

# Agenda

## London Advisory Committee on Heritage

10th Meeting of the London Advisory Committee on Heritage

October 10, 2018, 5:30 PM

Committee Rooms #1 and #2

### 1. Call to Order

1.1 Disclosures of Pecuniary Interest

### 2. Scheduled Items

2.1 5:30 PM A.M. Valastro – North Talbot Neighbourhood Heritage Homes 3

2.2 5:45 PM J. Ramsay, Project Director, Rapid Transit Implementation –  
Bus Rapid Transit Pausing Transit Project Assessment Process to  
Strengthen Heritage Strategy 4

### 3. Consent

3.1 9th Report of the London Advisory Committee on Heritage 6

3.2 Public Meeting Notice - Draft Plan of Subdivision and Zoning By-law  
Amendment - 3080 Bostwick Road 12

3.3 Notice of Planning Application - Draft Plan of Subdivision and Zoning By-  
law Amendment - 6019 Hamlyn Street 20

3.4 Notice of Study Completion - Adelaide Street North - Canadian Pacific  
Railway Grade Separation - Municipal Class Environmental Assessment  
Study 26

3.5 Revised Application and Public Meeting Notice - Zoning By-law  
Amendment - 147-149 Wellington Street and 253-257 Grey Street 27

### 4. Sub-Committees and Working Groups

### 5. Items for Discussion

5.1 Heritage Alteration Permit Application by G. Anastasiadis re 550 Dufferin  
Avenue - East Woodfield Heritage Conservation District 32

5.2 Property at 536 Windermere Road - E. Mara 50

### 6. Deferred Matters/Additional Business

### 7. Confidential

7.1 Personal Matters/Identifiable Individual

A personal matter pertaining to identifiable individuals, including  
municipal employees, with respect to the 2019 Mayor's New Year's  
Honour List.

## 8. Adjournment

Next Meeting Date: November 14, 2018

Hello,

I am requesting delegation status for the Oct. 10 meeting of LACH. Last spring, I approached LACH with concerns regarding homes in the North Talbot area that were heritage quality homes but were not being maintained. It was suggested that I return with a list of these homes for review by LACH.

I delayed returning once I heard that LACH was asked to review heritage qualities of homes along the Richmond route of BRT. I am now requesting time to present a list of homes in the North Talbot area that could be neglected but have heritage potential.

Thank You  
AnnaMaria Valastro  
133 John Street, Unit 1  
London, Ontario N6A 1N7

Hi Jerri-Joanne,

I'm re-sending to include email subject line. Please see the information below. We are asking that this information, along with the attached media release, be circulated to members of LACH.

Thank you so much,

Jennifer

### **BRT pausing Transit Project Assessment Process to strengthen heritage strategy**

Please be advised, London's Bus Rapid Transit (BRT) project team is pausing the formal Transit Project Assessment Process (TPAP) to provide more comprehensive information about potential heritage impacts before moving forward. Attached and below is a media release with further details. Media and members of the public will be notified today about this change to the TPAP schedule. A notice will also be posted to the [project website](#) today.

Please feel free to contact us if you have any questions.

Thanks again,

Jennifer

City of London  
Media Release  
Monday October 1, 2018

## **BRT pausing Transit Project Assessment Process to strengthen heritage strategy**

London's Bus Rapid Transit (BRT) team is pausing the formal Transit Project Assessment Process (TPAP) to provide more comprehensive information about potential heritage impacts before moving forward.

Heritage is a "Matter of Provincial Importance," which means cities must demonstrate the highest regard for it in their planning processes. The BRT project team has already completed a significant amount of preliminary research to identify any potential impacts on heritage, and more in-depth assessments and explicit mitigation plans were originally slated for after the conclusion of the TPAP.

"Through discussions with the Ministry of Tourism, Culture and Sport (MTCS), we determined there is a need at this point to more fully explore any potential heritage impacts and describe in detail our strategy for managing and mitigating any impacts," says Jennie Ramsay, BRT project director. "We opted to pause the process to assure the Ministry we are adequately addressing this matter of provincial concern before moving forward."

Through research to date, the project team has identified 67 properties that may or may not have cultural heritage value where structures could be impacted by construction of BRT. It is likely many of these properties will ultimately not be deemed to have heritage value. In cases where heritage value is confirmed, there may be ways to minimize or avoid impacts through design tweaks, such as slightly adjusting sidewalk width.

The BRT project is in a legislated, 120-day public consultation period that was expected to wrap up Oct. 4, when the project report would enter a 30-day public review period before being sent to the Ministry of Environment, Conservation and Parks for review. Briefly pausing the formal process is not expected to have a material impact on the overall 10-year project timeline.

Once the step-by-step heritage plan is strengthened, the project team will continue with the formal TPAP, including a 30-day public review of the Environmental Project Report.

"The City shares the Ministry's commitment to a clear and effective strategy for managing and mitigating potential heritage impacts," says Ramsay. "Having a transparent strategy in place to preserve and protect our historic assets is critical while planning for the future."

### **Media Contact:**

April Kemick  
Communications Manager  
519-661-2489, ext. 1783

# London Advisory Committee on Heritage

## Report

The 9th Meeting of the London Advisory Committee on Heritage  
September 12, 2018  
Committee Rooms #1 and #2

Attendance PRESENT: D. Dudek (Chair), S. Adamsson, D. Brock, J. Cushing, H. Elmslie, H. Garrett, S. Gibson, T. Jenkins, J. Manness, K. Waud and M. Whalley and J. Bunn (Secretary)

ALSO PRESENT: J. Dent, L. Dent, K. Gonyou and K. Gowan

The meeting was called to order at 5:30 PM.

### 1. Call to Order

#### 1.1 Disclosures of Pecuniary Interest

That it BE NOTED that the following pecuniary interests were disclosed:

a) T. Jenkins disclosed pecuniary interests in clauses 2.3 and 3.13 of this Report, having to do with a Notice of Planning Application and Heritage Impact Assessment for a zoning by-law amendment at 723 Lorne Avenue and a Cultural Heritage Evaluation Report for the Wharncliffe Road Bridge over the Thames River, respectively, but indicating that her employer is involved in both of these projects; and,

b) J. Manness disclosed a pecuniary interest in clause 5.10 of this Report, having to do with a discussion related to vacant heritage buildings, but indicating that he owns a vacant heritage property.

### 2. Scheduled Items

#### 2.1 6th Annual Emancipation Day Celebration

That it BE NOTED that a verbal presentation and the ~~attached~~ flyer, from J. Turner and J. O'Neil, with respect to the Emancipation Day Celebration scheduled for September 23, 2018 at Westminster Ponds Environmentally Significant Area, were received.

#### 2.2 Heritage Alteration Permit Application - 836 Wellington Street By-law No. LS.P. - 3104-15

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, the application under Section 33 of the *Ontario Heritage Act* to remove and replace the existing slate roof on the building located at 836 Wellington Street, consent BE GIVEN with the condition that the Heritage Alteration Permit be displayed in a location visible from the street until the work is completed; it being noted that the London Advisory Committee on Heritage is satisfied with the proposed shingle brought forward by the applicant;

it being noted that the ~~attached~~ presentations from K. Gowan, Heritage Planner, and C. and R. Leishman, property owners, with respect to this matter, were received.

#### 2.3 Notice of Planning Application and Heritage Impact Assessment - Zoning By-law Amendment – 723 Lorne Avenue

That the following actions be taken with respect to the Notice of Planning Application, dated August 29, 2018, from M. Knieriem, Planner II and the

Heritage Impact Assessment (HIA) dated August 2018 and communication dated September 6, 2018, from ASI Archaeological Cultural Heritage Services with respect to the property located at 723 Lorne Avenue, located in the Old East Heritage Conservation District:

- a) the Civic Administration BE ADVISED that the London Advisory Committee on Heritage (LACH) is satisfied by the recommendations of the above noted HIA; and,
- b) the Civic Administration BE ADVISED that the LACH prefers development concept 1 from the above-noted Notice of Planning Application;

it being noted that the attached presentation from M. Knieriem, Planner II, with respect to this matter, was received.

#### 2.4 Victoria Park Precinct Study

That it BE NOTED that the attached presentation and Community Information Meeting Notice, from M. Knieriem, Planner II, with respect to the Victoria Park Precinct Study, were received.

#### 2.5 Rapid Transit – Cultural Heritage Screening Report – Update

That the Civic Administration BE REQUESTED to undertake the following actions with respect to the update on the Rapid Transit Cultural Heritage Screening Report:

- a) provide the London Advisory Committee on Heritage (LACH) with the final Cultural Heritage Screening Report (CHSR);
- b) consult the LACH on the post-Transit Project Assessment Process (TPAP), Cultural Heritage Evaluation Process (CHER) and Heritage Impact Assessment (HIA) methodology;
- c) consult the LACH with respect to the proposed groupings of properties for the completion of Cultural Heritage Evaluation Reports (CHERs) and/or Heritage Impact Assessments (HIAs); and,
- d) consult the LACH on the identification of individual properties which warrant individual, property-specific, CHERs and/or HIAs;

it being noted that the attached presentation from J. Hodgins, Engineer-in-Training, Environmental and Engineering Services, with respect to this matter, was received.

### 3. Consent

#### 3.1 8th Report of the London Advisory Committee on Heritage

That it BE NOTED that the 8th Report of the London Advisory Committee on Heritage, from its meeting held on July 11, 2018, was received.

#### 3.2 Public Meeting Notice - Zoning By-law Amendment - 391 South Street

That it BE NOTED that the Public Meeting Notice, dated July 25, 2018, from S. Wise, Senior Planner, with respect to a zoning by-law amendment for the property located at 391 South Street, was received.

- 3.3 Public Meeting Notice - Zoning By-law Amendment - 131 King Street  
That it BE NOTED that the Public Meeting Notice, dated July 26, 2018, from M. Corby, Senior Planner, with respect to a zoning by-law amendment for the property located at 131 King Street, was received.
- 3.4 Notice of Public Meeting - 2186121 Ontario Inc. - 1146-1156 Byron Baseline Road  
That it BE NOTED that the Notice of Public Meeting, dated July 25, 2018, with respect to a zoning by-law amendment application for the properties located at 1146-1156 Byron Baseline Road, was received.
- 3.5 Notice of Planning Application - Draft Plan of Subdivision and Zoning By-law Amendments - 3080 Bostwick Road  
That it BE NOTED that the Notice of Planning Application, dated August 17, 2018, from S. Wise, Senior Planner, with respect to a draft plan of subdivision and zoning by-law amendments for the property located at 3080 Bostwick Road, was received.
- 3.6 Public Meeting Notice - Draft Plan of Vacant Land Condominium and Zoning By-law Amendment - 459 Hale Street  
That it BE NOTED that the Public Meeting Notice, dated August 23, 2018, from L. Mottram, Senior Planner, with respect to a draft plan of vacant land condominium and zoning by-law amendment for the property located at 459 Hale Street, was received.
- 3.7 Notice of Study Commencement - Adelaide Street North Municipal Class Environmental Assessment Study  
That it BE NOTED that the Notice of Study Commencement from H. Huotari, Parsons Inc. and M. Davenport, City of London, with respect to the Adelaide Street North Municipal Class Environmental Assessment Study, was received.
- 3.8 Notice of Public Information Centre - Riverview Evergreen Dyke - Municipal Class Environmental Assessment  
That it BE NOTED that the Notice of Public Information Centre, from P. Adams and A. Spargo, AECOM Canada, with respect to a Schedule B Municipal Class Environmental Assessment for the Riverview Evergreen dyke, was received.
- 3.9 Notice of Planning Application - Official Plan and Zoning By-law Amendments - 900 King Street and 925 Dundas Street  
That it BE NOTED that the Notice of Planning Application, dated August 8, 2018 and the Public Meeting Notice, dated September 5, 2018, from M. Campbell, Planner II, with respect to Official Plan and zoning by-law amendments for the properties located at 900 King Street and 925 Dundas Street and the Cultural Heritage Evaluation Report and Heritage Impact Assessment, dated August 2018, from Common Bond Collective, with respect to the property located at 900 King Street, were received;  
it being noted that the London Advisory Committee on Heritage (LACH) will be required to comment on the cultural heritage attributes of the above-noted property at a later date;



it being further noted that the LACH is not opposed to the proposed zoning by-law amendment.

3.10 Notice of Planning Application - Official Plan and Zoning By-law Amendments - 470 Colborne Street

That the Civic Administration BE ADVISED that the London Advisory Committee on Heritage (LACH) is not satisfied with the research assessment and conclusions of the Heritage Impact Review, dated June 2018, from Kirkness Consulting, with respect to the property located at 470 Colborne Street; it being noted that the LACH is not opposed to the proposed Official Plan and zoning by-law amendment and that a Heritage Alteration Permit may be required for any exterior alterations;

it being further noted that the Notice of Planning Application, dated August 29, 2018, from B. Debbert, Senior Planner, with respect to the above-noted matter, was received.

3.11 Long Term Water Storage Class EA - N. Martin

That it BE NOTED that the communication from N. Martin, AECOM, with respect to the Long Term Water Storage Class Environmental Assessment, was received.

3.12 Cultural Heritage Evaluation Report - Wenige Expressway Bridge (4-BR-14) Highbury Avenue Over the Thames River

That it BE NOTED that the London Advisory Committee on Heritage supports the findings of the Cultural Heritage Evaluation Report, dated January 2018, from AECOM Canada, with respect to the Wenige Expressway Bridge (4-BR-14), Highbury Avenue over the Thames River.

3.13 Cultural Heritage Evaluation Report - Wharncliffe Road Bridge (1-BR-07) Over the Thames River

That it BE NOTED that the London Advisory Committee on Heritage supports the findings of the Cultural Heritage Evaluation Report, dated May 9, 2018, from ASI Archaeological and Cultural Heritage Services, with respect to the Wharncliffe Road Ridge (1-BR-07) over the Thames River.

3.14 Letter of Resignation - B. A. Vazquez

That it BE NOTED that the letter of resignation from B. Vazquez, was received; it being noted that the London Advisory Committee on Heritage (LACH) thanks Mr. Vazquez for his time and effort over his years on the LACH.

3.15 Public Meeting Notice - Zoning By-law Amendment - 745 and 747 Waterloo Street

That it BE NOTED that the Public Meeting Notice, dated September 5, 2018, from M. Knieriem, Planner II, with respect to a zoning by-law amendment for the properties located at 745 and 747 Waterloo Street, was received.

#### 4. Sub-Committees and Working Groups

##### 4.1 Planning and Policy Sub-Committee

That it BE NOTED that the Planning and Policy Sub-Committee Report, from its meeting held on September 4, 2018, was received.

##### 4.2 Stewardship Sub-Committee

That it BE NOTED that the Stewardship Sub-Committee Report, from its meeting held on August 29, 2018, was received.

#### 5. Items for Discussion

##### 5.1 Removal of Properties from the Register

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, the properties identified in Appendix A of the staff report, dated September 12, 2018, BE REMOVED from the Register (Inventory of Heritage Resources); it being noted that the demolition requests were processed following the applicable legislation and practice at the time of the request and that no further notification or consultation is required.

##### 5.2 Guidelines for the Installation of Photovoltaic Technology on Heritage Designated Properties

That the Civic Administration BE REQUESTED to report back at a future meeting of the London Advisory Committee on Heritage with respect to further information related to proposed City of London Guidelines for the Installation of Photovoltaic Technology on Heritage Designated Properties; it being noted that the attached presentation from K. Gowan, Heritage Planner, with respect to this matter, was received.

##### 5.3 Heritage Alteration Permit Application by E. Seminara - 187 Dundas Street - Downtown Heritage Conservation District

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, the application under Section 42 of the *Ontario Heritage Act* for upgrades to the commercial storefront and signage to the building located at 187 Dundas Street, within the Downtown Heritage Conservation District, BE PERMITTED, with the term and condition that the Heritage Alteration Permit be displayed in a location visible from the street until the work is completed; it being noted that the attached presentation from L. Dent, Heritage Planner, with respect to this matter, was received.

##### 5.4 Request for Designation of 432 Grey Street by the Trustees of the London Congregation of the British Methodist Episcopal Church in Canada

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, notice BE GIVEN under the provisions of Section 29(3) of the *Ontario Heritage Act*, R.S.O. 1990, c.O.18, of Municipal Council's intent to designate the property located at 432 Grey Street to be of cultural heritage value or interest for the reasons outlined in the revised attached Statement of Cultural Heritage Value or Interest; it being noted that the attached presentation from L. Dent, Heritage Planner, with respect to this matter, was received.

5.5 Distribution of Expanded Archaeological Project Information Lists

That it BE NOTED that the Monthly List of Archaeological Projects Questions and the Fact Sheet, dated July 30, 2018 from the Ministry of Tourism, Culture and Sport, were received.

5.6 Digital Publication of the Updated "Inventory of Heritage Resources"

That the Civic Administration BE REQUESTED to add the Register (Inventory of Heritage Resources) to the City of London's Open Data Portal; it being noted that a communication from M. Whalley, with respect to this matter, was received.

5.7 Heritage Planners' Report

That it BE NOTED that the ~~attached~~ submission from K. Gonyou, L. Dent and K. Gowan, Heritage Planners, with respect to various updates and events, was received.

5.8 Mayor's New Year's Honour List

That it BE NOTED that the 2019 Mayor's New Year's Honour List Nomination Request letter, dated July 23, 2018, from the City Clerk, was received.

5.9 LACH 2018 Work Plan

That the following actions be taken with respect to the 2018 London Advisory Committee on Heritage (LACH) Work Plan:

a) the revised ~~attached~~ 2018 Work Plan BE RECEIVED; it being noted that changes were made to the distribution of the LACH budget; and,

b) the item on the above-noted work plan, with respect to heritage signage and plaque placement and funding, BE REFERRED to the Education Sub-Committee for review and a report back to the LACH.

5.10 Vacant Heritage Buildings - Discussion

That it BE NOTED that a verbal update from K. Gonyou, Heritage Planner, with respect to vacant heritage buildings was received.

5.11 Community Heritage Ontario Newsletter - Summer 2018

That it BE NOTED that copies of the Community Heritage Ontario newsletter dated "Summer 2018", were distributed to the members of the London Advisory Committee on Heritage.

**6. Deferred Matters/Additional Business**

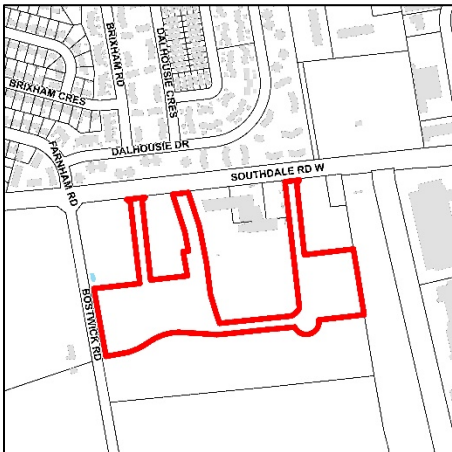
None.

**7. Adjournment**

The meeting adjourned at 8:57 PM.

## Draft Plan of Subdivision and Zoning By-law Amendment

### 3080 Bostwick Road



**File: 39T-18502/Z-8931**

**Applicant: MHBC Planning (Scott Allen) (Owner: 31675 Ontario Limited c/o York Developments Inc.)**

#### What is Proposed?

A Draft Plan of Subdivision and Zoning By-law amendments to allow for the creation of a high density residential subdivision consisting of:

- apartment buildings
- stacked townhouses
- park and open space
- public road access via new local street connections to Southdale Road West and Bostwick Road.

## YOU ARE INVITED!

Further to the Notice of Application you received on August 17, 2018, you are invited to a public meeting of the Planning and Environment Committee to be held:

**Meeting Date and Time:** Tuesday, October 9, 2018, no earlier than 4:00 p.m.

**Meeting Location:** City Hall, 300 Dufferin Avenue, 3rd Floor

For more information contact:

Sonia Wise  
swise@london.ca  
519-661-CITY (2489) ext. 5887  
Development Services, City of London, 300  
Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO BOX 5035 N6A 4L9  
File: 39T-18502/Z-8931

**[london.ca/planapps](http://london.ca/planapps)**

To speak to your Ward 9 or 10 Councillor:

Anna Hopkins Ward 9  
ahopkins@london.ca  
519-661-CITY (2489) ext. 4009

Virginia Ridley Ward 10  
vridley@london.ca  
519-661-CITY (2489) ext. 4010

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

# Application Details

Commonly Used Planning Terms are available at [london.ca/planapps](http://london.ca/planapps).

## Requested Draft Plan of Subdivision

Draft Plan of Subdivision (please refer to attached map)

Consideration of a high density residential draft plan of subdivision consisting of:

- Two (2) high density residential blocks (consisting of apartment buildings, townhouses and stacked townhouses) with an estimated 504 units (Block 2 & 6)
- One (1) park block (Block 4)
- One (1) open space block (Block 11)
- One (1) 0.3 m reserve (Block 10)
- All served by three new local streets (Street A, Street B and Street C)

## Requested Zoning By-law Amendment

Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at [london.ca/planapps](http://london.ca/planapps).

### Requested Zoning (Please refer to attached map)

Possible Amendment to Zoning By-law Z.-1 to change the zoning from an Urban Reserve (UR4) Zone and an Environmental Review (ER) Zone to:

- Residential R9 Bonus (R9-7\*B-(#)) Zone (Block 2) – to permit apartment buildings, lodging house class 2, senior citizens apartment buildings, handicapped persons apartment buildings, and continuum-of-care facilities. A bonus zone is requested to permit townhouses and stacked townhouses with a maximum height of 13m and a minimum front yard setback of 6m; an apartment building with a maximum height of 70m, a density of 193 units per hectare, an exterior side yard setback of 0.4m, and a rear yard setback of 22m.
- Residential R9 Bonus (R9-7\*B-(##)) Zone (Block 6) – to permit apartment buildings, lodging house class 2, senior citizens apartment buildings, handicapped persons apartment buildings, and continuum-of-care facilities. A bonus zone is requested to permit townhouses, an apartment building with a maximum height of 68m, a density of 269 units per hectare, a minimum front yard setback of 6.5m, an interior side yard setback of 12m, a rear yard setback of 12m, and a reduced number of parking spaces (with 325 spaces provided)
- Open Space (OS2) Zone (Block 4) – to permit conservation lands, conservation works, cultivation of land for agricultural/horticultural purposes, golf courses, private parks, public parks, recreational golf courses, recreational buildings associated with conservation lands and public parks, campground, and managed forest; commercial recreational establishments, community centres, institutions, private outdoor recreation clubs, public swimming pools, recreational buildings, riding stables, sports fields, golf driving range, miniature golf course, go kart track, batting cages, tennis court and playground;
- Open Space (OS4) Zone (Block 11) – to permit conservation lands, conservation works, golf courses, private parks, public parks, recreational golf courses cultivation or use of land for agricultural/horticultural purposes, and sports fields without structures; and
- Urban Reserve Special Provision (UR4( )) Zone – to permit existing dwellings, agricultural uses, conservation lands, managed woodlots, wayside put, passive recreation uses, kennels, private outdoor recreation clubs, and riding stables with a special provision for a lot size of 2ha and frontage of 85m.

The City is also considering the following amendments:

- Special Provisions in zoning to implement the urban design requirements and considerations of the Southwest Area Secondary Plan;
- Adding holding provisions for the following: urban design, municipal servicing, and phasing

An Environmental Impact Study has been prepared to assist in the evaluation of this application. An Environmental Impact Study (EIS) report prepared by Stantec, dated May 1, 2018, was submitted with the application for draft plan of subdivision. The EIS report is available for public review during regular business hours at the City of London, Development Services, 6th Floor, City Hall.

## Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan and The London Plan, London's long-range planning documents. Both plans recognize the role of secondary plans to provide more detailed policy guidance for a specific area that goes beyond the general policies. These lands are currently designated as "High Density Residential" which permits multiple attached housing forms at higher densities and building forms as the main uses. The lands are within the Southwest Area Secondary Plan, within the Bostwick Residential Neighbourhood, which includes special polices and direction for high density residential development.

The site is presently within an Urban Reserve (UR4) Zone, which permits existing dwellings, agricultural uses except for mushroom farms, commercial greenhouses, livestock facilities and manure storage facilities, conservation lands, managed woodlot, wayside pit, passive recreation use, kennels, private outdoor recreation clubs, and riding stables, and an Environmental Review (ER) Zone, which permits conservation lands, conservation works, passive recreational uses, managed woodlot, and agricultural uses.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied for a Draft Plan of Subdivision and to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the public meeting notice in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. If you previously provided written or verbal comments about this application, we have considered your comments as part of our review of the application and in the preparation of the planning report and recommendation to the Planning and Environment Committee. The additional ways you can participate in the City's planning review and decision making process are summarized below. For more detailed information about the public process, go to the [Participating in the Planning Process](#) page at [london.ca](#).

### See More Information

You can review additional information and material about this application by:

- visiting Development Services at 300 Dufferin Ave, 6<sup>th</sup> floor, Monday to Friday between 8:30am and 4:30pm;
- contacting the City's Planner listed on the first page of this Notice; or
- viewing the application-specific page at [london.ca/planapps](#).

### Attend This Public Participation Meeting

The Planning and Environment Committee will consider the requested Draft Plan of Subdivision and zoning changes at this meeting, which is required by the *Planning Act*. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting. The Council Decision will inform the decision of the Director, Development Services, who is the Approval Authority for Draft Plans of Subdivision.

## What Are Your Legal Rights?

### Notification of Council and Approval Authority's Decision

If you wish to be notified of the Approval Authority's decision in respect of the proposed draft plan of subdivision, you must make a written request to the Director, Development Services, City of London, 300 Dufferin Ave., P.O. Box 5035, London ON N6A 4L9, or at [developmentsservices@london.ca](mailto:developmentsservices@london.ca). You will also be notified if you provide written comments, or make a written request to the City of London for conditions of draft approval to be included in the Decision.

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

### Right to Appeal to the Local Planning Appeal Tribunal

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of

subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body is not entitled to appeal the decision of the Director, Development Services to the Local Planning Appeal Tribunal.

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

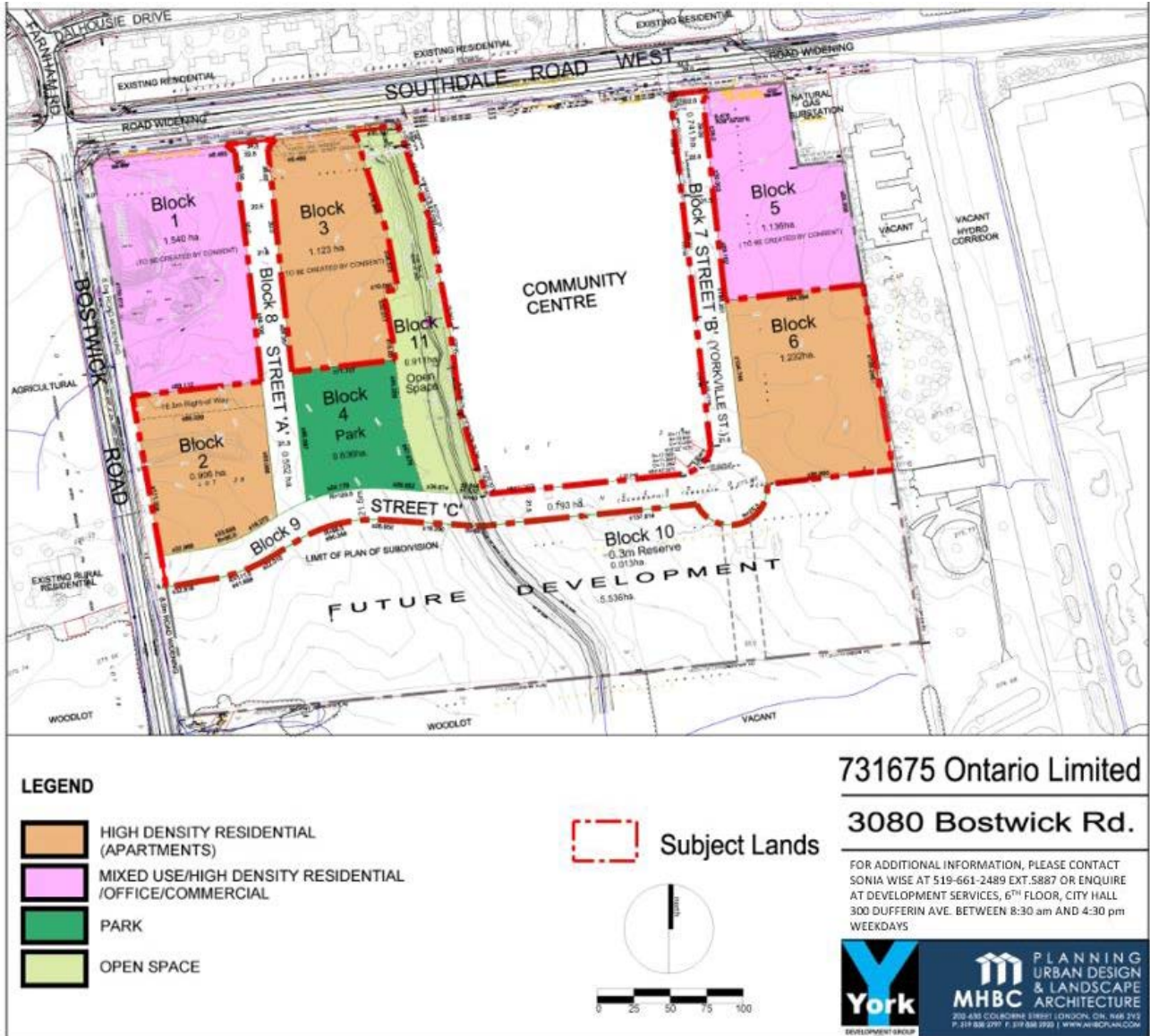
For more information go to <http://elto.gov.on.ca/tribunals/lpat/about-lpat/>.

### **Notice of Collection of Personal Information**

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the *Municipal Act*, 2001, as amended, and the *Planning Act*, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Cathy Saunders, City Clerk, 519-661-CITY(2489) ext. 4937.

***Accessibility – Alternative accessible formats or communication supports are available upon request. Please contact [accessibility@london.ca](mailto:accessibility@london.ca) or 519-661-CITY(2489) extension 2425 for more information.***

# Proposed Master Plan

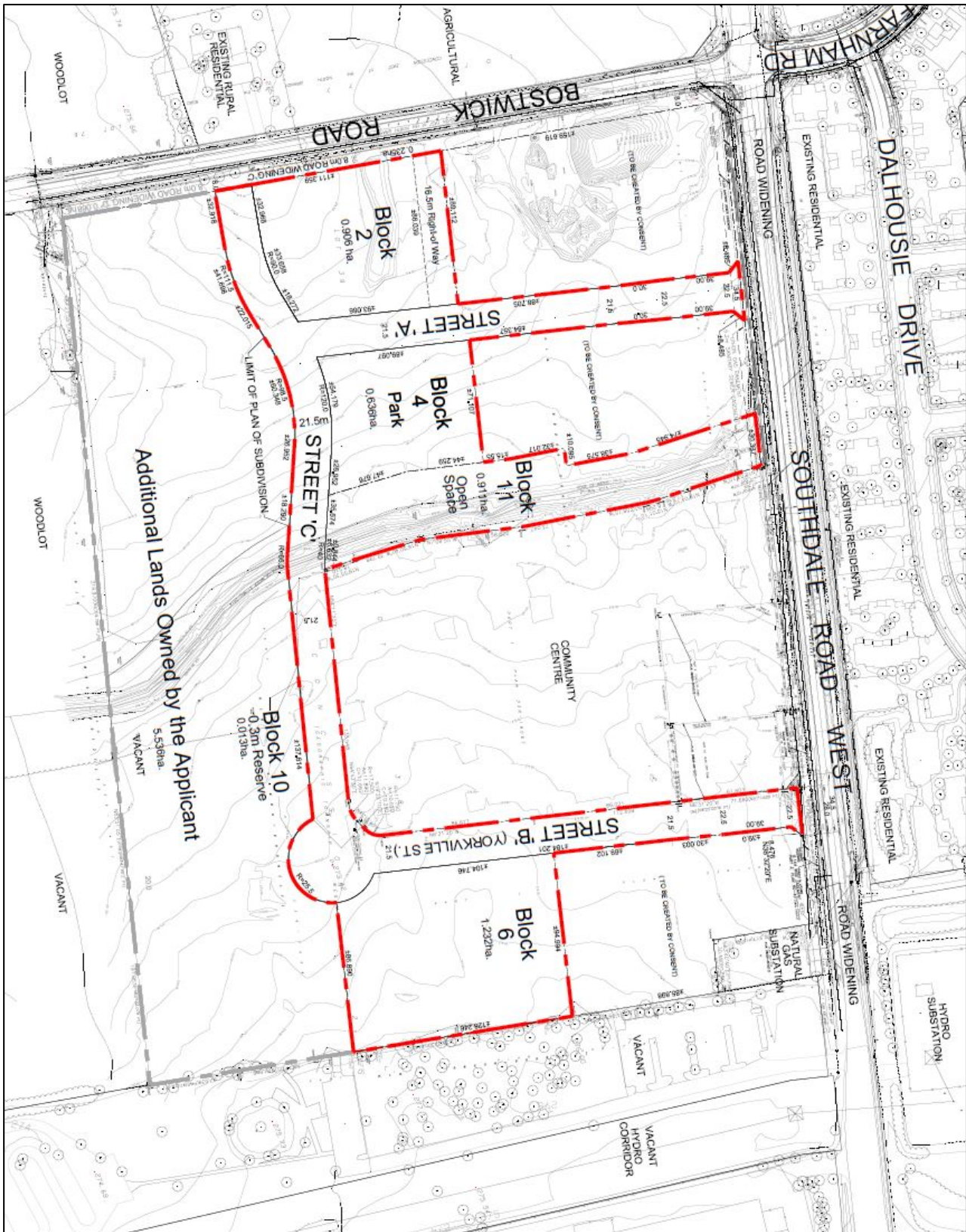


## Proposed Master Plan

The above image represents the applicant’s proposal as submitted and may change.



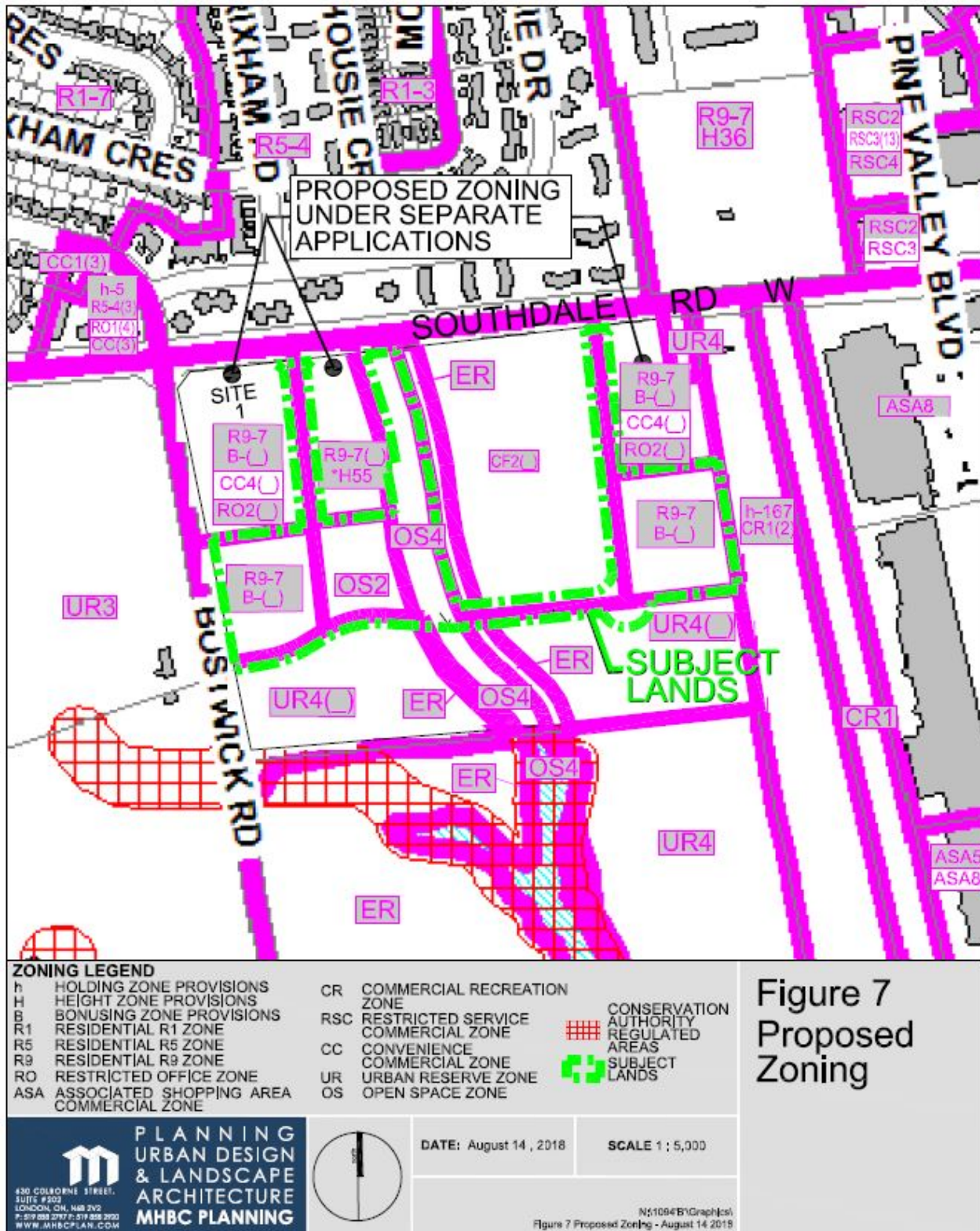
# Requested Plan of Subdivision



**Proposed Subdivision Block Plan**

The above image represents the applicant's proposal as submitted and may change.

# Requested Zoning



## Proposed Zoning

The above image represents the applicant's proposal as submitted and may change.

## Building Renderings



***Proposed Southeast Rendering – Block 2***

The above image represents the applicant's proposal as submitted and may change.



***Proposed Northeast Rendering – Block 6***

The above image represents the applicant's proposal as submitted and may change.

# NOTICE OF PLANNING APPLICATION

## Draft Plan of Subdivision and Zoning By-law Amendment

### Address – 6019 Hamlyn Street



**File: 39T-18504/Z-8960**

**Applicant: Sifton Properties Limited**

#### What is Proposed?

Draft Plan of Subdivision and Zoning amendment to allow:

- A plan of subdivision with 104 single detached dwellings, one (1) multi-family medium density block, four (4) park blocks, four (4) open space blocks, and one (1) future development block, all served by three (3) new streets connecting to Hamlyn Street.

## LEARN MORE & PROVIDE INPUT

Please provide any comments by **November 16, 2018**

Nancy Pasato

[npasato@london.ca](mailto:npasato@london.ca)

519-661-CITY (2489) ext. 4586

Development Services, City of London, 300 Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO BOX 5035 N6A 4L9

File: 39T-18504/Z-8960

[london.ca/planapps](http://london.ca/planapps)

You may also discuss any concerns you have with your Ward Councillor:

Anna Hopkins

[ahopkins@london.ca](mailto:ahopkins@london.ca)

519-661-CITY (2489) ext. 4009

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

# Application Details

Commonly Used Planning Terms are available at [london.ca/planapps](http://london.ca/planapps).

## Requested Draft Plan of Subdivision (please see attached)

Consideration of a Draft Plan of Subdivision consisting of 104 single detached dwellings, one (1) multi-family medium density block, four (4) park blocks, four (4) open space blocks, and one (1) future development block, all served by three (3) new streets connecting to Hamlyn Street.

## Requested Zoning By-law Amendment (please see attached)

Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at [london.ca/planapps](http://london.ca/planapps).

Possible Amendment to Zoning By-law Z.-1 to change the zoning from an Urban Reserve (UR4), a Holding Urban Reserve (h-2\*UR4) Zone, and an Environmental Review (ER) Zone to:

- A Residential R1 Special Provision (R1-4(28) Zone (Lots 1-104): To permit single detached dwellings with a minimum lot frontage of 12m and a minimum lot area of 360 m<sup>2</sup>, with a special provision to permit a lot coverage of 45% for one storey single detached dwellings;
- A Residential R5 Special Provision/Residential R6 Special Provision/Residential R7 Special Provision/Residential R8 Special Provision (R5-7(\*)/R6-5(42)/R7(\*)\*D75\*H18/R8-4(29)) Zone (Block 105):
  - o To permit cluster townhouse dwellings and cluster stacked townhouse dwellings with a maximum height of 12m and a maximum density of 60 units per hectare, with a special provision for a minimum front and exterior side yard building setback of 3m and a maximum lot coverage of 50% (R5-7(\*));
  - o To permit cluster single detached dwellings, cluster semi-detached dwellings, cluster duplex dwellings, cluster triplex dwellings, cluster townhouse dwellings, cluster stacked townhouse dwellings, cluster apartment buildings, and cluster fourplex dwellings with a maximum height of 12 m and a maximum density of 35 units per hectare, with a special provision for a minimum front and exterior side yard building setback of 3m and a maximum lot coverage of 50% (R6-5(42));
  - o To permit senior citizen apartment buildings, handicapped persons apartment buildings, nursing homes, retirement lodges, continuum-of-care facilities, and emergency care establishments with a maximum height of 18m and a maximum density of 75 units per hectare, with a special provision for a minimum front and exterior side yard building setback of 3m (R7(\*)D75\*H18));
  - o To permit apartment buildings, handicapped person's apartment buildings, lodging house class 2, stacked townhousing, senior citizen apartment buildings, emergency care establishments, and continuum-of-care facilities with a maximum density of 75 units per hectare, with a special provision for a minimum front and exterior side yard building setback of 3m and a maximum height of 18m (R8-4(29));
- An Open Space Special Provision (OS1(3)) Zone (Block 107, 108 and 109): To permit to conservation lands, conservation works, cultivation of land for agricultural/horticultural purposes, golf courses, private parks, public parks, recreational golf courses, recreational buildings associated with conservation lands and public parks, campground, and managed forest, with a special provision for no minimum lot area and no minimum lot frontage;
- An Open Space (OS5) Zone (Block 110, 111, 121 and 122): To permit conservation lands, conservation works, passive recreation uses which include hiking trails, multi-use pathways, and managed woodlots;
- An Urban Reserve Special Provision (UR4(\*) Zone (Block 112): To permit existing dwellings, agricultural uses except for mushroom farms, commercial greenhouses, livestock facilities and manure storage facilities, conservation lands, managed woodlot, wayside pit, passive recreation use, kennels, private outdoor recreation clubs, and riding stables, with a special provision for a minimum lot frontage of 10m and a minimum lot area of 0.2 ha.

The City is also considering the following amendments:

- Special Provisions to implement the urban design requirements and considerations of the Southwest Area Secondary Plan;
- Adding holding provisions for the following: urban design, water looping, municipal services, and phasing.

An Environmental Impact Study has been prepared to assist in the evaluation of this application. An Environmental Impact Study (EIS) report prepared by Natural Resource Solutions Inc. (NRSI), dated August 2018, was submitted with the application for draft plan of subdivision. The EIS report is available for public review during regular business hours at the City of London, Development Services, 6th Floor, City Hall.

## Planning Policies

Any change to the Zoning By-law must conform to the policies of The London Plan and the Official Plan, London's long-range planning documents.

The subject lands are in the "Neighbourhoods" Place Type in The London Plan, permitting a range of housing including single detached, townhouses and low rise apartments, "Green Space", permitting a range of open space, parks and conservation uses, and "Environmental Review", permitting existing uses.

These lands are currently designated as "Low Density Residential" which allows single detached, semi-detached, duplex dwellings and cluster housing at a maximum density of 30 units per hectare as the main permitted uses; "Multi-Family Medium Density Residential" which allows multiple attached dwellings at a maximum density of 75 units per hectare as the main permitted uses; "Open Space" which permits public open space uses including district, city-wide, and regional parks, and private open space uses such as cemeteries and private golf courses, and "Environmental Review", which permits agriculture, woodlot management, horticulture, conservation, recreational uses, and essential public utilities and municipal services (pending the evaluation of these areas through site-specific studies). The lands are within the Southwest Area Secondary Plan, within the Wonderland Boulevard Neighbourhood, and a small portion within the Lambeth Residential Neighbourhood, which includes special policies and direction for development, including urban design considerations, pedestrian connections, and incorporating varied housing types.

The site is presently within an Urban Reserve (UR4) Zone, which permits existing dwellings, agricultural uses except for mushroom farms, commercial greenhouses, livestock facilities and manure storage facilities, conservation lands, managed woodlot, wayside pit, passive recreation use, kennels, private outdoor recreation clubs, and riding stables, a Holding Urban Reserve (h-2\*UR4) Zone, which permits the above uses, with a holding provision that requires an Environmental Impact Study prior to any development, and an Environmental Review (ER) Zone and an Environmental Review (ER) Zone, which permits conservation lands, conservation works, passive recreational uses, managed woodlot, and agricultural uses.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied for a Draft Plan of Subdivision and to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. The ways you can participate in the City's planning review and decision making process are summarized below. For more detailed information about the public process, go to the [Participating in the Planning Process](#) page at [london.ca](#).

### See More Information

You can review additional information and material about this application by:

- visiting Development Services at 300 Dufferin Ave, 6<sup>th</sup> floor, Monday to Friday between 8:30am and 4:30pm;
- contacting the City's Planner listed on the first page of this Notice; or
- viewing the application-specific page at [london.ca/planapps](#).

### Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Development Services staff's recommendation to the City's Planning and Environment Committee. Planning

considerations usually include such matters as land use, development intensity, and form of development.

## **Attend a Future Public Participation Meeting**

The Planning and Environment Committee will consider the requested Draft Plan of Subdivision and zoning changes on a date that has not yet been scheduled. The City will send you another notice inviting you to attend this meeting, which is required by the *Planning Act*. You will also be invited to provide your comments at this public participation meeting. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting. The Council Decision will inform the decision of the Director, Development Services, who is the Approval Authority for Draft Plans of Subdivision.

## **What Are Your Legal Rights?**

### **Notification of Council and Approval Authority's Decision**

If you wish to be notified of the Approval Authority's decision in respect of the proposed draft plan of subdivision, you must make a written request to the Director, Development Services, City of London, 300 Dufferin Ave., P.O. Box 5035, London ON N6A 4L9, or at [developmentsservices@london.ca](mailto:developmentsservices@london.ca). You will also be notified if you provide written comments, or make a written request to the City of London for conditions of draft approval to be included in the Decision.

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

### **Right to Appeal to the Local Planning Appeal Tribunal**

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body is not entitled to appeal the decision of the Director, Development Services to the Local Planning Appeal Tribunal.

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

For more information go to <http://elto.gov.on.ca/tribunals/lpat/about-lpat/>.

### **Notice of Collection of Personal Information**

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the *Municipal Act*, 2001, as amended, and the *Planning Act*, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Cathy Saunders, City Clerk, 519-661-CITY(2489) ext. 4937.

**Accessibility – Alternative accessible formats or communication supports are available upon request. Please contact [accessibility@london.ca](mailto:accessibility@london.ca) or 519-661-CITY(2489) extension 2425 for more information.**

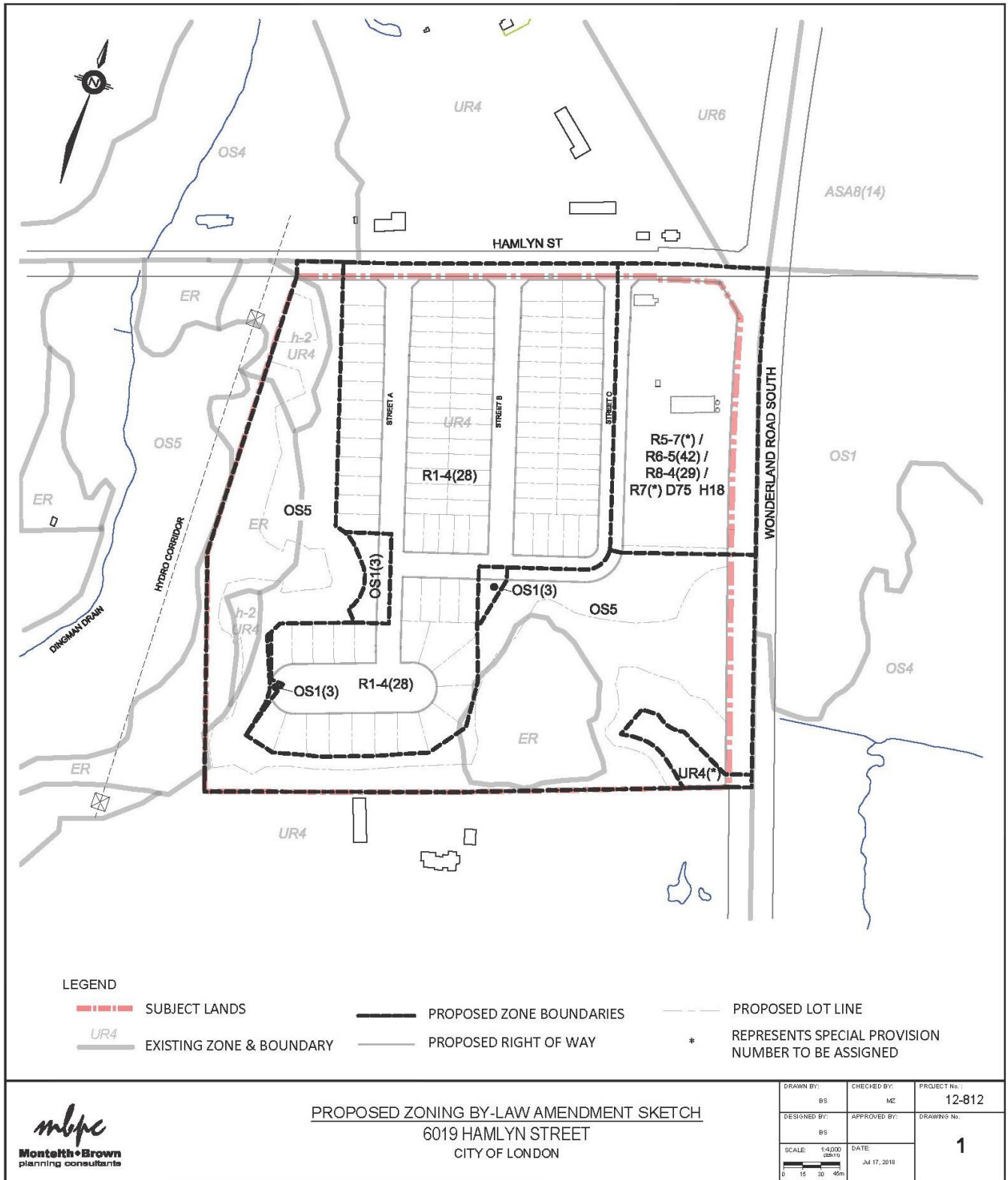
## Requested Draft Plan of Subdivision



**The above image represents the applicant's proposal as submitted and may change.**



# Requested Zoning



The above image represents the applicant's proposal as submitted and may change.



**NOTICE OF STUDY COMPLETION**  
**Adelaide Street North - Canadian Pacific Railway Grade Separation**  
**Municipal Class Environmental Assessment Study**

The City of London has completed a Municipal Class Environmental Assessment (Class EA) study for improvements to the Canadian Pacific Railway (CP) crossing of Adelaide Street North. This project is being carried out under the planning and design process for a Schedule 'C' project as outlined in the Municipal Engineers Association Municipal Class Environmental Assessment (October 2000, as amended in 2015).

The Class EA study included public and agency consultation, an evaluation of alternative solutions and designs, assessment of potential impacts, and identification of measures to mitigate adverse impacts. As part of the consultation process three public meetings were held (June 16 and December 14, 2016 and April 26, 2018) to provide information on the project and to receive public feedback.

**Study Recommendations:**

- A new underpass grade separation (road under rail) between Central Avenue and McMahan Street
- Central Avenue intersection improvements
- Pall Mall Street with right-in / right-out access, signalized pedestrian crossing at McMahan Street
- Enhanced streetscape design in the vicinity of the underpass, new McMahan Park entrance with relocation of park gates, new and enhanced active transportation facilities
- Temporary road detour on east side of Adelaide Street
- Provision of a new utility corridor and stormwater / groundwater management infrastructure

An Environmental Study Report (ESR) has been prepared to document the planning and decision-making process for this study.

**Public Review of the Environmental Study Report:**

The ESR will be placed on public record from **September 20, 2018 to October 19, 2018** at the following locations:

City of London Transportation Office 8th Floor City Hall 300 Dufferin Avenue Mon-Fri: 8:30 am to 4:30 pm	London Public Library Central Branch 251 Dundas Street Mon-Thurs: 9 am to 9 pm Fri: 9 am to 6 pm Sat: 9 am to 5 pm	London Public Library Carson Branch 465 Quebec Street Tues / Thurs: 1 pm to 5 pm, 6 pm to 9 pm Wed / Fri / Sat: 9 am to 12 pm, 1 pm to 5 pm
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The ESR will also be available online at:

<http://www.london.ca/residents/Environment/EAs/Pages/Adelaide-Street-and-Canadian-Pacific-Railway-Grade-Separation-.aspx>

**How to Resolve Any Questions or Concerns:**

If you have any questions, comments or concerns, please contact the City of London Project Manager by **October 19, 2018**:

Ardian Spahiu, P.Eng.  
 Transportation Design Engineer  
 300 Dufferin Avenue, P.O. Box 5035  
 London ON N6A 4L9  
 Tel: 519-661-2489 x 4738  
 Email: [aspahiu@london.ca](mailto:aspahiu@london.ca)

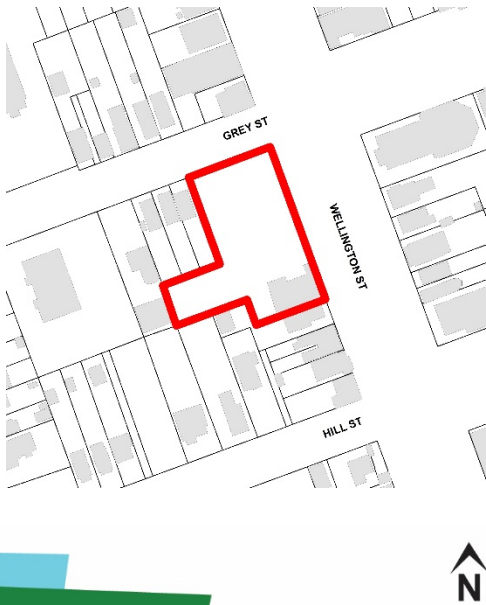
If concerns regarding this project cannot be resolved through direct discussion with the City of London, a person or party may make a request to the Minister of the Environment, Conservation and Parks (formerly Environment and Climate Change) for an elevated level of study to comply with Part II of the Ontario Environmental Assessment Act (referred to as a Part II Order request). The request must be received by the Minister by **October 19, 2018**. Refer to the Ministry of the Environment, Conservation and Parks website for specific instruction:

<https://www.ontario.ca/page/class-environmental-assessments-part-ii-order>

Personal information collected on this subject is collected under the authority of the Municipal Act, 2011 and will be used by members of Council and City of London staff in their review of this matter. Any written submission including names and contact information will be made available to the public. Questions about this collection should be referred to the City Clerk, at 519-661-2489 (CITY) x 4937.

## Zoning By-Law Amendment

### 147-149 Wellington Street and 253-257 Grey Street



**File: Z-8905**

**Applicant: JAM Properties Inc.**

#### What is Proposed?

Zoning amendment to allow:

- An 18-storey (63 metre) apartment building;
- 246 residential units (560uph);
- Two levels of underground parking (162 spaces);
- 38 surface parking spaces.

## YOU ARE INVITED!

Further to the Notice of Application you received on May 9, 2018, you are invited to a public meeting of the Planning and Environment Committee to be held:

**Meeting Date and Time:** Tuesday, October 9, 2018, no earlier than 4:45 p.m.

**Meeting Location:** City Hall, 300 Dufferin Avenue, 3rd Floor

For more information contact:

Mike Corby  
mcorby@london.ca  
519-661-CITY (2489) ext. 4657  
Planning Services, City of London,  
206 Dundas St., London ON N6A 1G7  
File: Z-8905

**[london.ca/planapps](http://london.ca/planapps)**

To speak to your Ward Councillor:

Tanya Park  
tpark@london.ca  
519-661-CITY (2489) ext. 4013

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

# Application Details

Commonly Used Planning Terms are available at [london.ca/planapps](http://london.ca/planapps).

## Requested Zoning By-law Amendment

To change the zoning from a Business District Commercial Special Provision (BDC(8)) Zone and Business District Commercial Special Provision (BDC(4) Zone to a Business District Commercial Special Provision Bonus (BDC(8))\*B( ) Zone and Business District Commercial Special Provision Bonus (BDC(4))\*B( ) Zone. Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at [london.ca/planapps](http://london.ca/planapps).

### Current Zoning

**Zone:** BDC(4) & BDC(8)

**Permitted Uses:** Provides for and regulates a mix of retail, restaurant, neighbourhood facility, office and residential uses.

**Special Provision(s):** BDC(4) a) Permitted Uses: i) Any use permitted in the BDC and BDC2 Zones; ii) Group homes type 2. BDC(8) a) Permitted Uses: i) Any use permitted in the BDC and BDC2 Zone variations; ii) Group Home Type 2. b) Regulations: i) Lot Area (Minimum) 4000 m<sup>2</sup> (43,057.00 sq.ft.). ii) Lot Depth (Minimum) 45 m (147.64 ft.). iii) Landscaped Open Space (Minimum) 15%. iv) Coverage (Maximum) 30 %. v) Special Regulation Any buildings or structures and their permitted uses must front onto an Arterial Street. vi) Off-Street Parking (Minimum) Front Yard Parking setback shall be 3 metres (10.0 feet) to any arterial street.

**Residential Density:** 250uph

**Height:** 12 metres

### Requested Zoning

**Zone:** BDC(4)\*B( ) & BDC(8)\*B( )

**Permitted Uses:** Same uses as existing zoning

**Special Provision(s):** Same special provisions will exist.

**Residential Density:** 560 uph

**Height:** 63 metres

**Bonus Zone:** The bonus zone would permit a residential density of 560uph and maximum height of 63 metres in return for eligible facilities, services and matters outlined in Section 19.4.4 of the Official Plan. Other provisions such setbacks, lot coverage and a parking reduction may also be considered through the re-zoning process as part of the bonus zone.

## Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as Main Street Commercial Corridor and High Density Residential in the Official Plan, which permits small-scale retail uses; service and repair establishments, food stores; convenience commercial uses; personal and business services; pharmacies; restaurants; financial institutions; small-scale offices; small-scale entertainment uses; galleries; studios; community facilities such as libraries and day care centres, correctional and supervised residences; residential uses (including secondary uses) and units created through the conversion of existing buildings, or through the development of mixed-use buildings as the main uses.

The subject lands are in the Rapid Transit Corridor Place Type in *The London Plan*, permitting a range of retail, service, office, cultural, recreational, and institutional uses.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. If you previously provided written or verbal comments about this application, we have considered your comments as part of our review of the application and in the preparation of the planning report and recommendation to the Planning and Environment Committee. The additional ways you can participate in the City's planning review and decision making process are summarized below. For more detailed information about the public process, go to the [Participating in the Planning Process](http://london.ca/planapps) page at [london.ca](http://london.ca).

### See More Information

You can review additional information and material about this application by:

- visiting Planning Services at 206 Dundas Street, Monday to Friday between 8:30am and

4:30pm;

- contacting the City's Planner listed on the first page of this Notice; or
- viewing the application-specific page at [london.ca/planapps](http://london.ca/planapps).

## **Attend This Public Participation Meeting**

The Planning and Environment Committee will consider the requested zoning changes at this meeting, which is required by the *Planning Act*. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

## **What Are Your Legal Rights?**

### **Notification of Council Decision**

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

### **Right to Appeal to the Local Planning Appeal Tribunal**

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

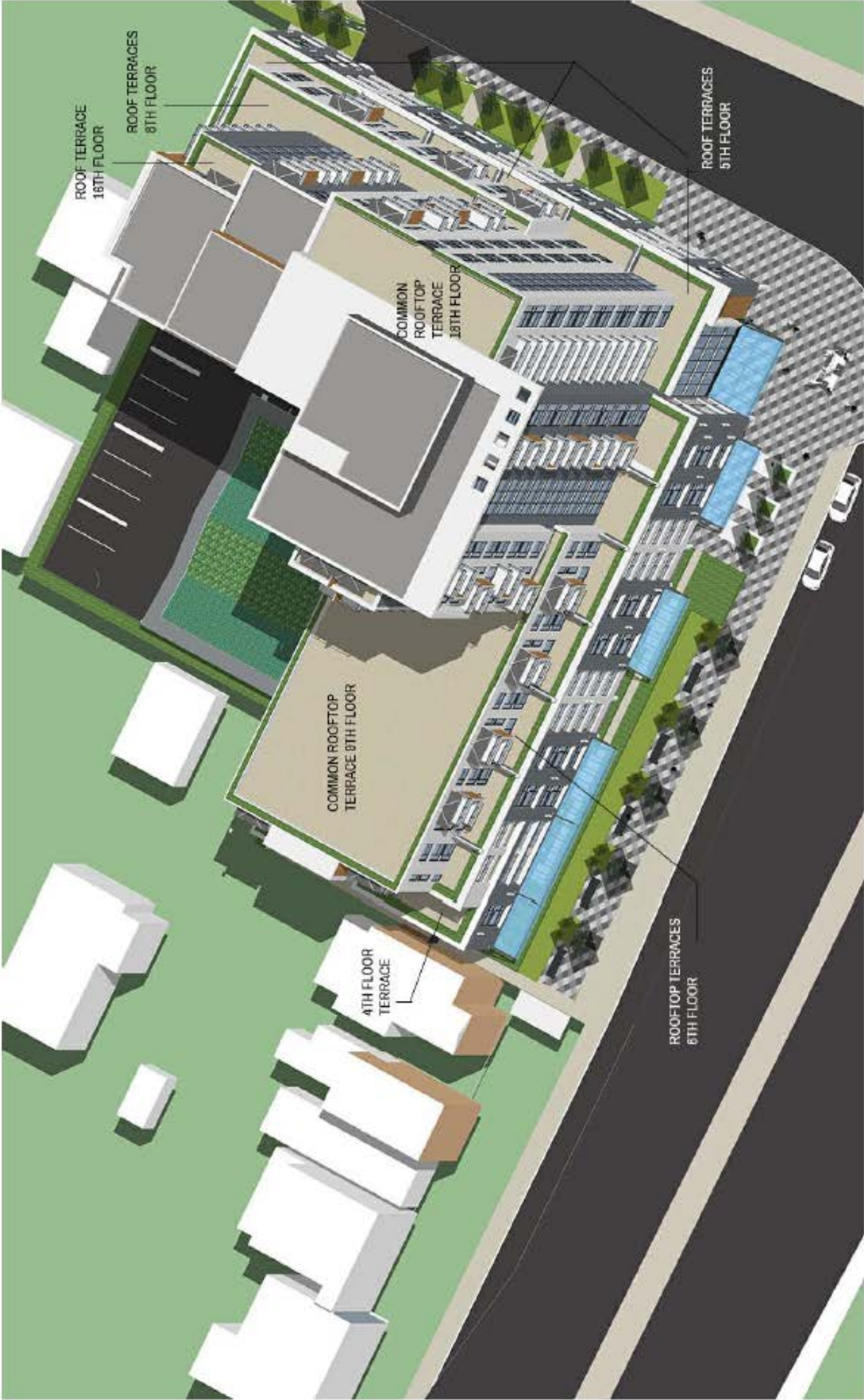
For more information go to <http://elto.gov.on.ca/tribunals/lpat/about-lpat/>.

### **Notice of Collection of Personal Information**

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the *Municipal Act*, 2001, as amended, and the *Planning Act*, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Cathy Saunders, City Clerk, 519-661-CITY(2489) ext. 4937.

**Accessibility – Alternative accessible formats or communication supports are available upon request. Please contact [accessibility@london.ca](mailto:accessibility@london.ca) or 519-661-CITY(2489) extension 2425 for more information.**

# Site Concept



# Building Renderings



The above images represent the applicant's proposal as submitted and may change.

## Report to London Advisory Committee on Heritage

**To:** Chair and Members  
London Advisory Committee on Heritage  
**From:** John M. Fleming  
Managing Director, Planning and City Planner  
**Subject:** Heritage Alteration Permit Application by G. Anastasiadis  
550 Dufferin Avenue  
East Woodfield Heritage Conservation District  
**Meeting on:** Wednesday October 10, 2018

## Recommendation

That, on the recommendation of the Managing Director, Planning and City Planner, with the advice of the Heritage Planner, the application under Section 42 of the *Ontario Heritage Act* to construct a new, detached garage on the property located at 550 Dufferin Avenue, within the East Woodfield Heritage Conservation District, **BE PERMITTED** as submitted in the drawings included Appendix C with the following terms and conditions:

- a) Only one driveway be permitted;
- b) The existing driveway and curb cut for the property off of Dufferin Avenue be closed and the driveway be removed and the area be restored with sod/grass;
- c) The Heritage Alteration Permit be displayed in a location visible from the street until the work is completed.

## Executive Summary

A Heritage Alteration Permit application was submitted for a proposed detached garage to be constructed in the northwest corner of the property at 550 Dufferin Avenue, located in the East Woodfield Heritage Conservation District. The construction of the proposed detached garage would also include a new driveway off of William Street. The proposed detached garage was analyzed using the policies and guidelines of the *East Woodfield Heritage Conservation District Plan* and found to be compatible. To ensure there are no net adverse impacts to the heritage character of the East Woodfield Heritage Conservation District, the existing driveway off of Dufferin Avenue must be closed and the former driveway restored to sod/grass.

## Analysis

### 1.0 Background

#### 1.1 Property Location

The property at 550 Dufferin Avenue is located on the northeast corner of Dufferin Avenue and William Street (Appendix A).

#### 1.2 Cultural Heritage Status

The property at 550 Dufferin Avenue is located within the East Woodfield Heritage Conservation District, which was designated under Part V of the *Ontario Heritage Act* in April 15, 1993. Unlike other Heritage Conservation Districts, the East Woodfield Heritage Conservation District does not have a property rating system.

#### 1.3 Description

The existing built heritage resource located at 550 Dufferin Avenue was constructed in 1948. The existing building is setback from both Dufferin Avenue and William Street, afforded by the wide road allowance. A driveway is located off of Dufferin Avenue and provides access to a detached two car garage in the rear. The house was built in the



Tudor Revival style, as articulated in the slight or modified Tudor arch above the main entry in stone, asymmetrical composition, use of rusticated stone, elaborate stone, and brick chimney piece with heavy cap (Appendix B). The house is clad in rug brick in red and black tones, laid in a stretcher bond pattern, with a lightly rusticated stone base laid in an irregular pattern with a carved coping. The built heritage resource also features a large slate roof in tones of green with copper eaves troughs, divided light wood windows, and letterbox downspouts. A garage is located at the rear of the existing built heritage resource. While the built heritage resource differs from what is typically found in the East Woodfield Heritage Conservation District, it contributes to an understanding of historic architectural styles that document the growth of the Woodfield area.

With the existing built heritage resource constructed in 1948, it is not the first building located on this property. The property is shown as vacant in the 1912, revised 1915 and 1912, revised 1922 Fire Insurance Plan, however an earlier building is shown on the 1892, revised 1907 Fire Insurance Plan. The earlier 1881, revised 1888 Fire Insurance Plan includes an interesting notation for the property at 500 William Street, “w/ cornice all sides.” Notations such as this are uncommon in Fire Insurance Plans.

The property at 550 Dufferin Avenue is historically associated with the Silverwood family. The existing building was constructed in 1948 as the home of Albert Edward Silverwood (1876-1961) and his second wife, Nora. Prior to moving to 550 Dufferin Avenue, the Silverwoods lived at 517 Dufferin Avenue also in East Woodfield Heritage Conservation District. Silverwood Industries Limited of London, Ontario was a dealer in cold storage products and manufacturers of ice cream and butter with factories and warehouses on Ridout Street North and Bathurst Street. After the death of Albert Silverwood, the company was acquired by United Dairies. The Silverwood legacy is remembered in Silverwoods Park (including pool and arena), as well as Western University’s Faculty of Music (once located at Goodholme, 1071 Waterloo Street) and School of Business Administration. The property was sold by the Silverwood family to the Peterson family in the 1960s.

The property at 550 Dufferin Avenue is also historically associated with the Peterson family. The house was the home of Clarence Marwin (1913-2009) and Laura Marie Peterson (1913-2015) from the 1960s until her death in 2015. Their son, former Premier David Robert Peterson (b. 1943), grew up in the house. David Peterson was London Centre’s Member of Provincial Parliament from 1975 until his defeat, as Premier, in 1990. The property remained in the Peterson family until it was sold to the current owner in 2016.

## **2.0 Legislative/Policy Framework**

### **2.1 Provincial Policy Statement**

Heritage conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (2014)* promotes the wise use and management of cultural heritage resources and directs that “significant built heritage resources and significant cultural heritage landscapes shall be conserved.”

### **2.2 Ontario Heritage Act**

Section 42 of the *Ontario Heritage Act* requires that a property owner not alter, or permit the alteration of, the property without obtaining Heritage Alteration Permit approval. The *Ontario Heritage Act* enables Municipal Council to give the applicant of a Heritage Alteration Permit:

- a) The permit applied for;
- b) Notice that the council is refusing the application for the permit; or,
- c) The permit applied for, with terms and conditions attached (Section 42(4), *Ontario Heritage Act*).

Municipal Council must respond within 90 days after a request for a Heritage Alteration Permit application (Section 42(4), *Ontario Heritage Act*).

### **2.3 The London Plan**

The policies of *The London Plan* found in the Cultural Heritage chapter support the conservation of London's cultural heritage resources. Policy 554\_ of *The London Plan* articulates on of the primary initiatives as a municipality to "ensure that new development and public works are undertaken to enhance and be sensitive to our cultural heritage resources." To help ensure that new development is compatible, Policy 594\_ (under appeal) of *The London Plan* provides the following direction:

1. *The character of the district shall be maintained by encouraging the retention of existing structures and landscapes that contribute to the character of the district;*
2. *The design of new development, either as infilling, redevelopment, or as additions to existing buildings, should complement the prevailing character of the area;*
3. *Regard shall be had at all times to the guidelines and intent of the heritage conservation district plan.*

### **2.4 East Woodfield Heritage Conservation District**

The *East Woodfield Heritage Conservation District Plan – Parts I & II, Parts III & IV*, are intended to provide policies and guidelines to ensure that the special environment and heritage character of East Woodfield is protected while still permitting appropriate and compatible change.

Policy 2.6, *East Woodfield Heritage Conservation District Plan – Parts I*, directs that "change in East Woodfield's built heritage is to be expected in the future, yet it must be carefully *managed* in a manner that does not adversely affect this special environment." It further notes that applications will be considered within the context of the design guidelines and on the individual merits of a proposed change.

Policy 1.3, *East Woodfield Heritage Conservation District Plan – Part II*, provides direction to ensure the compatibility of additions and alterations, stating:

*New construction comprising freestanding buildings should respect the prevailing character of: adjacent buildings, the existing streetscape, landscaping and grade levels, and the district as a whole. New construction must be of compatible design in location, size, height, setback, orientation, materials, colour, roof and roofline, fenestration, scale, and proportion.*

Policy 2.2.5, *East Woodfield Heritage Conservation District Plan – Part II*, states one of the objectives of the designation of East Woodfield as a Heritage Conservation District: "to permit new development only where it respects or otherwise complements the prevailing character of existing heritage buildings and structures within the East Woodfield Heritage district."

Garages are specifically addressed by the Policy 4.3.1.1, *East Woodfield Heritage Conservation District Plan – Part II*, stating:

*Exterior additions, including garages, balconies and greenhouses are encouraged to be located at the rear or on an inconspicuous side of the building, limited to the size and scale to complement the existing building and neighbouring property. Additions at the rear should be slightly lower than the existing roof line and stepped in at the sides in order to not overpower or dominate the existing heritage building and the view from the street. Additions so constructed will also tend to be more neighbourly to adjoining heritage owners.*

In addition to the direction of Policy 1.3, Policy 4.4, *East Woodfield Heritage Conservation District Plan – Part II*, provides guidance on the compatibility of new buildings within the East Woodfield Heritage Conservation District.

## **3.0 Heritage Alteration Permit Application**

The *East Woodfield Heritage Conservation District Plan* identifies alterations where Heritage Alteration Permit (referred to as a "Section 42 Permit") is required.

A Heritage Alteration Permit application was submitted by the property owner and received on September 19, 2018. The property owner has applied for a Heritage Alteration Permit to:

- Construct a new, detached garage building on the property as shown on the drawings and photographs included in Appendix C:
  - Located near the northern boundary of the property (approximately 2' from the property line), visible from William Street;
  - Single storey, approximately 18' by 21';
  - Flat roof with parapet, painted wood fascia, and metal coping;
  - Exterior cladding:
    - Clad in composite stone at the base (Arriscraft International, random three-unit "Laurier Building Stone" in mahogany colour) (see Image 11, Appendix C);
    - Rug brick (Watson Town Brick Company, "Red Rugg (vertical) Type 2 Ontario cored, 4" by 2-3/8" by 8-3/8") above to match the existing house (see Image 12, Appendix C);
  - Install two wood double hung windows with muntin bars, facing William Street, to match other windows (see Image 4, Appendix B);
  - Install an 8' by 18' metal garage door;
  - Create a new concrete driveway off of William Street to access this new garage.

The existing garage located at the rear provided some direction in terms of an appropriate design for a proposed detached garage for the property (see Image 7, Appendix B).

Per Section 42(4) of the *Ontario Heritage Act*, the 90-day timeline for this Heritage Alteration Permit application will expire on December 18, 2018.

#### 4.0 Analysis

The policies and guidelines of the *East Woodfield Heritage Conservation District Plan* do not prohibit alterations, including additions and new buildings, for properties included in its boundaries. However, there is clear policy direction that any new building must complement the heritage character of the East Woodfield Heritage Conservation District and be analyzed and found to be compatible with a number of measures as specifically articulated in the applicable policies.

The following table was created to assess the compatibility of the proposed detached garage at 550 Dufferin Avenue with the existing built heritage resource on the property, adjacent properties, and the East Woodfield Heritage Conservation District. The criteria were found in Policy 1.3 and Policy 4.4 of the *East Woodfield Heritage Conservation District Plan – Part II*.

Table 1: Analysis of Criteria from the East Woodfield Heritage Conservation District Plan – Part II

Criteria of Policy 1.3 and Policy 4.4	Analysis
Location	The location of the proposed detached garage is behind the principal façade of the existing built heritage resource at 550 Dufferin Avenue. It does not obscure any of the significant architectural details of the home.
Size	The size of the proposed detached garage is approximately 18' by 21'. This size is modest in relation to the floor plate of the existing built heritage resource. The size of the proposed detached garage is not anticipated to overwhelm the existing built heritage resource. The size is also comparable to the existing detached garage located on the property.
Height	The height of the proposed detached garage is approximately 9'. This is intended to match the approximate height of the eaves of

Criteria of Policy 1.3 and Policy 4.4	Analysis
	the existing built heritage resource. See below for analysis of the flat roof of the proposed detached garage.
Setback	The setback of the proposed detached garage is close to the property line (approximately 2' setback), but the right of way along William Street is very wide (approximately 132'). The setback of the proposed detached garage matches the setback of the adjacent built heritage resource located at 508-510 William Street, reinforcing a continuous street wall along the east side of William Street.
Orientation	The proposed detached garage is oriented to create a courtyard with the existing built heritage resource. The existing built heritage resource has a west wing that projects from the main mass of the building. The proposed detached garage will enclose the north side of this courtyard. This orientation will minimize the visibility of the large overhead garage door from the street. The street-facing (west) façade of the proposed detached garage will be articulated with a pair of windows.
Materials/Walling [Cladding]	To assist in the compatibility of the proposed detached garage, it will be clad in the same materials as the existing built heritage resource. The base of the proposed detached garage will be clad in composite stone, matching the size, pattern, colour, and texture of the existing stone, including coping. The upper portion of the proposed detached garage will be clad in rug brick to match the brick cladding of the existing built heritage resource.
Colour	Similar to the materials, the colours of the exterior cladding of the proposed detached garage have been selected because of the ability to match the materials of the existing built heritage resource.
Roof and Roofline	The proposed detached garage will have a flat roof. This will avoid any conflict with the significant slate roof of the existing built heritage resource, and visually articulate the proposed detached garage as subordinate to the existing built heritage resource. The roofline will be articulated by a wood cornice/fascia, topped with metal coping/flashing.
Fenestration	A pair of windows will be located on the west (William Street) façade of the proposed detached garage. The windows have been selected to match the windows of the existing built heritage resource, and applied in a style similar to the dormers which also face William Street. The windows will be sash, wood windows with a six-over-one fenestration.
Scale and Proportion	The scale and proportions of the proposed detached garage has been designed to be subordinate to the existing built heritage resource.

The proposed detached garage at 550 Dufferin Avenue is compatible with the policies and guidelines of the *East Woodfield Heritage Conservation District Plan*.

However, the introduction of a new driveway has the potential to create an adverse impact in the special environment of the East Woodfield Heritage Conservation District. The new curb cut will require a Permit of Approved Works (PAW). To ensure that the construction of the proposed detached garage does not result in any unintended adverse impact, the existing driveway off of Dufferin Avenue must be closed. The curb must be restored to a regular curb (no curb cut). The asphalt of the existing driveway must be removed and the former driveway must be restored to sod/grass.

It is not anticipated that the proposed detached garage and new driveway will affect the existing deciduous trees on the boulevard. Some of the existing shrubs and coniferous trees closer to the foundation of the existing built heritage resource may be removed.

## 5.0 Conclusion

The proposed detached garage for the property at 550 Dufferin Avenue was analyzed and found to be compatible with the policies and guidelines of the *East Woodfield Heritage Conservation District* and should be supported through approval, with terms and conditions, of the Heritage Alteration Permit.

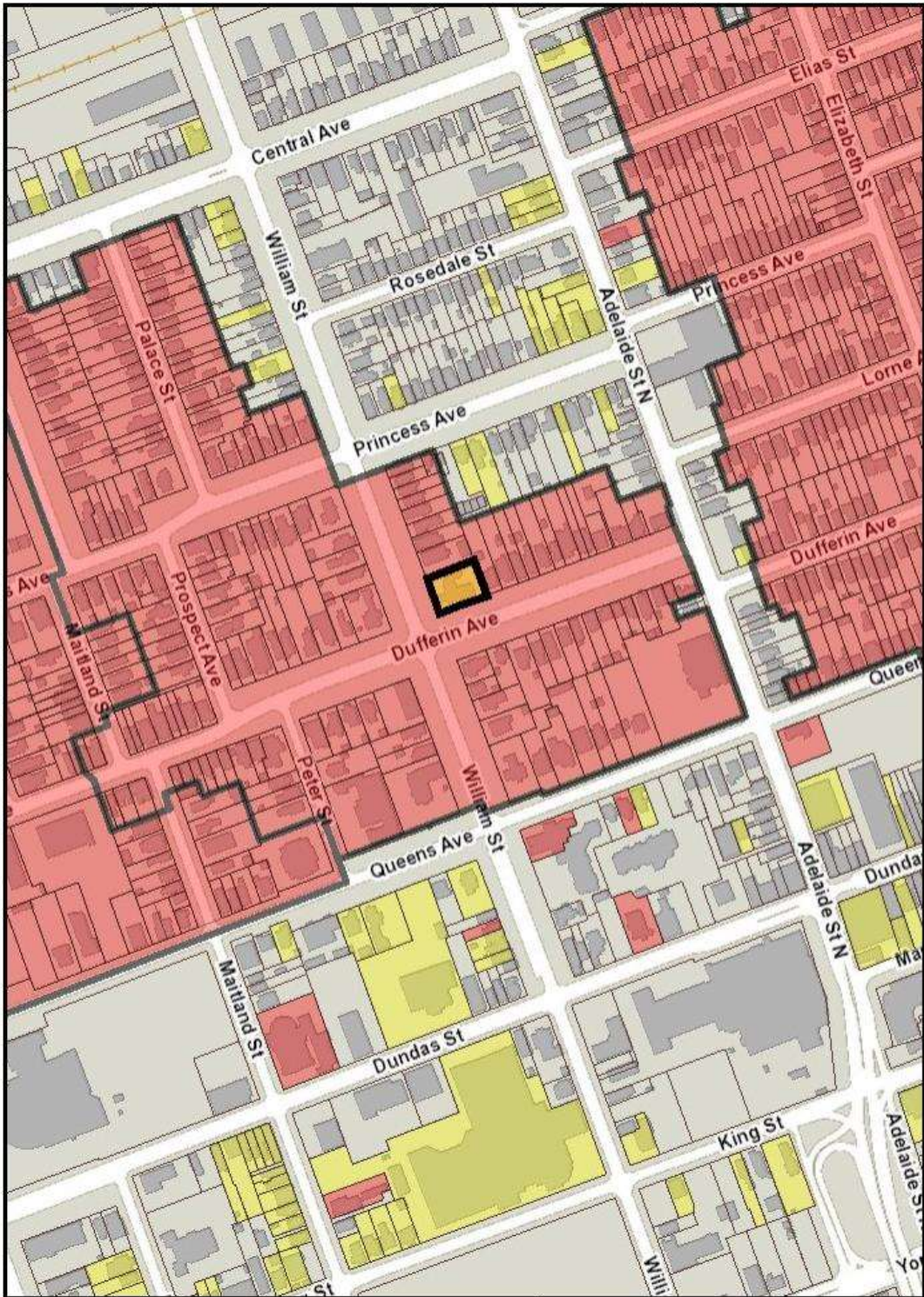
To ensure that no adverse impacts are a result of this application on the heritage character of the East Woodfield Heritage Conservation District, the existing driveway off of Dufferin Avenue must be closed.

<b>Prepared by:</b>	<b>Kyle Gonyou, CAHP Heritage Planner</b>
<b>Submitted by:</b>	<b>Gregg Barrett, AICP Manager, Long Range Planning and Research</b>
<b>Recommended by:</b>	<b>John M. Fleming, MCIP, RPP Managing Director, Planning and City Planner</b>
Note: The opinions contained herein are offered by a person or persons qualified to provide expert opinion. Further detail with respect to qualifications can be obtained from Planning Services	

October 3, 2018  
KG/

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




**Appendix A – Map**



**Location Map**

Project Title: 0  
 Description: Location - 550 Dufferin Avenue, East Woodfield Heritage Conservation District  
 Created By: Kyle Gonyou  
 Date: 9/19/2018  
 Scale: 1:4000

**Legend**

-  Subject Site
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers

Corporation of the City of London





A. 550 Dufferin Ave

B. c1950

C. Tudor Revival

D. Associated with the Peterson family; David Peterson former Premier of Ontario.

E. This one and a half storey rambling structure is eminently suited to its corner site. It is faced with red brick with extensive areas of cut stone, particularly surrounding the windows, front door, and chimney. These last two areas feature a more rusticated stone treatment. The front entrance is framed by a modified tudor-style arch. The low-pitch gable roof is truncated in its eastern section and accommodates a triple dormer window.

F. Very good condition, but there are some slates missing or damaged on the north side. There is some efflorescence on the chimney. The foundation planting is overgrown and obscuring the windows.

G. This house is completely different from its Victorian neighbours, but sits very comfortably on its corner location. It is a fine example of its type.

Figure 1: Extract from the East Woodfield Heritage Conservation District Study (January 1992), with information on the property at 550 Dufferin Avenue.



*Image 1: Property at 550 Dufferin Avenue, seen from the southeast corner of Dufferin Avenue and William Street (2012).*



*Image 2: Photograph of the main entry to the existing built heritage resource at 550 Dufferin Avenue.*





*Image 3: View of the William Street frontage of the property at 550 Dufferin Avenue, seen from the west side of William Street. Note: the orange pylon appears to mark the approximate location of the concrete driveway.*



*Image 4: Detail of the west façade of the existing built heritage resource located at 550 Dufferin Avenue. Note the profiles and fenestration of the windows located in the dormers.*



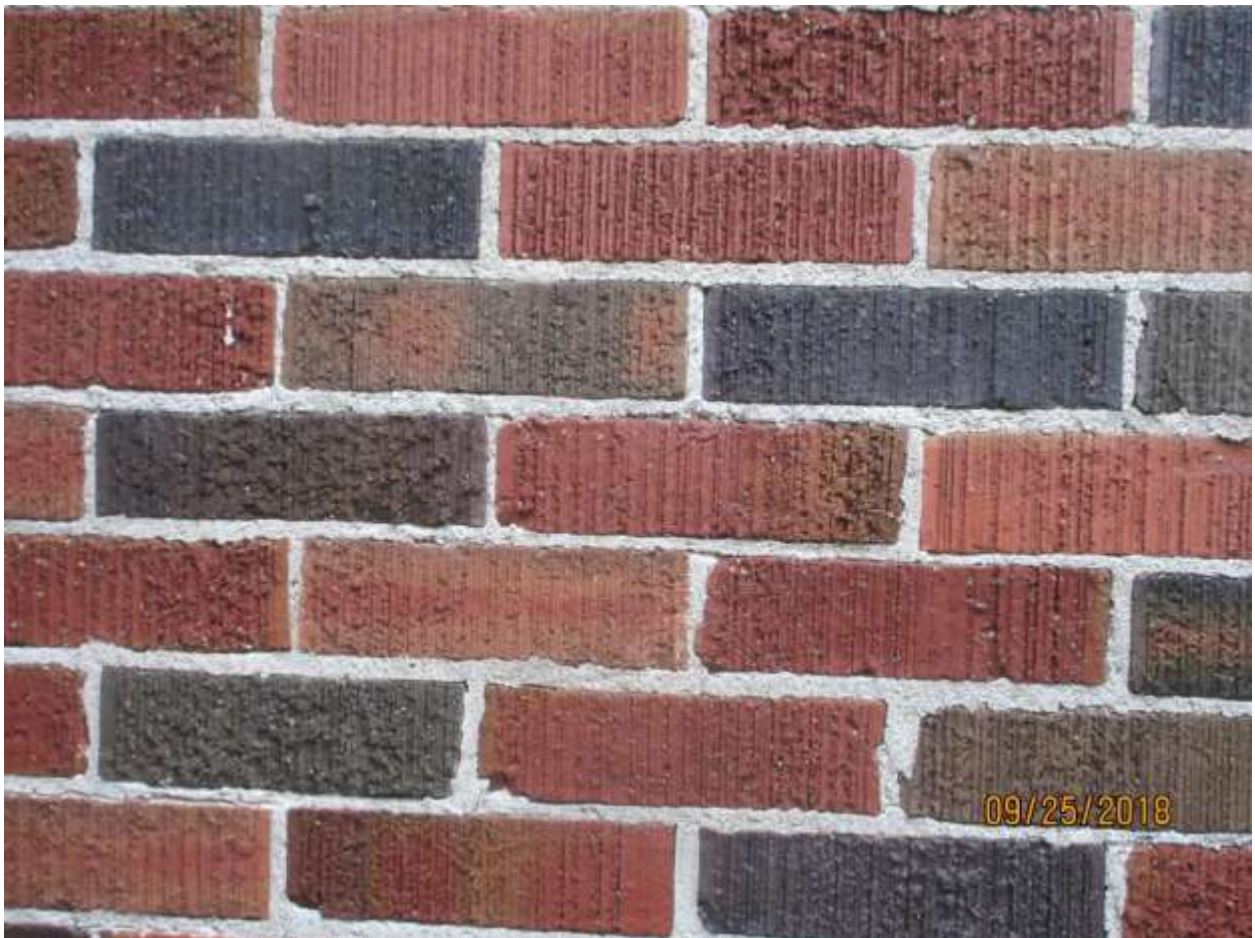
*Image 5: View looking north up the east sidewalk of William Street, showing the existing built heritage resource at 550 Dufferin Avenue in the foreground and the setback of adjacent properties to the north.*



*Image 6: Photograph of the existing driveway to the property at 550 Dufferin Avenue (left), off of Dufferin Avenue.*



*Image 7: Photograph of the existing garage located at the rear of the property at 550 Dufferin Avenue.*



*Image 8: Detail of the rug brick masonry of the existing built heritage resource at 550 Dufferin Avenue.*



*Image 9: Detail of the stone masonry base of the existing built heritage resource at 550 Dufferin Avenue.*



*Image 10: Detail showing the materials, proportion, and finish of the base of the existing built heritage resource at 550 Dufferin Avenue.*

# Appendix C – Drawings

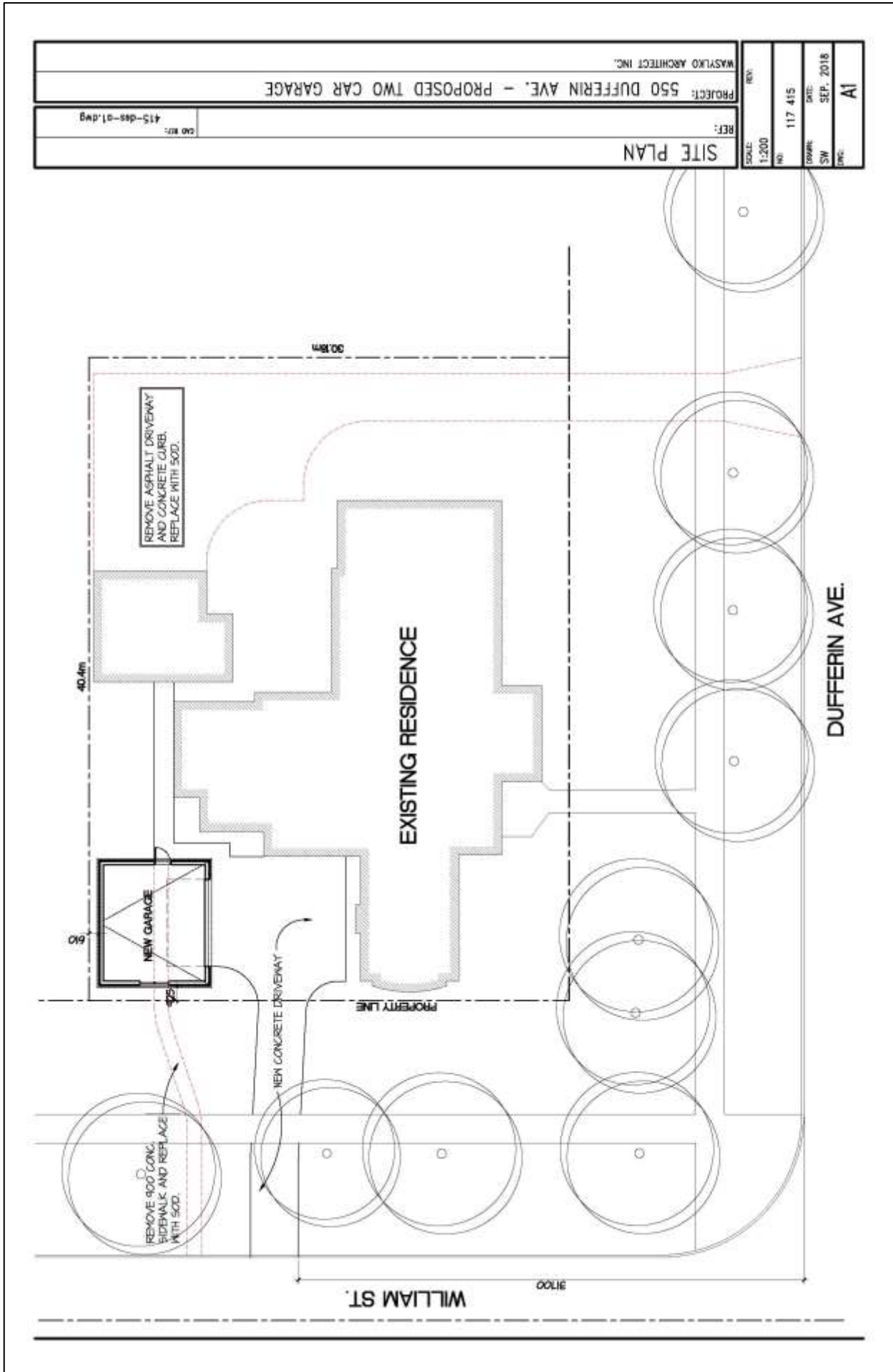


Figure 2: Drawing A1 – Site Plan.

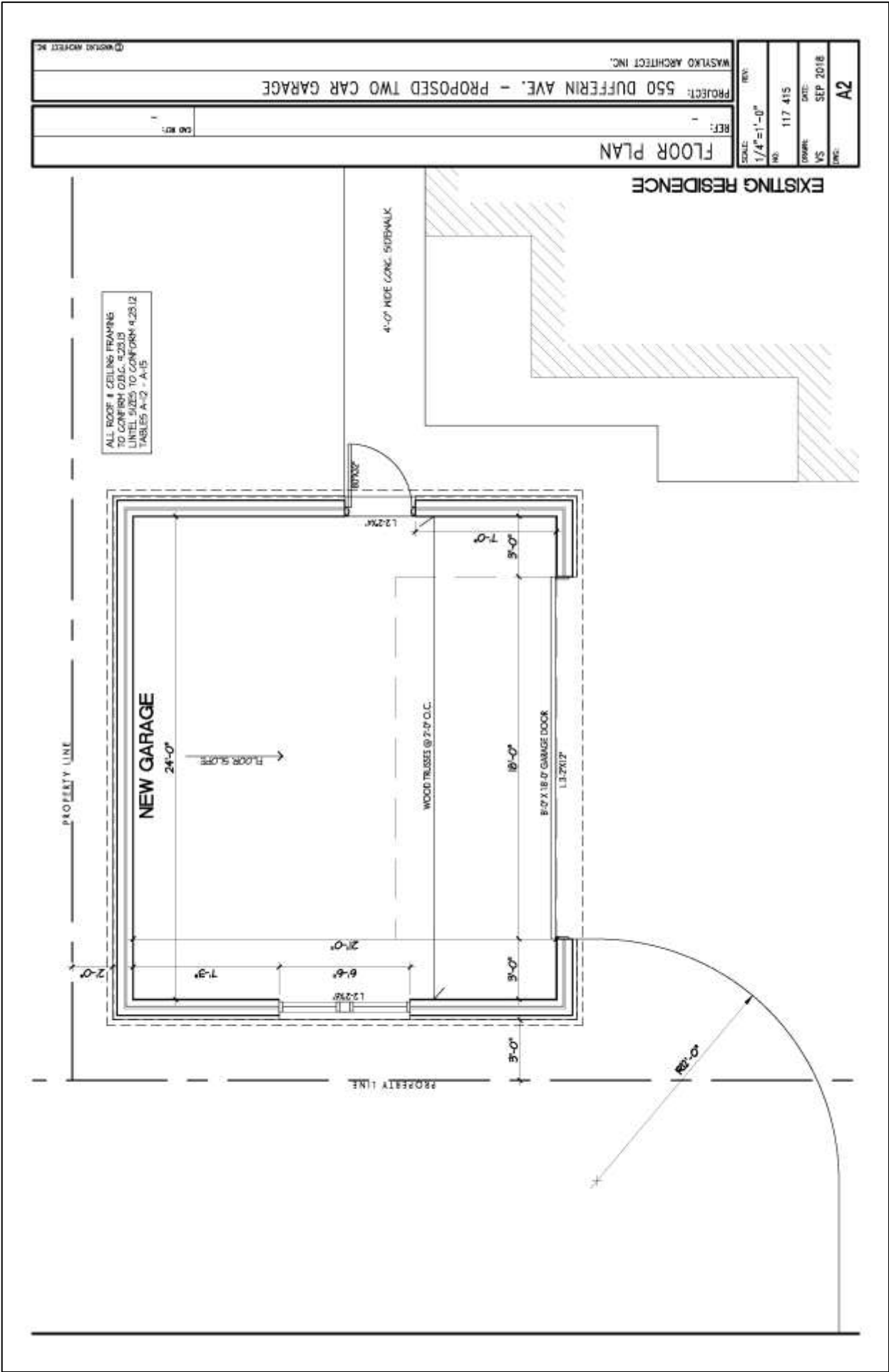


Figure 3: Drawing A2 – Floor plan.

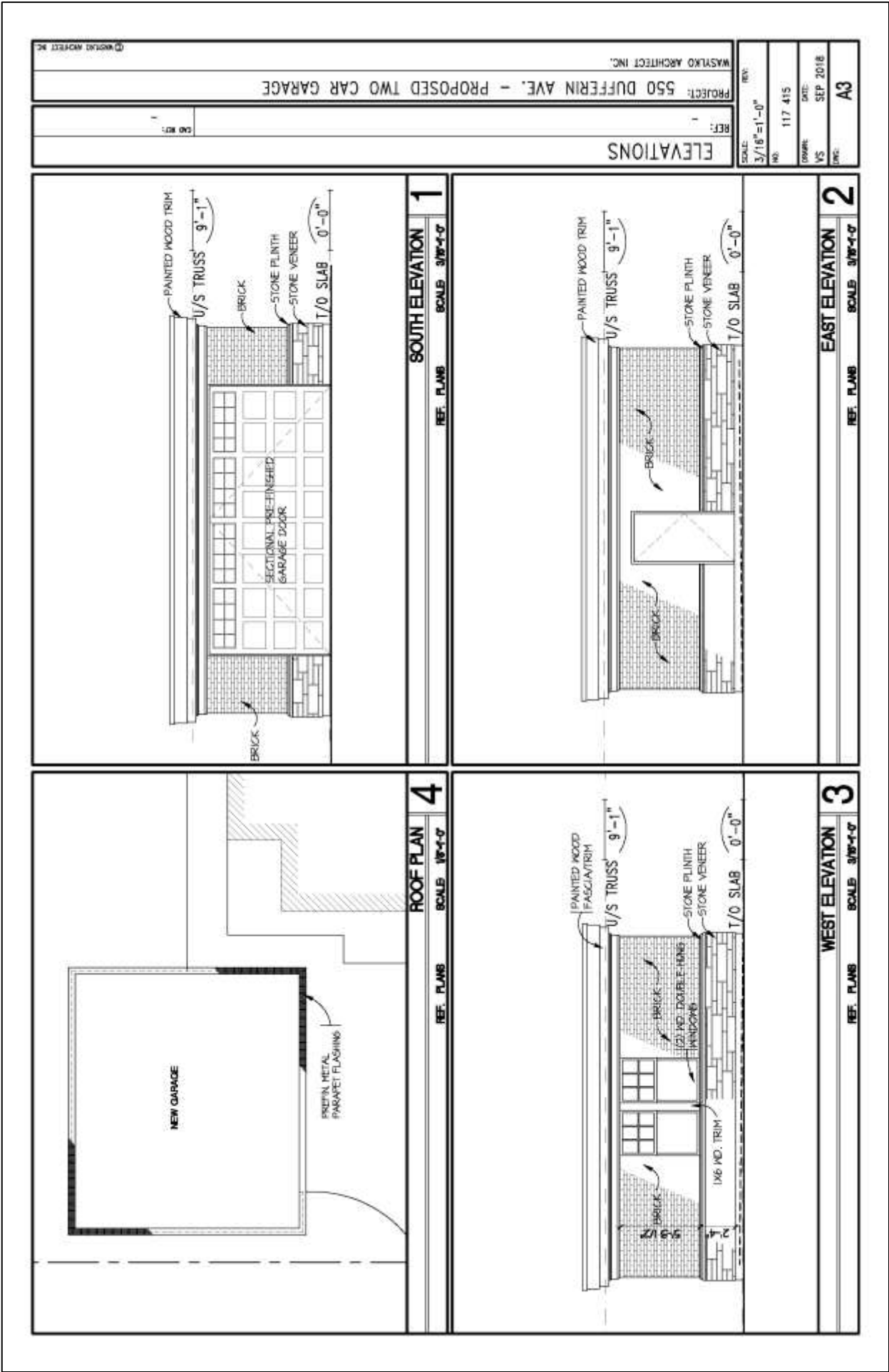


Figure 4: Drawing A3 – Elevations.

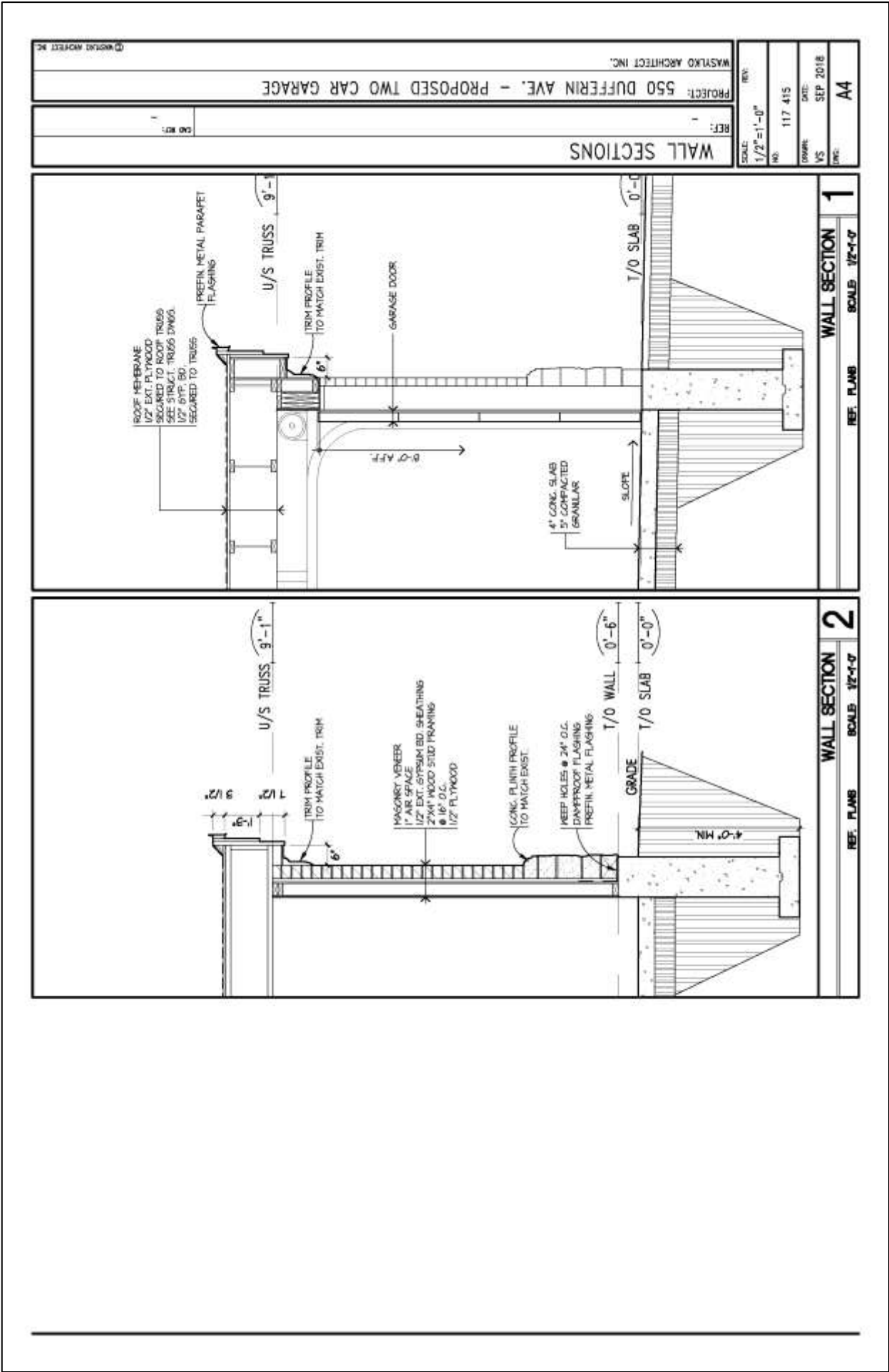


Figure 5: Drawing A4 – wall sections.





*Image 11: Photograph of the proposed composite stone for the cladding of the base of the proposed detached garage (Arriscraft International, random three-unit "Laurier Building Stone" in mahogany colour). Courtesy Myk Wasylko, Wasylko Architect Inc.*



*Image 12: Photograph of the proposed brick for the cladding of the upper portion of the proposed detached garage (Watson Brick Company, "Red Rugg (vertical) Type 2 Ontario cored, 4" by 2-3/8" by 8-3/8"). Courtesy Myk Wasylko, Wasylko Architect Inc.*

Mr. Derek Dudak  
London Advisory Committee On Heritage  
London, Ontario

September 16, 2018.

**Re: Property at 536 Windermere Road, London**

Dear Mr. Dudek,

As I presented in my earlier email and we discussed on the phone, we have just been notified that a local developer has submitted an application for the development of a large multi storey building on the property next to our home. We are in the process of looking at the avenues available to us to provide feedback to the city about this planned development, as it will significantly alter the neighborhood.

After speaking with some of our neighbors it seems that this home at 536 Windermere Road was part of a larger estate in the area, and may be one of the remaining homes left.

I have contacted the London Heritage Planners and been notified that the property is not included on any heritage listing but as they stated that it does not mean that it does not present with any heritage value.

I would like to request that the LACH consider reviewing this property on behalf of our Orkney/Angus Neighborhood Committee to evaluate if it presents with any historical significance.

I am happy to be the contact for our group, and can be reached at 519 931 1085 or by email as well.

Please let me know if you require anything further from our neighborhood association.

I look forward to hearing from you soon,

Sincerely,



Erin Mara