

# London Advisory Committee on Heritage

## Report

10th Meeting of the London Advisory Committee on Heritage  
October 10, 2018  
Committee Rooms #1 and #2

Attendance                   PRESENT: M. Whalley (Acting Chair), S. Adamsson, D. Brock,  
J. Cushing, H. Elmslie, H. Garrett, S. Gibson, J. Manness,  
and K. Waud and J. Bunn (Secretary)

ABSENT: D. Dudek and T. Jenkins

ALSO PRESENT: K. Gonyou and J. Ramsay

The meeting was called to order at 5:30 PM.

### 1. Call to Order

#### 1.1 Disclosures of Pecuniary Interest

That it BE NOTED that H. Garrett disclosed a pecuniary interest in clauses 3.5 and 5.2 of this report, having to do with a Revised Application and Public Meeting Notice with respect to a zoning by-law amendment for the properties located at 147-149 Wellington Street and 253-257 Grey Street and the property located at 536 Windermere Road, respectively, by indicating that her employer is the agent on the files.

### 2. Scheduled Items

#### 2.1 North Talbot Neighbourhood Heritage Homes

That the attached presentation from A.M. Valastro with respect to potential heritage homes in the North Talbot Neighbourhood area, BE REFERRED to the Stewardship Sub-Committee for review; it being noted that Ms. Valastro will provide her research on these properties to the Sub-Committee.

#### 2.2 Bus Rapid Transit Pausing Transit Project Assessment Process to Strengthen Heritage Strategy

That the attached Draft Terms of Reference for the Individual Cultural Heritage Evaluation Reports that will be submitted to the London Advisory Committee on Heritage (LACH) for their review, BE REFERRED to the Stewardship Sub-Committee for review; it being noted that the attached presentation and handouts from J. Ramsay, Project Director, Rapid Transit Implementation, were received; it being further noted that the Cultural Heritage Screening Report - London Bus Rapid Transit System, dated October 8, 2018, from WSP, was received and is on file in the City Clerk's Office.

### 3. Consent

#### 3.1 9th Report of the London Advisory Committee on Heritage

That it BE NOTED that the 9th Report of the London Advisory Committee on Heritage, from its meeting on September 12, 2018, was received.

#### 3.2 Public Meeting Notice - Draft Plan of Subdivision and Zoning By-law Amendment - 3080 Bostwick Road

That it BE NOTED that the Public Meeting Notice, dated September 20, 2018, from S. Wise, Senior Planner, with respect to a Draft Plan of Subdivision and Zoning By-law Amendment for the property located at 3080 Bostwick Road, was received.

3.3 Notice of Planning Application - Draft Plan of Subdivision and Zoning By-law Amendment - 6019 Hamlyn Street

That it BE NOTED that the Notice of Planning Application, dated October 2, 2018, from N. Pasato, Senior Planner, with respect to a Draft Plan of Subdivision and Zoning By-law Amendment for the property located at 6019 Hamlyn Street, was received.

3.4 Notice of Study Completion - Adelaide Street North - Canadian Pacific Railway Grade Separation - Municipal Class Environmental Assessment Study

That it BE NOTED that the Notice of Study Completion from A. Spahiu, Transportation Design Engineer, with respect to the Adelaide Street North - Canadian Pacific Railway Grade Separation Municipal Class Environmental Assessment Study, was received.

3.5 Revised Application and Public Meeting Notice - Zoning By-law Amendment - 147-149 Wellington Street and 253-257 Grey Street

That it BE NOTED that the Revised Application and Public Meeting Notice, dated September 19, 2018, from M. Corby, Senior Planner, with respect to a Zoning By-law Amendment for the properties located at 147-149 Wellington Street and 253-257 Grey Street, was received.

**4. Sub-Committees and Working Groups**

None.

**5. Items for Discussion**

5.1 Heritage Alteration Permit Application by G. Anastasiadis re 550 Dufferin Avenue - East Woodfield Heritage Conservation District

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, the application under Section 42 of the *Ontario Heritage Act* to construct a new, detached garage on the property located at 550 Dufferin Avenue, within the East Woodfield Heritage Conservation District, BE PERMITTED as submitted in the drawings appended to the staff report dated October 10, 2018, with the following terms and conditions:

- only one driveway be permitted;
- the existing driveway and curb cut for the property off of Dufferin Avenue be closed and the driveway be removed and the area be restored with sod/grass; and,
- the Heritage Alteration Permit be displayed in a location visible from the street until the work is completed;

it being noted that the attached presentation from K. Gonyou, Heritage Planner, with respect to this matter, was received.

5.2 Property at 536 Windermere Road

That the communication dated September 16, 2018, from E. Mara, with respect to the property located at 536 Windermere Road, BE REFERRED to the Stewardship Sub-Committee for review; it being noted that the Sub-Committee will also consider the property located at 542 Windermere Road with respect to this matter.

**6. Deferred Matters/Additional Business**

6.1 (ADDED) Heritage Planners' Report

That it BE NOTED that the attached submission from K. Gonyou, Heritage Planner, with respect to various updates and events, was received.

**7. Confidential**

7.1 Personal Matters/Identifiable Individual

That the London Advisory Committee on Heritage convene in closed session with respect to the following matter:

7.1. Personal Matters/Identifiable Individual

A personal matter pertaining to identifiable individuals, including municipal employees, with respect to the 2019 Mayor's New Year's Honour List.

The London Advisory Committee on Heritage convened in camera from 7:27 PM to 7:37 PM with respect to the above-noted matter.

**8. Adjournment**

The meeting adjourned at 7:37 PM.

Hello,

I am requesting delegation status for the Oct. 10 meeting of LACH. Last spring, I approached LACH with concerns regarding homes in the North Talbot area that were heritage quality homes but were not being maintained. It was suggested that I return with a list of these homes for review by LACH.

I delayed returning once I heard that LACH was asked to review heritage qualities of homes along the Richmond route of BRT. I am now requesting time to present a list of homes in the North Talbot area that could be neglected but have heritage potential.

Thank You  
AnnaMaria Valastro  
133 John Street, Unit 1  
London, Ontario N6A 1N7



**Properties of North Talbot**  
**concerns of neglect**

176 Piccadilly (east north corner of St. George)



183 Ann Street ( recently purchased by York Development for redevelopment- next to old Carling Brewery site)



179 Ann Street ( recently purchased by York Development for re-development – next to old Carling Brewery site)



Carling Brewery – original site



140 and 142 Mill Street - designated



Open vents



139 Mill St. Most addresses on Mill St. are listed on heritage inventory list.



116 Mill St. – east north corner of Talbot St.  
Most addresses on Mill St. are listed on the heritage inventory list.



557 Ridout Street – mid century  
site to be re-developed



555 Ridout – mid century  
site to be re-developed



565 Ridout St.  
built for Talbot Macbeth 1910. Listed on heritage inventory list.



130 Kent Street. Owned by York Development ?  
Frat House. Listed on heritage inventory list.



136 Kent St. Owned by York Development?  
Frat House. Listed on heritage inventory list



149 Central Ave.  
The house was built 1874. In the 1875 City Directory, Thomas Haskett, painter is  
living there. This property along with 155, 157 and 145 are being sold as one block  
for re-development for 2.2 million dollars. Listed on heritage inventory list.



155 and 157 Central Ave.



145 Central Ave. Listed on heritage inventory list.



135 Central – noted for heritage features by Don Menard. Listed in heritage inventory list.



179 John St. Listed on heritage inventory list



Hi Jerri-Joanne,

I'm re-sending to include email subject line. Please see the information below. We are asking that this information, along with the attached media release, be circulated to members of LACH.

Thank you so much,

Jennifer

### **BRT pausing Transit Project Assessment Process to strengthen heritage strategy**

Please be advised, London's Bus Rapid Transit (BRT) project team is pausing the formal Transit Project Assessment Process (TPAP) to provide more comprehensive information about potential heritage impacts before moving forward. Attached and below is a media release with further details. Media and members of the public will be notified today about this change to the TPAP schedule. A notice will also be posted to the [project website](#) today.

Please feel free to contact us if you have any questions.

Thanks again,

Jennifer

City of London  
Media Release  
Monday October 1, 2018

## **BRT pausing Transit Project Assessment Process to strengthen heritage strategy**

London's Bus Rapid Transit (BRT) team is pausing the formal Transit Project Assessment Process (TPAP) to provide more comprehensive information about potential heritage impacts before moving forward.

Heritage is a "Matter of Provincial Importance," which means cities must demonstrate the highest regard for it in their planning processes. The BRT project team has already completed a significant amount of preliminary research to identify any potential impacts on heritage, and more in-depth assessments and explicit mitigation plans were originally slated for after the conclusion of the TPAP.

"Through discussions with the Ministry of Tourism, Culture and Sport (MTCS), we determined there is a need at this point to more fully explore any potential heritage impacts and describe in detail our strategy for managing and mitigating any impacts," says Jennie Ramsay, BRT project director. "We opted to pause the process to assure the Ministry we are adequately addressing this matter of provincial concern before moving forward."

Through research to date, the project team has identified 67 properties that may or may not have cultural heritage value where structures could be impacted by construction of BRT. It is likely many of these properties will ultimately not be deemed to have heritage value. In cases where heritage value is confirmed, there may be ways to minimize or avoid impacts through design tweaks, such as slightly adjusting sidewalk width.

The BRT project is in a legislated, 120-day public consultation period that was expected to wrap up Oct. 4, when the project report would enter a 30-day public review period before being sent to the Ministry of Environment, Conservation and Parks for review. Briefly pausing the formal process is not expected to have a material impact on the overall 10-year project timeline.

Once the step-by-step heritage plan is strengthened, the project team will continue with the formal TPAP, including a 30-day public review of the Environmental Project Report.

"The City shares the Ministry's commitment to a clear and effective strategy for managing and mitigating potential heritage impacts," says Ramsay. "Having a transparent strategy in place to preserve and protect our historic assets is critical while planning for the future."

### **Media Contact:**

April Kemick  
Communications Manager  
519-661-2489, ext. 1783

## **DRAFT Terms of Reference:**

### **Individual Cultural Heritage Evaluation Report**

A stand-alone Cultural Heritage Evaluation Report will be prepared by a qualified heritage consultant as required by the recommendations of the Cultural Heritage Assessment Report.

The Cultural Heritage Evaluation Report will include:

- an executive summary, describing a summary of the outcome of the heritage evaluation;
- an introduction providing context for the report and providing a brief overview of how and why the research was undertaken;
- a general description of the history of the immediate context, considering the unique setting of the property, which may consist of a village, neighborhood, commercial district, and/or street the property is located within;
- a land use history of the property parcel describing key transfers of land and milestones, informed by Land Registry records to the Crown and additional archival research into prominent owners or tenants, including but not limited to the use of tax assessments or City Directories, if identified;
- a description of the heritage character of the immediate landscape context, including significant views and/or vistas;
- a description of the exterior of a built heritage resource visible from the public right-of-way for a building, and if an engineering work, a description of its structural design and materials;
- representative photographs of the exterior of a building or structure, character-defining architectural details taken during a site visit from the public right-of-way, or, of a structure, representative photographs of the elevations and structural details of a bridge or engineering work;
- a comparative analysis, using buildings of a similar age, style, typology, context and/or history, informed by a search of the City of London Heritage Register;
- a qualified statement about integrity, including observations from the public right-of-way, description of limitations, and recommendations for future work by a qualified heritage engineer, building scientist, or architect;
- a cultural heritage resource evaluation under O. Reg. 9/06, guided by the Ontario Heritage Toolkit (2006) and the Ministry of Tourism, Culture and Sport's Standards and Guidelines for the Conservation of Provincial Heritage Properties (2014);
- a statement of cultural heritage value or interest;
- a description of the heritage attributes;
- historical mapping, photographs of the building if available;
- a location plan;
- a description of consultation undertaken;
- recommendations for future work; and
- sources cited.



## **Group Cultural Heritage Evaluation Report**

A group Cultural Heritage Evaluation Report will be prepared by a qualified heritage consultant as required by the recommendations of the Cultural Heritage Assessment Report for contiguous properties which share a geography, style, age, use and typology.

A Grouped Cultural Heritage Evaluation Report will include:

- an executive summary, describing a summary of the outcome of the heritage evaluation(s);
- an introduction providing context for the report and providing a brief overview of how and why the research was undertaken;
- a shared general description of the history of the of the immediate context, considering the unique setting of the property, which may consist of the village, neighborhood, commercial district, and/or street the property is located within;
- a shared description of the heritage character of the immediate landscape context, including significant views and/or vistas;
- a land use history of the property parcel describing key transfers of land and milestones, informed by Land Registry records to the Crown and additional archival research into prominent owners or tenants, including but not limited to the use of tax assessments or City Directories, if identified;
- a description of the exterior of each built heritage resource visible from the public right-of-way for a building, and if an engineering work, a description of its structural design and materials;
- representative photographs of the exterior of each built heritage resource, including architectural details, taken during a site visit from the public right-of-way, or, of a structure, representative photographs of the elevations and structural details of a bridge or engineering work;
- a comparative analysis for each built heritage resource, using buildings or structures of a similar age, style, typology, context and/or history, informed by a search of the City of London Heritage Register;
- a qualified statement about integrity for each built heritage resource, including observations from the public right-of-way, description of limitations, and recommendations for future work by a qualified heritage engineer, building scientist, or architect;
- a cultural heritage resource evaluation under O. Reg. 9/06 for each property, guided by the Ontario Heritage Toolkit (2006) and the Ministry of Tourism, Culture and Sport's Standards and Guidelines for the Conservation of Provincial Heritage Properties (2014);
- a statement of cultural heritage value or interest for each property that meets O. Reg. 9/06;
- a description of the heritage attributes for each property that meets O. Reg. 9/06;
- historical mapping, photographs of the building if available;
- a location plan;
- a description of consultation undertaken; and
- recommendations for future work; and
- sources cited.



## AGENDA

- Cultural heritage work to date
- Expanded Cultural Heritage Screening Report (CHSR)
- Potential direct impacts to buildings
- Cultural Heritage Evaluation Report (CHER) terms of reference
- Next steps
- LACH role



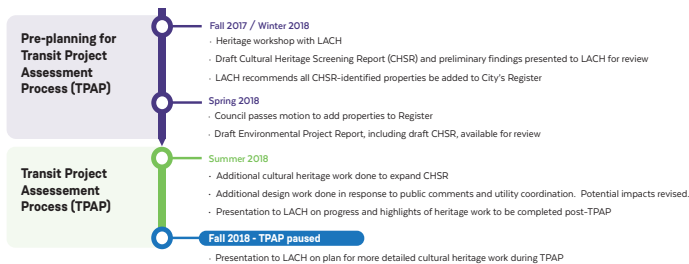
## EXPANDED CULTURAL HERITAGE SCREENING REPORT (CHSR)

### DRAFT CHSR (APRIL 2018)

### EXPANDED CHSR (OCTOBER 2018)

- Screened along BRT corridors for potential cultural heritage value/interest
- Provided a historical and policy context, existing conditions and mapping
- Made recommendations for properties requiring further heritage studies

- Included LACH-identified properties and identified properties that don't require further study
- Identified properties added to the City's Inventory of Heritage Resources this year
- Evaluated potential impacts and identified mitigation strategies
- Assessed changes to impacts due to evolving design in response to consultation
- Updated mapping and photo documentation
- Updated recommendations for properties requiring further heritage studies

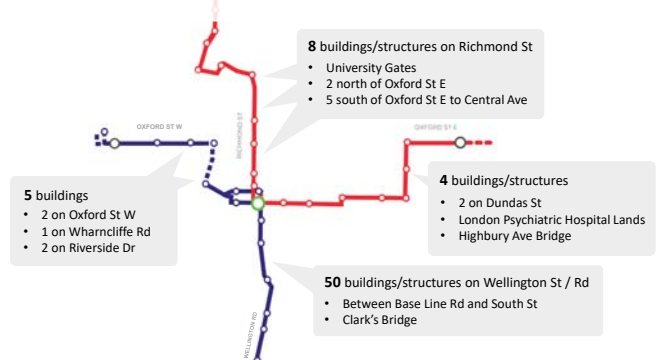


## EXAMPLE

NAME	MUNICIPAL ADDRESS	PAST IV. V. OR LAT/LS	IMAGE	DESCRIPTION	IMPACT DETAILS	LEVEL OF IMPACT	MITIGATION RECOMMENDATIONS
1001	1001	1001		Highly significant historic building with architectural details including a prominent chimney and decorative masonry.	Proposed BRT station and platform would be located directly adjacent to the property, potentially obscuring the building's facade and architectural features.	High	Proposed BRT station and platform would be located directly adjacent to the property, potentially obscuring the building's facade and architectural features.
1002	1002	1002		Historic building with architectural details including a prominent chimney and decorative masonry.	Proposed BRT station and platform would be located directly adjacent to the property, potentially obscuring the building's facade and architectural features.	High	Proposed BRT station and platform would be located directly adjacent to the property, potentially obscuring the building's facade and architectural features.
1003	1003	1003		Historic building with architectural details including a prominent chimney and decorative masonry.	Proposed BRT station and platform would be located directly adjacent to the property, potentially obscuring the building's facade and architectural features.	High	Proposed BRT station and platform would be located directly adjacent to the property, potentially obscuring the building's facade and architectural features.



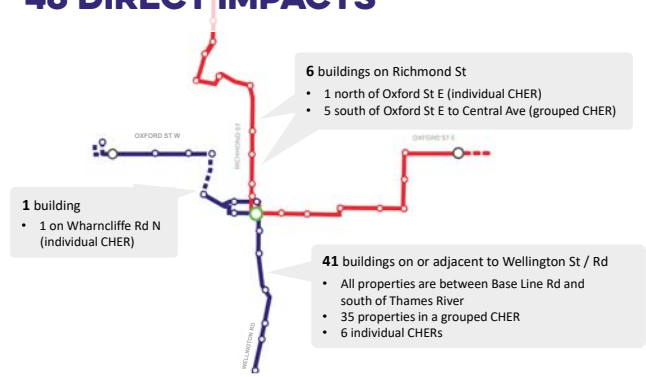
## 67 POTENTIAL DIRECT IMPACTS



## 67 REDUCED TO 48



## 48 DIRECT IMPACTS



## TERMS OF REFERENCE

### INDIVIDUAL CHER

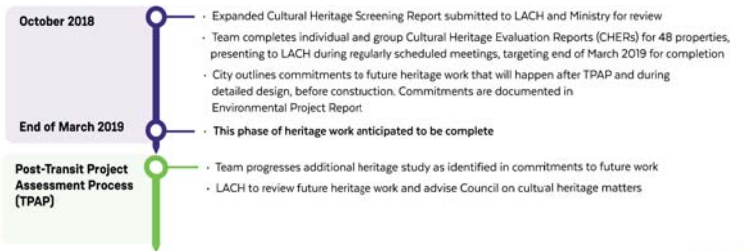
A **stand-alone** Cultural Heritage Evaluation Report (CHER) will be prepared by a qualified heritage consultant as required by the recommendations of the Cultural Heritage Screening Report (CHSR).

### GROUPED CHER

A **grouped** Cultural Heritage Evaluation Report (CHER) will be prepared by a qualified heritage consultant as required by the recommendations of the Cultural Heritage Screening Report (CHSR) for contiguous properties which share a geography, style, age, use and typology.



## NEXT STEPS



## LACH ROLE

### FOR TPAP

- Review of updated Cultural Heritage Screening Report (CHSR)
- We request any insights LACH has to assist in determining heritage value and attributes of the 48 properties
- Provide team with historical mapping, photographs, and other resources if available
- Review cultural heritage reports as they are brought forward to LACH

### AFTER TPAP

- Review the methodology for further CHER and Heritage Impact Assessment (HIA)
- Review the prioritization of the heritage work along the BRT corridors
- Continue to advise Council on cultural heritage resources



## QUESTIONS?



# HERITAGE REVIEW STRATEGY FOR TRANSIT PROJECT ASSESSMENT PROCESS

On October 1, 2018, London’s BRT project paused its formal Transit Project Assessment Process (TPAP) to provide more comprehensive information about potential cultural heritage impacts. The team had identified 67 buildings/structures that may or may not have cultural heritage value or interest that could be directly impacted by the construction of BRT.



Since then, the team has made design refinements to potentially avoid impacting 11 of the identified buildings. The team also confirmed cultural heritage studies are currently ongoing, or have already been completed, for five buildings/structures that may be impacted by the project. Further, impacts are limited to relocation or widening for three structures. As a result, the number of buildings requiring further evaluation is now **48**.

Among those, some buildings will be included in group Cultural Heritage Evaluation Reports (CHER) and others will have individual CHERs completed. Please see below for a list of all 67 buildings/structures identified, those that have been ruled out, and plans for the **48 buildings**.

PROPERTY	STATUS	NEXT STEPS
100 Kellogg Lane	Previous studies have documented heritage value	No further evaluation required in TPAP
850 Highbury Ave N	Previous studies have documented heritage value	No further evaluation required in TPAP
1033 Dundas St	Design refinements can avoid impact to building	No further evaluation required in TPAP
Highbury Ave Bridge	Bridge to be widened, demolition not required	No further evaluation required in TPAP
118 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
120 Wellington Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
122 Wellington Rd	Requires further evaluation in TPAP	Individual CHER required
126 Wellington Rd	Requires further evaluation in TPAP	Individual CHER required
134 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
136 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
138 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
140 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
142 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
16 Wellington Rd	Requires further evaluation in TPAP	Individual CHER required
166 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
174 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
220 Wellington Rd	Requires further evaluation in TPAP	Individual CHER required
247 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
249 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
251 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
255 Wellington Rd	Requires further evaluation in TPAP	Individual CHER required
26 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
261 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
263 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
265 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
267 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
269 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
49 Foxbar Rd, 55 Foxbar Rd, 243 Wellington Rd	Requires further evaluation in TPAP	Individual CHER required
271 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
273 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
275 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
28 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
285 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
287 Wellington Rd	Requires further evaluation in TPAP	Group CHER required




PROPERTY	STATUS	NEXT STEPS
289 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
297 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
30 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
301 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
32 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
327 Wellington Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
331 Wellington Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
333 Wellington Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
34 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
74 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
78 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
88 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
90 Wellington Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
92 Wellington Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
98 Wellington Rd	Requires further evaluation in TPAP	Group CHER required
19 Raywood Rd	Requires further evaluation in TPAP	Group CHER required
21 Raywood Rd	Design refinements can avoid impact to building	No further evaluation required in TPAP
1 Kennon Pl	Requires further evaluation in TPAP	Group CHER required
72 Wellington St	Design refinements can avoid impact to building	No further evaluation required in TPAP
Clark's Bridge	Bridge to be widened, no demolition required	No further evaluation required in TPAP
1111 Richmond St	Design refinements can avoid impact to building	No further evaluation required in TPAP
1110 Richmond St	Requires further evaluation in TPAP	Individual CHER required
746 Richmond St	Requires further evaluation in TPAP	Group CHER required
744 Richmond St	Requires further evaluation in TPAP	Group CHER required
742 Richmond St	Requires further evaluation in TPAP	Group CHER required
740 Richmond St	Requires further evaluation in TPAP	Group CHER required
736 Richmond St	Requires further evaluation in TPAP	Group CHER required
University Gates	Relocation proposed, demolition not required	No further evaluation required in TPAP
127 Oxford St W	Design refinements can avoid impact to building	No further evaluation required in TPAP
390 Oxford St W	Previous studies have documented heritage value	No further evaluation required in TPAP
44 Wharnccliffe Rd N	Requires further evaluation in TPAP	Individual CHER required
75 Riverside Dr	Previous studies have documented heritage value	No further evaluation required in TPAP
77 Riverside Dr	Previous studies have documented heritage value	No further evaluation required in TPAP



NUMBER	MUNICIPAL ADDRESS	PART IV, V, OR LISTED	IMAGE	HISTORICAL, PHYSICAL AND CONTEXTUAL ATTRIBUTES	IMPACT DETAILS	LEVEL OF IMPACT	MITIGATION RECOMMENDATIONS
<b>Part IV Properties</b>							
CHR-520	850 Highbury Ave N	Part IV		<p>By-Law L.S.P.-3321-208            Historical: Built 1870, London Psychiatric Hospital            Architectural: Victorian three storey yellow brick building with a hip roof; two storey recreational hall with pediment gables, plain frieze and moulding, over broad pilasters, semi-circular headed brick paneled 40 pane windows, double door centre entrance way; Gothic revival chapel; White brick, slate roof horse stable, the last of the three original buildings; tree-lined avenue with a centre walkway.            Contextual: Within a mixed residential/commercial area along a historically surveyed road.</p>	<p>Direct impacts to a non-heritage building on the property are anticipated including Up to 12.6m along site frontage/lawn proposed, including impacting building, to accommodate roadway widening, sidewalk, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening.</p> <p>Direct impacts to the ministry building are anticipated, however, no direct impacts are anticipated to the heritage attributes identified in the designation by-law. [An HIA should be completed early during detailed design which considers the proposed impacts, including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.]</p>
<b>Part V – Blackfriars-Petersville HCD</b>							
CHR-805	75 Riverside Dr.	Part V Blackfriars-Petersville HCD		<p>Historical: Built circa 1892            Architectural: 1 storey frame residential home with vinyl siding. Side Hall plan frame cottage with hipped roof and centre dormer.            Contextual: The property is within a residential area within Blackfriars/Petersville HCD and is considered a contributing resource.</p>	<p>Direct impacts to the building are anticipated including Up to 7.0m along site frontage/lawn proposed, including impacting building, to accommodate sidewalk and utility buffer. Design alternatives have been considered, and direct impacts may be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening for the bus stop.</p> <p>Should it be determined that avoidance is not possible through design, and as this property has already been evaluated as a part of a Part V HCD Study, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



NUMBER	MUNICIPAL ADDRESS	PART IV, V, OR LISTED	IMAGE	HISTORICAL, PHYSICAL AND CONTEXTUAL ATTRIBUTES	IMPACT DETAILS	LEVEL OF IMPACT	MITIGATION RECOMMENDATIONS
CHR-806	77 Riverside Dr.	Part V Blackfriars-Petersville HCD		<p>Historical: Built circa 1890            Architectural: Single storey, hipped roof frame residence. Side Hall plan cottage.            Contextual: The property is within a residential area within Blackfriars/Petersville HCD and is considered a contributing resource.</p>	<p>Direct impacts to the building are anticipated including Up to 7.0m along site frontage/lawn proposed, including impacting building, to accommodate BRT bus stop, sidewalk and utility buffer. Design alternatives have been considered, and direct impacts may be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening for the bus stop.</p> <p>Should it be determined that avoidance is not possible through design, and as this property has already been evaluated as a part of a Part V HCD Study, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
Wellington Road/Street							
CHR-138	72 Wellington Street	Listed		<p>Historical: Built circa 1870-1900            Architectural: 2 ½ storey buff brick Italianate or Queen Anne influenced residence            Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.3m of site frontage/lawn/driveway and directly impacting building proposed to accommodate multi-use path, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>





NUMBER	MUNICIPAL ADDRESS	PART IV, V, OR LISTED	IMAGE	HISTORICAL, PHYSICAL AND CONTEXTUAL ATTRIBUTES	IMPACT DETAILS	LEVEL OF IMPACT	MITIGATION RECOMMENDATIONS
CHR-137	1 Kennon Pl (Adjacent to Wellington Road)	Listed		<p>Historical: Built circa 1918                      Architectural: 1 ½ storey red brick Dutch Revival residence. Gambrel roof.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Entire property, including building, proposed to accommodate widening of roadway, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-139	98 Wellington Rd	Listed		<p>Historical: Built circa 1949                      Architectural: 1 ½ storey post war bungalow.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 8.3m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, multi-use path, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-140	30 Wellington Rd	Listed		<p>Historical: Built circa 1906                      Architectural: 1 ½ storey cast concrete cladding structure bungalow.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 12.0m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>




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CHR-141	32 Wellington Rd	Listed		<p>Historical: Built circa 1908            Architectural: 1 ½ storey brick influenced bungalow.            Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 11.0m of site frontage/lawn/driveway, and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-142	78 Wellington Rd	Listed		<p>Historical: Built circa 1948            Architectural: 1 storey residence.            Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 8.5m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>

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CHR-143	26 Wellington Rd	Listed		<p>Historical: Built circa 1908                      Architectural: 1 ½ storey cast concrete bungalow.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 11.5m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-144	74 Wellington Rd	Listed		<p>Historical: Built circa 1900                      Architectural: 1 storey Arts and Crafts influenced frame residence                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 8.4m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>




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CHR-145	28 Wellington Rd	Listed		<p>Historical: Built circa 1906                      Architectural: 1 storey cast concrete residence.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 11.8m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-146	90 Wellington Rd	Listed		<p>Historical: Built circa 1945                      Architectural: 2 storey Tudor Revival influenced red brick.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 8.2m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>






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CHR-147	88 Wellington Rd	Listed		Historical: Built circa 1910 Architectural: 1 ½ storey buff brick Queen Anne Revival bungalow. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 8.2m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-148	92 Wellington Rd	Listed		Historical: Built circa 1949 Architectural: 1 storey post-war frame residence. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 8.3m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.	Medium-High	Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-149	34 Wellington Rd	Listed		Historical: Built circa 1906 Architectural: 1 ½ storey residence. Parged, painted brick. Queen Anne revival. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 10.5m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.




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CHR-150	142 Wellington Rd	Listed		Historical: Built circa 1931 Architectural: 1 1/2 storey red brick bungalow residence. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 18.5m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening/realignment, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-151	138 Wellington Rd	Listed		Historical: Built circa 1930 Architectural: 1 1/2 storey Arts and Crafts brick and stucco bungalow residence. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 15.1m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening/realignment, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-152	134 Wellington Rd	Listed		Historical: Built circa 1871 Architectural: 1 storey frame residence. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 12.1m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening/realignment, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.






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CHR-153	120 Wellington Rd	Listed		<p>Historical: Built circa 1945-1950                      Architectural: 2 storey yellow brick main street commercial building.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 8.9m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-154	122 Wellington Rd	Listed		<p>Historical: Built circa 1945-1960                      Architectural: 2 storey main street commercial building                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx.9.1m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-155	126 Wellington Rd	Listed		<p>Historical: Built circa 1945-1960                      Architectural: 2 storey main street commercial building. Cladding applied in 2015.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx.9.1m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



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CHR-156	140 Wellington Rd	Listed		<p>Historical: Built circa 1929                      Architectural: 1 ½ storey Arts and Crafts brick and stucco residence                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 16.8m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening/realignment, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-157	136 Wellington Rd	Listed		<p>Historical: Built circa 1931                      Architectural: 1 storey Arts and Crafts brick residence. Bungalow.                      Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 13.5m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening/realignment, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-158	118 Wellington Rd	Listed		<p>Historical: Built circa 1900-1940                      Architectural: 1 storey                      Contextual: Located in a mixed residential and commercial area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 8.6m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



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CHR-159	166 Wellington Rd	Listed		Historical: Built circa 1948 Architectural: 1 storey Vernacular stucco-clad brick bungalow with red painted gable. Contextual: Located in a mixed residential and commercial area along a historically surveyed road.	Direct impacts to the building are anticipated including Approx. 12.0m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-182	247 Wellington Rd	Listed		Historical: Built circa 1949 Architectural: 1 1/2 storey side gabled, post-war residential home. Contextual: Located in a mixed residential and commercial area along a historically surveyed road.	Direct impacts to the building are anticipated including Approx. 12.0m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.
CHR-183	243 Wellington Rd, 55 Foxbar, 49 Foxbar	Listed		Historical: Built in 1941 for the original St. Andrew Memorial Anglican Church, now serves as a hall. Architectural: Single storey church structure, which has been converted to use as a hall. Contextual: Located in a mixed residential and commercial area along a historically surveyed road.	Direct impacts to the building are anticipated including Approx. 10.3m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.	High	Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.





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CHR-184	255 Wellington Rd	Listed		<p>Historical: Built circa 1950 (left) and 1925 (right)                      Architectural: Single storey cottage residence with attached commercial structure. Vernacular commercial (left), Tudor Revival (right).                      Contextual: Located in a mixed residential and commercial area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 12.3m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-185	261 Wellington Rd	Listed		<p>Historical: Built circa 1951                      Architectural: Two storey red brick residence. Vernacular.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 10.2m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-186	263 Wellington Rd	Listed		<p>Historical: Built circa 1946                      Architectural: 1 ½ storey red brick residential home.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 9.8m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



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CHR-187	251 Wellington Rd	Listed		<p>Historical: Built circa 1938                      Architectural: 1 ½ storey frame residential home. Bungalow.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 10.5m of site frontage/lawn/driveway and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-188	249 Wellington Rd	Listed		<p>Historical: Built circa 1948                      Architectural: 1 storey frame residential home. Bungalow.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 12.3m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-189	267 Wellington Rd	Listed		<p>Historical: Built circa 1945                      Architectural: 1 ½ storey red brick residential home with Tudor Revival influences.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 11.0m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



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CHR-190	269 Wellington Rd	Listed		<p>Historical: Built circa 1944                      Architectural: 1 ½ storey red brick residential home with Vernacular influences.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 11.5m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-191	275 Wellington Rd	Listed		<p>Historical: Built circa 1939                      Architectural: 1 storey frame residential home.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 13.4m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-192	273 Wellington Rd	Listed		<p>Historical: Built circa 1943                      Architectural: 1 ½ storey red brick residential home with Vernacular influences.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 13.7m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>




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CHR-193	271 Wellington Rd	Listed		<p>Historical: Built circa 1944                      Architectural: 1 ½ storey red brick Vernacular residential home.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 14.8m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-194	265 Wellington Rd	Listed		<p>Historical: Built circa 1945                      Architectural: 1 ½ storey red brick residential home with Tudor Revival influences.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 10.4m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



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CHR-195	289 Wellington Rd	Listed		<p>Historical: Built circa 1937                      Architectural: 1 ½ storey red brick residential home with Tudor Revival influences.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 13.6m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-196	287 Wellington Rd	Listed		<p>Historical: Built circa 1943                      Architectural: 1 ½ storey red brick residential home with Vernacular/bungalow influences.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 13.5m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>



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CHR-197	285 Wellington Rd	Listed		<p>Historical: Built circa 1943                      Architectural: 1 ½ storey frame residential home.                      Contextual: Located in a predominantly residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 13.8m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-199	301 Wellington Rd	Listed		<p>Historical: Built circa 1934                      Architectural: 2 storey red brick residential home with Tudor Revival influences, which has been converted to commercial use.                      Contextual: Located in a mixed commercial and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 1.8m of site frontage/driveway/pavement and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-200	297 Wellington Rd	Listed		<p>Historical: Built circa 1928                      Architectural: 1 ½ storey red brick residential home. Bungalow.                      Contextual: Located in a mixed commercial residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 9.0m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>







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CHR-207	333 Wellington Rd	Listed		<p>Historical: Built circa 1910 - 1940                      Architectural: 1 ½ storey red brick residential home with Arts and Crafts and/or Edwardian style influences.                      Contextual: Located in a mixed commercial and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 5.7m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-208	331 Wellington Rd	Listed		<p>Historical: Built circa 1930                      Architectural: 1 ½ storey red brick residential home. Bungalow.                      Contextual: Located in a mixed commercial and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 5.7m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-210	327 Wellington Rd	Listed		<p>Historical: Built circa 1935                      Architectural: 1 ½ storey brick residential home. Bungalow.                      Contextual: Located in a mixed commercial and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.7m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>

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CHR-383	174 Wellington Rd	Listed		<p>Historical: Built circa 1952</p> <p>Architectural: 1 storey ranch style Mid-Century Modern bungalow.</p> <p>Contextual: Located in a residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including</p> <p>Approx. 12.4m of site frontage/lawn and directly impacting building proposed to accommodate roadway widening, sidewalk, utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-505	16 Wellington Rd	Listed		<p>Historical: Built circa 1935</p> <p>Architectural: 1 storey painted brick institutional or industrial building. Dobbyn painting. Art Moderne.</p> <p>Contextual: Located in a mixed use and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Up to 13.2m along site frontage/lawn/retaining wall proposed, including impacting building, to accommodate roadway widening, multi-use path, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-544	220 Wellington Road	Potential Heritage Property		<p>Historical: Built circa 1922-1945</p> <p>Architectural: 2 storey frame commercial building</p> <p>Contextual: Located in a mixed use institutional, commercial and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Up to 8.3m along site frontage/lawn proposed, including impacting building, to accommodate roadway widening/realignment, sidewalk, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>






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Richmond Street							
CHR-24	1110 Richmond St	Listed		<p>Historical: Built circa 1925</p> <p>Architectural: Rectangular rusticated brick structure with concrete foundations, and “half-timbered” third floor. Tudor Revival.</p> <p>Contextual: The property is located within a generally commercial area.</p> <p>LPL Plaque: Toll gates on the Proof line Road.</p>	<p>Direct impacts to the building are anticipated including Approx. 5.5m of property proposed, including building, lawn frontage/driveway, to accommodate minor road widening, boulevard, sidewalk, and above-grade utility pole relocation. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-31	744 Richmond St	Listed		<p>Historical: Built circa 1900-1940.</p> <p>Architectural: Two-storey brick commercial building.</p> <p>Contextual: The property is located within a generally commercial area.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.0m of property proposed, including building, lawn frontage/driveway, to accommodate minor road widening, sidewalk, and utility buffer allowance. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>

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CHR-35	746 Richmond St	Listed		<p>Historical: Built circa 1910-1940.</p> <p>Architectural: Two-storey brick commercial building with angel-stone cladding on the first floor.</p> <p>Contextual: The property is located within a generally commercial area.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.0m of property proposed, including building, lawn frontage/driveway, to accommodate minor road widening, sidewalk, and utility buffer allowance. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-43	742 Richmond St	Listed		<p>Historical: Built circa 1880-1910</p> <p>Architectural: Two-storey, brick commercial building with modified entry.</p> <p>Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.0m of property proposed, including building, lawn frontage/driveway, to accommodate minor road widening, sidewalk, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>


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CHR-44	740 Richmond St	Listed		<p>Historical: Built circa 1950-1980.</p> <p>Architectural: Two-storey, brick commercial building with no setback from public right-of-way.</p> <p>Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.0m of property proposed, including building, lawn frontage/driveway, to accommodate minor road widening, sidewalk, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-45	736 Richmond St	Listed		<p>Historical: Built circa 1880-1920.</p> <p>Architectural: Two-storey, brick commercial building.</p> <p>Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 4.0m of property proposed, including building, lawn frontage/driveway, to accommodate sidewalk, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>





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CHR-62	1111 Richmond St	Listed		<p>Historical: Built circa 1900-1940</p> <p>Architectural: One-and-a-half-storey, brick residential building.</p> <p>Contextual: The property is located within a largely residential area.</p>	<p>Direct impacts to the building are anticipated including Approx. 7.7m of property proposed, including building, lawn frontage/driveway, to accommodate roadway widening, sidewalk, and utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
<b>Bridges and Other Structures</b>							
CHR-214	Clark's Bridge	Listed		<p>Historic bridge crossing, built greater than 40 years ago.</p>	<p>Structure to be widened to accommodate road widening for additional BRT lanes, and multi-use path. In detail design, refinements and alterations can be made, resulting in the full or partial retention of the subject structure.</p>	Medium-High	<p>Widening and/or a new parallel structure is proposed. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-216	Highbury Avenue North Overpass	Listed		<p>Overpass structure, built greater than 40 years ago.</p>	<p>Direct impacts to the structure are anticipated including Approx. 12m widening to the west to accommodate widened roadway. Approx. 1.5m widening to the east to accommodate sidewalk. In detail design, refinements and alterations can be made, resulting in the full or partial retention of the subject structure.</p>	Medium-High	<p>Widening and/or a new parallel structure is proposed. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>

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CHR-473	390 Oxford Street W	Listed		Oakland Cemetery, also known as the Scotch Cemetery and Proudfoot Cemetery, was originally established in 1855	Culvert to be relocated to the east of existing culvert within same property. Modifications to be made through Mud Creek Subwatershed Class Environmental Assessment.	Medium-Low	This property has been assessed as a part of other heritage studies, the culvert is not a heritage attribute. No further heritage work is recommended.
CHR-832	Gates at Richmond and University	Listed		Historical: Greater than 40 years old. Architectural: Limestone pillar gates with Western emblems. Contextual: Located on Western University campus.	Widening of roadway will impact existing University Gates, requiring relocation of the gates. In detail design, relocation plans will be developed in consultation with Western University.	Medium-High	Direct impacts to the gates are anticipated, and relocation is a proposed alternative. If a CHER confirms CHVI, an HIA should be completed which considers the proposed impacts, as well as all design alternatives, and evaluates mitigation options including, but not limited to retention, relocation, documentation, salvage, and/or commemoration.
<b>Various Listed and PHP Demolitions and Alterations</b>							
CHR-72	127 Oxford St W	Listed		Historical: Built circa 1919 Architectural: 1 ½ storey buff brick Queen Anne Cottage. Contextual: The property is located within a mixed-use residential, commercial, and institutional area.	Direct impacts to the building are anticipated including Approx. 4.3m of property proposed, including building, lawn frontage/driveway, to accommodate sidewalk, above-grade utility pole relocation, and utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.	Medium-High	Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.



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CHR-106	44 Wharncliffe Rd N	Listed		<p>Historical: Built circa 1951</p> <p>Architectural: 1 ½ storey red brick with large dormers in roofline.</p> <p>Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 8.0m of property proposed, including building, lawn frontage/driveway, to accommodate sidewalk, BRT bus stop, above-grade utility pole relocation, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-124	1033 Dundas St	Listed		<p>Historical: Built circa 1860-1890</p> <p>Architectural: 1 ½ storey painted brick Victorian style home with Queen Anne style influences.</p> <p>Contextual: The property is located within a mixed-use residential, commercial, and institutional area.</p>	<p>Direct impacts to the building are anticipated including Approx. 6.6m of property proposed, including building, lawn frontage/driveway, to accommodate roadway widening, sidewalk, above-grade utility pole relocation, and utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting building.</p>	Medium-High	<p>Direct impacts to the building can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-478	100 Kellogg Lane	Listed (May soon be designated.)		<p>Historical: Built circa 1912, former Kellogg Factory. The Kellogg plant opened in London in 1913 and closed in December 2014. The Kellogg's plant began as the Bottle Creek Toasted Corn Flake Company (a facility that owned the rights to produce Kellogg's Toasted Corn Flakes that was disputed in Covent the Canadian market). Now known as "The Factory" and indoor fun park and will be the location of the London Children's Museum</p> <p>Architectural: 2 storey red brick commercial building</p> <p>Contextual: Located in a mixed use industrial, commercial and residential area along a historically surveyed road.</p>	<p>Direct impacts to the building are anticipated including Up to 1.6m along site frontage/lawn impacting building addition proposed to accommodate roadway widening, sidewalk, and utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting the addition, however, the addition has been identified in previous heritage reports as not being a heritage attribute.</p>	Medium-High	<p>Partial demolition of an addition is proposed. HIA is recommended to be completed following TPAP to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>

NUMBER	MUNICIPAL ADDRESS	PART IV, V, OR LISTED	IMAGE	HISTORICAL, PHYSICAL AND CONTEXTUAL ATTRIBUTES	IMPACT DETAILS	LEVEL OF IMPACT	MITIGATION RECOMMENDATIONS
CHR-542	19 Raywood Ave	Potential Heritage Property		<p>Historical: Built circa 1940</p> <p>Architectural: 1 ½ storey red brick building, with bungalow style influences</p> <p>Contextual: Located in a mixed use and residential area.</p>	<p>Direct impacts to the building are anticipated including Up to 9.3m along site frontage/lawn proposed, including impacting building, to accommodate roadway widening/realignment, sidewalk, and utility buffer. Design alternatives have been considered, and direct impacts cannot be avoided through design.</p>	High	<p>Direct impacts to the building should be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. As it has been determined that avoidance is not possible through design, A CHER is recommended to be completed by a qualified heritage consultant prior to the end of TPAP to confirm CHVI. Should the CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>
CHR-543	21 Raywood Ave	Potential Heritage Property		<p>Historical: Built circa 1938</p> <p>Architectural: 1 ½ storey red brick building, with bungalow style influences.</p> <p>Contextual: Located in a mixed use and residential area.</p>	<p>Direct impacts to the shed are anticipated including Approx. 100m2 of rear site proposed, impacting lawn and shed, to accommodate roadway widening/realignment, sidewalk, and utility buffer. In detail design, refinements can be made, including alterations to the curb, utility buffer, median and/or sidewalk to avoid impacting shed.</p>	Medium-High	<p>Direct impacts to the shed can be avoided through design refinements to the utility buffer, sidewalk, curb and/or roadway widening. Should a CHER confirm CHVI, an HIA is recommended to evaluate the impacts, to fully consider design alternatives and to consider mitigation options including, but not limited to, retention, relocation, documentation, salvage, and/or commemoration.</p>

# London Advisory Committee on Heritage

## Report

The 9th Meeting of the London Advisory Committee on Heritage  
September 12, 2018  
Committee Rooms #1 and #2

Attendance PRESENT: D. Dudek (Chair), S. Adamsson, D. Brock, J. Cushing, H. Elmslie, H. Garrett, S. Gibson, T. Jenkins, J. Manness, K. Waud and M. Whalley and J. Bunn (Secretary)

ALSO PRESENT: J. Dent, L. Dent, K. Gonyou and K. Gowan

The meeting was called to order at 5:30 PM.

### 1. Call to Order

#### 1.1 Disclosures of Pecuniary Interest

That it BE NOTED that the following pecuniary interests were disclosed:

a) T. Jenkins disclosed pecuniary interests in clauses 2.3 and 3.13 of this Report, having to do with a Notice of Planning Application and Heritage Impact Assessment for a zoning by-law amendment at 723 Lorne Avenue and a Cultural Heritage Evaluation Report for the Wharncliffe Road Bridge over the Thames River, respectively, but indicating that her employer is involved in both of these projects; and,

b) J. Manness disclosed a pecuniary interest in clause 5.10 of this Report, having to do with a discussion related to vacant heritage buildings, but indicating that he owns a vacant heritage property.

### 2. Scheduled Items

#### 2.1 6th Annual Emancipation Day Celebration

That it BE NOTED that a verbal presentation and the ~~attached~~ flyer, from J. Turner and J. O'Neil, with respect to the Emancipation Day Celebration scheduled for September 23, 2018 at Westminster Ponds Environmentally Significant Area, were received.

#### 2.2 Heritage Alteration Permit Application - 836 Wellington Street By-law No. LS.P. - 3104-15

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, the application under Section 33 of the *Ontario Heritage Act* to remove and replace the existing slate roof on the building located at 836 Wellington Street, consent BE GIVEN with the condition that the Heritage Alteration Permit be displayed in a location visible from the street until the work is completed; it being noted that the London Advisory Committee on Heritage is satisfied with the proposed shingle brought forward by the applicant;

it being noted that the ~~attached~~ presentations from K. Gowan, Heritage Planner, and C. and R. Leishman, property owners, with respect to this matter, were received.

#### 2.3 Notice of Planning Application and Heritage Impact Assessment - Zoning By-law Amendment – 723 Lorne Avenue

That the following actions be taken with respect to the Notice of Planning Application, dated August 29, 2018, from M. Knieriem, Planner II and the



Heritage Impact Assessment (HIA) dated August 2018 and communication dated September 6, 2018, from ASI Archaeological Cultural Heritage Services with respect to the property located at 723 Lorne Avenue, located in the Old East Heritage Conservation District:

- a) the Civic Administration BE ADVISED that the London Advisory Committee on Heritage (LACH) is satisfied by the recommendations of the above noted HIA; and,
- b) the Civic Administration BE ADVISED that the LACH prefers development concept 1 from the above-noted Notice of Planning Application;

it being noted that the attached presentation from M. Knieriem, Planner II, with respect to this matter, was received.

#### 2.4 Victoria Park Precinct Study

That it BE NOTED that the attached presentation and Community Information Meeting Notice, from M. Knieriem, Planner II, with respect to the Victoria Park Precinct Study, were received.

#### 2.5 Rapid Transit – Cultural Heritage Screening Report – Update

That the Civic Administration BE REQUESTED to undertake the following actions with respect to the update on the Rapid Transit Cultural Heritage Screening Report:

- a) provide the London Advisory Committee on Heritage (LACH) with the final Cultural Heritage Screening Report (CHSR);
- b) consult the LACH on the post-Transit Project Assessment Process (TPAP), Cultural Heritage Evaluation Process (CHER) and Heritage Impact Assessment (HIA) methodology;
- c) consult the LACH with respect to the proposed groupings of properties for the completion of Cultural Heritage Evaluation Reports (CHERs) and/or Heritage Impact Assessments (HIAs); and,
- d) consult the LACH on the identification of individual properties which warrant individual, property-specific, CHERs and/or HIAs;

it being noted that the attached presentation from J. Hodgins, Engineer-in-Training, Environmental and Engineering Services, with respect to this matter, was received.

### 3. Consent

#### 3.1 8th Report of the London Advisory Committee on Heritage

That it BE NOTED that the 8th Report of the London Advisory Committee on Heritage, from its meeting held on July 11, 2018, was received.

#### 3.2 Public Meeting Notice - Zoning By-law Amendment - 391 South Street

That it BE NOTED that the Public Meeting Notice, dated July 25, 2018, from S. Wise, Senior Planner, with respect to a zoning by-law amendment for the property located at 391 South Street, was received.

- 3.3 Public Meeting Notice - Zoning By-law Amendment - 131 King Street  
That it BE NOTED that the Public Meeting Notice, dated July 26, 2018, from M. Corby, Senior Planner, with respect to a zoning by-law amendment for the property located at 131 King Street, was received.
- 3.4 Notice of Public Meeting - 2186121 Ontario Inc. - 1146-1156 Byron Baseline Road  
That it BE NOTED that the Notice of Public Meeting, dated July 25, 2018, with respect to a zoning by-law amendment application for the properties located at 1146-1156 Byron Baseline Road, was received.
- 3.5 Notice of Planning Application - Draft Plan of Subdivision and Zoning By-law Amendments - 3080 Bostwick Road  
That it BE NOTED that the Notice of Planning Application, dated August 17, 2018, from S. Wise, Senior Planner, with respect to a draft plan of subdivision and zoning by-law amendments for the property located at 3080 Bostwick Road, was received.
- 3.6 Public Meeting Notice - Draft Plan of Vacant Land Condominium and Zoning By-law Amendment - 459 Hale Street  
That it BE NOTED that the Public Meeting Notice, dated August 23, 2018, from L. Mottram, Senior Planner, with respect to a draft plan of vacant land condominium and zoning by-law amendment for the property located at 459 Hale Street, was received.
- 3.7 Notice of Study Commencement - Adelaide Street North Municipal Class Environmental Assessment Study  
That it BE NOTED that the Notice of Study Commencement from H. Huotari, Parsons Inc. and M. Davenport, City of London, with respect to the Adelaide Street North Municipal Class Environmental Assessment Study, was received.
- 3.8 Notice of Public Information Centre - Riverview Evergreen Dyke - Municipal Class Environmental Assessment  
That it BE NOTED that the Notice of Public Information Centre, from P. Adams and A. Spargo, AECOM Canada, with respect to a Schedule B Municipal Class Environmental Assessment for the Riverview Evergreen dyke, was received.
- 3.9 Notice of Planning Application - Official Plan and Zoning By-law Amendments - 900 King Street and 925 Dundas Street  
That it BE NOTED that the Notice of Planning Application, dated August 8, 2018 and the Public Meeting Notice, dated September 5, 2018, from M. Campbell, Planner II, with respect to Official Plan and zoning by-law amendments for the properties located at 900 King Street and 925 Dundas Street and the Cultural Heritage Evaluation Report and Heritage Impact Assessment, dated August 2018, from Common Bond Collective, with respect to the property located at 900 King Street, were received;  
it being noted that the London Advisory Committee on Heritage (LACH) will be required to comment on the cultural heritage attributes of the above-noted property at a later date;

it being further noted that the LACH is not opposed to the proposed zoning by-law amendment.

3.10 Notice of Planning Application - Official Plan and Zoning By-law Amendments - 470 Colborne Street

That the Civic Administration BE ADVISED that the London Advisory Committee on Heritage (LACH) is not satisfied with the research assessment and conclusions of the Heritage Impact Review, dated June 2018, from Kirkness Consulting, with respect to the property located at 470 Colborne Street; it being noted that the LACH is not opposed to the proposed Official Plan and zoning by-law amendment and that a Heritage Alteration Permit may be required for any exterior alterations;

it being further noted that the Notice of Planning Application, dated August 29, 2018, from B. Debbert, Senior Planner, with respect to the above-noted matter, was received.

3.11 Long Term Water Storage Class EA - N. Martin

That it BE NOTED that the communication from N. Martin, AECOM, with respect to the Long Term Water Storage Class Environmental Assessment, was received.

3.12 Cultural Heritage Evaluation Report - Wenige Expressway Bridge (4-BR-14) Highbury Avenue Over the Thames River

That it BE NOTED that the London Advisory Committee on Heritage supports the findings of the Cultural Heritage Evaluation Report, dated January 2018, from AECOM Canada, with respect to the Wenige Expressway Bridge (4-BR-14), Highbury Avenue over the Thames River.

3.13 Cultural Heritage Evaluation Report - Wharncliffe Road Bridge (1-BR-07) Over the Thames River

That it BE NOTED that the London Advisory Committee on Heritage supports the findings of the Cultural Heritage Evaluation Report, dated May 9, 2018, from ASI Archaeological and Cultural Heritage Services, with respect to the Wharncliffe Road Ridge (1-BR-07) over the Thames River.

3.14 Letter of Resignation - B. A. Vazquez

That it BE NOTED that the letter of resignation from B. Vazquez, was received; it being noted that the London Advisory Committee on Heritage (LACH) thanks Mr. Vazquez for his time and effort over his years on the LACH.

3.15 Public Meeting Notice - Zoning By-law Amendment - 745 and 747 Waterloo Street

That it BE NOTED that the Public Meeting Notice, dated September 5, 2018, from M. Knieriem, Planner II, with respect to a zoning by-law amendment for the properties located at 745 and 747 Waterloo Street, was received.



#### 4. Sub-Committees and Working Groups

##### 4.1 Planning and Policy Sub-Committee

That it BE NOTED that the Planning and Policy Sub-Committee Report, from its meeting held on September 4, 2018, was received.

##### 4.2 Stewardship Sub-Committee

That it BE NOTED that the Stewardship Sub-Committee Report, from its meeting held on August 29, 2018, was received.

#### 5. Items for Discussion

##### 5.1 Removal of Properties from the Register

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, the properties identified in Appendix A of the staff report, dated September 12, 2018, BE REMOVED from the Register (Inventory of Heritage Resources); it being noted that the demolition requests were processed following the applicable legislation and practice at the time of the request and that no further notification or consultation is required.

##### 5.2 Guidelines for the Installation of Photovoltaic Technology on Heritage Designated Properties

That the Civic Administration BE REQUESTED to report back at a future meeting of the London Advisory Committee on Heritage with respect to further information related to proposed City of London Guidelines for the Installation of Photovoltaic Technology on Heritage Designated Properties; it being noted that the attached presentation from K. Gowan, Heritage Planner, with respect to this matter, was received.

##### 5.3 Heritage Alteration Permit Application by E. Seminara - 187 Dundas Street - Downtown Heritage Conservation District

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, the application under Section 42 of the *Ontario Heritage Act* for upgrades to the commercial storefront and signage to the building located at 187 Dundas Street, within the Downtown Heritage Conservation District, BE PERMITTED, with the term and condition that the Heritage Alteration Permit be displayed in a location visible from the street until the work is completed; it being noted that the attached presentation from L. Dent, Heritage Planner, with respect to this matter, was received.

##### 5.4 Request for Designation of 432 Grey Street by the Trustees of the London Congregation of the British Methodist Episcopal Church in Canada

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, notice BE GIVEN under the provisions of Section 29(3) of the *Ontario Heritage Act*, R.S.O. 1990, c.O.18, of Municipal Council's intent to designate the property located at 432 Grey Street to be of cultural heritage value or interest for the reasons outlined in the revised attached Statement of Cultural Heritage Value or Interest; it being noted that the attached presentation from L. Dent, Heritage Planner, with respect to this matter, was received.

5.5 Distribution of Expanded Archaeological Project Information Lists

That it BE NOTED that the Monthly List of Archaeological Projects Questions and the Fact Sheet, dated July 30, 2018 from the Ministry of Tourism, Culture and Sport, were received.

5.6 Digital Publication of the Updated "Inventory of Heritage Resources"

That the Civic Administration BE REQUESTED to add the Register (Inventory of Heritage Resources) to the City of London's Open Data Portal; it being noted that a communication from M. Whalley, with respect to this matter, was received.

5.7 Heritage Planners' Report

That it BE NOTED that the ~~attached~~ submission from K. Gonyou, L. Dent and K. Gowan, Heritage Planners, with respect to various updates and events, was received.

5.8 Mayor's New Year's Honour List

That it BE NOTED that the 2019 Mayor's New Year's Honour List Nomination Request letter, dated July 23, 2018, from the City Clerk, was received.

5.9 LACH 2018 Work Plan

That the following actions be taken with respect to the 2018 London Advisory Committee on Heritage (LACH) Work Plan:

a) the revised ~~attached~~ 2018 Work Plan BE RECEIVED; it being noted that changes were made to the distribution of the LACH budget; and,

b) the item on the above-noted work plan, with respect to heritage signage and plaque placement and funding, BE REFERRED to the Education Sub-Committee for review and a report back to the LACH.

5.10 Vacant Heritage Buildings - Discussion

That it BE NOTED that a verbal update from K. Gonyou, Heritage Planner, with respect to vacant heritage buildings was received.

5.11 Community Heritage Ontario Newsletter - Summer 2018

That it BE NOTED that copies of the Community Heritage Ontario newsletter dated "Summer 2018", were distributed to the members of the London Advisory Committee on Heritage.

**6. Deferred Matters/Additional Business**

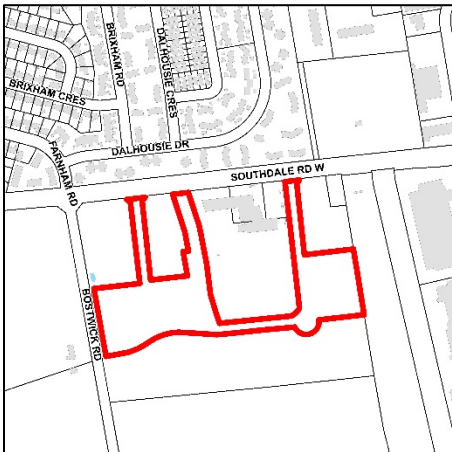
None.

**7. Adjournment**

The meeting adjourned at 8:57 PM.

## Draft Plan of Subdivision and Zoning By-law Amendment

### 3080 Bostwick Road



**File: 39T-18502/Z-8931**

**Applicant: MHBC Planning (Scott Allen) (Owner: 31675 Ontario Limited c/o York Developments Inc.)**

#### What is Proposed?

A Draft Plan of Subdivision and Zoning By-law amendments to allow for the creation of a high density residential subdivision consisting of:

- apartment buildings
- stacked townhouses
- park and open space
- public road access via new local street connections to Southdale Road West and Bostwick Road.

## YOU ARE INVITED!

Further to the Notice of Application you received on August 17, 2018, you are invited to a public meeting of the Planning and Environment Committee to be held:

**Meeting Date and Time:** Tuesday, October 9, 2018, no earlier than 4:00 p.m.

**Meeting Location:** City Hall, 300 Dufferin Avenue, 3rd Floor

For more information contact:

Sonia Wise  
swise@london.ca  
519-661-CITY (2489) ext. 5887  
Development Services, City of London, 300  
Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO BOX 5035 N6A 4L9  
File: 39T-18502/Z-8931

**[london.ca/planapps](http://london.ca/planapps)**

To speak to your Ward 9 or 10 Councillor:

Anna Hopkins Ward 9  
ahopkins@london.ca  
519-661-CITY (2489) ext. 4009

Virginia Ridley Ward 10  
vridley@london.ca  
519-661-CITY (2489) ext. 4010

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

# Application Details

Commonly Used Planning Terms are available at [london.ca/planapps](http://london.ca/planapps).

## Requested Draft Plan of Subdivision

Draft Plan of Subdivision (please refer to attached map)

Consideration of a high density residential draft plan of subdivision consisting of:

- Two (2) high density residential blocks (consisting of apartment buildings, townhouses and stacked townhouses) with an estimated 504 units (Block 2 & 6)
- One (1) park block (Block 4)
- One (1) open space block (Block 11)
- One (1) 0.3 m reserve (Block 10)
- All served by three new local streets (Street A, Street B and Street C)

## Requested Zoning By-law Amendment

Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at [london.ca/planapps](http://london.ca/planapps).

### Requested Zoning (Please refer to attached map)

Possible Amendment to Zoning By-law Z.-1 to change the zoning from an Urban Reserve (UR4) Zone and an Environmental Review (ER) Zone to:

- Residential R9 Bonus (R9-7\*B-(#)) Zone (Block 2) – to permit apartment buildings, lodging house class 2, senior citizens apartment buildings, handicapped persons apartment buildings, and continuum-of-care facilities. A bonus zone is requested to permit townhouses and stacked townhouses with a maximum height of 13m and a minimum front yard setback of 6m; an apartment building with a maximum height of 70m, a density of 193 units per hectare, an exterior side yard setback of 0.4m, and a rear yard setback of 22m.
- Residential R9 Bonus (R9-7\*B-(##)) Zone (Block 6) – to permit apartment buildings, lodging house class 2, senior citizens apartment buildings, handicapped persons apartment buildings, and continuum-of-care facilities. A bonus zone is requested to permit townhouses, an apartment building with a maximum height of 68m, a density of 269 units per hectare, a minimum front yard setback of 6.5m, an interior side yard setback of 12m, a rear yard setback of 12m, and a reduced number of parking spaces (with 325 spaces provided)
- Open Space (OS2) Zone (Block 4) – to permit conservation lands, conservation works, cultivation of land for agricultural/horticultural purposes, golf courses, private parks, public parks, recreational golf courses, recreational buildings associated with conservation lands and public parks, campground, and managed forest; commercial recreational establishments, community centres, institutions, private outdoor recreation clubs, public swimming pools, recreational buildings, riding stables, sports fields, golf driving range, miniature golf course, go kart track, batting cages, tennis court and playground;
- Open Space (OS4) Zone (Block 11) – to permit conservation lands, conservation works, golf courses, private parks, public parks, recreational golf courses cultivation or use of land for agricultural/horticultural purposes, and sports fields without structures; and
- Urban Reserve Special Provision (UR4( )) Zone – to permit existing dwellings, agricultural uses, conservation lands, managed woodlots, wayside put, passive recreation uses, kennels, private outdoor recreation clubs, and riding stables with a special provision for a lot size of 2ha and frontage of 85m.

The City is also considering the following amendments:

- Special Provisions in zoning to implement the urban design requirements and considerations of the Southwest Area Secondary Plan;
- Adding holding provisions for the following: urban design, municipal servicing, and phasing

An Environmental Impact Study has been prepared to assist in the evaluation of this application. An Environmental Impact Study (EIS) report prepared by Stantec, dated May 1, 2018, was submitted with the application for draft plan of subdivision. The EIS report is available for public review during regular business hours at the City of London, Development Services, 6th Floor, City Hall.



## Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan and The London Plan, London's long-range planning documents. Both plans recognize the role of secondary plans to provide more detailed policy guidance for a specific area that goes beyond the general policies. These lands are currently designated as "High Density Residential" which permits multiple attached housing forms at higher densities and building forms as the main uses. The lands are within the Southwest Area Secondary Plan, within the Bostwick Residential Neighbourhood, which includes special policies and direction for high density residential development.

The site is presently within an Urban Reserve (UR4) Zone, which permits existing dwellings, agricultural uses except for mushroom farms, commercial greenhouses, livestock facilities and manure storage facilities, conservation lands, managed woodlot, wayside pit, passive recreation use, kennels, private outdoor recreation clubs, and riding stables, and an Environmental Review (ER) Zone, which permits conservation lands, conservation works, passive recreational uses, managed woodlot, and agricultural uses.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied for a Draft Plan of Subdivision and to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the public meeting notice in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. If you previously provided written or verbal comments about this application, we have considered your comments as part of our review of the application and in the preparation of the planning report and recommendation to the Planning and Environment Committee. The additional ways you can participate in the City's planning review and decision making process are summarized below. For more detailed information about the public process, go to the [Participating in the Planning Process](#) page at [london.ca](#).

### See More Information

You can review additional information and material about this application by:

- visiting Development Services at 300 Dufferin Ave, 6<sup>th</sup> floor, Monday to Friday between 8:30am and 4:30pm;
- contacting the City's Planner listed on the first page of this Notice; or
- viewing the application-specific page at [london.ca/planapps](#).

### Attend This Public Participation Meeting

The Planning and Environment Committee will consider the requested Draft Plan of Subdivision and zoning changes at this meeting, which is required by the *Planning Act*. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting. The Council Decision will inform the decision of the Director, Development Services, who is the Approval Authority for Draft Plans of Subdivision.

## What Are Your Legal Rights?

### Notification of Council and Approval Authority's Decision

If you wish to be notified of the Approval Authority's decision in respect of the proposed draft plan of subdivision, you must make a written request to the Director, Development Services, City of London, 300 Dufferin Ave., P.O. Box 5035, London ON N6A 4L9, or at [developmentsservices@london.ca](mailto:developmentsservices@london.ca). You will also be notified if you provide written comments, or make a written request to the City of London for conditions of draft approval to be included in the Decision.

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

### Right to Appeal to the Local Planning Appeal Tribunal

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of

subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body is not entitled to appeal the decision of the Director, Development Services to the Local Planning Appeal Tribunal.

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

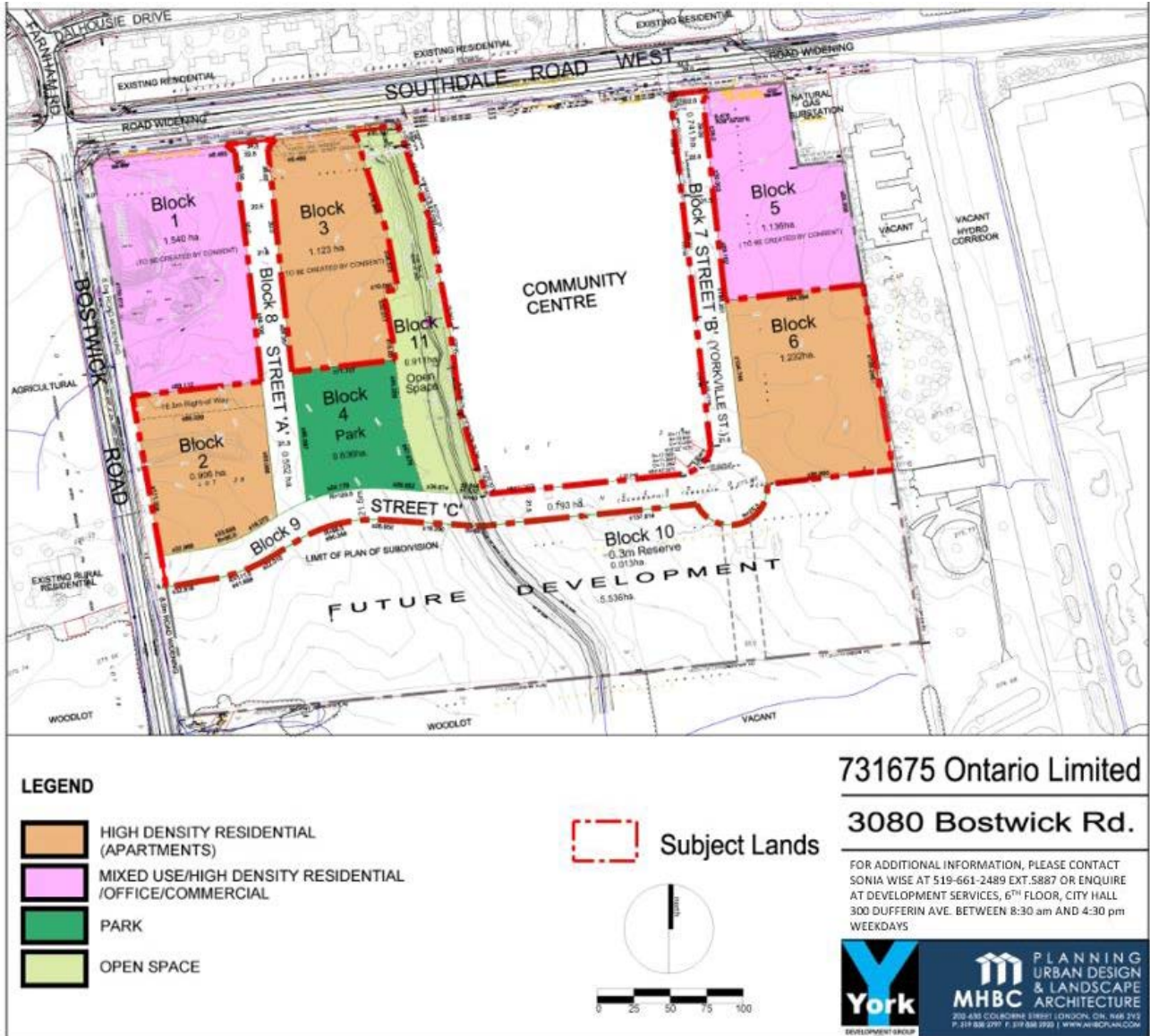
For more information go to <http://elto.gov.on.ca/tribunals/lpat/about-lpat/>.

### **Notice of Collection of Personal Information**

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the *Municipal Act*, 2001, as amended, and the *Planning Act*, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Cathy Saunders, City Clerk, 519-661-CITY(2489) ext. 4937.

***Accessibility – Alternative accessible formats or communication supports are available upon request. Please contact [accessibility@london.ca](mailto:accessibility@london.ca) or 519-661-CITY(2489) extension 2425 for more information.***

# Proposed Master Plan

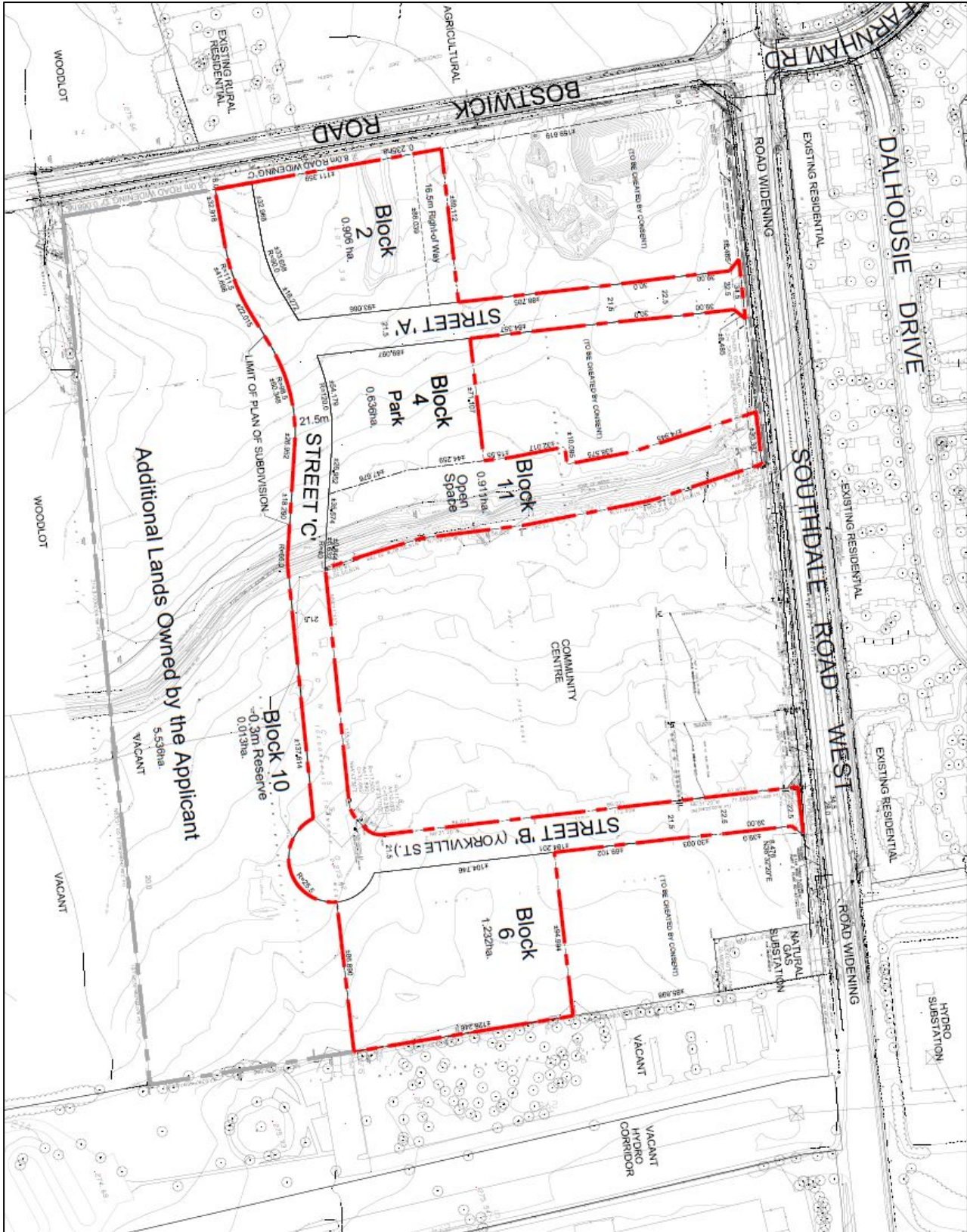


## Proposed Master Plan

The above image represents the applicant's proposal as submitted and may change.



# Requested Plan of Subdivision

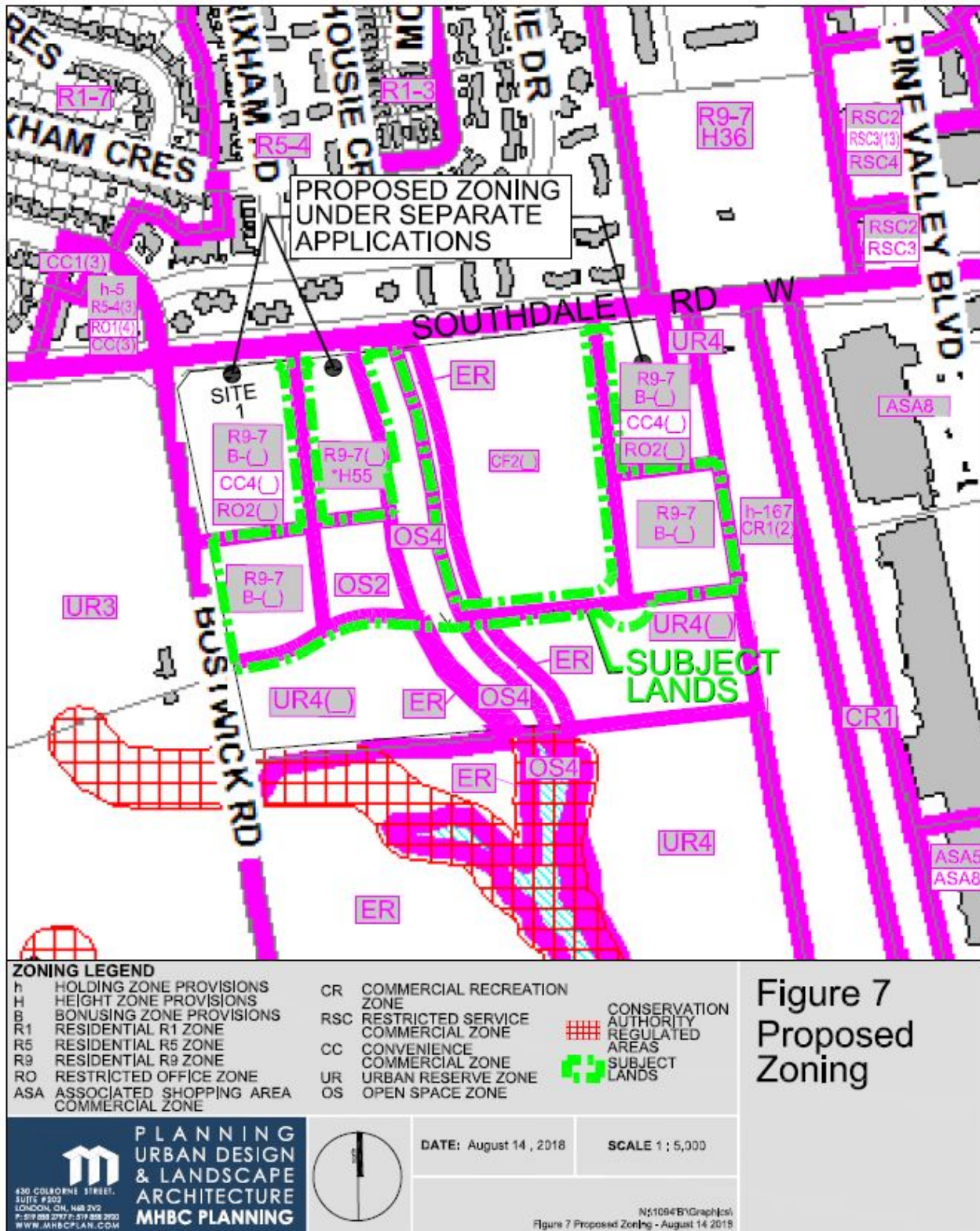


***Proposed Subdivision Block Plan***

The above image represents the applicant's proposal as submitted and may change.



# Requested Zoning



## Proposed Zoning

The above image represents the applicant's proposal as submitted and may change.



## Building Renderings



***Proposed Southeast Rendering – Block 2***

The above image represents the applicant's proposal as submitted and may change.



***Proposed Northeast Rendering – Block 6***

The above image represents the applicant's proposal as submitted and may change.



# NOTICE OF PLANNING APPLICATION

## Draft Plan of Subdivision and Zoning By-law Amendment

### Address – 6019 Hamlyn Street



**File: 39T-18504/Z-8960**

**Applicant: Sifton Properties Limited**

#### What is Proposed?

Draft Plan of Subdivision and Zoning amendment to allow:

- A plan of subdivision with 104 single detached dwellings, one (1) multi-family medium density block, four (4) park blocks, four (4) open space blocks, and one (1) future development block, all served by three (3) new streets connecting to Hamlyn Street.

## LEARN MORE & PROVIDE INPUT

Please provide any comments by **November 16, 2018**

Nancy Pasato

[npasato@london.ca](mailto:npasato@london.ca)

519-661-CITY (2489) ext. 4586

Development Services, City of London, 300 Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO BOX 5035 N6A 4L9

File: 39T-18504/Z-8960

[london.ca/planapps](http://london.ca/planapps)

You may also discuss any concerns you have with your Ward Councillor:

Anna Hopkins

[ahopkins@london.ca](mailto:ahopkins@london.ca)

519-661-CITY (2489) ext. 4009

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

Date of Notice: October 2, 2018



# Application Details

Commonly Used Planning Terms are available at [london.ca/planapps](http://london.ca/planapps).

## Requested Draft Plan of Subdivision (please see attached)

Consideration of a Draft Plan of Subdivision consisting of 104 single detached dwellings, one (1) multi-family medium density block, four (4) park blocks, four (4) open space blocks, and one (1) future development block, all served by three (3) new streets connecting to Hamlyn Street.

## Requested Zoning By-law Amendment (please see attached)

Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at [london.ca/planapps](http://london.ca/planapps).

Possible Amendment to Zoning By-law Z.-1 to change the zoning from an Urban Reserve (UR4), a Holding Urban Reserve (h-2\*UR4) Zone, and an Environmental Review (ER) Zone to:

- A Residential R1 Special Provision (R1-4(28) Zone (Lots 1-104): To permit single detached dwellings with a minimum lot frontage of 12m and a minimum lot area of 360 m<sup>2</sup>, with a special provision to permit a lot coverage of 45% for one storey single detached dwellings;
- A Residential R5 Special Provision/Residential R6 Special Provision/Residential R7 Special Provision/Residential R8 Special Provision (R5-7(\*)/R6-5(42)/R7(\*)\*D75\*H18/R8-4(29)) Zone (Block 105):
  - o To permit cluster townhouse dwellings and cluster stacked townhouse dwellings with a maximum height of 12m and a maximum density of 60 units per hectare, with a special provision for a minimum front and exterior side yard building setback of 3m and a maximum lot coverage of 50% (R5-7(\*));
  - o To permit cluster single detached dwellings, cluster semi-detached dwellings, cluster duplex dwellings, cluster triplex dwellings, cluster townhouse dwellings, cluster stacked townhouse dwellings, cluster apartment buildings, and cluster fourplex dwellings with a maximum height of 12 m and a maximum density of 35 units per hectare, with a special provision for a minimum front and exterior side yard building setback of 3m and a maximum lot coverage of 50% (R6-5(42));
  - o To permit senior citizen apartment buildings, handicapped persons apartment buildings, nursing homes, retirement lodges, continuum-of-care facilities, and emergency care establishments with a maximum height of 18m and a maximum density of 75 units per hectare, with a special provision for a minimum front and exterior side yard building setback of 3m (R7(\*)D75\*H18));
  - o To permit apartment buildings, handicapped person's apartment buildings, lodging house class 2, stacked townhousing, senior citizen apartment buildings, emergency care establishments, and continuum-of-care facilities with a maximum density of 75 units per hectare, with a special provision for a minimum front and exterior side yard building setback of 3m and a maximum height of 18m (R8-4(29));
- An Open Space Special Provision (OS1(3)) Zone (Block 107, 108 and 109): To permit to conservation lands, conservation works, cultivation of land for agricultural/horticultural purposes, golf courses, private parks, public parks, recreational golf courses, recreational buildings associated with conservation lands and public parks, campground, and managed forest, with a special provision for no minimum lot area and no minimum lot frontage;
- An Open Space (OS5) Zone (Block 110, 111, 121 and 122): To permit conservation lands, conservation works, passive recreation uses which include hiking trails, multi-use pathways, and managed woodlots;
- An Urban Reserve Special Provision (UR4(\*) Zone (Block 112): To permit existing dwellings, agricultural uses except for mushroom farms, commercial greenhouses, livestock facilities and manure storage facilities, conservation lands, managed woodlot, wayside pit, passive recreation use, kennels, private outdoor recreation clubs, and riding stables, with a special provision for a minimum lot frontage of 10m and a minimum lot area of 0.2 ha.

The City is also considering the following amendments:



- Special Provisions to implement the urban design requirements and considerations of the Southwest Area Secondary Plan;
- Adding holding provisions for the following: urban design, water looping, municipal services, and phasing.

An Environmental Impact Study has been prepared to assist in the evaluation of this application. An Environmental Impact Study (EIS) report prepared by Natural Resource Solutions Inc. (NRSI), dated August 2018, was submitted with the application for draft plan of subdivision. The EIS report is available for public review during regular business hours at the City of London, Development Services, 6th Floor, City Hall.

## Planning Policies

Any change to the Zoning By-law must conform to the policies of The London Plan and the Official Plan, London's long-range planning documents.

The subject lands are in the "Neighbourhoods" Place Type in The London Plan, permitting a range of housing including single detached, townhouses and low rise apartments, "Green Space", permitting a range of open space, parks and conservation uses, and "Environmental Review", permitting existing uses.

These lands are currently designated as "Low Density Residential" which allows single detached, semi-detached, duplex dwellings and cluster housing at a maximum density of 30 units per hectare as the main permitted uses; "Multi-Family Medium Density Residential" which allows multiple attached dwellings at a maximum density of 75 units per hectare as the main permitted uses; "Open Space" which permits public open space uses including district, city-wide, and regional parks, and private open space uses such as cemeteries and private golf courses, and "Environmental Review", which permits agriculture, woodlot management, horticulture, conservation, recreational uses, and essential public utilities and municipal services (pending the evaluation of these areas through site-specific studies). The lands are within the Southwest Area Secondary Plan, within the Wonderland Boulevard Neighbourhood, and a small portion within the Lambeth Residential Neighbourhood, which includes special policies and direction for development, including urban design considerations, pedestrian connections, and incorporating varied housing types.

The site is presently within an Urban Reserve (UR4) Zone, which permits existing dwellings, agricultural uses except for mushroom farms, commercial greenhouses, livestock facilities and manure storage facilities, conservation lands, managed woodlot, wayside pit, passive recreation use, kennels, private outdoor recreation clubs, and riding stables, a Holding Urban Reserve (h-2\*UR4) Zone, which permits the above uses, with a holding provision that requires an Environmental Impact Study prior to any development, and an Environmental Review (ER) Zone and an Environmental Review (ER) Zone, which permits conservation lands, conservation works, passive recreational uses, managed woodlot, and agricultural uses.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied for a Draft Plan of Subdivision and to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. The ways you can participate in the City's planning review and decision making process are summarized below. For more detailed information about the public process, go to the [Participating in the Planning Process](#) page at [london.ca](#).

### See More Information

You can review additional information and material about this application by:

- visiting Development Services at 300 Dufferin Ave, 6<sup>th</sup> floor, Monday to Friday between 8:30am and 4:30pm;
- contacting the City's Planner listed on the first page of this Notice; or
- viewing the application-specific page at [london.ca/planapps](#).

### Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Development Services staff's recommendation to the City's Planning and Environment Committee. Planning

considerations usually include such matters as land use, development intensity, and form of development.

## **Attend a Future Public Participation Meeting**

The Planning and Environment Committee will consider the requested Draft Plan of Subdivision and zoning changes on a date that has not yet been scheduled. The City will send you another notice inviting you to attend this meeting, which is required by the *Planning Act*. You will also be invited to provide your comments at this public participation meeting. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting. The Council Decision will inform the decision of the Director, Development Services, who is the Approval Authority for Draft Plans of Subdivision.

## **What Are Your Legal Rights?**

### **Notification of Council and Approval Authority's Decision**

If you wish to be notified of the Approval Authority's decision in respect of the proposed draft plan of subdivision, you must make a written request to the Director, Development Services, City of London, 300 Dufferin Ave., P.O. Box 5035, London ON N6A 4L9, or at [developmentsservices@london.ca](mailto:developmentsservices@london.ca). You will also be notified if you provide written comments, or make a written request to the City of London for conditions of draft approval to be included in the Decision.

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

### **Right to Appeal to the Local Planning Appeal Tribunal**

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body is not entitled to appeal the decision of the Director, Development Services to the Local Planning Appeal Tribunal.

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

For more information go to <http://elto.gov.on.ca/tribunals/lpat/about-lpat/>.

### **Notice of Collection of Personal Information**

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the *Municipal Act*, 2001, as amended, and the *Planning Act*, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Cathy Saunders, City Clerk, 519-661-CITY(2489) ext. 4937.

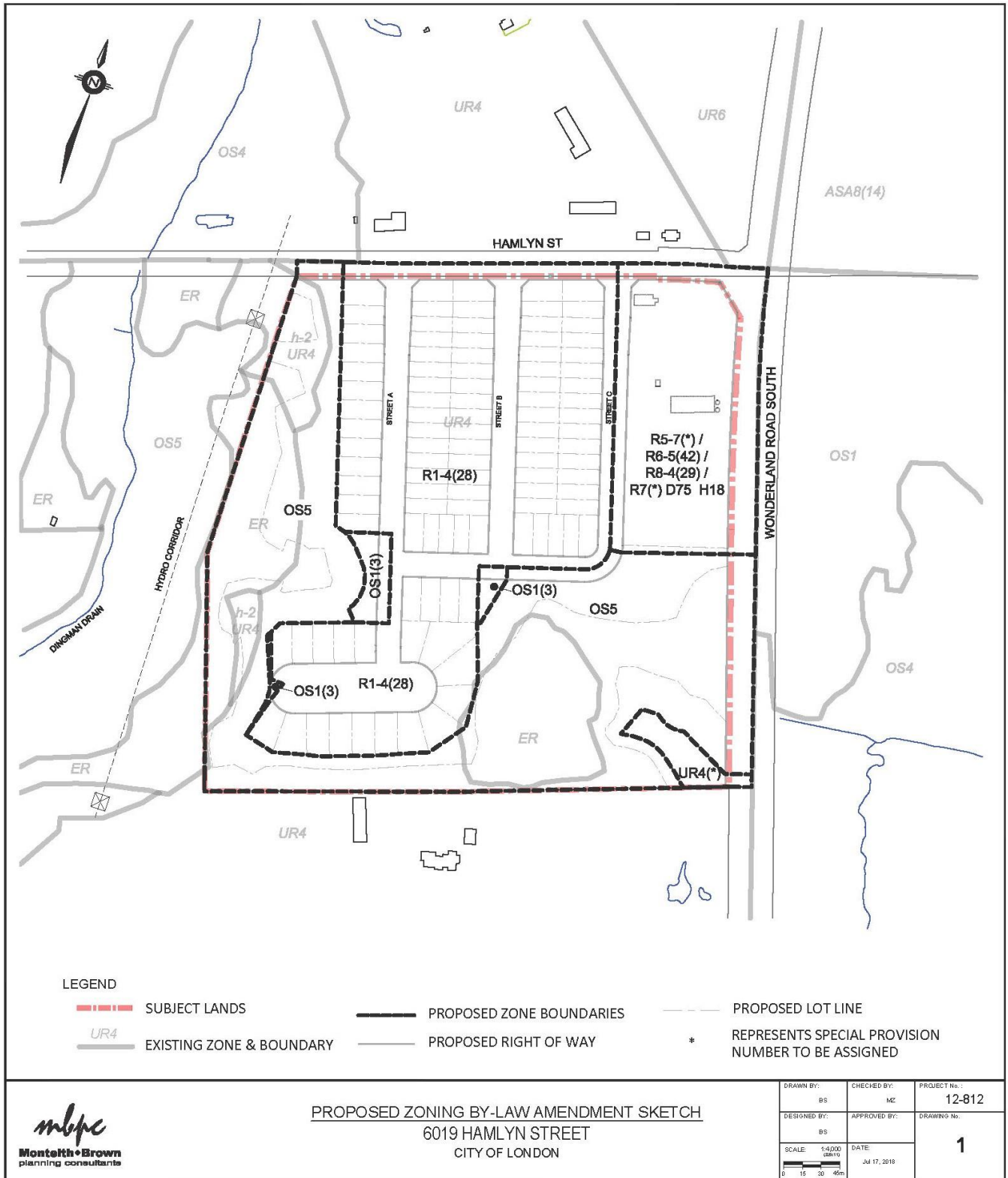
**Accessibility – Alternative accessible formats or communication supports are available upon request. Please contact [accessibility@london.ca](mailto:accessibility@london.ca) or 519-661-CITY(2489) extension 2425 for more information.**

## Requested Draft Plan of Subdivision



The above image represents the applicant's proposal as submitted and may change.

# Requested Zoning



The above image represents the applicant's proposal as submitted and may change.





**NOTICE OF STUDY COMPLETION**  
**Adelaide Street North - Canadian Pacific Railway Grade Separation**  
**Municipal Class Environmental Assessment Study**

The City of London has completed a Municipal Class Environmental Assessment (Class EA) study for improvements to the Canadian Pacific Railway (CP) crossing of Adelaide Street North. This project is being carried out under the planning and design process for a Schedule 'C' project as outlined in the Municipal Engineers Association Municipal Class Environmental Assessment (October 2000, as amended in 2015).

The Class EA study included public and agency consultation, an evaluation of alternative solutions and designs, assessment of potential impacts, and identification of measures to mitigate adverse impacts. As part of the consultation process three public meetings were held (June 16 and December 14, 2016 and April 26, 2018) to provide information on the project and to receive public feedback.

**Study Recommendations:**

- A new underpass grade separation (road under rail) between Central Avenue and McMahan Street
- Central Avenue intersection improvements
- Pall Mall Street with right-in / right-out access, signalized pedestrian crossing at McMahan Street
- Enhanced streetscape design in the vicinity of the underpass, new McMahan Park entrance with relocation of park gates, new and enhanced active transportation facilities
- Temporary road detour on east side of Adelaide Street
- Provision of a new utility corridor and stormwater / groundwater management infrastructure

An Environmental Study Report (ESR) has been prepared to document the planning and decision-making process for this study.

**Public Review of the Environmental Study Report:**

The ESR will be placed on public record from **September 20, 2018 to October 19, 2018** at the following locations:

City of London Transportation Office 8th Floor City Hall 300 Dufferin Avenue Mon-Fri: 8:30 am to 4:30 pm	London Public Library Central Branch 251 Dundas Street Mon-Thurs: 9 am to 9 pm Fri: 9 am to 6 pm Sat: 9 am to 5 pm	London Public Library Carson Branch 465 Quebec Street Tues / Thurs: 1 pm to 5 pm, 6 pm to 9 pm Wed / Fri / Sat: 9 am to 12 pm, 1 pm to 5 pm
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The ESR will also be available online at:

<http://www.london.ca/residents/Environment/EAs/Pages/Adelaide-Street-and-Canadian-Pacific-Railway-Grade-Separation-.aspx>

**How to Resolve Any Questions or Concerns:**

If you have any questions, comments or concerns, please contact the City of London Project Manager by **October 19, 2018**:

Ardian Spahiu, P.Eng.  
 Transportation Design Engineer  
 300 Dufferin Avenue, P.O. Box 5035  
 London ON N6A 4L9  
 Tel: 519-661-2489 x 4738  
 Email: [aspahiu@london.ca](mailto:aspahiu@london.ca)

If concerns regarding this project cannot be resolved through direct discussion with the City of London, a person or party may make a request to the Minister of the Environment, Conservation and Parks (formerly Environment and Climate Change) for an elevated level of study to comply with Part II of the Ontario Environmental Assessment Act (referred to as a Part II Order request). The request must be received by the Minister by **October 19, 2018**. Refer to the Ministry of the Environment, Conservation and Parks website for specific instruction:

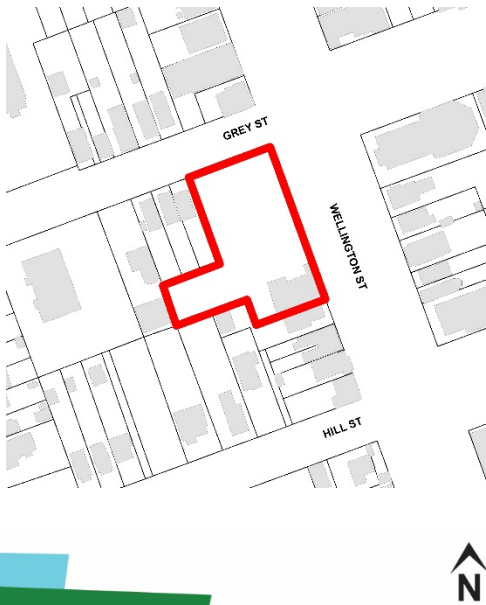
<https://www.ontario.ca/page/class-environmental-assessments-part-ii-order>

Personal information collected on this subject is collected under the authority of the Municipal Act, 2011 and will be used by members of Council and City of London staff in their review of this matter. Any written submission including names and contact information will be made available to the public. Questions about this collection should be referred to the City Clerk, at 519-661-2489 (CITY) x 4937.

# REVISED APPLICATION AND PUBLIC MEETING NOTICE

## Zoning By-Law Amendment

### 147-149 Wellington Street and 253-257 Grey Street



**File: Z-8905**

**Applicant: JAM Properties Inc.**

#### What is Proposed?

Zoning amendment to allow:

- An 18-storey (63 metre) apartment building;
- 246 residential units (560uph);
- Two levels of underground parking (162 spaces);
- 38 surface parking spaces.

## YOU ARE INVITED!

Further to the Notice of Application you received on May 9, 2018, you are invited to a public meeting of the Planning and Environment Committee to be held:

**Meeting Date and Time:** Tuesday, October 9, 2018, no earlier than 4:45 p.m.

**Meeting Location:** City Hall, 300 Dufferin Avenue, 3rd Floor

For more information contact:

Mike Corby  
mcorby@london.ca  
519-661-CITY (2489) ext. 4657  
Planning Services, City of London,  
206 Dundas St., London ON N6A 1G7  
File: Z-8905

[london.ca/planapps](http://london.ca/planapps)

To speak to your Ward Councillor:

Tanya Park  
tpark@london.ca  
519-661-CITY (2489) ext. 4013

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

# Application Details

Commonly Used Planning Terms are available at [london.ca/planapps](http://london.ca/planapps).

## Requested Zoning By-law Amendment

To change the zoning from a Business District Commercial Special Provision (BDC(8)) Zone and Business District Commercial Special Provision (BDC(4) Zone to a Business District Commercial Special Provision Bonus (BDC(8))\*B( ) Zone and Business District Commercial Special Provision Bonus (BDC(4))\*B( ) Zone. Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at [london.ca/planapps](http://london.ca/planapps).

### Current Zoning

**Zone:** BDC(4) & BDC(8)

**Permitted Uses:** Provides for and regulates a mix of retail, restaurant, neighbourhood facility, office and residential uses.

**Special Provision(s):** BDC(4) a) Permitted Uses: i) Any use permitted in the BDC and BDC2 Zones; ii) Group homes type 2. BDC(8) a) Permitted Uses: i) Any use permitted in the BDC and BDC2 Zone variations; ii) Group Home Type 2. b) Regulations: i) Lot Area (Minimum) 4000 m<sup>2</sup> (43,057.00 sq.ft.). ii) Lot Depth (Minimum) 45 m (147.64 ft.). iii) Landscaped Open Space (Minimum) 15%. iv) Coverage (Maximum) 30 %. v) Special Regulation Any buildings or structures and their permitted uses must front onto an Arterial Street. vi) Off-Street Parking (Minimum) Front Yard Parking setback shall be 3 metres (10.0 feet) to any arterial street.

**Residential Density:** 250uph

**Height:** 12 metres

### Requested Zoning

**Zone:** BDC(4)\*B( ) & BDC(8)\*B( )

**Permitted Uses:** Same uses as existing zoning

**Special Provision(s):** Same special provisions will exist.

**Residential Density:** 560 uph

**Height:** 63 metres

**Bonus Zone:** The bonus zone would permit a residential density of 560uph and maximum height of 63 metres in return for eligible facilities, services and matters outlined in Section 19.4.4 of the Official Plan. Other provisions such setbacks, lot coverage and a parking reduction may also be considered through the re-zoning process as part of the bonus zone.

## Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as Main Street Commercial Corridor and High Density Residential in the Official Plan, which permits small-scale retail uses; service and repair establishments, food stores; convenience commercial uses; personal and business services; pharmacies; restaurants; financial institutions; small-scale offices; small-scale entertainment uses; galleries; studios; community facilities such as libraries and day care centres, correctional and supervised residences; residential uses (including secondary uses) and units created through the conversion of existing buildings, or through the development of mixed-use buildings as the main uses.

The subject lands are in the Rapid Transit Corridor Place Type in *The London Plan*, permitting a range of retail, service, office, cultural, recreational, and institutional uses.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. If you previously provided written or verbal comments about this application, we have considered your comments as part of our review of the application and in the preparation of the planning report and recommendation to the Planning and Environment Committee. The additional ways you can participate in the City's planning review and decision making process are summarized below. For more detailed information about the public process, go to the [Participating in the Planning Process](http://london.ca/planapps) page at [london.ca](http://london.ca).

### See More Information

You can review additional information and material about this application by:

- visiting Planning Services at 206 Dundas Street, Monday to Friday between 8:30am and

4:30pm;

- contacting the City's Planner listed on the first page of this Notice; or
- viewing the application-specific page at [london.ca/planapps](http://london.ca/planapps).

## **Attend This Public Participation Meeting**

The Planning and Environment Committee will consider the requested zoning changes at this meeting, which is required by the *Planning Act*. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

## **What Are Your Legal Rights?**

### **Notification of Council Decision**

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

### **Right to Appeal to the Local Planning Appeal Tribunal**

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

For more information go to <http://elto.gov.on.ca/tribunals/lpat/about-lpat/>.

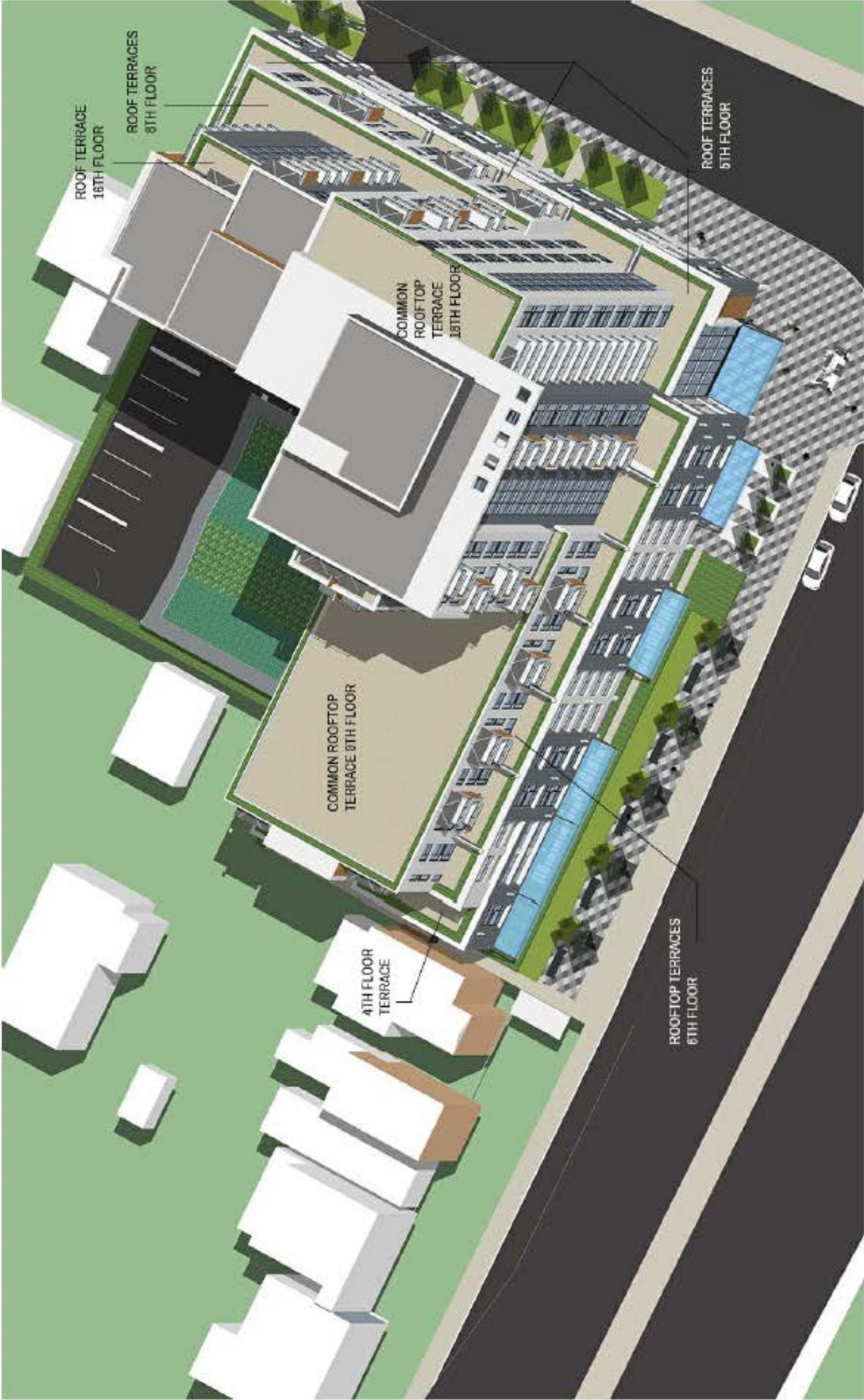
### **Notice of Collection of Personal Information**

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**Accessibility – Alternative accessible formats or communication supports are available upon request. Please contact [accessibility@london.ca](mailto:accessibility@london.ca) or 519-661-CITY(2489) extension 2425 for more information.**



# Site Concept



# Building Renderings





The above images represent the applicant's proposal as submitted and may change.

## Report to London Advisory Committee on Heritage

**To:** Chair and Members  
London Advisory Committee on Heritage

**From:** John M. Fleming  
Managing Director, Planning and City Planner

**Subject:** Heritage Alteration Permit Application by G. Anastasiadis  
550 Dufferin Avenue  
East Woodfield Heritage Conservation District

**Meeting on:** Wednesday October 10, 2018

## Recommendation

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, the application under Section 42 of the *Ontario Heritage Act* to construct a new, detached garage on the property located at 550 Dufferin Avenue, within the East Woodfield Heritage Conservation District, **BE PERMITTED** as submitted in the drawings included Appendix C with the following terms and conditions:

- a) Only one driveway be permitted;
- b) The existing driveway and curb cut for the property off of Dufferin Avenue be closed and the driveway be removed and the area be restored with sod/grass;
- c) The Heritage Alteration Permit be displayed in a location visible from the street until the work is completed.

## Executive Summary

A Heritage Alteration Permit application was submitted for a proposed detached garage to be constructed in the northwest corner of the property at 550 Dufferin Avenue, located in the East Woodfield Heritage Conservation District. The construction of the proposed detached garage would also include a new driveway off of William Street. The proposed detached garage was analyzed using the policies and guidelines of the *East Woodfield Heritage Conservation District Plan* and found to be compatible. To ensure there are no net adverse impacts to the heritage character of the East Woodfield Heritage Conservation District, the existing driveway off of Dufferin Avenue must be closed and the former driveway restored to sod/grass.

## Analysis

### 1.0 Background

#### 1.1 Property Location

The property at 550 Dufferin Avenue is located on the northeast corner of Dufferin Avenue and William Street (Appendix A).

#### 1.2 Cultural Heritage Status

The property at 550 Dufferin Avenue is located within the East Woodfield Heritage Conservation District, which was designated under Part V of the *Ontario Heritage Act* in April 15, 1993. Unlike other Heritage Conservation Districts, the East Woodfield Heritage Conservation District does not have a property rating system.

#### 1.3 Description

The existing built heritage resource located at 550 Dufferin Avenue was constructed in 1948. The existing building is setback from both Dufferin Avenue and William Street, afforded by the wide road allowance. A driveway is located off of Dufferin Avenue and provides access to a detached two car garage in the rear. The house was built in the



Tudor Revival style, as articulated in the slight or modified Tudor arch above the main entry in stone, asymmetrical composition, use of rusticated stone, elaborate stone, and brick chimney piece with heavy cap (Appendix B). The house is clad in rug brick in red and black tones, laid in a stretcher bond pattern, with a lightly rusticated stone base laid in an irregular pattern with a carved coping. The built heritage resource also features a large slate roof in tones of green with copper eaves troughs, divided light wood windows, and letterbox downspouts. A garage is located at the rear of the existing built heritage resource. While the built heritage resource differs from what is typically found in the East Woodfield Heritage Conservation District, it contributes to an understanding of historic architectural styles that document the growth of the Woodfield area.

With the existing built heritage resource constructed in 1948, it is not the first building located on this property. The property is shown as vacant in the 1912, revised 1915 and 1912, revised 1922 Fire Insurance Plan, however an earlier building is shown on the 1892, revised 1907 Fire Insurance Plan. The earlier 1881, revised 1888 Fire Insurance Plan includes an interesting notation for the property at 500 William Street, “w/ cornice all sides.” Notations such as this are uncommon in Fire Insurance Plans.

The property at 550 Dufferin Avenue is historically associated with the Silverwood family. The existing building was constructed in 1948 as the home of Albert Edward Silverwood (1876-1961) and his second wife, Nora. Prior to moving to 550 Dufferin Avenue, the Silverwoods lived at 517 Dufferin Avenue also in East Woodfield Heritage Conservation District. Silverwood Industries Limited of London, Ontario was a dealer in cold storage products and manufacturers of ice cream and butter with factories and warehouses on Ridout Street North and Bathurst Street. After the death of Albert Silverwood, the company was acquired by United Dairies. The Silverwood legacy is remembered in Silverwoods Park (including pool and arena), as well as Western University’s Faculty of Music (once located at Goodholme, 1071 Waterloo Street) and School of Business Administration. The property was sold by the Silverwood family to the Peterson family in the 1960s.

The property at 550 Dufferin Avenue is also historically associated with the Peterson family. The house was the home of Clarence Marwin (1913-2009) and Laura Marie Peterson (1913-2015) from the 1960s until her death in 2015. Their son, former Premier David Robert Peterson (b. 1943), grew up in the house. David Peterson was London Centre’s Member of Provincial Parliament from 1975 until his defeat, as Premier, in 1990. The property remained in the Peterson family until it was sold to the current owner in 2016.

## **2.0 Legislative/Policy Framework**

### **2.1 Provincial Policy Statement**

Heritage conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (2014)* promotes the wise use and management of cultural heritage resources and directs that “significant built heritage resources and significant cultural heritage landscapes shall be conserved.”

### **2.2 Ontario Heritage Act**

Section 42 of the *Ontario Heritage Act* requires that a property owner not alter, or permit the alteration of, the property without obtaining Heritage Alteration Permit approval. The *Ontario Heritage Act* enables Municipal Council to give the applicant of a Heritage Alteration Permit:

- a) The permit applied for;
- b) Notice that the council is refusing the application for the permit; or,
- c) The permit applied for, with terms and conditions attached (Section 42(4), *Ontario Heritage Act*).

Municipal Council must respond within 90 days after a request for a Heritage Alteration Permit application (Section 42(4), *Ontario Heritage Act*).

### **2.3 The London Plan**

The policies of *The London Plan* found in the Cultural Heritage chapter support the conservation of London's cultural heritage resources. Policy 554\_ of *The London Plan* articulates on of the primary initiatives as a municipality to "ensure that new development and public works are undertaken to enhance and be sensitive to our cultural heritage resources." To help ensure that new development is compatible, Policy 594\_ (under appeal) of *The London Plan* provides the following direction:

1. *The character of the district shall be maintained by encouraging the retention of existing structures and landscapes that contribute to the character of the district;*
2. *The design of new development, either as infilling, redevelopment, or as additions to existing buildings, should complement the prevailing character of the area;*
3. *Regard shall be had at all times to the guidelines and intent of the heritage conservation district plan.*

### **2.4 East Woodfield Heritage Conservation District**

The *East Woodfield Heritage Conservation District Plan – Parts I & II, Parts III & IV*, are intended to provide policies and guidelines to ensure that the special environment and heritage character of East Woodfield is protected while still permitting appropriate and compatible change.

Policy 2.6, *East Woodfield Heritage Conservation District Plan – Parts I*, directs that "change in East Woodfield's built heritage is to be expected in the future, yet it must be carefully *managed* in a manner that does not adversely affect this special environment." It further notes that applications will be considered within the context of the design guidelines and on the individual merits of a proposed change.

Policy 1.3, *East Woodfield Heritage Conservation District Plan – Part II*, provides direction to ensure the compatibility of additions and alterations, stating:

*New construction comprising freestanding buildings should respect the prevailing character of: adjacent buildings, the existing streetscape, landscaping and grade levels, and the district as a whole. New construction must be of compatible design in location, size, height, setback, orientation, materials, colour, roof and roofline, fenestration, scale, and proportion.*

Policy 2.2.5, *East Woodfield Heritage Conservation District Plan – Part II*, states one of the objectives of the designation of East Woodfield as a Heritage Conservation District: "to permit new development only where it respects or otherwise complements the prevailing character of existing heritage buildings and structures within the East Woodfield Heritage district."

Garages are specifically addressed by the Policy 4.3.1.1, *East Woodfield Heritage Conservation District Plan – Part II*, stating:

*Exterior additions, including garages, balconies and greenhouses are encouraged to be located at the rear or on an inconspicuous side of the building, limited to the size and scale to complement the existing building and neighbouring property. Additions at the rear should be slightly lower than the existing roof line and stepped in at the sides in order to not overpower or dominate the existing heritage building and the view from the street. Additions so constructed will also tend to be more neighbourly to adjoining heritage owners.*

In addition to the direction of Policy 1.3, Policy 4.4, *East Woodfield Heritage Conservation District Plan – Part II*, provides guidance on the compatibility of new buildings within the East Woodfield Heritage Conservation District.

## **3.0 Heritage Alteration Permit Application**

The *East Woodfield Heritage Conservation District Plan* identifies alterations where Heritage Alteration Permit (referred to as a "Section 42 Permit") is required.

A Heritage Alteration Permit application was submitted by the property owner and received on September 19, 2018. The property owner has applied for a Heritage Alteration Permit to:

- Construct a new, detached garage building on the property as shown on the drawings and photographs included in Appendix C:
  - Located near the northern boundary of the property (approximately 2' from the property line), visible from William Street;
  - Single storey, approximately 18' by 21';
  - Flat roof with parapet, painted wood fascia, and metal coping;
  - Exterior cladding:
    - Clad in composite stone at the base (Arriscraft International, random three-unit "Laurier Building Stone" in mahogany colour) (see Image 11, Appendix C);
    - Rug brick (Watson Town Brick Company, "Red Rugg (vertical) Type 2 Ontario cored, 4" by 2-3/8" by 8-3/8") above to match the existing house (see Image 12, Appendix C);
  - Install two wood double hung windows with muntin bars, facing William Street, to match other windows (see Image 4, Appendix B);
  - Install an 8' by 18' metal garage door;
  - Create a new concrete driveway off of William Street to access this new garage.

The existing garage located at the rear provided some direction in terms of an appropriate design for a proposed detached garage for the property (see Image 7, Appendix B).

Per Section 42(4) of the *Ontario Heritage Act*, the 90-day timeline for this Heritage Alteration Permit application will expire on December 18, 2018.

#### 4.0 Analysis

The policies and guidelines of the *East Woodfield Heritage Conservation District Plan* do not prohibit alterations, including additions and new buildings, for properties included in its boundaries. However, there is clear policy direction that any new building must complement the heritage character of the East Woodfield Heritage Conservation District and be analyzed and found to be compatible with a number of measures as specifically articulated in the applicable policies.

The following table was created to assess the compatibility of the proposed detached garage at 550 Dufferin Avenue with the existing built heritage resource on the property, adjacent properties, and the East Woodfield Heritage Conservation District. The criteria were found in Policy 1.3 and Policy 4.4 of the *East Woodfield Heritage Conservation District Plan – Part II*.

Table 1: Analysis of Criteria from the East Woodfield Heritage Conservation District Plan – Part II

Criteria of Policy 1.3 and Policy 4.4	Analysis
Location	The location of the proposed detached garage is behind the principal façade of the existing built heritage resource at 550 Dufferin Avenue. It does not obscure any of the significant architectural details of the home.
Size	The size of the proposed detached garage is approximately 18' by 21'. This size is modest in relation to the floor plate of the existing built heritage resource. The size of the proposed detached garage is not anticipated to overwhelm the existing built heritage resource. The size is also comparable to the existing detached garage located on the property.
Height	The height of the proposed detached garage is approximately 9'. This is intended to match the approximate height of the eaves of



Criteria of Policy 1.3 and Policy 4.4	Analysis
	the existing built heritage resource. See below for analysis of the flat roof of the proposed detached garage.
Setback	The setback of the proposed detached garage is close to the property line (approximately 2' setback), but the right of way along William Street is very wide (approximately 132'). The setback of the proposed detached garage matches the setback of the adjacent built heritage resource located at 508-510 William Street, reinforcing a continuous street wall along the east side of William Street.
Orientation	The proposed detached garage is oriented to create a courtyard with the existing built heritage resource. The existing built heritage resource has a west wing that projects from the main mass of the building. The proposed detached garage will enclose the north side of this courtyard. This orientation will minimize the visibility of the large overhead garage door from the street. The street-facing (west) façade of the proposed detached garage will be articulated with a pair of windows.
Materials/Walling [Cladding]	To assist in the compatibility of the proposed detached garage, it will be clad in the same materials as the existing built heritage resource. The base of the proposed detached garage will be clad in composite stone, matching the size, pattern, colour, and texture of the existing stone, including coping. The upper portion of the proposed detached garage will be clad in rug brick to match the brick cladding of the existing built heritage resource.
Colour	Similar to the materials, the colours of the exterior cladding of the proposed detached garage have been selected because of the ability to match the materials of the existing built heritage resource.
Roof and Roofline	The proposed detached garage will have a flat roof. This will avoid any conflict with the significant slate roof of the existing built heritage resource, and visually articulate the proposed detached garage as subordinate to the existing built heritage resource. The roofline will be articulated by a wood cornice/fascia, topped with metal coping/flashing.
Fenestration	A pair of windows will be located on the west (William Street) façade of the proposed detached garage. The windows have been selected to match the windows of the existing built heritage resource, and applied in a style similar to the dormers which also face William Street. The windows will be sash, wood windows with a six-over-one fenestration.
Scale and Proportion	The scale and proportions of the proposed detached garage has been designed to be subordinate to the existing built heritage resource.

The proposed detached garage at 550 Dufferin Avenue is compatible with the policies and guidelines of the *East Woodfield Heritage Conservation District Plan*.

However, the introduction of a new driveway has the potential to create an adverse impact in the special environment of the East Woodfield Heritage Conservation District. The new curb cut will require a Permit of Approved Works (PAW). To ensure that the construction of the proposed detached garage does not result in any unintended adverse impact, the existing driveway off of Dufferin Avenue must be closed. The curb must be restored to a regular curb (no curb cut). The asphalt of the existing driveway must be removed and the former driveway must be restored to sod/grass.

It is not anticipated that the proposed detached garage and new driveway will affect the existing deciduous trees on the boulevard. Some of the existing shrubs and coniferous trees closer to the foundation of the existing built heritage resource may be removed.

## 5.0 Conclusion

The proposed detached garage for the property at 550 Dufferin Avenue was analyzed and found to be compatible with the policies and guidelines of the *East Woodfield Heritage Conservation District* and should be supported through approval, with terms and conditions, of the Heritage Alteration Permit.

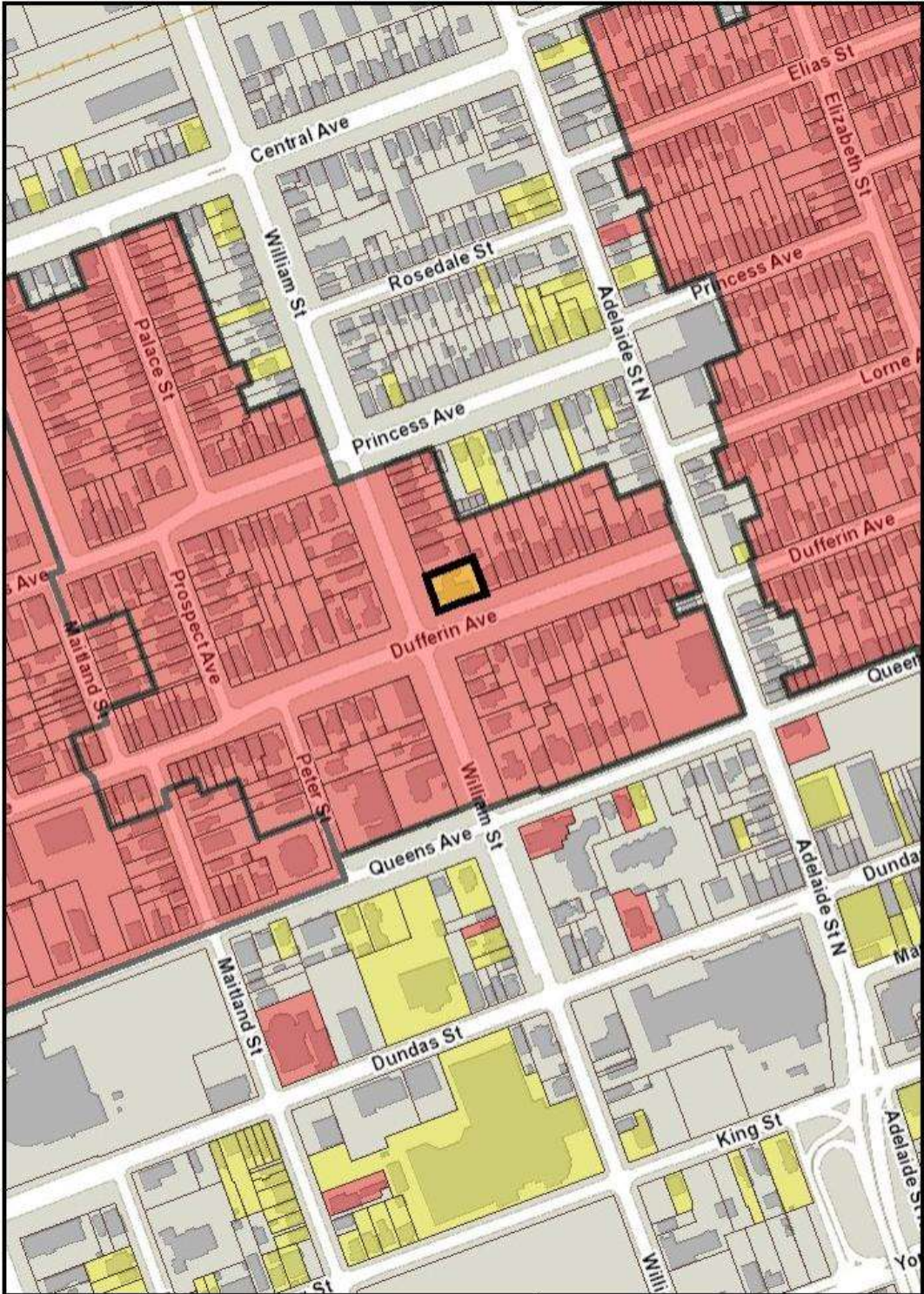
To ensure that no adverse impacts are a result of this application on the heritage character of the East Woodfield Heritage Conservation District, the existing driveway off of Dufferin Avenue must be closed.

<b>Prepared by:</b>	<b>Kyle Gonyou, CAHP Heritage Planner</b>
<b>Submitted by:</b>	<b>Gregg Barrett, AICP Manager, Long Range Planning and Research</b>
<b>Recommended by:</b>	<b>John M. Fleming, MCIP, RPP Managing Director, Planning and City Planner</b>
Note: The opinions contained herein are offered by a person or persons qualified to provide expert opinion. Further detail with respect to qualifications can be obtained from Planning Services	

October 3, 2018  
KG/

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




# Appendix A – Map



## Location Map

Project Title: 0  
 Description: Location - 550 Dufferin Avenue, East Woodfield Heritage Conservation District  
 Created By: Kyle Gonyou  
 Date: 9/19/2018  
 Scale: 1:4000

## Legend

-  Subject Site
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers

Corporation of the City of London





## Appendix B – Images



A. 550 Dufferin Ave

B. c1950

C. Tudor Revival

D. Associated with the Peterson family; David Peterson former Premier of Ontario.

E. This one and a half storey rambling structure is eminently suited to its corner site. It is faced with red brick with extensive areas of cut stone, particularly surrounding the windows, front door, and chimney. These last two areas feature a more rusticated stone treatment. The front entrance is framed by a modified tudor-style arch. The low-pitch gable roof is truncated in its eastern section and accommodates a triple dormer window.

F. Very good condition, but there are some slates missing or damaged on the north side. There is some efflorescence on the chimney. The foundation planting is overgrown and obscuring the windows.

G. This house is completely different from its Victorian neighbours, but sits very comfortably on its corner location. It is a fine example of its type.

Figure 1: Extract from the East Woodfield Heritage Conservation District Study (January 1992), with information on the property at 550 Dufferin Avenue.



*Image 1: Property at 550 Dufferin Avenue, seen from the southeast corner of Dufferin Avenue and William Street (2012).*



*Image 2: Photograph of the main entry to the existing built heritage resource at 550 Dufferin Avenue.*





*Image 3: View of the William Street frontage of the property at 550 Dufferin Avenue, seen from the west side of William Street. Note: the orange pylon appears to mark the approximate location of the concrete driveway.*



*Image 4: Detail of the west façade of the existing built heritage resource located at 550 Dufferin Avenue. Note the profiles and fenestration of the windows located in the dormers.*





*Image 5: View looking north up the east sidewalk of William Street, showing the existing built heritage resource at 550 Dufferin Avenue in the foreground and the setback of adjacent properties to the north.*

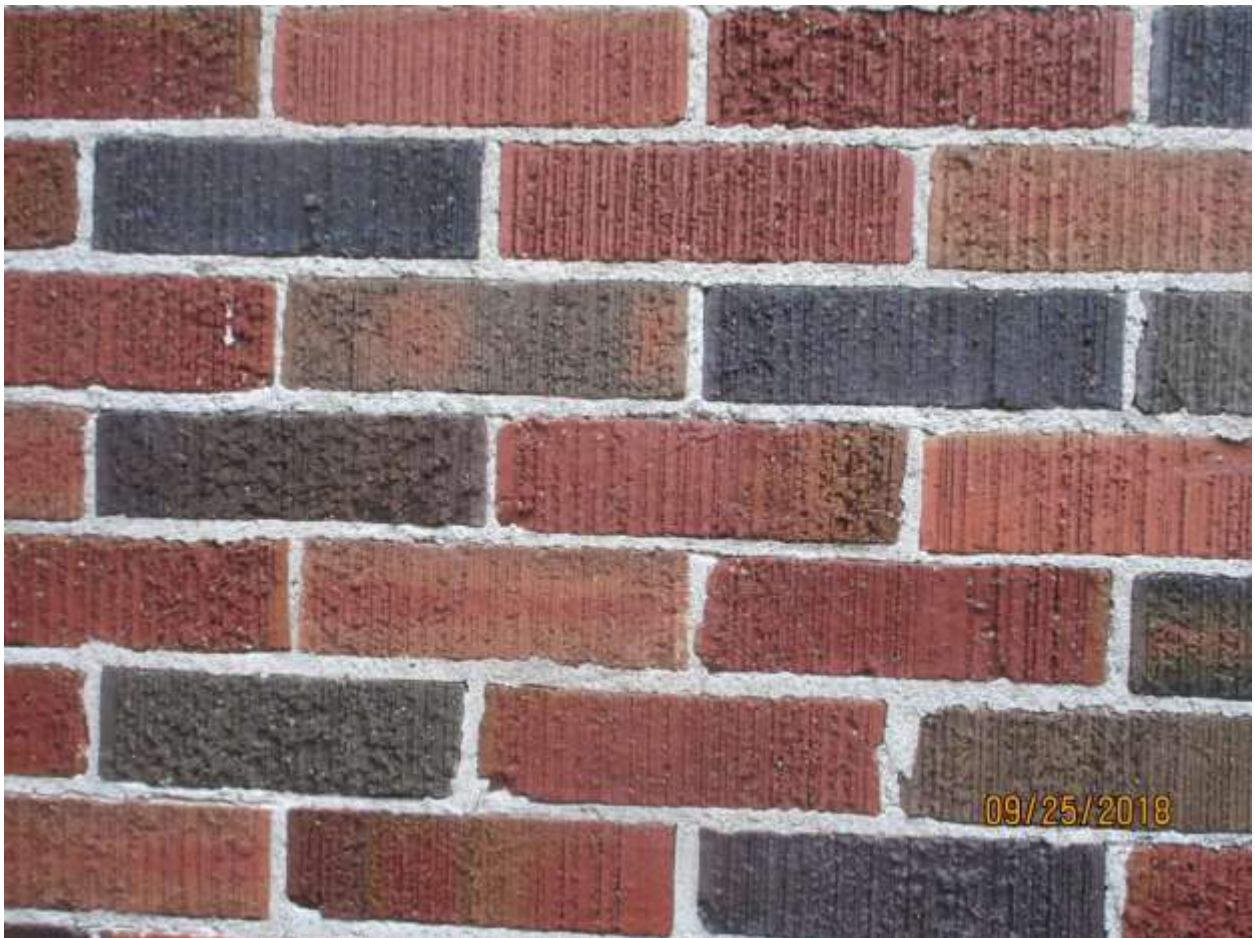


*Image 6: Photograph of the existing driveway to the property at 550 Dufferin Avenue (left), off of Dufferin Avenue.*





*Image 7: Photograph of the existing garage located at the rear of the property at 550 Dufferin Avenue.*



*Image 8: Detail of the rug brick masonry of the existing built heritage resource at 550 Dufferin Avenue.*





*Image 9: Detail of the stone masonry base of the existing built heritage resource at 550 Dufferin Avenue.*



*Image 10: Detail showing the materials, proportion, and finish of the base of the existing built heritage resource at 550 Dufferin Avenue.*



# Appendix C – Drawings

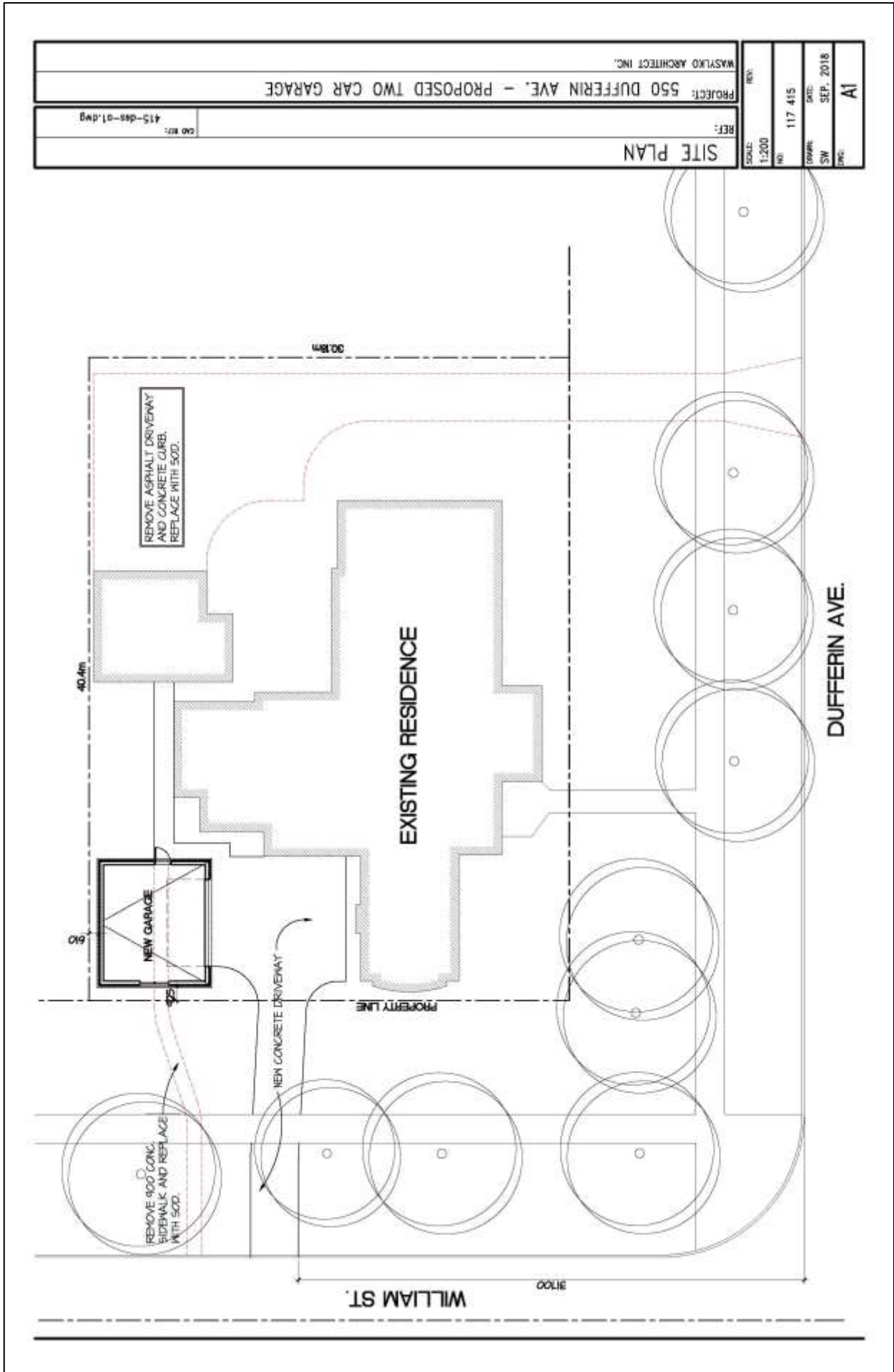


Figure 2: Drawing A1 – Site Plan.

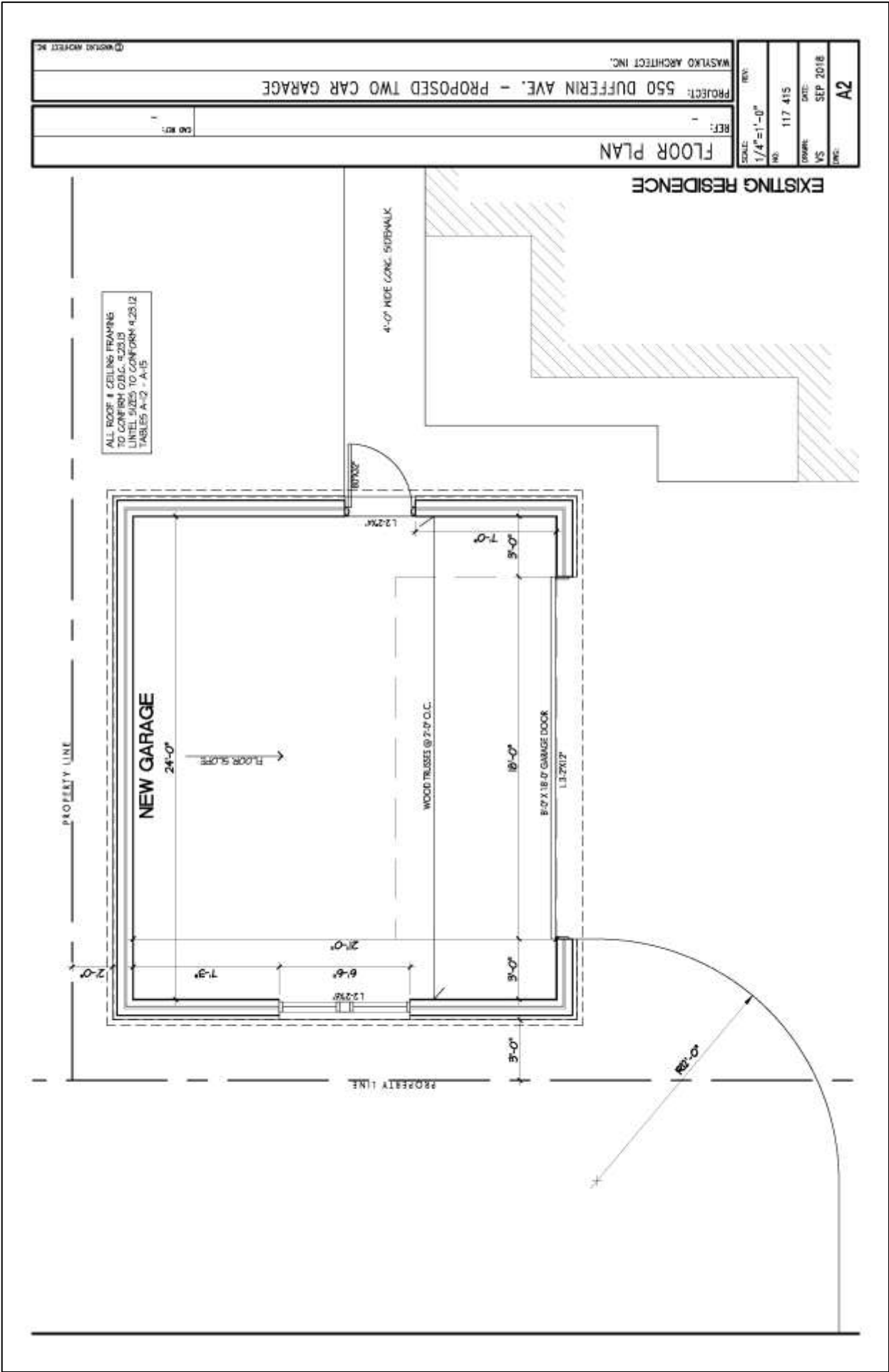


Figure 3: Drawing A2 – Floor plan.

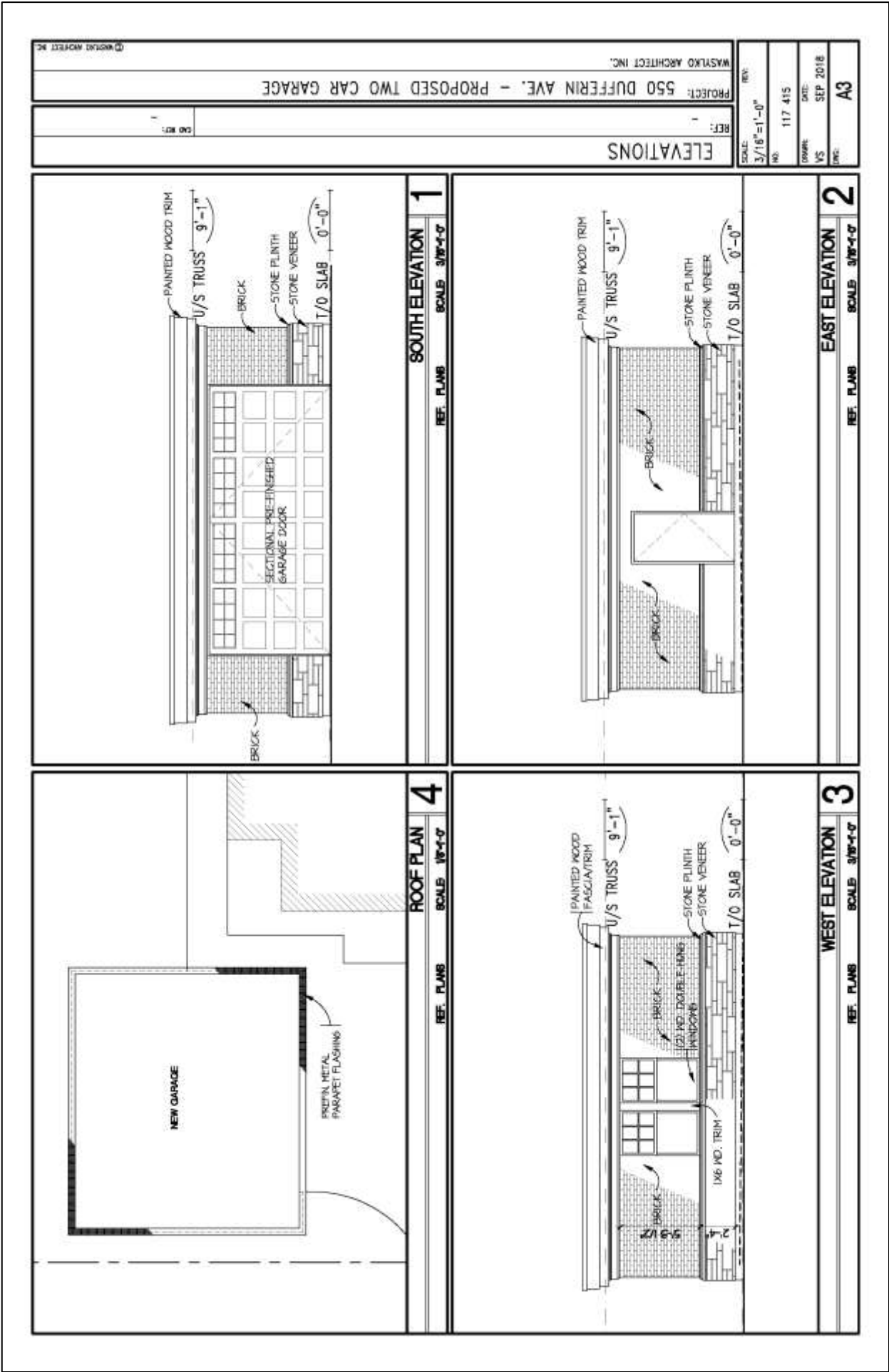


Figure 4: Drawing A3 – Elevations.



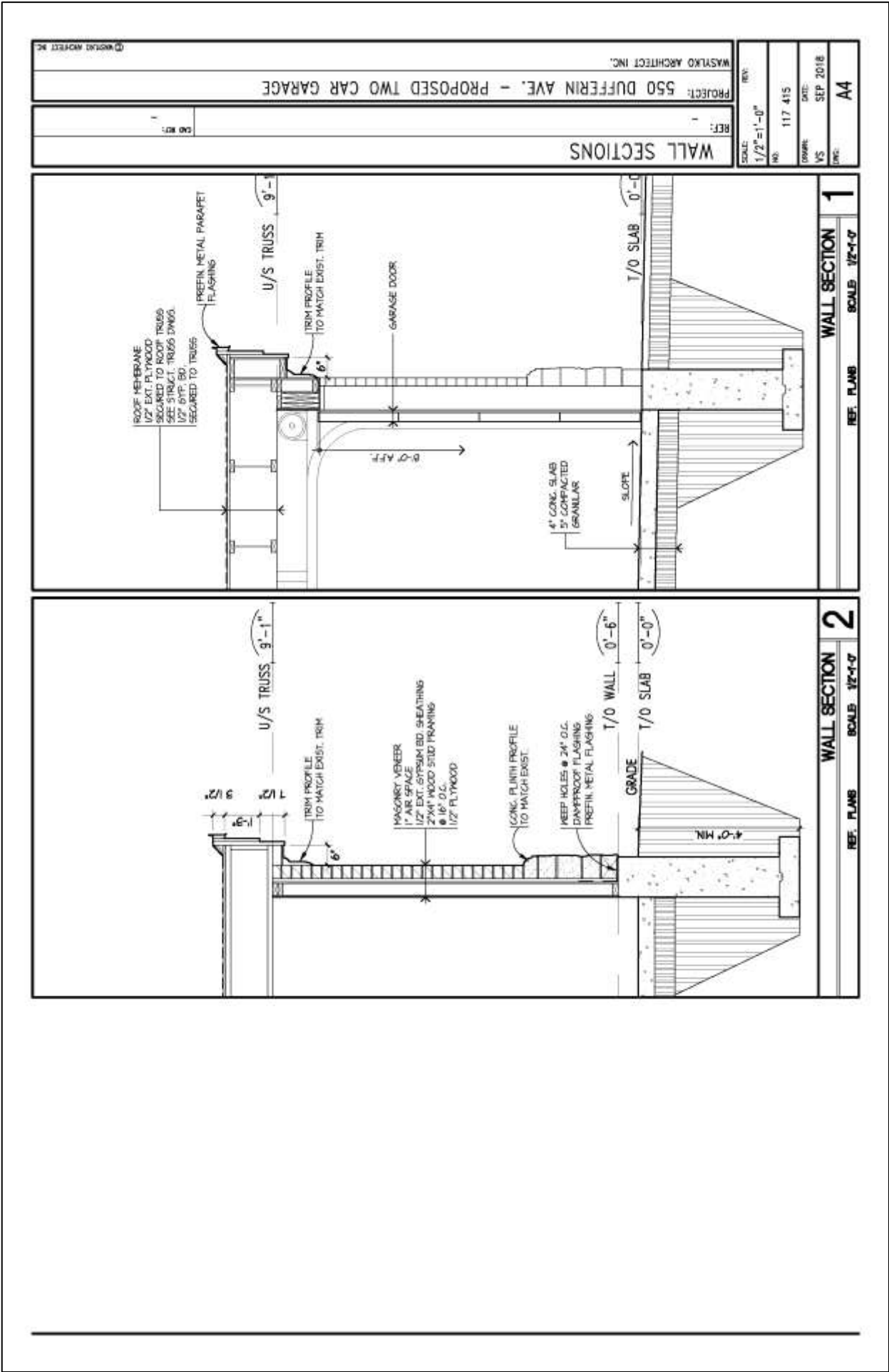


Figure 5: Drawing A4 – wall sections.



*Image 11: Photograph of the proposed composite stone for the cladding of the base of the proposed detached garage (Arriscraft International, random three-unit "Laurier Building Stone" in mahogany colour). Courtesy Myk Wasylko, Wasylko Architect Inc.*



*Image 12: Photograph of the proposed brick for the cladding of the upper portion of the proposed detached garage (Watsontown Brick Company, "Red Rugg (vertical) Type 2 Ontario cored, 4" by 2-3/8" by 8-3/8"). Courtesy Myk Wasylko, Wasylko Architect Inc.*



# Heritage Alteration Permit 550 Dufferin Avenue East Woodfield HCD

London Advisory Committee on Heritage  
October 10, 2018

london.ca



## 550 Dufferin Avenue

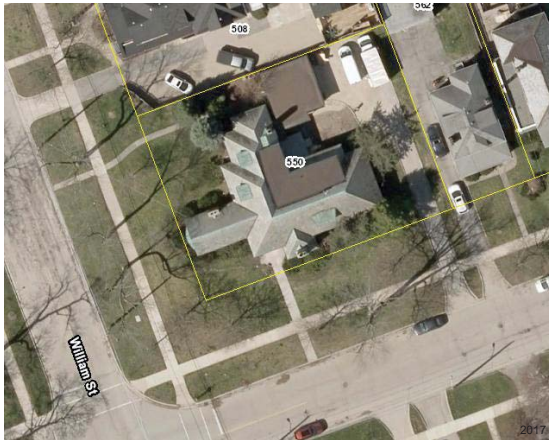
- Earlier building at 500 William Street demolished before 1912
- Built 1948
- Tudor Revival style
- Historically associated with Silverwood family, Peterson family



East Woodfield Heritage Conservation District Study (1992)



## Aerial View



## William Street Frontage

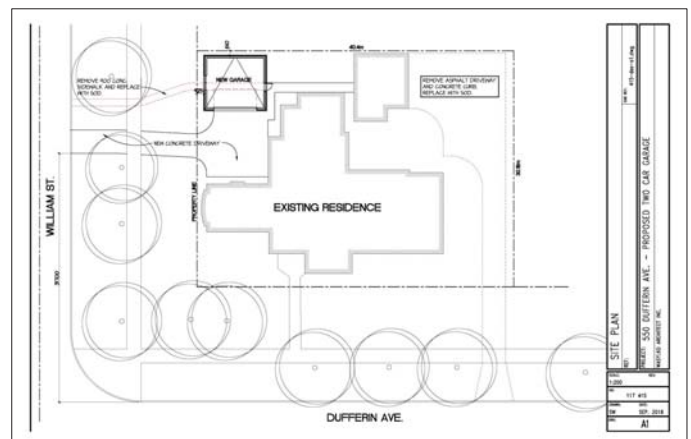


## Heritage Alteration Permit

- New, detached garage
- ~2' from north property line
- Interior dimensions 18' by 21' (23' by 26' exterior)
- Flat roof
- Brick and stone cladding
- Two wood double hung windows
- Metal garage door
- New driveway off of William Street



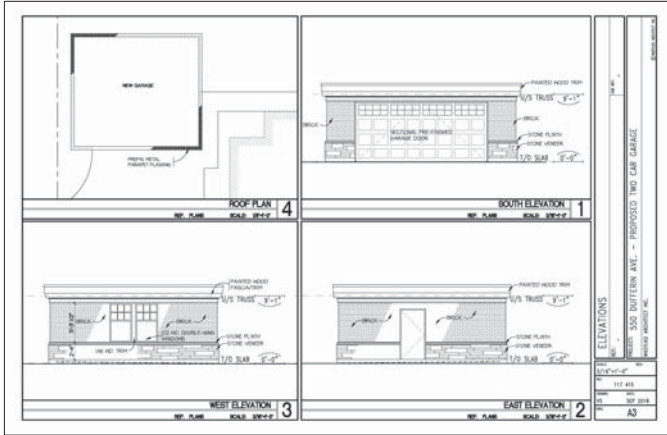
## Site Plan



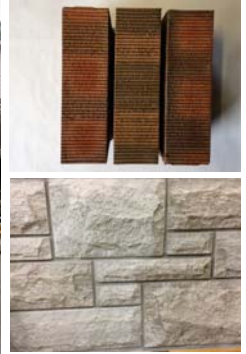




# Elevations



# Materials



# Analysis

## East Woodfield Heritage Conservation District

- Must complement heritage character
- Policy 1.3 & Policy 4.4:
  - Location
  - Size
  - Height
  - Setback
  - Orientation
  - Materials/Walling (Cladding)
  - Colour
  - Roof and Roofline
  - Fenestration
  - Scale and proportion



# Recommendation

That, on the recommendation of the Managing Direct, Planning and City Planner, with the advice of the Heritage Planner, the application under Section 42 of the *Ontario Heritage Act* to construct a new, detached garage on the property located at 550 Dufferin Avenue, within the East Woodfield Heritage Conservation District, **BE PERMITTED** as submitted in the drawings included Appendix C with the following terms and conditions:

- Only one driveway be permitted;
- The existing driveway and curb cut for the property off of Dufferin Avenue be closed and the driveway be removed and the area be restored with sod/grass;
- The Heritage Alteration Permit be displayed in a location visible from the street until the work is completed.

## Heritage Planners' Report to LACH: October 10, 2018

1. Heritage Alteration Permits processed under Delegated Authority By-law:
  - a. 162 Wortley Road (WV-OS HCD): signage
  - b. 165 Oxford Street East (Part IV): replace non-original windows with wood windows
  - c. 111 York Street (Downtown HCD): façade alterations
  - d. 345-359 Ridout Street North (Downtown HCD): roof guard, cornice, vestibule
2. Draft Solar Guidelines – receiving comments / revising document (contact: Krista Gowan, Heritage Planner)
3. Heritage Places 2.0: A Description of Potential Heritage Conservation Districts in the City of London – A possible amendment to Section 1721 of *The London Plan* will be considered at the November 12<sup>th</sup> Planning and Environment Committee (PEC) to establish Heritage Places 2.0 as a guideline document by updating the previously adopted version – Heritage Places. The updated Heritage Places 2.0 includes a prioritized list of candidate areas which were identified based on a city-wide evaluation referencing a common set of selection criteria. File: O-8965 (contact: Laura Dent, Heritage Planner)
4. Priority levels on the Register (Inventory of Heritage Resources)

## Upcoming Heritage Events

- Janet Hunten – Eric Arthur Lifetime Achievement Award recipient – ACO Awards Gala – Thursday October 11, 2018 – Junction Craft Brewing, 150 Symes Road, Toronto:  
<https://events.epl.com/ArchitecturalConservancyOntarioAwardsParty20182563604>
- Canpex 2018 – October 13-14, 2018 – Hellenic Community Centre (133 Southdale Road West): <http://www.canpex.ca/>. 150 Years of the Western Fair
- “Engage, Involve, and Partner: Lessons in Community Engagement from SurveyLA” – Monday October 15, 2018, North York Civic Centre (5100 Yonge Street, Toronto): [www.bit.ly/HPSOctober15](http://www.bit.ly/HPSOctober15)
- *Histories of London: A Mini Doc Series* – Thursday October 25, 7:00pm-10:00pm. Register: <https://www.eventbrite.com/e/histories-of-london-on-mini-documentary-series-screening-tickets-50755902270>
- Do You Date? Grosvenor Lodge Haunted Mansion – October 26-30, 2018: <https://heritagelondonfoundation.ca/event/annual-halloween-haunted-mansion/>
- Terrific Tales of London & Area – Tuesdays, Central Library (Richmond Room) at 7pm
  - October 30: London Majors baseball team
  - November 6: John Davis Barnett's gift of 40,000 books to Western University
  - November 13: 1928 London City Hall Building
  - November 20: Oscar Wilde's London connection
  - November 27: Mohawk physician and Oxford scholar, Dr. Oronhyatekha
- A Night of Mystery at Elsie Perrin Williams Estate – Friday November 16, 2018  
<https://heritagelondonfoundation.ca/event/mystery-night-dinner-silent-auction-at-the-elsie-perrin-williams-estate/>
- Kilworth United Church Christmas Home Tour – Saturday November 24 and Sunday November 25. Ticket \$25. More information: [www.kilworthunited.ca](http://www.kilworthunited.ca) or 519-641-7367

# London heritage advocate earns provincial award

FREE PRESS STAFF Updated: October 10, 2018



Janet Hunten (Supplied photo)

One of London's long-time heritage boosters has clinched a provincial award.



Janet Hunten has earned the 2018 Eric Arthur lifetime achievement award from the Architectural Conservancy Ontario, an honour that recognizes people or community groups that have made an outstanding and lasting contribution to the heritage conservation movement in Ontario.

Hunten, 90, has been a fixture in London's heritage sector for nearly 50 years. She's been an active member of the Architectural Conservancy Ontario's London chapter, the London and Middlesex Historical Society and the London branch of the Ontario Archeological Society.

After graduating from Western University with a degree in chemistry and physics, Hunten joined the Stratford Festival's property and set design department in their inaugural season. Hunten started her museum career in London in the 1970s at the now-demolished Centennial Museum beside the old public library on Queens Avenue. In 1982, she became the first curator of the Fanshawe Pioneer Village.

Hunten was an original member of London's advisory committee on heritage and was part of the field team that scoured city streets to catalogue historically significant buildings and sites. The inventory later became the city's first round-up of its heritage properties.

Hunten was nominated by the London chapter of the Architectural Conservancy of Ontario.

The award is named for the provincial organization's founder Eric Arthur. The University of Toronto architecture professor, author and heritage advocate was instrumental in preserving several historic landmarks in Toronto.

Hunten will be given her award at the 12th annual Architectural Conservancy Ontario awards reception in Toronto Thursday.

[AWARDS \(HTTPS://LFPRESS.COM/TAG/AWARDS\)](https://lfpres.com/tag/awards)

[LONDON HERITAGE \(HTTPS://LFPRESS.COM/TAG/LONDON-HERITAGE\)](https://lfpres.com/tag/london-heritage)

## TRENDING IN CANADA



# Grosvenor Lodge

[Home](#) [Blog](#) [History](#) [Weddings](#) [Photos](#) [Upcoming Events](#) [Member Organizations](#)  
[Volunteer Opportunities](#) [Contact](#)

## DO YOU DARE? Grosvenor Lodge Haunted Mansion 2018

[« All Events](#)

## DO YOU DARE? Grosvenor Lodge Haunted Mansion 2018

October 26 - October 30 \$10



For a limited time only the haunted inn of London is opening it's doors to offer you a guided room by room experience you will never forget (seriously!). Inn staff will be on site to answer any questions you may have and to take your reservations! DO YOU DARE?!?! check out the space everyone is talking about with the promise you will never be the same after being inside this historical inn.

This 20-30 minute tour includes an escape room.

All proceeds go towards preserving two historical buildings in the city, Grosvenor Lodge and Elsie Perrin Williams Estate.

**Dates: October 26, 27, 28, 29, 30**

Evening Performances – 6:30-10 pm nightly – Recommended for audiences 13+ years old

Daytime (Lights On) Performances – 1-4 pm Saturday, October 27 and Sunday, October 28 – Recommended for audiences 12 years old and under

**Tickets: \$10.00+HST per person in advance, \$15 per person at the door.**

Get your tickets here: <https://www.eventbrite.ca/e/do-you-dare-grosvenor-lodge-haunted-mansion-2018-tickets-38781168519>

FREE parking is available on Platts Lane in the Western University townhouse parking lot. Refreshments available on site.

\*Evening performances not recommended for young children.

\*Unfortunately, refunds are not available for this event; however, know that your ticket value is going to the upkeep of heritage properties in London, and we thank you very much!

## VOLUNTEERS NEEDED

If you are interested in volunteering for this event, please contact [dan@day2knightevents.com](mailto:dan@day2knightevents.com).

+ GOOGLE CALENDAR

+ ICAL EXPORT

### Details

**Start:**  
October 26

**End:**  
October 30

**Cost:**

### Organizer

Heritage London  
Foundation

**Phone:**  
519-432-6620



# Christmas HOME TOUR

BY KILWORTH UNITED CHURCH

**November 24th & 25th, 2018**



**Kilworth United Church has lined up 6 interesting properties, all professionally decorated, for you to explore! Get to know your community by exploring these properties in the Kilworth/Delaware area.**

The years seem to fly by but some things have remained the same and that can be seen in the historic stone buildings that are located in what was the village of Kilworth. There was a thriving community with many businesses, mills and houses around the stone church built in 1850. With the new Christmas Home Tour organized by the Kilworth United Church the public will see inside properties that they may have driven by many times. The stone cottage shown above was built c. 1850s and was owned by William Comfort who was a woollen merchant. The woollen mill was situated on the Thames River behind this once two-room stone cottage.

The owners have carefully renovated the "Comfort cottage" respecting the history of the building. It is the oldest part of the house, with a fire blazing in the hearth, that the family is drawn to in the winter months. The house and barn both have heritage designation and this is the only heritage property incorporated into the City of London by annexation in 1993.

Properties on the Christmas Home Tour - 1860s farm house, stone church, stone cottage, house in Kilworth Heights, Belvoir Estate and Antler River Archery gallery in Delaware. Visit the website [kilworthunited.ca](http://kilworthunited.ca) for more details. **Tickets are \$25** - call Marilyn **519 641-7367**.

submitted by Beth Moyer, author of *Kilworth - The Woodhull Settlement*

Mr. Derek Dudak  
London Advisory Committee On Heritage  
London, Ontario

September 16, 2018.

**Re: Property at 536 Windermere Road, London**

Dear Mr. Dudek,

As I presented in my earlier email and we discussed on the phone, we have just been notified that a local developer has submitted an application for the development of a large multi storey building on the property next to our home. We are in the process of looking at the avenues available to us to provide feedback to the city about this planned development, as it will significantly alter the neighborhood.

After speaking with some of our neighbors it seems that this home at 536 Windermere Road was part of a larger estate in the area, and may be one of the remaining homes left.

I have contacted the London Heritage Planners and been notified that the property is not included on any heritage listing but as they stated that it does not mean that it does not present with any heritage value.

I would like to request that the LACH consider reviewing this property on behalf of our Orkney/Angus Neighborhood Committee to evaluate if it presents with any historical significance.

I am happy to be the contact for our group, and can be reached at 519 931 1085 or by email as well.

Please let me know if you require anything further from our neighborhood association.

I look forward to hearing from you soon,

Sincerely,



Erin Mara