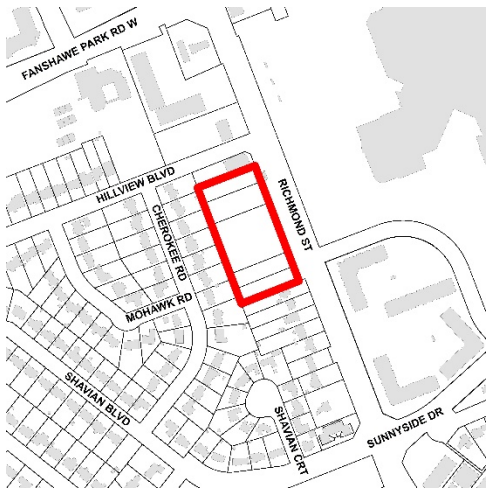
Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the *Municipal Act*, 2001, as amended, and the *Planning Act*, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Cathy Saunders, City Clerk, 519-661-CITY(2489) ext. 4937.

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NOTICE OF PLANNING APPLICATION

Official Plan and Zoning By-law Amendments

1631-1649 Richmond Street



File: OZ-9019

Applicant: 1635 Richmond (London) Corporation

What is Proposed?

Official Plan and Zoning amendments to allow:

- Two 7-storey apartment buildings with a total of 291 units (whereas 6-storeys is permitted)
- An increased maximum building height of 22 metres (whereas 20 metres is permitted)
- A reduced minimum parking supply of 196 spaces (whereas 205 spaces are required)

This application also seeks to remove site specific policies in the 1989 Official Plan and The London Plan and site specific Special Provisions in the Zoning By-law related to townhouse dwellings

LEARN MORE & PROVIDE INPUT

Please provide any comments by **February 27, 2019**

Catherine Lowery

clowery@london.ca

519-661-CITY (2489) ext. 5074

Development Services, City of London, 300 Dufferin Avenue, 6th Floor

London ON PO BOX 5035 N6A 4L9

File: OZ-9019

london.ca/planapps

You may also discuss any concerns you have with your Ward Councillor:

Councillor Josh Morgan

joshmorgan@london.ca

519-661-CITY (2489) ext. 4007

**If you are a landlord, please post a copy of this notice where your tenants can see it.
We want to make sure they have a chance to take part.**

Application Details

Commonly Used Planning Terms are available at london.ca/planapps.

Requested Amendment to the Current Official Plan

To amend Policies 3.5.25 and 3.5.26 in the 1989 Official Plan to permit a building height of 7-storeys and to remove policies related to townhouse dwellings.

Requested Amendment to The London Plan (New Official Plan)

To amend Policies 823_ and 825_ in The London Plan to permit a building height of 7-storeys and to remove policies related to townhouse dwellings.

Requested Zoning By-law Amendment

To change the zoning from a Residential R9 Special Provision/Convenience Commercial Special Provision (R9-7(20)/CC4(3)) Zone and a Residential R9 Special Provision (R9-7(23)) Zone to a Residential R9 Special Provision/Convenience Commercial Special Provision (R9-7(20)/CC4(3)) Zone and a Residential R9 Special Provision (R9-7(23)) Zone. Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at london.ca/planapps.

Current Zoning

Zone: Residential R9 Special Provision/Convenience Commercial Special Provision (R9-7(20)/CC4(3)) Zone and a Residential R9 Special Provision (R9-7(23)) Zone

Permitted Uses: Cluster townhouse dwellings; apartment buildings; senior citizens apartment buildings; continuum-of-care facilities; and convenience service establishments, convenience stores, financial institutions, personal service establishments within apartment buildings

Special Provisions: A number of special provisions currently apply to the site.

Requested Zoning

Zone: Residential R9 Special Provision/Convenience Commercial Special Provision (R9-7(20)/CC4(3)) Zone and Residential R9 Special Provision (R9-7(23)) Zone

Permitted Uses: Apartment buildings; senior citizens apartment buildings; continuum-of-care facilities; and convenience service establishments, convenience stores, financial institutions, personal service establishments within apartment buildings

Special Provisions: An increased maximum building height of 22 metres and a reduced minimum parking supply of 196 spaces. Special provisions related to townhouse dwellings are proposed to be removed. All other existing special provisions would continue to apply to the site.

The City may also consider additional special provisions where appropriate.

Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as Multi-Family, Medium Density Residential with specific policies in the Official Plan, which permits a range of residential uses, including apartment buildings, as the main uses.

The subject lands are in the Transit Village Place Type with specific policies in *The London Plan* (Council-adopted but not in force and effect), permitting a range of residential, retail, service, office, cultural, institutional, hospitality, entertainment, recreational, and other related uses.

How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the Official Plan designation and the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. The ways you can participate in the City's planning review and decision making process are summarized below. For more detailed information about the public process, go to the [Participating in the Planning Process](http://london.ca/planapps) page at london.ca.

See More Information

You can review additional information and material about this application by:

- visiting Development Services at 300 Dufferin Ave, 6th floor, Monday to Friday between 8:30am and 4:30pm;
- contacting the City's Planner listed on the first page of this Notice; or

- viewing the application-specific page at london.ca/planapps.

Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Planning Services staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

Attend a Future Public Participation Meeting

The Planning and Environment Committee will consider the requested Official Plan and zoning changes on a date that has not yet been scheduled. The City will send you another notice inviting you to attend this meeting, which is required by the *Planning Act*. You will also be invited to provide your comments at this public participation meeting. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

What Are Your Legal Rights?

Notification of Council Decision

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If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision of the Council of the City of London to the Ontario Municipal Board.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

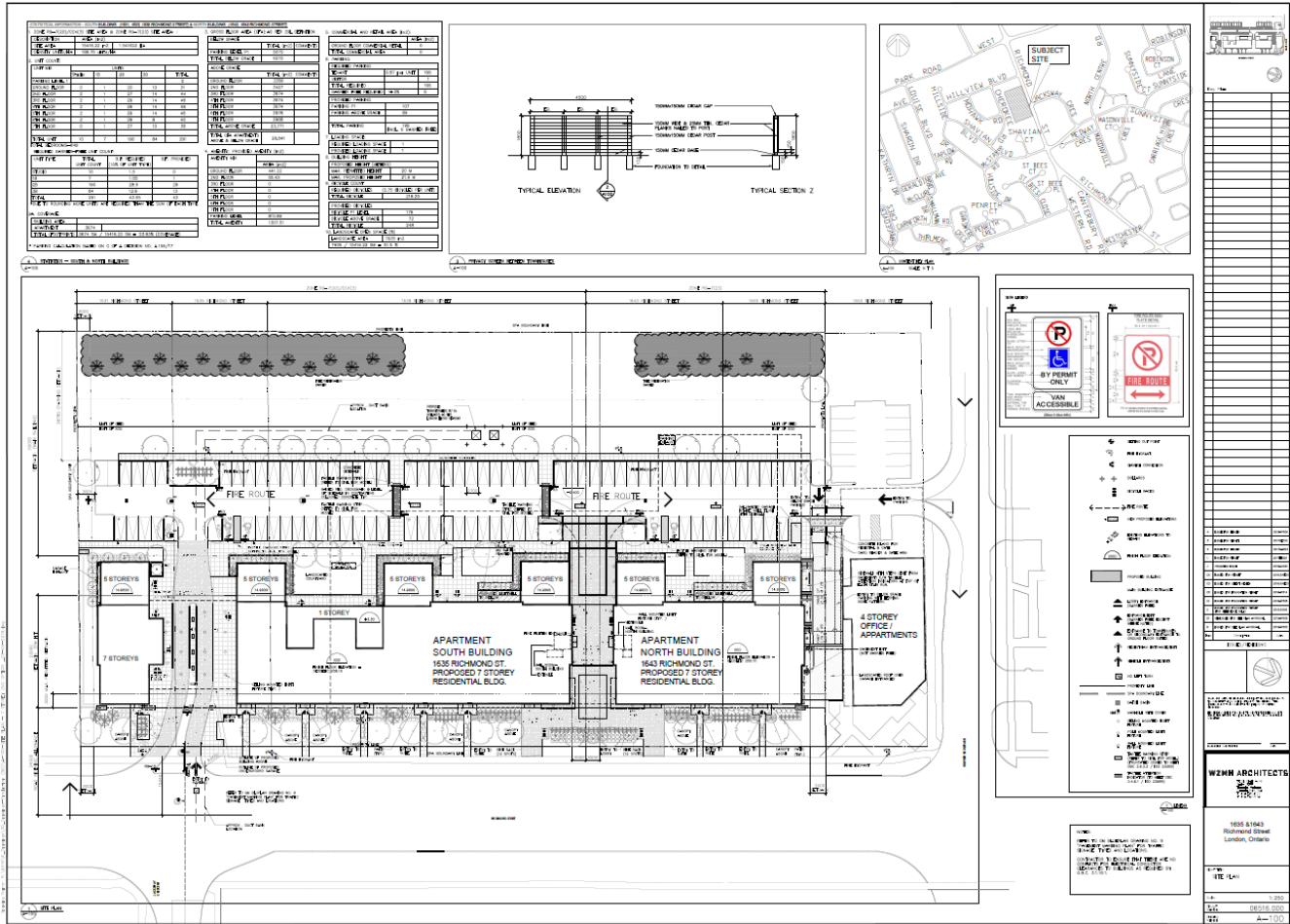
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Site Concept



Conceptual Site Plan

The above image represents the applicant's proposal as submitted and may change.

Building Renderings



Conceptual Rendering – Richmond Street View



Conceptual Rendering – Rear View

The above images represent the applicant's proposal as submitted and may change.