

Agenda

Community Advisory Committee on Planning

9th Meeting of the Community Advisory Committee on Planning

September 11, 2024, 5:30 PM

Committee Room #5

The City of London is situated on the traditional lands of the Anishinaabek (AUh-nish-in-ah-bek), Haudenosaunee (Ho-den-no-show-nee), Lūnaapéewak (Len-ah-pay-wuk) and Attawandaron (Add-a-won-da-run).

We honour and respect the history, languages and culture of the diverse Indigenous people who call this territory home. The City of London is currently home to many First Nations, Métis and Inuit today.

As representatives of the people of the City of London, we are grateful to have the opportunity to work and live in this territory.

The City of London is committed to making every effort to provide alternate formats and communication supports for meetings upon request. To make a request specific to this meeting, please contact advisorycommittee@london.ca.

	Pages
1. Call to Order	
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2. Scheduled Items	
3. Consent	
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4. Sub-Committees and Working Groups	
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5.1 Priority Listed Property Discussion	89
5.2 Heritage Planners' Report	
(Note: the Heritage Planners' Report will be provided on the Added Agenda.)	
6. Confidential	
6.1 Personal Matter/Identifiable Individual	
A personal matter pertaining to identifiable individuals, including municipal employees, with respect to the 2025 Mayor's New Year's Honour List.	
7. Adjournment	

Community Advisory Committee on Planning Report

8th Meeting of the Community Advisory Committee on Planning
August 14, 2024

Attendance PRESENT: J.M. Metrailler (Chair), M. Ambrogio, M. Bloxam, J. Dent, J. Gard, A. Johnson, M. Rice, S. Singh Dohil, M. Wallace, M. Wojtak and J. Bunn (Committee Clerk)

ABSENT: I. Connidis, S. Jory, K. Waud and M. Whalley

ALSO PRESENT: L. Dent, K. Gonyou, M. Greguol and K. Mitchener

The meeting was called to order at 5:30 PM; it being noted that M. Bloxam, J. Dent, S. Singh Dohil and M. Wallace were in remote attendance.

1. Call to Order

1.1 Disclosures of Pecuniary Interest

M. Wallace discloses a pecuniary interest in clause 3.4 of the 8th Report of the Community Advisory Committee on Planning, having to do with the Notice of Revised Planning Application and Notice of Public Meeting - Official Plan Amendment and Revised Zoning By-law Amendment and Draft Plan of Subdivision - 850 Highbury Avenue North, by indicating that the proponent of the application is a member of the association that employs him.

2. Scheduled Items

None.

3. Consent

3.1 7th Report of the Community Advisory Committee on Planning

That it BE NOTED that the 7th Report of the Community Advisory Committee on Planning, from the meeting held on July 10, 2024, was received.

3.2 2025 Mayor's New Year's Honour List - Call for Nominations

That it BE NOTED that the communication, dated June 27, 2024, from the City Clerk and Deputy City Clerks, with respect to the 2025 Mayor's New Year's Honour List Call for Nominations, was received.

3.3 Notice of Planning Application and Public Meeting - Official Plan Amendments - Heights Framework Review

That it BE NOTED that the Notice of Planning Application and Public Meeting, dated July 18, 2024, from S. Filson, Planner, with respect to Official Plan Amendments related to the Heights Framework Review, was received.

3.4 Notice of Revised Planning Application and Notice of Public Meeting - Official Plan Amendment and Revised Zoning By-law Amendment and Draft Plan of Subdivision - 850 Highbury Avenue North

That it BE NOTED that the Notice of Revised Planning Application and Notice of Public Meeting, dated July 23, 2024, from M. Clark, Planner, with respect to an Official Plan Amendment and Revised Zoning By-law Amendment and Draft Plan of Subdivision, related to the property located at 850 Highbury Avenue North, was received.

3.5 Notice of Planning Application - Draft Plan of Subdivision, Official Plan and Zoning By-law Amendments - 168 Meadowlily Road South

That it BE NOTED that the Notice of Planning Application, dated August 1, 2024, from S. Meksula, Senior Planner, with respect to a Draft Plan of Subdivision and Official Plan and Zoning By-law Amendments, related to the property located at 168 Meadowlily Road South, was received.

4. Sub-Committees and Working Groups

4.1 Stewardship Sub-Committee Report

That it BE NOTED that the Stewardship Sub-Committee Report, dated July 31, 2024, was received.

5. Items for Discussion

5.1 Demolition Request for the Heritage Listed Property at 3810-3814 Colonel Talbot Road

That it BE NOTED that the Community Advisory Committee on Planning (CACP) reviewed a staff report, dated August 14, 2024, with respect to a Demolition Request for the Heritage Listed Property at 3810-3814 Colonel Talbot Road, and the CACP supports the staff recommendation.

5.2 Demolition Request for the Heritage Listed Property at 773 Dundas Street

That it BE NOTED that the Community Advisory Committee on Planning (CACP) reviewed a staff report, dated August 14, 2024, with respect to a Demolition Request for the Heritage Listed Property at 773 Dundas Street, and the CACP supports the staff recommendation.

5.3 Demolition Request for the Heritage Listed Property at 940 Dundas Street

That it BE NOTED that the Community Advisory Committee on Planning (CACP) reviewed a staff report, dated August 14, 2024, with respect to a Demolition Request for the Heritage Listed Property at 940 Dundas Street, and the CACP supports the staff recommendation.

5.4 Demolition Request for the Heritage Listed Property at 243 Wellington Road

That it BE NOTED that the Community Advisory Committee on Planning (CACP) reviewed a staff report, dated August 14, 2024, with respect to a Demolition Request for the Heritage Listed Property at 243 Wellington Road, and the CACP supports the staff recommendation.

5.5 Demolition Request for the Heritage Listed Property at 1163 Richmond Street

That it BE NOTED that the Community Advisory Committee on Planning (CACP) reviewed a staff report, dated August 14, 2024, with respect to a

Demolition Request for the Heritage Listed Property at 1163 Richmond Street, and the CACP supports the staff recommendation; it being noted that the CACP encourages the applicant to retain and reuse the door and other historic elements in the new development.

5.6 (ADDED) Heritage Planners' Report

That it BE NOTED that the Heritage Planners' Report, dated August 14, 2024, was received.

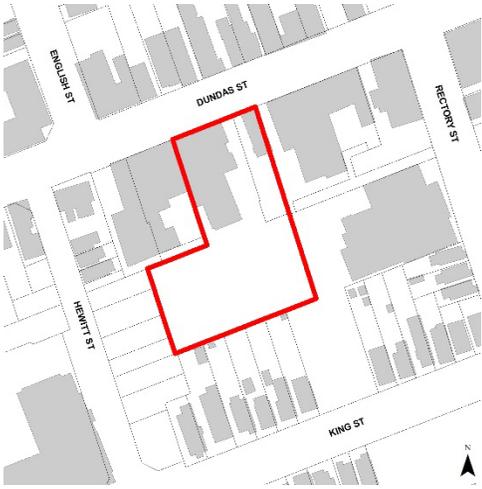
6. Adjournment

The meeting adjourned at 6:10 PM.

NOTICE OF PLANNING APPLICATION & PUBLIC MEETING

Zoning By-law Amendment

763-773 Dundas Street



File: Z-9777

Applicant: London Cross Cultural Learner Centre

What is Proposed?

Zoning amendment to allow a:

- 6-storey mixed-use building fronting Dundas Street, consisting of 34 residential units and approximately 300m² of gross-floor commercial space; and a 24-storey mixed-use building located to the rear, consisting of 213 units and ground-floor multi-use space at a density of 550 units per hectare.
- Residential Units: **247** (minimum of 40% affordable)

Further information regarding this application can be found at london.ca/planapps

LEARN MORE & PROVIDE INPUT

You are invited to provide comments for consideration by Council, and/or attend a public meeting of the Planning and Environment Committee at which Council will consider this application, to be held:

Meeting Date and Time: Tuesday, October 22, 2024, no earlier than 1:00 p.m.

Please monitor the City's website closer to the meeting date to find a more precise meeting start time: <https://london.ca/government/council-civic-administration/council-committee-meetings>

Meeting Location: The Planning and Environment Committee Meetings are hosted in City Hall, Council Chambers; virtual participation is also available, please see City of London website for details or contact pec@london.ca.

For consideration by Council, comments must be provided by **September 20, 2024**

For more information and/or to provide comments:

Michaela Hynes

mhynes@london.ca

519-661-CITY (2489) ext. 4753

Planning & Development, City of London

London ON PO Box 5035 N6A 4L9

File: Z-9777

You may also discuss any concerns you have with your Ward Councillor:

Councillor Susan Stevenson

sstevenson@london.ca

519-661-CITY (2489) ext. 4004

**If you are a landlord, please post a copy of this notice where your tenants can see it.
We want to make sure they have a chance to take part.**

Date of Notice: August 30, 2024

Application Details

Requested Zoning By-law Amendment

To change the zoning from a FROM a Business District Commercial (BDC(19)*D250*H46) Zone TO a Business District Commercial (BDC(_)) Zone Zone with special provisions to implement the proposed development.

The City may also contemplate alternative zoning such as a different base zone, additional permitted uses, additional special provisions (i.e. height and/or density), and/or the use of holding provisions.

The London Plan and the Zoning By-law are available for review at london.ca.

At this time there are no other applications, under the Planning Act, R.S.O. 1990, c. P.13, as amended, pertaining to the subject lands.

Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at docservices@london.ca.

Right to Appeal to the Ontario Land Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed by-law passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed by-law passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

Please see the *Planning Act* for updated appeal requirements.

Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Bridgette Somers, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

Accessibility

The City of London is committed to providing accessible programs and services for supportive and accessible meetings. We can provide you with American Sign Language (ASL) interpretation, live captioning, magnifiers and/or hearing assistive (t coil) technology. Please contact us at plandev@london.ca by August 6, 2024, to request any of these services.

Heritage Impact Assessment

London Cross Cultural Learning Centre

763-773 Dundas Street



August 22, 2024



EXECUTIVE SUMMARY

Zelinka Priamo Ltd. was retained by the London Cross Cultural Learning Centre (“the client”) to prepare a Heritage Impact Assessment (“HIA”) for the proposed rezoning and subsequent redevelopment of the lands known municipally as 763-773 Dundas Street (hereinafter referred to as the “subject lands”). The individual properties of the subject lands are *listed* on the City of London’s Register of Cultural Heritage Resources and are proximate to multiple properties *designated* under Part IV of the Ontario Heritage Act. The proposed development consists of a six-storey (6 ST) mixed-use building along the Dundas Street frontage and a twenty-four storey (24 ST) residential tower the rear (south) of the subject lands. The proposed residential component includes a mix of affordable and market-rate units.

As part of the proposed development, the existing two-storey (2 ST) building at 765-769 Dundas Street and two-and-a-half storey (2.5 storey) building at 773 Dundas Street will be demolished.

This HIA will identify and evaluate the heritage value of the subject lands and adjacent properties; determine potential impacts on the identified heritage resources based on the relevant provincial and municipal policies and guidelines; and, propose mitigation measures to minimize (or avoid) negative impacts. This Assessment will have particular regard for the siting, massing, architectural detailing, and materiality of the proposed development, as these factors have the greatest impact on heritage resources. Other impacts, such as proposed uses, will also be considered.

Overall, the proposed development meets many of the objectives, guidelines, and policies set out by the Province of Ontario and City of London relating to heritage conservation. The proposed development includes the following elements that will mitigate potential impacts on nearby heritage properties:

- The proposed development will provide a continuous street wall along Dundas Street with active uses at grade and a high proportion of glazing. Note: There is currently a large gap in the street wall between 763-769 and 773 Dundas Street;
- The proposed height, massing, and scale of the proposed development will respect the main street character of the area while ensuring new construction is discernable from heritage buildings. Columns/bays situated along the front elevation mimic the rhythm of storefronts along Dundas Street;
- The proposed detailing and material treatments (including brick patterns, stone/concrete accents, fenestration arrangements, etc.) will support compatibility while providing visual interest;
- Deep step-backs are provided above the third-storey along all external lot lines, ensuring the proposed development fits well with abutting main street and low-density residential character areas; and,
- Parking and vehicular areas will be located underground or in the rear yard, screened from the public realm.

Note: This Assessment also contains some minor recommendations that would further mitigate potential impacts on the identified heritage attributes (see Part 6.0).

While the proposed development will require the removal of two existing heritage buildings listed on the City's Register of Cultural Heritage Resources, these buildings lack the architectural merit to be considered exemplary of the Victorian or Georgian styles. Construction techniques, materials, and craftsmanship do not demonstrate a high degree of technical or aesthetic achievement and each building has been altered significantly from its original state. It must also be considered that, for decades, this section of Dundas Street has suffered from a lack of investment, and the proposed development will have a positive effect on the Old East Village Main Street, bringing new investment and vitality to the area (with hundreds of residents/patrons).

In conclusion, the proposed development meets the goals of the Province of Ontario and City of London and conforms to the policies and guidelines established by these levels of government as they relate to heritage and development. While some minor changes and refinements are offered for consideration, this assessment finds that the proposed development is appropriate and desirable from a heritage perspective. It is our opinion that the proposed development exemplifies the intent of the relevant policy framework and will serve as a demonstration project, providing an excellent example of intensification along a historic main street.

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1.0 INTRODUCTION

Zelinka Priamo Ltd. was retained by the London Cross Cultural Learning Centre to prepare a Heritage Impact Assessment for the proposed redevelopment of the lands known municipally as 763-773 Dundas Street and legally as “PLAN 229 PT LOTS 12 AND 13 S/S DUNDAS PT LOTS 20, 21 E/S GLEBE, PT LOTS 18, 19 W/S RECTORY” and “PLAN 229 PT LOT 13 REG.”. The proposed development consists of a six-storey (6 ST) mixed-use building along the Dundas Street frontage and a twenty-four storey (24 ST) residential tower the rear (south) of the subject lands. In total, the proposed development will introduce 247 new residential dwelling units and a commercial/community space at the ground level along the Dundas Street frontage. The proposed development will also contain 104 parking spaces.

This HIA is being submitted to the City of London as part of a Zoning By-law Amendment application to permit the proposed development. The purpose of this Assessment is to evaluate the impact of the proposal on the City’s built heritage resources, including the existing heritage structures on and adjacent to the subject lands. Many are designated individually under Part IV of the Ontario Heritage Act (“OHA”) while others are listed on the City’s Register of Cultural Heritage Resources (“Register”).

This HIA will identify and assess the value of all nearby heritage assets (regardless of status); identify the potential impacts; and, evaluate the proposed development in the context of the relevant provincial and municipal policies/guidelines regarding the conservation of built heritage resources. Finally, the HIA will conclude with conservation recommendations.

2.0 HERITAGE ASSESSMENT POLICIES + GUIDELINES

The Province of Ontario and the City of London have established policies, guidelines, and terms of reference for the protection and conservation of built heritage resources. This section provides an overview of the relevant documents, as well as relevant definitions.

2.1 The Planning Act

The *Planning Act* is provincial legislation that provides a framework for land use planning in Ontario. The *Planning Act* defines matters of provincial interest in Part I, and identifies that (2) the Minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as (d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.

2.2 The Provincial Policy Statement, 2020

The *Provincial Policy Statement* (PPS), issued under the authority of Section 3 of the *Planning Act* and updated in 2020, provides policy direction on matters of provincial interest related to land use planning to ensure efficient development, economic resilience, and the protection of natural resources. All planning applications required to be consistent with the policies of the PPS, including the following provisions relating to heritage conservation:

1.7.1 Long-term economic prosperity should be supported by (e) encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes.

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

The following relevant terminology is defined in Section 6.0 of the PPS:

Adjacent lands (for the purposes of policy 2.6.3) means those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan.

Built heritage resource means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous

community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers.

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

Cultural heritage landscape means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.

Heritage attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property).

Protected heritage property means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

Significant (in regard to cultural heritage and archaeology) means resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.

2.3 The Ontario Heritage Act

The Ontario Heritage Act (OHA), R.S.O, 1990, c.0.18 (updated 2023) provides policy direction relating to the identification and conservation of cultural heritage resources in the Province of Ontario. Under Part IV of the OHA, individual properties can be designated by a municipality or by the Minister, while Part V provides for the designation of Heritage Conservation Districts (HCD) encompassing multiple properties.

While the subject lands are not designated individually under Part IV, or as part of a HCD under Part V, multiple properties close to the subject lands are designated under Part IV. This HIA considers the policies of Part IV and will evaluate whether the proposed development is compatible with the designated heritage assets on adjacent lands. This assessment will also broadly consider the policies and intent of the OHA as they might relate to properties listed on the City of London's Register of Cultural Heritage Resources.

The following terms are defined in Section 1 of the OHA:

Alter means to change in any manner and includes to restore, renovate, repair or disturb.

Heritage attributes means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest

2.4 The London Plan

The London Plan was adopted by City Council and approved by the Province of Ontario on December 28, 2016. At the time of Provincial approval, the London Plan was appealed to the Ontario Land Tribunal (OLT). Through an OLT decision on May 25, 2022, the final phase of policy appeals were resolved, though several site-specific appeals remain active. The London Plan sets out policies that pertain to properties listed on the City of London Register of Cultural Heritage Resources, including those adjacent to the subject lands, while also governing development on adjacent parcels. The following general objectives from The London Plan regarding cultural heritage resources apply to the proposed development, and a detailed policy review is provided in Section 5.0 of this HIA:

154 *Through our urban regeneration efforts we will (3) encourage the conservation, restoration, and appropriate use of cultural heritage resources.*

554 *In all of the planning and development we do, and the initiatives we take as a municipality we will:*

- 1. Promote, celebrate, and raise awareness and appreciation of London's cultural heritage resources.*
- 2. Conserve London's cultural heritage resources so they can be passed on to our future generations.*
- 3. Ensure that new development and public works are undertaken to enhance and be sensitive to our cultural heritage resources.*

565 *New development, redevelopment, and all civic works and projects on and adjacent to heritage designated properties and properties listed on the Register will be designed to protect the heritage attributes and character of those resources, to minimize visual and physical impact on these resources. A heritage impact assessment will be required for new development on and adjacent to heritage designated properties and properties listed on the Register to assess potential impacts and explore alternative development approaches and mitigation measures to address any impact to the cultural heritage resource and its heritage attributes.*

The London Plan defines

Adjacency means “sites that are contiguous; sites that are directly opposite a cultural heritage resource separated by a laneway, easement, right-of-way, or street; or sites which a proposed development or site alteration has the potential to impact identified visual character, streetscapes or public views as defined within a statement explaining the cultural heritage value or interest of a cultural heritage resource”

Conservation means “actions or processes that are aimed at safeguarding the heritage attributes of a cultural heritage resource so that it retains its cultural heritage value or interest and extends its physical life. This may involve preservation, rehabilitation, restoration or a combination of these actions or processes.”

Cultural heritage landscape means “a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Aboriginal Community. The area may involve features such as structures, spaces, archaeological sites, or natural elements that are valued together for their interrelationship, meaning or association. Such a cultural heritage landscape is valued by Londoners and is of significance to an understanding of the histories of a people or place.”

Cultural heritage resource means “a human work or a place that gives evidence of human activity or has spiritual or cultural meaning or value, and which has been determined to have historic value. Cultural heritage resources include both the physical and intangible resources, properties protected under the Ontario Heritage Act, built heritage resources, cultural heritage landscapes, archaeological resources, paleontological resources and both documentary and material heritage.”

Intensification means “the development of a property, site, or area at a higher density than currently exists. Intensification adds one or more residential units to a site, or creates one or more additional lots from an existing lot.”

Streetscape means “the combination of visual and structural elements including such things as the street right-of-way, the design and placement of buildings, street trees, landscape elements, street furniture, lighting, and signage.”

Street wall is “the condition created when the front façades of a series of buildings are aligned facing a street to create a sense of definition, enclosure, and a level of protection from the weather along a streetscape. It is an important feature of designing a street to be comfortable for pedestrians. The term street wall does not necessarily imply that buildings are joined together.”

2.5 Impact Assessment Criteria

The impact assessment on cultural heritage resources is based on the impacts as defined by *Infosheet #5 Heritage Impact Assessments and Conservation Plans* prepared by the Ontario Ministry of Heritage, Sport, Tourism and Culture Industries. Impacts to heritage resources may be direct or indirect. Direct impacts include:

Destruction of any, or part of any, significant heritage attributes or features.

Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.

Indirect impacts do not cause destruction or alteration of the cultural heritage resource, but may include:

Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden.

Isolation of a heritage attribute from its surrounding context or a significant relationship.

Obstruction of significant views or vistas within, from, or of built and natural features.

A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.

Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archeological resource.

In addition, the potential for indirect impacts resulting from vibration resulting from construction activities should be considered. For the purpose of this HIA, this impact has been categorized under “land disturbances”.

2.6 Other Considerations

The City of London does not have a Terms of Reference (“TOR”) document to establish the required contents of a Heritage Impact Assessment report. TOR for other municipalities in Ontario were referenced in the preparation of this HIA. The requirements established in these TOR are derived from the policies of the Provincial Policy Statement, 2020 (specifically cultural heritage and land use planning) and may be considered for other municipalities in the province.

3.0 SUBJECT LANDS + CONTEXT

This section will examine the characteristics of the subject lands and the surrounding area with an emphasis on heritage elements. For the purpose of this HIA, the relevant site context consists of the section of Dundas Street designated under the “Urban Corridor” Place Type in the London Plan, beginning at Colborne Street (west) and ending at Quebec Street (east). This corridor is identified as the “Old East Village Main Street” in the London Plan and has a consistent character defined by its quantity of heritage buildings, constructed between 1860 and 1930.

Note: The subject lands extend approximately 100m south from Dundas Street, equivalent to approximately 65% of the total block depth. As a result of this condition, this evaluation will also consider some areas north (through Queens Avenue) and south (through King Street) of Dundas Street that are not designated under the “Urban Corridor” Place Type. The boundaries of the study area are demarcated below in Figure 1.

Figure 1 – Character Study Areas, including the Old East Village Main Street and the subject lands



3.1 Old East Village Main Street

Dundas Street is one of the oldest roads in Ontario and played a critical role in the founding and early development of London. Originally constructed as a military road by order of the first Lieutenant Governor of Upper Canada (John Graves Simcoe) in 1793, Dundas Street connected the newly established Town of York (Toronto) to the Thames River. From its construction through opening of the 400-series Provincial highway system, Dundas Street was the primary road connecting to areas east of London.

The portion of Dundas Street between Colborne Street and Quebec Street was developed as one of London's first main streets. This section, outlined in orange in Figure 1 (previous page), was built out between the 1860s and 1930s and hosted many important civic and commercial spaces including department stores, theatres, hotels, schools, and a town hall. The surrounding blocks were developed primarily for industry (south and east) and housing (north).

In its current state, the neighbourhood consists primarily of commercial uses as well as some apartment buildings. Three high-rise buildings are located ~50m west of the subject lands, ranging from twenty-one (21ST) to twenty-four (24ST) in height. There are some institutional uses in the area, including schools and places of worship, as well as the Aeolian Hall performance venue. Finally, the area also includes Queens Park, a major public open space 400m east of the subject lands, and the northern portion of the Western Fair grounds, one of the city's main venues for festivals and community events (including a weekly farmers market).

The streetscape character of Dundas Street is defined by its quantity of heritage buildings. These buildings are typically between one and three-storeys in height with large display windows at street level and minimal setbacks from the street. Vehicular and loading access is often provided from rear laneways, supporting a pedestrian-oriented streetscape. However, many buildings have been modified significantly from their original condition, with additions or other alterations that detract from their historic value. In some instances, buildings have not been kept in a state of good repair as a result of divestment and/or prolonged vacancies. Many have also been demolished and replaced with newer buildings or surface parking areas. Together, these factors compromise the heritage character of the area and its function as a commercial main street. Overall, the streetscape can be described as varied and disjointed with a broad mixture of styles, typologies, and uses.

The London Plan identifies this section of Dundas Street as a target for "urban regeneration" and contains numerous policies that support infill and intensification. While new development has the potential to sustain and enhance this corridor, it must not undermine the established character and cultural heritage value.

Of particular importance are the properties listed on the City of London Register of Cultural Heritage Resources (many of which are individually designated under Part IV of the OHA). These heritage assets were designed in a variety of styles popular in the late nineteenth and early twentieth centuries. Those nearest the subject lands were designed primarily in the Victorian, Italianate, and Art Deco styles. A brief overview of each style is provided on the following page:

Victorian applies generally to buildings constructed during the reign of Queen Victoria, from 1837 to 1901, and includes several variants such as Gothic Revival and Queen Anne. Each variant is linked by a similar appreciation for ornament and extravagance, with common characteristics derived from both the classical and gothic traditions:

- Steep, pointed roof lines, often with gables and dormers on the front facade;
- Projecting bays and bay windows, with large cornices;
- Transom windows and doors with flat or segmental arches;
- Typically red brick, though other local stones and bricks were common (including dichromatic brickwork); and,
- Painted wood detailing on gables, porches, sills, etc.

Gables were often the most decorative and extravagant features of Victorian homes. Their triangular shape offered an opportunity for artistic expression and a challenge for designers and makers. Bricklaying offered a similar test of skill and craftsmanship.

Italianate was inspired by the architecture of the Italian Renaissance, a historic period associated with the rise of capitalism and entrepreneurship, which made it an appropriate style for areas of commerce. Italianate is commonly found on nineteenth century main streets and was used frequently for stores and larger residential buildings. Italianate borrows from the classical styles but was also influenced by the increasing standardization in manufacturing and construction. It can be identified by the following characteristics:

- Large, exaggerated cornices with brackets and triglyphs;
- Extensive detailing and ornamentation, especially for window surrounds and roof brackets/corbels;
- Stylized classical elements (such as columns, capitals, and pilasters) are present, but are applied minimally and in a secondary role;
- Frontispieces and centred doorways;
- Standardized fenestration and ornamentation patterns, reflecting availability of mass-produced parts. Windows were often sash-style; and,
- Cast-iron detailing and intricate brickwork.

Art Deco was developed in the interwar period (1920s and 1930s) in response to increased globalization brought by World's Fairs, colonization, the First World War, and other events. With an emphasis on decorative motifs, craftsmanship, and detailing, the style borrowed from a diversity of sources: classic designs from Japan or Ancient Egypt; contemporary art movements such as De Stijl or Cubism; and, industrial design for early automobiles and airplanes. It used some elements of Classical and Gothic elements but mostly offered a split from, or rejection of, these styles. It can be identified by the following characteristics:

- Unremarkable in plan and elevation, but detailed with extensive use of ornament and geometric patterns;
- Expression often contained to parapets, reliefs, and continuous vertical spaces between windows;
- Lavish and exotic in appearance, sometimes colourful;
- Earlier styles were ornate, while 1930s Art Deco often had a 'streamlined' appearance;
- Windows were often understated, simple, and geometric; and,
- Reliance on modern materials such as reinforced concrete, with less brick or wood.

The repetition and abundance of these architectural styles along Dundas Street contributes to an identifiable character and visual consistency. Specific buildings near the subject lands are discussed and evaluated in Section 3.3 (below).

3.2 The Subject Lands

The subject lands are comprised of two parcels (763-769 and 773), located on the south side of Dundas Street between Hewett Street and Rectory Street (Figure 2). According to 'Map 3 – Street Classifications' of the London Plan, this section of Dundas Street is classified as a "Rapid Transit Boulevard" with a future "Rapid Transit Station" located 300m to the east at Ontario Street.

Figure 2 – The subject lands (blue) and existing points of access



The subject lands are flag-shaped, extending south and west from their frontage on Dundas Street (shown in light orange on Figure 2). The lands have a combined area of 1.17ac (0.47ha), a frontage of 40.2m (132ft), and a lot depth of approximately 90.2m (296ft). Vehicular access for each parcel is provided via private asphalt driveways (represented in brown) that extend from Dundas Street to a rear laneway (dark orange). Pedestrian and cycling access are provided from a concrete sidewalk and separated bike lane along Dundas Street.

The subject lands are presently occupied by two buildings, described on the following page.

763-769 Dundas Street was purpose-built as a hotel and operated as such throughout much of its history, before being repurposed as a tavern in 1982 (as well as a laundry). The structure is a modest and unremarkable example of the Georgian Style and is currently vacant:



Address	763-769 Dundas Street
Heritage Status	Listed
Constructed	1864-1871
Style	Georgian
Notable Features	Two-storey attached Painted brick and wooden finishes Low-pitch hip roof with a square plan/elevation Minimal ornamentation Strong horizontal emphasis, continuous cornice Sash windows with shutters

773 Dundas Street was used historically as a for a variety of retail and service commercial uses. It is a modest and unremarkable example of the Victorian style:



Address	773 Dundas Street
Heritage Status	Listed
Constructed	
Style	Victorian
Notable Features	Two-and-a half-storey Painted brick, stone sills Modified, including a single-storey addition Segmental arches above most openings, including the attic window Gabled front facade

Both buildings are listed on the City of London's Register of Cultural Heritage Resources, but neither is designated under Part IV of the Ontario Heritage Act. Overall, they lack the architectural merit to be considered exemplary of the Victorian or Georgian styles, and each has been altered significantly with additions, secondary entrances, and cosmetic changes (such as painted brick). The construction techniques, materials, and craftsmanship do not demonstrate a high degree of technical or aesthetic achievement. Moreover, irregularities in the design suggest the buildings were not constructed under the supervision of an architect or engineer.

Though these buildings can be considered modest and unremarkable from an architectural and physical heritage perspective, it is acknowledged that the former Queen's Hotel would have played an important role in the social history of Old East Village. Hotels, saloons, and taverns were important institutions in the nineteenth and early twentieth century and would have served both locals and travellers. It is the intention of the client to reintroduce this important social and public function to the subject lands as part of the proposed redevelopment.

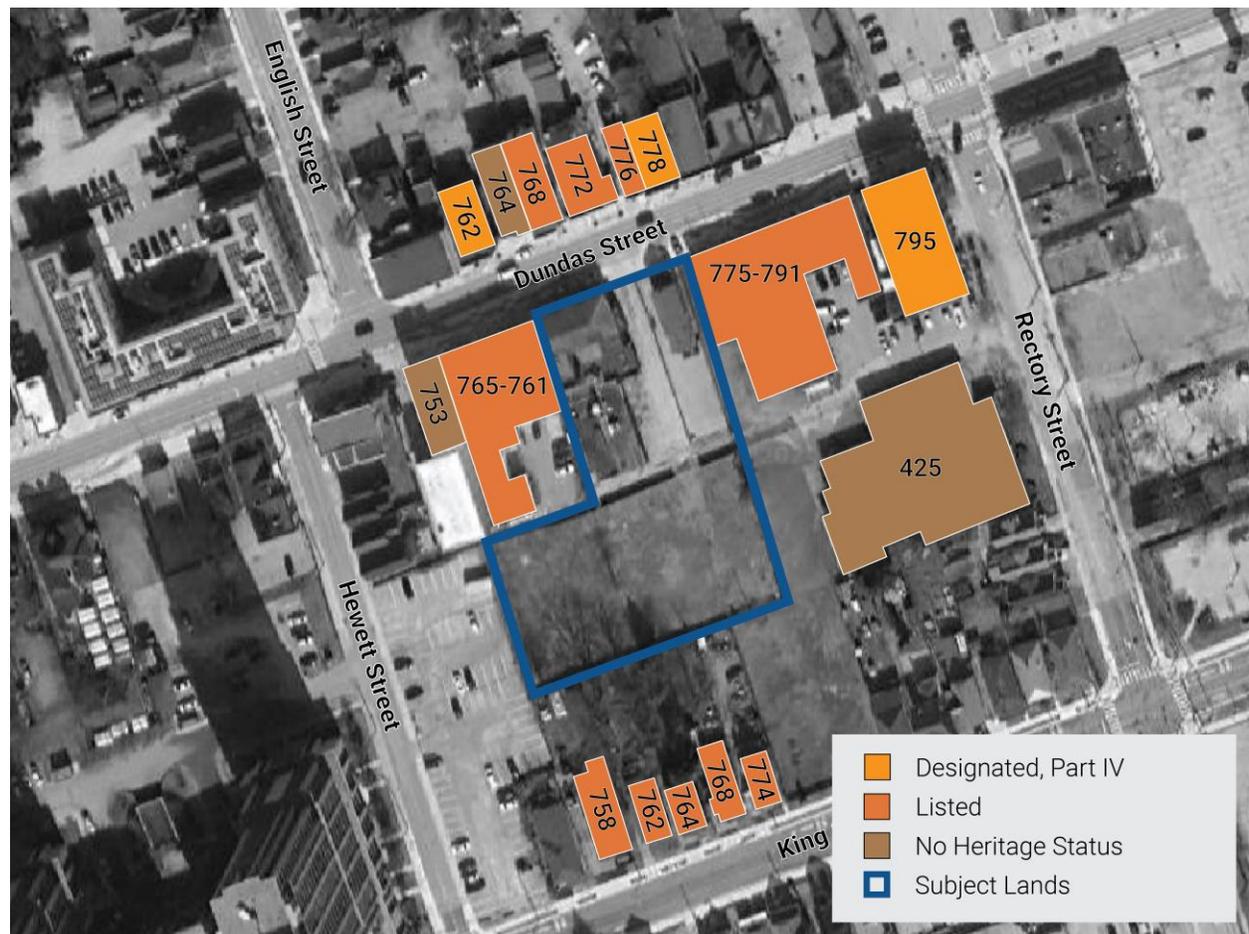
Figure 3 – The former Queen's Hotel at 763-769 Dundas Street, pictured in 1967 (London Free Press, 1967)



3.3 Adjacent Properties

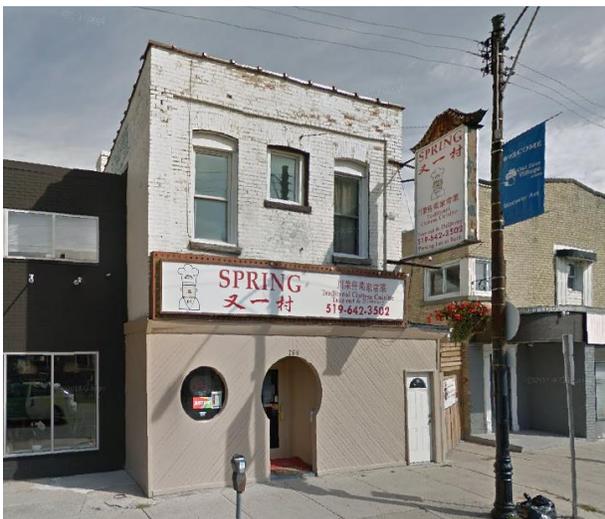
This Heritage Impact Assessment must also consider properties adjacent or across from the subject lands. There are sixteen properties that have views of the subject lands from their front, rear, or side elevations (shown below in Figure 4). Thirteen of these properties have been listed on the City's Register of Cultural Heritage Resources and are identified as having Cultural Heritage Value or Interest (shown in dark orange). Of these, three properties are designated under Part IV of the Ontario Heritage Act (light orange). The tables on the following pages provide details as to each properties date of construction, heritage status, architectural style, and notable features.

Figure 4 – The subject lands and adjacent properties, marked by heritage status (designated or listed)



	Address	755-761 Dundas Street
	Heritage Status	Listed
	Constructed	1889-1906
	Style	Italianate
	Notable Features	Two-storey attached Red brick with stone bands above/below windows Arched brick corbel band along the parapet Four bays divided by corbelled pilasters Storefronts modified with faux stone and metal siding

	Address	762 Dundas Street
	Heritage Status	Designated Part IV
	Constructed	1931
	Style	Art Deco
	Notable Features	Two-storey semi-detached Red brick with stone accents Symmetrical frontispiece with geometric and fluted details Inscribed stone panel above entrance and decorative medallion at the parapet Brick pilasters and recessed window surrounds

	Address	768 Dundas Street
	Heritage Status	Listed
	Constructed	1865-1888
	Style	
	Notable Features	Two-storey semi-detached Painted brick Segmental arches with brick voussoirs Horizontal brick band above second storey windows Heavily modified storefront with rounded fenestration

	Address	772 Dundas Street
	Heritage Status	Listed
	Constructed	1865-1888
	Style	
	Notable Features	Two-storey detached Buff brick with wood accents Brick corbel band below parapet, diagonal brick detail Modern storefront and second storey windows

	Address	775-791 Dundas Street
	Heritage Status	Listed
	Constructed	
	Style	
	Notable Features	Single storey detached Modified façade with stucco and faux stone Nine bays divided by pilasters Exaggerated cornice

	Address	776 Dundas Street
	Heritage Status	Listed
	Constructed	1885
	Style	Italianate
	Notable Features	Two-storey semi-detached Buff brick Brick corbel band below parapet, diagonal brick detail Segmental arches with brick voussoirs above second-storey windows Brick storefront with varied vertical/horizontal pattern



Address	778 Dundas Street
Heritage Status	Designated Part IV
Constructed	1886
Style	Italianate
Notable Features	Two-storey attached Bichromatic brick Decorative brick detailing at cornice, frieze and architrave Segmental arches above windows with brick voussoirs Corbelled pilaster offset from centre, separating two bays Modified storefront finishes



Address	795 Dundas Street
Heritage Status	Designated Part IV
Constructed	1883
Style	Italianate
Notable Features	Two-and-a-half storey Bichromatic brick with stone Projecting central tower above door (spire removed) Paired or tripled windows with central round arches Corbelled brackets at cornice Mansard roof with gabled dormers



Address	758 King Street
Heritage Status	Listed
Constructed	1886
Style	
Notable Features	Single storey detached Red brick with concrete lintels Hip roof Heavily modified exterior



Address	762 King Street
Heritage Status	Listed
Constructed	1891
Style	
Notable Features	Single storey detached Buff brick Low-pitch hip roof and central gabled dormer Stained glass transom above front window Segmental arch openings with brick voussoirs



Address	764 King Street
Heritage Status	Listed
Constructed	1923
Style	Edwardian
Notable Features	Two-and-a-half storey Red brick with rough stone Full-width front porch Brick chimney Partly-shingled front gable with small attic window Exaggerated stone lintels and sills with smooth finish



Address	768 King Street
Heritage Status	Listed
Constructed	1901
Style	
Notable Features	One-and-a-half storey Buff brick, stone foundation Medium-pitched front gable with gabled dormer on the (west) side elevation Partial front porch Stain glass round arch transom above front window Stain glass above front door

	Address	774 King Street
	Heritage Status	Listed
	Constructed	1904
	Style	Victorian – Queen Anne
	Notable Features	One-and-a-half storey
		Buff brick, stone foundation
Decorative wood gable on front façade with fish scale shingles and bargeboard		
Round arch transom above front window, brick voussoirs		
Partial width porch and segmental arches		

3.4 Summary + Evaluation of Key Heritage Attributes

Three of the sixteen properties identified in Figure 4 are designated under Part IV of the OHA and have well-established cultural heritage value or interest (762, 778, and 795 Dundas Street). An additional three properties (753 and 764 Dundas Street, 425 Rectory Street) have no identified value or interest and were not evaluated. The remaining ten properties and the two buildings on the subject lands (listed on the Register) have been evaluated under *Ontario Heritage Act Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*. Per *Reg. 9/06*, properties fronting onto Dundas Street would have “contextual value” related to “defining, maintaining or supporting the character of an area” (7) and because they are “physically, functionally, visually or historically linked” (8) to the Old East Village Main Street. These properties are historical but lack the architectural merit or cultural value to be considered for other criteria under *Reg. 9/06* but overall, they contribute positively to the streetscape.

The following features are found in many of the properties assessed along Dundas Street and support a defined heritage character. Wherever possible, any development proposal considered for the subject lands should not detract from these attributes:

- The consistency in massing and proportionality, including setbacks, building and floor heights, cornices, and structural bays. Collectively, these features contribute to a well-defined heritage character along Dundas Street;
- Large display windows and ground-level openings along the front façade, supporting a main street function and appearance;
- Detailed and ornate masonry, such as voussoirs, pilasters, cornices, and architraves;
- Fenestration arrangements and styles, such as sash windows, round or segmental arches, and stone lintels/sills; and,
- Material palette consisting of stone, red brick, and buff (yellow) brick.

4.0 PROPOSED DEVELOPMENT

The client proposes to develop the subject lands for two new buildings: a six-storey (6ST) mixed-use building fronting Dundas Street (Building 'A'), consisting of 34 residential dwelling units and a ground-floor commercial/community space; and, a twenty-four-storey (24ST) mixed-use building located at the rear of the subject lands (Building 'B'), consisting of 213 dwelling units and ground-floor multi-use space. The proposed development will result in a density of 540 units per hectare (UPH).

The intent of the ground floor commercial/community spaces is to provide opportunities for services related to wellness of the residents of the proposed development and broader community. The client has contacted the London Public Library to explore the possibility of a new branch in the ground floor space of Building 'A', fronting Dundas Street. The ground floor commercial space of Building 'B' is envisioned as a health and wellness space to serve the community, including opportunities for clinics and counselling services (including career counselling).

A conceptual site plan is provided below in Figure 5, and conceptual perspective views are provided on the following page in Figures 6-7.

Figure 5 – Conceptual site plan. Full-size drawings provided in the accompanying architectural submission.

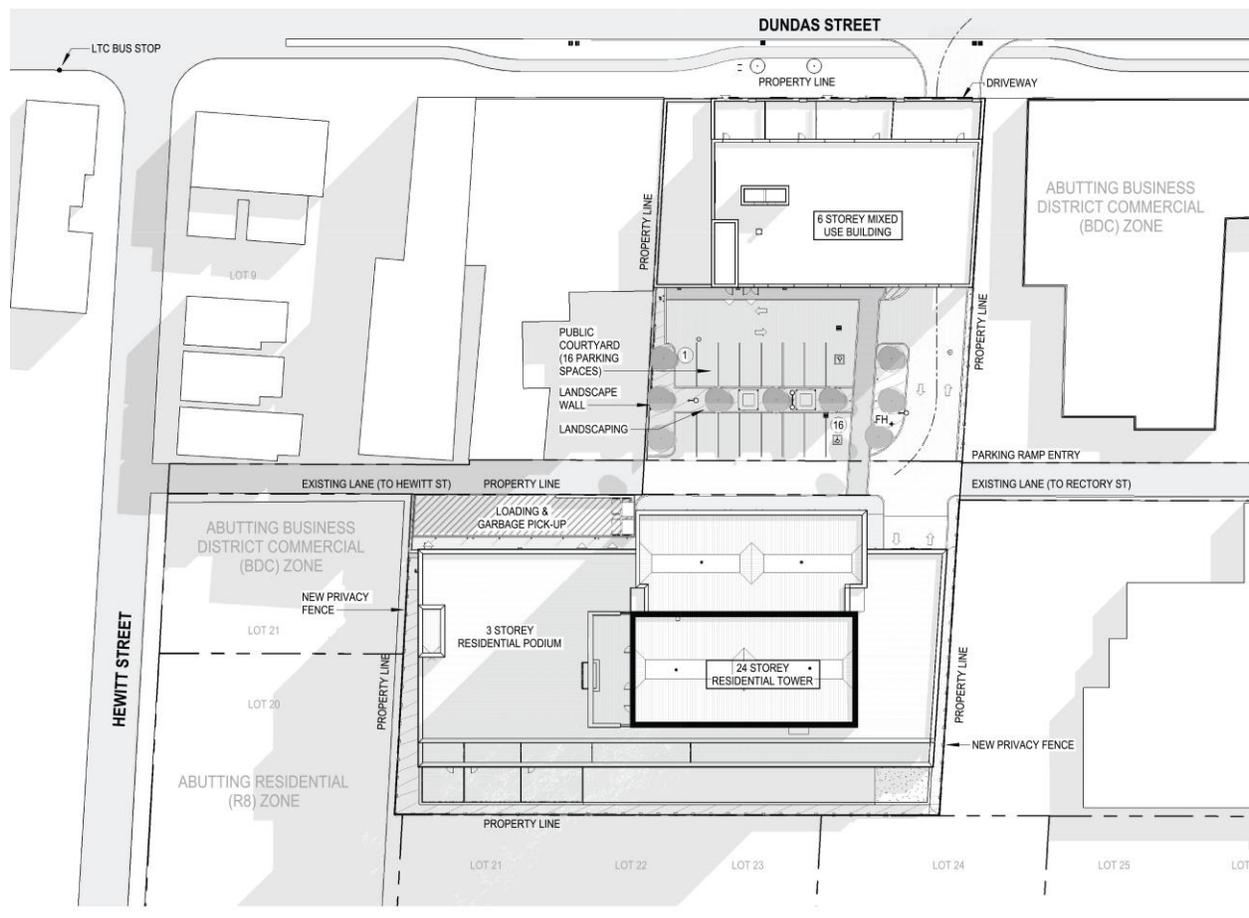


Figure 6 – Perspective view of the proposed six-storey mixed-use building, viewed from Dundas Street



Figure 7 – Aerial view of the proposed twenty-four storey residential building, facing northeast



4.1 Site Design

The proposed site design orients Building 'A' along Dundas Street, providing a continuous street wall (0m setback) with active uses at-grade. Building 'A' will define the outward appearance of the subject lands while complimenting the established main street character of Dundas Street. At the rear of Building 'A', a public courtyard is proposed with limited surface parking, short term bicycle parking, landscaping, and a pedestrian sidewalk connecting Dundas Street to Building 'B'.

The southern portion of the subject lands (opposite an existing laneway) will be occupied by Building 'B', a twenty-four-storey (24ST) residential tower situated on top of a three-storey (3ST) podium. The podium steps down to one-storey in height along the southerly elevation where the subject lands interface with existing single-detached dwellings. A minimum 11.0m step-back is provided above the third storey to separate the tower from adjacent parcels. A community service space will be provided at the ground level of Building 'B', as well as private resident spaces such as a laundry room, mail room, and lobby.

Primary vehicular and pedestrian access to the subject lands is provided from Dundas Street via an enclosed carriage-style driveway (covered by Building 'A'). These facilities will provide access to Building 'B' in the rear yard (including an underground parking garage) as well as loading/delivery spaces. The enclosed carriage driveway is designed to function as a safe and comfortable pedestrian space, activated by a residential lobby entrance (Building 'A') and vision glass providing views to/from ground level common facilities. The driveway is designed to the minimum required width and will be finished with interlocking paving blocks. Secondary access to servicing and parking areas is proposed from an existing laneway connecting Hewitt Street and Rectory Street through the subject lands.

4.2 Massing

Building 'A' is massed to be compatible with the adjacent main street. A three-storey (3ST) podium is situated along Dundas Street (0m setback), supporting a sense of enclosure and pedestrian-oriented streetscape. A deep (5m) step-back is proposed above the third storey, separating the street wall from the upper portion of Building 'A' (six-storeys total). A height reduction and step-back are also proposed along the west interior side lot line, resulting in a cornice line that is consistent with the adjacent two-storey heritage building. The front elevation of Building 'A' will be defined by columns/walls that replicate the rhythm of the Old East Village Main Street where many buildings have multiple bays and storefronts. This massing strategy will ensure the proposed development is consistent with (but distinct from) the surrounding heritage properties.

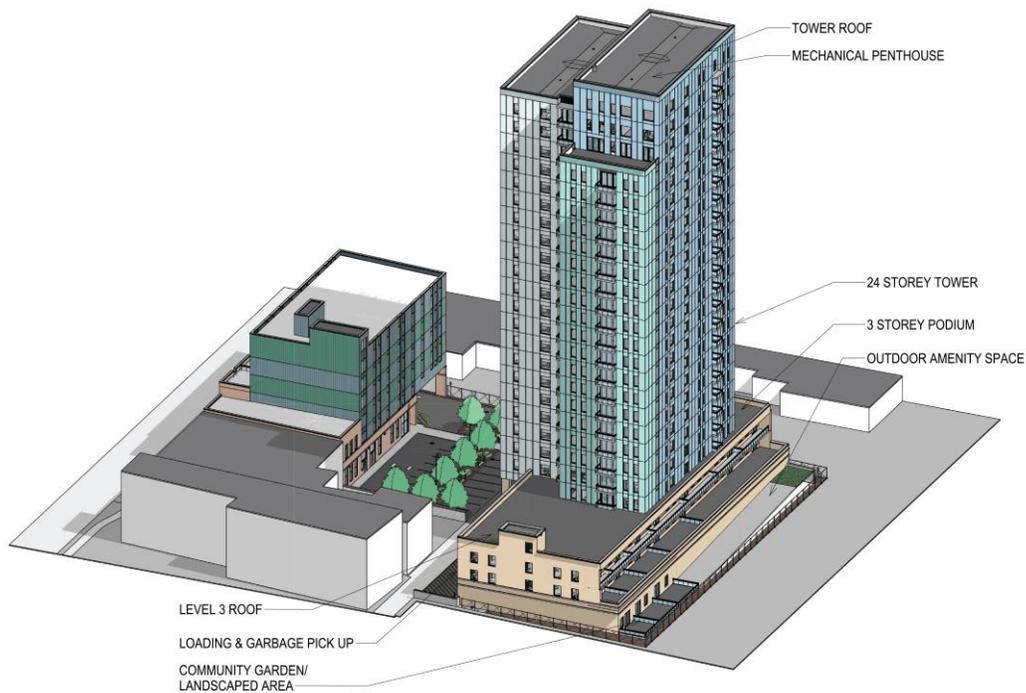
Building 'B' is designed with a three-storey podium with a deep step-back along the east, west, and south elevations. A triple-height colonnade is proposed along the north elevation of Building 'B', providing visual interest and a sense of enclosure at the main entrance (replicating the rhythm of bays/storefronts along Dundas Street). The tower portion is massed with repeatable floor plates with inset balconies and a single-storey step-back at the crown. The proposed height of Building 'B' reflects established standards of the surrounding neighbourhood.

Axonometric views of the proposed development are shown below in Figures 8 and 9 on the following page.

Figure 8 – Axonometric view of proposed building massing and site layout, facing southwest



Figure 9 – Axonometric view of proposed building massing and site layout, facing northeast



4.3 Treatment of Heritage Features

As part of the proposed development, two existing heritage structures will be removed from the subject lands. These buildings are modest and unremarkable examples of the Georgian/Victorian styles and are not considered exceptional in their design or craftsmanship. Their massing also represents a significant gap/interruption in the street wall, with two asphalt driveways that detract from the main street function and heritage character of the street. While these existing buildings cannot be retained as part of the development, proposed Building 'A' will provide a desirable interface along Dundas Street. In addition to the design features discussed throughout Section 4.0, the proposal will also revitalize the Old East Village Main Street by introducing hundreds of new residents and businesses patrons.

4.4 Architectural Detailing + Material Palette

The proposed architectural detailing will support compatibility between the proposed development and the established heritage character of the area. Materials will be applied strategically in coordination with the proposed massing to differentiate podium levels from upper storeys. Lower levels will be clad primarily in brick with stone/concrete accents like many existing buildings along Dundas Street. Brick will be oriented in a running-bond pattern (or similar) with vertical segments at the cornice, around windows, and in a band above the first storey. These details will provide visual interest and are inspired by the architecture of the area. Lower levels are also designed with paired/tripled windows, Juliette balcony enclosures, and other details that reflect the Italianate style.

For upper storeys, the conceptual material palette consists of modern, durable materials that support a contemporary appearance, including precast architectural panels, vision glass, spandrel glazing, and accent materials. The cladding strategy will reinforce the proposed massing/articulation while providing varied appearance along each elevation. The use of coloured architectural panels will create visual interest and distinguish the proposed development from other buildings in the neighbourhood. Each elevation is designed to a similar standard, ensuring a consistent quality throughout the subject lands.

Overall, the proposed material palette and architectural detailing is sympathetic to nearby designated and listed properties. Coloured elevation drawings are provided on the following pages in Figures 10-14.

Note: full-scale elevations are provided as part of the architectural submission package.

Figure 10 – Front (north) elevation of the proposed six-storey mixed use building



Figure 11 – Interior side (east) elevation of the proposed six-storey mixed use building



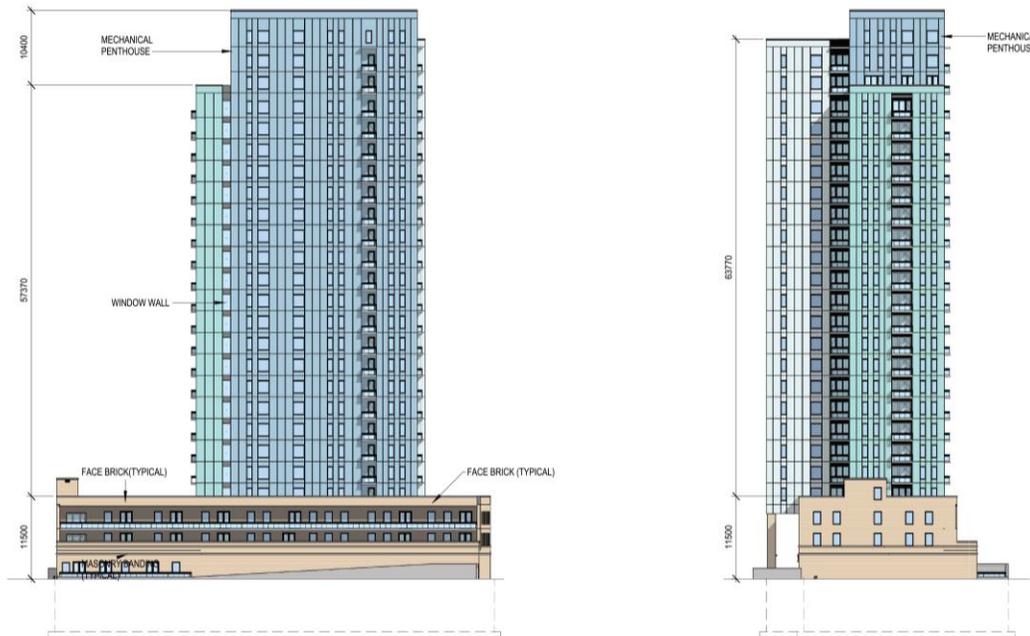
Figure 12 – Rear (south) elevation of the proposed six-storey mixed use building



Figure 13 – Front (north) and interior side (east) elevation of the twenty-four-storey residential building



Figure 14 – Rear (south) and interior side (west) elevation of the twenty-four-storey residential building



5.0 IMPACT ASSESSMENT

The subject lands and many adjacent parcels are listed on the City of London Register of Cultural Heritage Resources. Although only three of the properties assessed in this report are designated under Part IV of the OHA, it is recognized that listed properties are important heritage features that contribute to the character Old East Village Main Street. This section provides an overview of potential impacts on these assets. Consideration will also be given to potential impacts on the overall streetscape.

There are several policies and guidelines in the London Plan that are applicable to the proposed development. These are listed in the tables below and paired with a written response.

5.1 London Plan

CITY DESIGN: CHARACTER (197-210)		
Policy	Text	Response
197	<i>“The built form will be designed to have a sense of place and character consistent with the planned vision of the place type, by using such things as topography, street patterns, lotting patterns, streetscapes, public spaces, landscapes, site layout, buildings, materials and cultural heritage.”</i>	<p>The proposed design will provide a well-designed and proportional building along the Dundas Street frontage, supporting the planned vision for the Old East Village Main Street. The proposed building continues the established street wall, with a deep step-back above the third storey, large openings at street-level, and brick columns/walls that mimic the structural bays of nearby heritage buildings. The proposed architectural treatment and brick detailing reflects the designs of the area while appearing distinct from heritage structures.</p> <p>The high-rise building proposed for the rear yard will support the planned vision of the “Urban Corridor” Place Type including a vibrant pedestrian realm and future planned rapid transit service. The proposed site design will maintain and enhance an existing laneway with a triple-height entrance colonnade and massing that is consistent with the form and height of high-rise buildings west of the subject lands. Building ‘B’ will be clad with brick and stone/concrete at the podium level.</p>

CITY DESIGN: BUILDINGS, MATERIALS (284-305)		
305	<p><i>“Where new development is being constructed adjacent to heritage designated properties, building materials should be sympathetic to the materials and architectural style of the heritage property.”</i></p>	<p>The proposed material palette and architectural detailing is sympathetic to nearby designated and listed properties. Lower levels will be clad primarily in brick, with segments of varied (vertical) patterning provided at the cornice, around windows, and in a horizontal band above the first storey. Features such as the paired/tripled windows (and Juliette balcony enclosures) reflect the Italianate style while appearing distinct from the original buildings.</p>
SPECIFIC POLICIES FOR THE PROTECTION, CONSERVATION AND STEWARDSHIP OF CULTURAL HERITAGE RESOURCES (583-607)		
586	<p><i>“The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved.”</i></p>	<p>As part of the proposed development, two listed heritage structures will be removed from the subject lands. These structures lack the architectural merit to be considered exemplary of the Victorian or Georgian style, and each has been altered significantly from its original state. They were not considered key contributors to the heritage character of the Old East Village Main Street.</p>
RAPID TRANSIT AND URBAN CORRIDORS: MAIN STREET (844-848)		
848.1	<p><i>“Cultural heritage resources shall be conserved in conformity with the Cultural Heritage policies of this Plan and in accordance with the Ontario Heritage Act. Development proposals adjacent to cultural heritage resources will be required to assess potential impact on these cultural heritage resources and design new development to avoid and mitigate such impact.”</i></p>	<p>The proposed development will not have any measurable impact on properties designated under Part IV of the OHA. The proposal will impact cultural heritage resources positively by supporting the regeneration of a historic main street and providing a continuous street wall that is well-proportioned with active uses at-grade. Many details and materials in the proposed building design are inspired by existing heritage buildings along Dundas Street. Potential impact of the proposed development on other cultural heritage resources is evaluated in the following section (Section 5.2).</p>

5.2 Impacts + Conservation Principles

To assess potential negative impacts of the proposed development, this Heritage Impact Assessment considers *InfoSheet #5* from the provincial policy document *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005*. This document lists seven potential negative impacts of new development proximate to heritage resources which are discussed in the following table:

Impact	Response
<p>Destruction of any, or part of any, significant heritage attributes or features.</p>	<p>Two heritage structures will be removed from the subject lands as part of the proposed development. Both are listed on the City’s Register of Cultural Heritage Resources. However, they are considered modest and unremarkable from an architectural heritage perspective, and each has been modified significantly from its original state. They are not considered key contributors to the heritage character of this section of Dundas Street.</p>
<p>Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.</p>	<p>The proposed development is sympathetic to existing heritage properties in the area. The six-storey mixed-use building proposed at the front of the subject lands is massed and scaled to blend with the historic fabric of Dundas Street (step-back above third-storey, continuous street wall, 0m front yard setback, consistent cornice line, etc.). Taller forms, including the 24 ST tower, are situated away from Dundas Street to maintain the historic main street character. The proposed articulation and architectural detailing will also support compatibility, with regular openings at ground level, paired/tripled windows on upper storeys, and varied brick patterns with stone band accents.</p>
<p>Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden.</p>	<p>Shadows resulting from the proposed development reflect established standards in the neighbourhood, as Dundas Street is often shaded by the existing street wall (especially the south sidewalk). This condition is anticipated on a dense and narrow main street. Note: Shadows will not be cast onto any parks or private gardens/yards.</p>
<p>Isolation of a heritage attribute from its surrounding environment, context or a significant relationship.</p>	<p>The proposed development will not result in the relocation of any buildings and therefore will not isolate any heritage attributes.</p>

<p>Obstruction of significant views or vistas within, from, or of built and natural features.</p>	<p>The proposed development will not obstruct any significant views or vistas. The six-storey building proposed for the northern portion of the subject lands will frame the street and fill a gap in the established street wall while maintaining appropriate proportionality and scaling.</p>
<p>Land Use Change such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.</p>	<p>The proposed redevelopment will result in the introduction of a new land use (residential) at a greater intensity than the current use of the subject lands. The commercial/community space (and residential lobby) proposed at the ground level represent a continuation of the historic function of the subject lands and will contribute positively to the function of the Old East Village Main Street.</p>
<p>Land Disturbance such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.</p>	<p>It is not anticipated that the proposed development will cause any adverse affects to heritage resources by way of land disturbance. Infill and building additions are a common type of development and potential impacts (such as vibration) can be mitigated during the construction phase.</p>

Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005 also sets out eight principles for the conservation of historic properties (discussed below):

Principle	Response
<p>Respect for Documentary Evidence</p>	<p>This HIA was prepared with regard for the documentary evidence, including a 2022 Cultural Heritage Evaluation Report by Stantec Consulting. The existing buildings on the subject lands will be documented before their demolition as required.</p>
<p>Respect for Original Location</p>	<p>No buildings are proposed to be moved off-site as part of the proposed development. The existing buildings are not considered to be exemplary and do not have significant architectural merit.</p>
<p>Respect for Historic Material</p>	<p>The proposed development is finished in materials that are commonly found in the area, primarily brick with stone accents. These materials will respect the established character and material palette along the Old East Village Main Street.</p>
<p>Respect for Original Fabric</p>	<p>The proposed design will respect the fabric of the area, with brick detailing inspired by proximate Italianate and Victorian buildings.</p>

Respect for the Building's History	The proposed development will reintroduce a communal and commercial function to the subject lands, similar to the historic function of 763-769 Dundas Street (hotel).
Reversibility	The proposed changes to the subject lands will not be reversible; however, the existing heritage buildings will be documented before their removal if deemed necessary.
Legibility	The proposed development will be distinguishable from existing heritage structures through massing, fenestration patterns, material treatments, and other elements discussed throughout this report. During the detail design stage, it is recommended that material details and architectural features (such as reveals) be used to further differentiate the proposed addition from the existing heritage buildings.
Maintenance	The proposed development will not impact the maintenance of any existing heritage structures.

6.0 MITIGATION RECOMMENDATIONS

Overall, the proposed development largely meets the heritage goals and objectives set out by the Province of Ontario and City of London. While the proposed development generally represents an appropriate and compatible form of development, this Assessment concludes with some minor recommendations that would improve its function and appearance along the Old East Village Main Street:

1. Ensure future tenants of the ground floor community/commercial spaces serve a public function, offering amenity for residents of the proposed development as well as the surrounding neighbourhood. The former Queen's Hotel at 763-769 Dundas Street played an important role in public life from its opening in the 1860s through its closure in 1982. A London Public Library branch or other community use would return a public element to the subject lands that would enhance this section of Dundas Street and the broader Old East Village; and,
2. During the detail design stage, it is recommended that signage designed to contribute to the streetscape along Dundas Street. A variety of sign typologies can be found along the Old East Village Main Street, including building-mounted, blade-style projecting panels, awnings, posts/pylons, and window displays. A combination of these (and others) should be used to support a vibrant pedestrian realm.

The proposed development exemplifies the intent of the relevant provincial and municipal policies, and the above recommendations are provided for consideration only. Overall, the proposal represents a positive addition along Dundas Street and will serve as a good example of intensification along a historic main street.

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EDUCATION

Master of Architecture (M.Arch), Carleton University, 2024

Bachelor of Urban and Regional Planning (B.U.R.PI), Toronto Metropolitan University, 2016

PROFESSIONAL EXPERIENCE

Planner/Urban Designer, Zelinka Priamo Ltd., 2016 to Present

Architectural/Interior Designer, Freelance, 2020 to 2022

PUBLICATIONS AND AWARDS

Paper Presentation/Panelist, Society for the Study of Architecture in Canada 49th Annual Conference, 2024

Recipient, Azrieli School of Architecture & Urbanism Departmental Scholarship, 2019 to 2024

Finalist, Canadian Centre for Architecture Charrette, 2019

Winner, Reimagining O'Keefe Lane Design Competition, 2016

Recipient, Ryerson University SURP Award for Superior Performance in Design, 2013

Recipient, Ryerson University Dean's Essay Prize, 2013

PROFESSIONAL ASSOCIATIONS

Member, Society for the Study of Architecture in Canada

SELECT PROJECT EXPERIENCE

Heritage Impact Assessments

566-578 Colborne St – Intensification of a Part IV Property

Victor Anastasiadis

763-773 Dundas St – Redevelopment of a Listed Property

London Cross Cultural Learning Centre

Urban Design Briefs, UDPRP

18 Elm St – Four-storey affordable housing building with daycare

Housing Development Corporation

30 & 100 Villagewalk Blvd – Three twelve-storey apartment buildings

Auburn Developments

101-107 Base Line Rd W – Nine-storey apartment building

Bluestone Properties

129 Pond Mills Rd – Eleven-storey apartment building

Bluestone Properties

Old Victoria Hospital – Seven-building affordable housing development

Vision SoHo Alliance

415 Oxford St W – Two 22-storey apartment buildings and open space

Rand Developments

735 Southdale Rd W – Four apartment buildings with public open space

Royal Premier Homes

954 Gainsborough Rd – Nine-storey apartment building and townhouses

Royal Premier Homes

1390 Dundas Street – Five-storey long-term care facility

Southbridge Healthcare LP

1521 Sunningdale Rd W – Plan of Subdivision (residential)

Auburn Developments

2525 Sheffield Blvd – Two apartment buildings with open space

Bluestone Properties

Planning & Design Reports

21-41 Meadowlily Rd N – 84-unit cluster townhouse development	Royal Premier Homes
129 Meadowlily Rd S – 166-unit cluster townhouse development	Damas Development & CHAM
129-131 Base Line Rd W – Fourteen-storey apartment building	Royal Premier Homes
537 Crestwood Drive – Single-detached dwelling	Star Homes
608 Commissioners Rd W – Six-storey apartment building	Copia Developments
1235 Richmond St – Unit reconfiguration in existing apartment building	Adobe Varsity Living
2060 Dundas St – Six-storey apartment building	

Due Diligence Reports

171 St. George St – Determining historic land use permissions	Scott Petrie LLP
240 Waterloo St – Land use permissions	Creative Property Developments
301 York St – Land use permissions and massing model	
533 Clarence St – Building assessment	
1574 Gore Rd – Land use permissions	Perfect Concept Realty

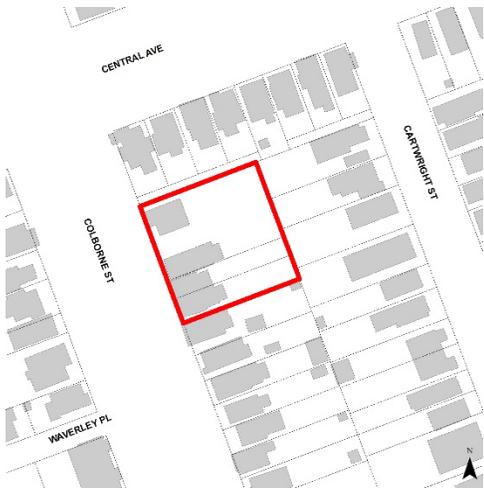
COMMITTEES AND VOLUNTEER WORK

Committee Member, Houses Opening Today Toronto (HOTT), Housing Development & Proposals Committee
Labourer/Fundraiser, Habitat for Humanity

NOTICE OF PLANNING APPLICATION & PUBLIC MEETING

Zoning By-law Amendment

566-578 Colborne Street



File: Z-9775

Applicant: 869797 Ontario Limited (c/o Zelinka Priamo Ltd.)

What is Proposed?

Zoning amendment to allow:

The subject lands are to be intensified with the addition of two (2), 3-storey stacked townhouse buildings, at the rear of the existing buildings on the subject lands:

- The lodging houses are to be converted into 3-unit dwellings;
- The proposal results in a total of 18 units, with 9 parking spaces provided.

Further information regarding this application can be found at london.ca/planapps

LEARN MORE & PROVIDE INPUT

You are invited to provide comments for consideration by Council, and/or attend a public meeting of the Planning and Environment Committee at which Council will consider this application, to be held:

Meeting Date and Time: Tuesday, October 22, 2024, no earlier than 1:00 p.m.

Please monitor the City's website closer to the meeting date to find a more precise meeting start time: <https://london.ca/government/council-civic-administration/council-committee-meetings>

Meeting Location: The Planning and Environment Committee Meetings are hosted in City Hall, Council Chambers; virtual participation is also available, please see City of London website for details or contact pec@london.ca.

For consideration by Council, comments must be provided by **September 20, 2024**.

For more information and/or to provide comments:

Brent House
bhouse@london.ca
519-661-CITY (2489) ext. 4078
Planning & Development, City of London
London ON PO Box 5035 N6A 4L9
File: Z-9775

You may also discuss any concerns you have with your Ward Councillor:

Councillor David Ferreira
dferreira@london.ca
519-661-CITY (2489) ext. 4013

**If you are a landlord, please post a copy of this notice where your tenants can see it.
We want to make sure they have a chance to take part.**

Application Details

Requested Zoning By-law Amendment

To change the zoning from a Residential R3 (R3-2) Zone & a Residential R11 Zone to a Residential R5 Special Provision (R5-7(_)) Zone with special provisions to implement the proposed 3-storey stacked townhouse buildings, and recognize the existing conditions of the heritage buildings on site.

The City may also contemplate alternative zoning such as a different base zone, additional permitted uses, additional special provisions (i.e. height and/or density), and/or the use of holding provisions.

The London Plan and the Zoning By-law are available for review at london.ca.

At this time there are no other applications, under the Planning Act, R.S.O. 1990, c. P.13, as amended, pertaining to the subject lands..

Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at docservices@london.ca.

Right to Appeal to the Ontario Land Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed by-law passed the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed by-law passed the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Bridgette Somers, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

Accessibility

The City of London is committed to providing accessible programs and services for supportive and accessible meetings. We can provide you with American Sign Language (ASL) interpretation, live captioning, magnifiers and/or hearing assistive (t coil) technology. Please contact us at plandev@london.ca by October 15, 2024, to request any of these services.

Site Concept

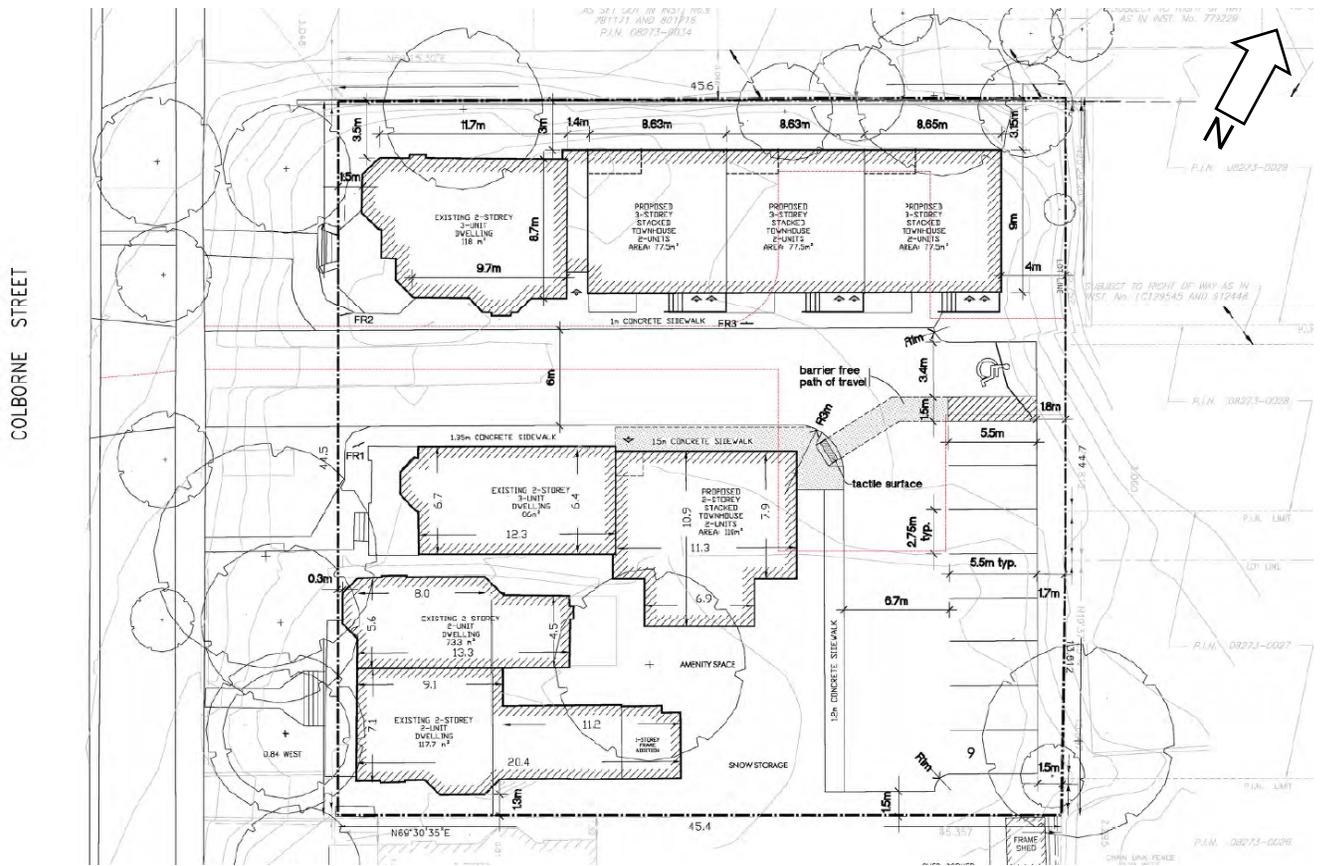


Figure 1: Conceptual Site Plan

The above image represents the applicant's proposal as submitted and may change.

Building Renderings



Figure 2: North and South Elevations of 578 Colborne Street



Figure 3: North and South Elevations of 572 Colborne Street.



Figure 4: East and West Elevations of 572-578 Colborne Street.

The above images represent the applicant's proposal as submitted and may change.

Heritage Impact Assessment

Victor Anastasiadis
566-578 Colborne Street



July 12, 2024



EXECUTIVE SUMMARY

Zelinka Priamo Ltd. was retained by Victor Anastasiadis (“the client”) to prepare a Heritage Impact Assessment (“HIA”) for the proposed rezoning and subsequent redevelopment of the lands known municipally as 566, 568, 572 and 578 Colborne Street (hereinafter referred to as the “subject lands”). Each property is designated under Part V of the Ontario Heritage Act as part of the West Woodfield Heritage Conservation District, and each is assigned a C-Rating in the City of London’s Register of Cultural Heritage Resources. The proposed development consists of four (4) two-and-a-half storeys stacked townhouse buildings designed as rear additions to the existing two-and-a-half storey triplex buildings at 572 and 578 Colborne Street. The existing duplex dwellings at 566 and 568 Colborne Street will not be altered substantially as part of the proposed development.

This HIA will identify and evaluate the heritage value of the subject lands and adjacent properties; determine potential impacts on the identified heritage resources, based on the relevant provincial and municipal policies and guidelines; and, propose mitigation measures to minimize (or avoid) negative impacts on the identified heritage resources. This Assessment will have particular regard for the siting, massing, architectural detailing, and materiality of the proposed development, as these factors have the greatest impact on heritage resources. Other impacts, such as landscaping, will also be considered.

Overall, the proposed development meets many of the goals and objectives of the relevant provincial and municipal policy documents, especially the West Woodfield Heritage Conservation District Plan. The proposed development includes the following elements that will mitigate potential impacts on existing heritage attributes:

- All existing heritage buildings on the subject lands will be retained and restored in-place;
- The appearance of the subject lands from Colborne Street will remain mostly unaltered, with the stacked townhouse additions located entirely at the rear of the subject lands (screened from the streetscape by existing buildings);
- The proposed height, massing, and scale of the additions will ensure the new construction appears subordinate to, and discernable from, the existing heritage buildings;
- Parking and vehicular areas will be located in the rear yard, screened from the public realm;
- The proposed development will not negatively affect the appearance of (or views from) adjacent heritage properties and will not result in substantial shadow impacts in front or exterior side yard areas. Fencing, vegetation screening, and visual buffers will be provided along external lot lines where necessary; and,
- No change in land use is proposed, and the subject lands will continue to be used for low-density residential purposes.

While the proposed development generally represents an appropriate and compatible form of development that conforms with the policies and recommendations of the West Woodfield Heritage Conservation District Plan, this Assessment contains some minor recommendations that would further mitigate potential impacts on the identified heritage attributes (see Part 6.0).

In conclusion, the proposed development meets the goals of the Provincial Policy Statement, 2020, the London Plan, and the West Woodfield Heritage Conservation District Plan, and conforms to the policies and guidelines established therein. While some minor changes and refinements are offered for consideration, the proposed development exemplifies the intent of the relevant provincial and municipal policies and serves as a good example of intensification in a Heritage Conservation District. Several other properties in the neighbourhood have been densified and developed with rear additions similar to that of the proposal. These projects demonstrate that demand for new housing can be accommodated while remaining sensitive to important heritage assets. It is our opinion that the proposed development will provide another positive case study in this form intensification that will contribute to the longevity of the subject lands and broader West Woodfield neighbourhood.

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1.0 INTRODUCTION

Zelinka Priamo Ltd. was retained by Victor Anastasiadis to prepare a Heritage Impact Assessment for the proposed redevelopment of the lands known municipally as 566, 568, 572, and 578 Colborne Street. The proposed development consists of four (4) two-and-a-half storey stacked townhouses designed as rear extensions to two (2) existing two-and-a-half storey residential buildings with the municipal addresses of 572 and 578 Colborne Street.

This HIA is being submitted to the City of London as part of a Zoning By-law Amendment application to permit the proposed development. The purpose of this Assessment is to evaluate the impact of the proposal on the City's built heritage resources, including the existing heritage structures on the subject lands and those of the surrounding West Woodfield Heritage Conservation District. Many structures are listed under Part V of the Ontario Heritage Act (OHA) as part of the Heritage Conservation District ("HCD") or are designated individually under Part IV of the OHA. Each building (regardless of designation status) is also assigned a rating in the City of London's Register of Cultural Heritage Resources, classifying its historical significance on a scale of from 'A' to 'D'.

This HIA will identify and assess the value of the heritage structures on and adjacent to the subject lands; identify the potential impacts of the proposed development on the identified heritage resources; and, evaluate the significance of the heritage resources and potential impacts of the proposed development in the context of the relevant provincial and municipal policies and guidelines regarding the conservation of built heritage resource. The HIA will conclude with a summary and conservation recommendations.

2.0 HERITAGE ASSESSMENT POLICIES + GUIDELINES

The Province of Ontario and the City of London have established policies, guidelines, and terms of reference for the protection and conservation of built heritage resources. This section provides an overview of the relevant documents, as well as relevant definitions.

2.1 The Planning Act

The *Planning Act* is provincial legislation that provides a framework for land use planning in Ontario. The *Planning Act* defines matters of provincial interest in Part I, and identifies that (2) the Minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as (d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.

2.2 The Provincial Policy Statement, 2020

The *Provincial Policy Statement* (PPS), issued under the authority of Section 3 of the *Planning Act* and updated in 2020, provides policy direction on matters of provincial interest related to land use planning to ensure efficient development, economic resilience, and the protection of natural resources. All planning applications required to be consistent with the policies of the PPS, including the following provisions relating to heritage conservation:

1.7.1 Long-term economic prosperity should be supported by (e) encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes.

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

The following relevant terminology is defined in Section 6.0 of the PPS:

Adjacent lands (for the purposes of policy 2.6.3) means those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan.

Built heritage resource means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous

community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers.

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

Cultural heritage landscape means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.

Heritage attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property).

Protected heritage property means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

Significant (in regard to cultural heritage and archaeology) means resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.

2.3 The Ontario Heritage Act

The Ontario Heritage Act (OHA), R.S.O, 1990, c.0.18 (updated 2023) provides policy direction relating to the identification and conservation of cultural heritage resources in the Province of Ontario. Under Part IV of the OHA, individual properties can be designated by the municipality or by the Minister, while Part V provides for the designation of Heritage Conservation Districts (HCD) encompassing multiple properties. HCDs are intended to manage changes within a specified area of a municipality to ensure the established cultural heritage value is maintained and protected.

The subject lands are not designated under Part IV of the Ontario Heritage Act, but they are located within the West Woodfield Heritage Conservation District (“WWHCD”) which is designated under Part V. This HIA considers the policies of Part V and will evaluate the proposed development in relation to the designations, policies, and guidelines of the West Woodfield Heritage Conservation District Plan to determine if the proposed additions are compatible with the established character of the West Woodfield neighbourhood.

The following terms are defined in Section 1 of the OHA:

Alter means to change in any manner and includes to restore, renovate, repair or disturb.

Heritage attributes means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest

2.4 The London Plan

The London Plan was adopted by City Council and approved by the Province of Ontario on December 28, 2016. At the time of Provincial approval, the London Plan was appealed to the Ontario Land Tribunal (OLT). Through an OLT decision on May 25, 2022, the final phase of policy appeals were resolved, though several site-specific appeals remain active. The London Plan sets out policies that pertain to properties listed on the *City of London Register of Cultural Heritage Resources*, including the subject lands, while also governing development on adjacent parcels. The following general objectives from The London Plan regarding cultural heritage resources apply to the proposed development, a detailed policy review is provided in Section 5.0 of this HIA:

154 *Through our urban regeneration efforts we will (3) encourage the conservation, restoration, and appropriate use of cultural heritage resources.*

554 *In all of the planning and development we do, and the initiatives we take as a municipality we will:*

- 1. Promote, celebrate, and raise awareness and appreciation of London’s cultural heritage resources.*
- 2. Conserve London’s cultural heritage resources so they can be passed on to our future generations.*
- 3. Ensure that new development and public works are undertaken to enhance and be sensitive to our cultural heritage resources.*

565 *New development, redevelopment, and all civic works and projects on and adjacent to heritage designated properties and properties listed on the Register will be designed to protect the heritage attributes and character of those resources, to minimize visual and physical impact on these resources. A heritage impact assessment will be required for new development on and adjacent to heritage designated properties and properties listed on the Register to assess potential impacts and explore alternative development approaches and mitigation measures to address any impact to the cultural heritage resource and its heritage attributes.*

586 *The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved.*

The London Plan defines

Adjacency means “sites that are contiguous; sites that are directly opposite a cultural heritage resource separated by a laneway, easement, right-of-way, or street; or sites which a proposed development or site alteration has the potential to impact identified visual character, streetscapes or public views as defined within a statement explaining the cultural heritage value or interest of a cultural heritage resource”

Conservation means “actions or processes that are aimed at safeguarding the heritage attributes of a cultural heritage resource so that it retains its cultural heritage value or interest and extends its physical life. This may involve preservation, rehabilitation, restoration or a combination of these actions or processes.”

Cultural heritage landscape means “a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Aboriginal Community. The area may involve features such as structures, spaces, archaeological sites, or natural elements that are valued together for their interrelationship, meaning or association. Such a cultural heritage landscape is valued by Londoners and is of significance to an understanding of the histories of a people or place.”

Cultural heritage resource means “a human work or a place that gives evidence of human activity or has spiritual or cultural meaning or value, and which has been determined to have historic value. Cultural heritage resources include both the physical and intangible resources, properties protected under the Ontario Heritage Act, built heritage resources, cultural heritage landscapes, archaeological resources, paleontological resources and both documentary and material heritage.”

Intensification means “the development of a property, site, or area at a higher density than currently exists. Intensification adds one or more residential units to a site, or creates one or more additional lots from an existing lot.”

Streetscape means “the combination of visual and structural elements including such things as the street right-of-way, the design and placement of buildings, street trees, landscape elements, street furniture, lighting, and signage.”

Street wall is “the condition created when the front façades of a series of buildings are aligned facing a street to create a sense of definition, enclosure, and a level of protection from the weather along a streetscape. It is an important feature of designing a street to be comfortable for pedestrians. The term street wall does not necessarily imply that buildings are joined together.”

2.5 West Woodfield Heritage Conservation District Plan

In October 2007, Stantec Consulting in association with Nexus Architects, Ecoplans Limited, and Michael Baker (by direction of Council), completed a Heritage Conservation District Study for the West Woodfield neighbourhood. This Study inventoried and evaluated the architectural and streetscape characteristics of the neighbourhood and assessed its collective heritage value. Following the completion of this Study, Stantec et al drafted a Heritage Conservation District Plan to establish a framework by which the identified heritage attributes can be conserved, managed, and enhanced in response to development and change over time. The West Woodfield Heritage Conservation District Plan (“WWHCD Plan”) was released in August 2008, and on March 9, 2009, the City of London designated the neighbourhood as a Heritage Conservation District under Part V of the Ontario Heritage Act (By-Law L.S.P.-3400-254).

The HCD designation offers long term protection of the neighbourhood’s important and identifiable historic resources, while the WWHCD Plan is intended to manage future development in the area. The WWHCD Plan establishes policies and guidelines for any alterations, additions, infrastructure improvements, or other forms of development, ensuring they are consistent with the established character of the area or and will not detract from, or result in the loss of, key heritage attributes. According to Section 1.5 of the Plan, “it is the streetscape that is the focus of a heritage conservation district...” and the HCD “will not affect the construction of an addition on the back of a house” (Section 8.0).

An overview of the relevant goals and objectives of the WWHCD Plan (Section 3.1) is provided below:

Overall Heritage Conservation District: *Recognize, protect, enhance and appreciate West Woodfield’s cultural heritage resources, including buildings, landscapes and historical connections, and value their contribution to the community, including:*

- *Encouraging the retention, conservation and adaptation of the District’s heritage buildings and attributes, as described in the Study and Plan, rather than their demolition and replacement.*

Buildings: Avoid the destruction and/or inappropriate alteration of the existing building stock, materials and details, including:

- Encouraging sensitive restoration practices that make gentle and reversible changes, when necessary, to significant heritage buildings

Streetscape: Maintain and enhance the visual, contextual and pedestrian oriented character of West Woodfield's streetscape and public realm, including:

- Maintaining existing street trees, vegetation and boulevards and develop replacement programs where necessary to ensure tree canopy retention over time

Land Use: Maintain the low-density residential character of the West Woodfield Heritage Conservation District as the predominant land use, while recognizing that certain areas of the District already have or are intended for a wider range of uses, including:

- Establishing policies that will consider and mitigate the potential impacts of non-residential or higher intensity residential uses on the heritage character of low-density residential areas.
- Developing area or site-specific policies and guidelines for those areas intended for non-residential or higher intensity residential uses that will protect key heritage attributes, while allowing greater latitude for potential alterations or redevelopment.
- Ensuring that infill development or redevelopment is compatible with the heritage character and pedestrian scale of the District.

Process: Ensure that the permit approvals process for the West Woodfield Heritage Conservation District is effective, streamlined and easily understood.

Additionally, the following principles are outlined in Section 3.2 of the WWHCD Plan:

Preserve the Historic Context

Maintain and Repair

Find a Viable Social or Economic Use

Preserve Traditional Setting

Preserve Original Decoration and Fittings

Restore to Authentic Limits

Employ Traditional Repair Methods

Respect Historic Accumulations

Make New Replacements Distinguishable

Avoid Additions

Document Changes

An in-depth review of relevant policies and design guidelines of the WWHCD Plan is provided in Part 5.0 of this Heritage Impact Assessment.

2.5.1 Heritage Rating

As part of the West Woodfield Heritage Conservation District Study, each property in the neighbourhood was assigned a letter-grade rating to quantify their contribution to the heritage character of the area. The rating system is described as follows in the WWHCD Plan:

“Within the West Woodfield Heritage Conservation District, a large proportion of buildings have been designated under Part IV of the Ontario Heritage Act or listed in the City of London’s Inventory of Heritage Resources. There are also a number of properties that are neither listed nor designated yet retain their heritage value and architectural significance. All of these properties were assessed and identified in Phase 1 of this Study with A, B, or C ratings. The assessment also ranked some buildings as ‘D’. These buildings have lost or irreversibly altered their original heritage features and/or lack architectural character within their new or old design...Despite a building’s architectural rating, all buildings contained within the heritage district are protected and governed by the policies and guidelines of this plan.”

All four properties that comprise the subject lands are currently assigned C-ratings under the WWHCD Plan. C-ratings are typically assigned to those properties that have been altered but still contribute to the overall streetscape.

2.6 Impact Assessment Criteria

The impact assessment on cultural heritage resources is based on the impacts as defined by *Infosheet #5 Heritage Impact Assessments and Conservation Plans* prepared by the Ontario Ministry of Heritage, Sport, Tourism and Culture Industries. Impacts to heritage resources may be direct or indirect. Direct impacts include:

Destruction of any, or part of any, significant heritage attributes or features.

Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.

Indirect impacts do not cause destruction or alteration of the cultural heritage resource, but may include:

Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden.

Isolation of a heritage attribute from its surrounding context or a significant relationship.

Obstruction of significant views or vistas within, from, or of built and natural features.

A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.

Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archeological resource.

In addition, the potential for indirect impacts resulting from vibration resulting from construction activities should be considered. For the purpose of this HIA, this impact has been categorized under “land disturbances”.

2.7 Other Considerations

The City of London does not have a Terms of Reference (TOR) document to establish the required contents of a Heritage Impact Assessment report. TOR for other municipalities in Ontario were referenced in the preparation of this HIA. The requirements established in these TOR are derived from the policies of the Provincial Policy Statement, 2020 (specifically cultural heritage and land use planning) and may be considered for other municipalities in the province.

3.0 SUBJECT LANDS + CONTEXT

This section will examine the defining characteristics of the subject lands and the broader West Woodfield neighbourhood with an emphasis on heritage elements. For this Heritage Impact Assessment, the boundaries of West Woodfield neighbourhood will be Pall Mall Street/Central Avenue (north), Maitland Street (east), Queens Avenue/Dufferin Street (south), and Richmond Street (west), as shown in Figure 1. These streets also define the outer limit of the WWHCD.

Figure 1 – The West Woodfield Heritage Conservation District and subject lands



3.1 West Woodfield Neighbourhood

The West Woodfield neighbourhood is described as the “heart of historic London” in the WWHCD Plan. Much of the neighbourhood was established between 1880 and 1914 during a period of growth and economic prosperity, and contains homes, churches, and schools built for the city’s business and social elite. The origins of the neighbourhood are reflected in the quantity of well-crafted buildings in the area, including several excellent and well-preserved examples of many architectural styles. All properties in the neighbourhood are designated pursuant to Part V of the Ontario Heritage Act as part of the WWHCD, and many are individually designated under Part IV.

The neighbourhood is arranged on a grid of public streets, complimented in some areas by rear laneways that consolidate vehicular access and parking. Many streets are broad while others (such as Hyman Street) are quite narrow. Wider streets have landscaped boulevards and front yards, hosting mature trees whose large trunks and canopies “impart a sense of history” (WWHCD, Section 2.3.3). Many properties do not have driveways or garages, with frontages defined by gardens and large porches and/or balconies, contributing to a pedestrian-oriented streetscape.

The neighbourhood consists primarily of residential uses in a variety of forms and densities, including single-detached dwellings, semi-detached dwellings, and apartment buildings (low-rise and high-rise). There are also some commercial uses in the neighbourhood (primarily office), occupying converted dwellings as well as purpose-built structures. Institutional uses are also found in the area, including schools and places of worship, as well as City Hall and Centennial Hall. Finally, the area also includes Victoria Park, a major public open space and one of the city's main venues for festivals and community events.

Many buildings were constructed using the finest materials and workmanship available at the time and were designed primarily in Victorian or Edwardian styles. A brief overview of each style is provided below:

Victorian applies generally to buildings constructed during the reign of Queen Victoria, from 1837 to 1901, and includes several variants such as Gothic Revival, Shingle Style, Stick Style, Vernacular, and Queen Anne. Each of these variants are linked by a similar appreciation for ornament and extravagance, with common characteristics derived from both the classical and gothic traditions:

- Steep, pointed roof lines, often with gables and dormers on the front facade;
- Projecting bays and bay windows, with large cornices;
- Transom windows and doors with flat or segmental arches;
- Extended porches and large entrances, often supported by classical columns;
- Typically, red brick, though other local stones and bricks were common; and,
- Painted wood detailing on gables, porches, sills, etc.

Gables were often the most decorative and extravagant features of Victorian homes. Their triangular shape offered an opportunity for artistic expression and a challenge for designers and craftspeople. Vergeboards, fish scale shingles, and other ornate details are common in the gables found throughout the WWHCD.

Edwardian includes buildings constructed during the reign of King Edward VII (1901-1910), but the period is often considered to have continued through the end of the First World War (1918). This style incorporates many gothic and classical features popular in Victorian architecture, but they are applied sparingly, resulting in a more simplified and unassuming appearance. The Edwardian style was influenced by increasing standardization in manufacturing and construction and is considered a precursor to the modern styles of the twentieth century. It can be identified by the following characteristics:

- Gables, often on the front façade and above a projecting bay;
- Exaggerated cornices, supported by wooden brackets;
- Detailed carpentry, stain glass, and tile work, though less abundant than in Victorian buildings;

- Generous front porches, often with classical columns supporting a plain architrave/cornice;
- Projecting stone sills and lintels (with keystones), oversized in some cases;
- Sash windows often with transom openings above; and,
- Smooth brick finishes.

The features described above can be found on much of the neighbourhood's building stock. Their repetition contributes to a visual consistency and identifiable character in the HCD, and many are identified as character elements in the Part V designation.

3.2 The Subject Lands

The subject lands are comprised of four parcels (566, 568, 572, 578), located on the east side of Colborne Street approximately 35m south of Central Avenue (Figure 2). Colborne Street extends south through downtown, terminating at the Thames River, and continues north from the subject lands to Kings University College. The street is designated as a "Neighbourhood Connector" in the London Plan. The subject lands have frontage on the east side of the right-of-way.

Figure 2 – The subject lands



The four parcels have a combined area of 0.49ac (0.2ha) with a frontage of 45m (148ft) along Colborne Street and a lot depth of approximately 45m (148ft). Vehicular access is provided via a private gravel driveway between 572 and 578 that leads to a rear parking area. Pedestrian access is provided via concrete or interlocking stone pathways, connecting porches and main entrances to the public sidewalk. Front and side yards are maintained as lawns and gardens, with multiple mature trees that contribute to each property's heritage status.

The subject lands are presently occupied by four (4) existing buildings. Each is listed on the *City of London Register of Cultural Heritage Resources* and was designated under Part V of the Ontario Heritage Act on March 9, 2009, as part of the WWHCD. A brief overview of each property is provided below, with detailed descriptions on the following page:

- 566 Colborne Street, a two-and-a-half storey semi-detached dwelling (attached to 568 Colborne Street) that was subsequently converted to a duplex. This building has a footprint of 96m² (1,033ft²).
- 568 Colborne Street, a two-and-a-half storey semi-detached dwelling that was subsequently converted to a duplex. This building has a footprint of 88m² (947ft²).
- 572 Colborne Street, a two-and-a-half storey detached dwelling that was subsequently converted to a nine (9) bedroom lodging house. This building has a footprint of 125m² (1,345ft²).
- 578 Colborne Street, a two-and-a-half storey detached dwelling that was subsequently converted to a nine (9) bedroom lodging house. This building has a footprint of 132m² (1,420ft²).

Each building in the WWHCD is assigned a rating in the City of London's Register of Cultural Heritage Resources, classifying its historical significance on a scale of from 'A' to 'D'. Properties with a high heritage value are rated as 'A' or 'B' and many are designated individually under Part IV of the OHA. The 'C' Rating is assigned to properties whose designs are historical but not unique. These properties have often been altered, in the replacement of original features or with added extensions, entrances, and fire escapes. Finally, the 'D' Rating applies to buildings that have been altered substantially, resulting in the irreversible loss of heritage elements, or for buildings that do not contribute to the HCD.

All four buildings on the subject lands were assigned a 'C' Rating. Although historical, the buildings lack the architectural merit to be considered exemplary of the Victorian or Edwardian styles, and each has been altered with fire escapes or painted brick. Some original windows, doors, trim, and decorative features have likely been replaced. The heritage value of these buildings is in their contribution to the overall streetscape and character of the WWHCD and their general architectural merit (representative of the Edwardian and late Victorian styles).

Note: Since the converted dwellings at 572 and 578 Colborne Street were vacated, some general maintenance concerns have arisen. Overall, the structural integrity of the buildings does not appear to be compromised, and many concerns are cosmetic in nature (refinishing, porch repairs, landscaping, etc.). 566-568 Colborne Street remains occupied and is in good physical condition.

	Address	566-568 Colborne Street
	Heritage Status	Designated Part V, C-Rating
	Constructed	1842 (566) and 1899 (568)
	Style	Victorian
	Notable Features	Two-and-a-half storey
		Painted brick
		Decorative wooden gable with fish scale shingle pattern
Projecting bay and tower		
Large front porch supported by square columns		
Transom windows		

	Address	572 Colborne Street
	Heritage Status	Designated Part V, C-Rating
	Constructed	1884
	Style	Victorian
	Notable Features	Two-and-a-half storey
		Painted brick
		Bay window with colonettes
Inset door with transom window and wood detailing		
Tudor-inspired gable and second storey sunroom		
Segmental arches (side)		
Large porch with coupled columns (classical style)		

	Address	578 Colborne Street
	Heritage Status	Designated Part V, C-Rating
	Constructed	1904
	Style	Edwardian
	Notable Features	Two-and-a-half storey
		Red brick
		Exaggerated cornices with ornate brackets
Multiple wooden gables		
Stone sills and lintels		
Porch with classical columns, hit-and-miss brick pattern		

3.3 Adjacent Properties

This Heritage Impact Assessment must also consider properties adjacent or across from the subject lands. There are nine such properties that have views of the subject lands from their front or side elevations: 403, 415, and 417 Central Avenue, and 564, 565, 569, 575, 579, and 583 Colborne Street (Figure 3). Each of these properties were built as stately homes and most are currently maintained as single-family dwellings or multi-tenant conversions. All nine are designated as part of the WWHCD under Part V of the Ontario Heritage Act and were designed in the Victorian or Edwardian style. The tables on the following pages provide details as to each properties address, date of construction, heritage rating (City of London's Register of Cultural Heritage Resources), status under the Ontario Heritage Act, architectural style (if stated in the Register of Cultural Heritage Resources), and notable architectural features. Like the subject lands, each property assessed below has large mature trees and other landscape features that are part of the heritage designation.

Figure 3 – The subject lands and adjacent properties, marked by heritage status (designation and rating)





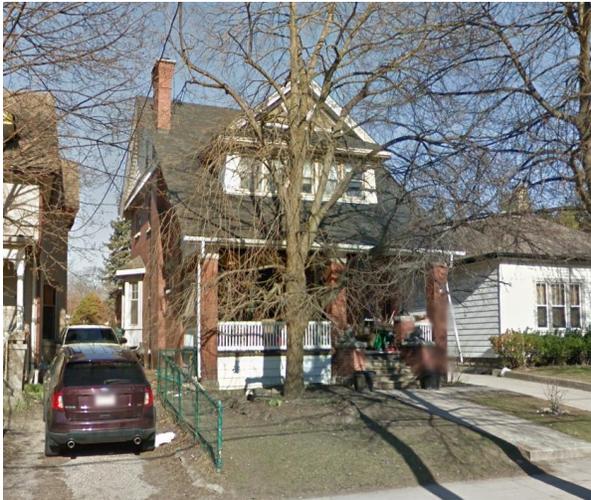
Address	403 Central Avenue
Heritage Status	Designated Part V, A-Rating
Constructed	1897
Style	Queen Anne (Victorian)
Notable Features	Two-and-a-half storey Yellow brick Decorative wooden gable with fish scale shingle pattern Segmental arches above transom doors and windows Wrap-around porch (corner lot) with classical columns



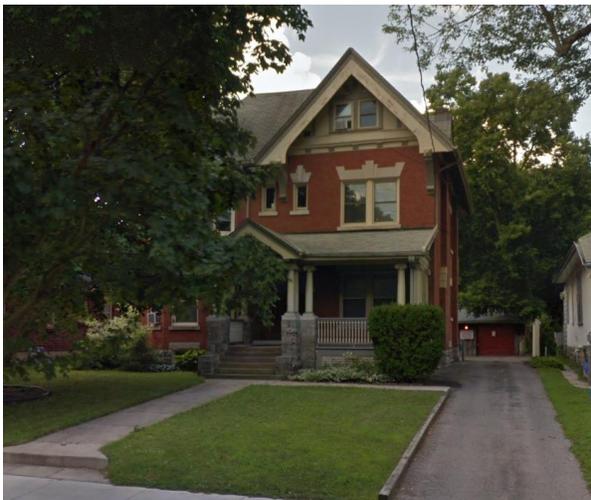
Address	415 Central Avenue
Heritage Status	Designated Part V, B-Rating
Constructed	1900
Style	
Notable Features	Two-and-a-half storey Yellow brick Decorative multi-gabled roof Ornate cornices with brackets and a vergeboard Segmental arches above transom windows, wood sills Projecting bay



Address	417 Central Avenue
Heritage Status	Designated Part V, B-Rating
Constructed	1911
Style	
Notable Features	Two-storey Yellow brick Decorative wood gable/fascia Large front porch with square columns on red brick base Segmental arches above windows and doors



Address	564 Colborne Street
Heritage Status	Designated Part V, C-Rating
Constructed	1915
Style	
Notable Features	Two-and-a-half storey Red brick Decorative gabled dormer with fish scale shingles Large front porch enclosed by extended roof Corbelled chimney Stone sills and lintels



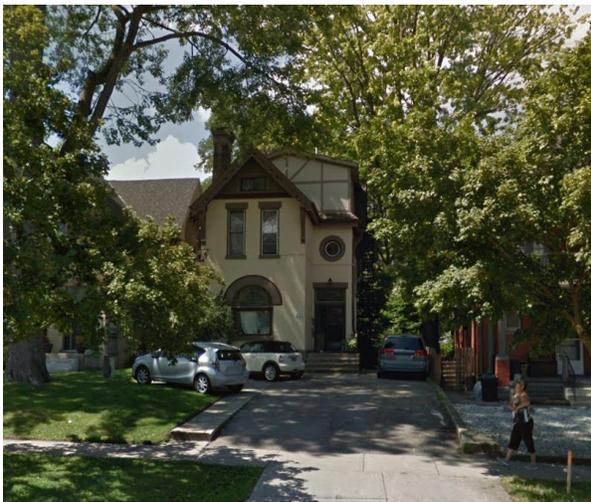
Address	565 Colborne Street
Heritage Status	Designated Part V, B-Rating
Constructed	1905
Style	Edwardian
Notable Features	Two-and-a-half storey Smooth red brick finish Generous front porch supported by ionic columns Ornate cornices with brackets and a vergeboard Gabled roof and front porch Stone lintels, large keystones



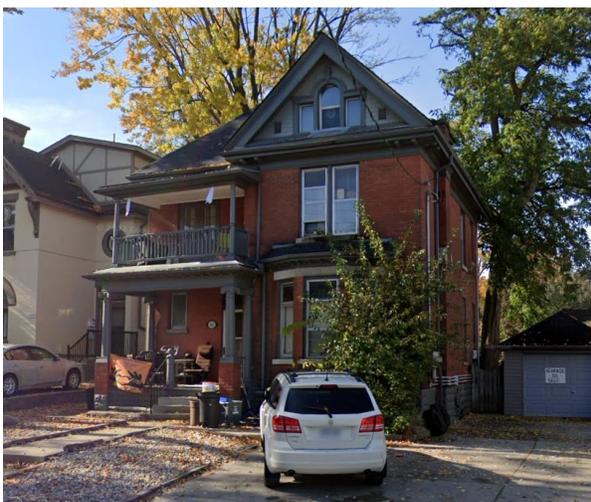
Address	569 Colborne Street
Heritage Status	Designated Part V, B-Rating
Constructed	1923
Style	
Notable Features	One-and-a-half storey Plaster with stone foundation Small covered porch, covered by extended roof Dormer on front facade



Address	575 Colborne Street
Heritage Status	Designated Part V, B-Rating
Constructed	1905
Style	
Notable Features	Two-and-a-half storey Painted brick Projecting bay with cornice Decorative wood fascia and fish scale shingled gable Ornate cornices with brackets and a vergeboard Flat and segmental arches



Address	579 Colborne Street
Heritage Status	Designated Part V, B-Rating
Constructed	1894
Style	
Notable Features	Three-storey Painted brick Decorative gabled with ornate vergeboard and brackets Stain glass transom windows with arched boussoirs Tudor-style rooftop addition Corbelled chimney



Address	583 Colborne Street
Heritage Status	Designated Part V, B-Rating
Constructed	1923
Style	
Notable Features	Two-and-a-half storey Red brick Two-storey porch with ionic columns on the first level Double brackets at the eaves Bay window with stone sills and lintels Decorative gable and cornices

3.4 Summary + Evaluation of Key Heritage Attributes

Under *Ontario Heritage Act Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*, the subject lands and adjacent parcels have “contextual value” related to “defining, maintaining or supporting the character of an area” (7) and because they are “physically, functionally, visually or historically linked” (8) to the broader WWHCD. The subject lands can be described as a group of properties that are historical but lack the architectural merit or historical value to be considered for other criteria under *Reg. 9/06*. They contribute positively to the streetscape and support a unified character within the WWHCD.

The following attributes are present in each building on the subject lands and support a strong heritage character. Wherever possible, any development proposal considered for the subject lands should not remove or detract from these features:

- The massing and proportions of each existing building, including setbacks, heights, roof geometries, and projecting bays. Collectively, these features contribute to a stately appearance common in Victorian and Edwardian residential architecture;
- Large extended porches and balconies along the front façade;
- Decorative masonry and carpentry work, especially around gables, dormers, porches, windows, cornices (vergeboards), and corbelled chimneys;
- Fenestration arrangements and styles, such as transom windows, bay windows, flat or segmental arches, stone lintels and sills;
- Local brick, typically red or yellow; and,
- Landscaped boulevards and front yards, hosting mature trees.

4.0m (rear). To the south, the existing heritage-designated building at 572 Colborne Street will also be converted to a triplex, with one (1) stacked townhouse (accessible) added as a rear extension. The proposed addition will have a total area of 110.0m² and will be setback from the rear lot line by >15.0m. No extensions or changes to building area/setbacks are proposed for the two (2) existing buildings at 566 and 568 Colborne Street. In total, the proposed development will contain a total of eighteen (18) residential units, with a density of 78 units per hectare (UPH).

Vehicular access is provided from an existing shared driveway between 572 and 578 Colborne Street. As part of the proposed development, the driveway will be widened and resurfaced (currently paved in gravel). Nine (9) vehicular parking spaces are provided in the rear yard, including one barrier-free space. Parking spaces and drive aisles are designed to the minimum requirements of the Zoning By-law and are setback from all exterior lot lines by a minimum of 1.5m.

Pedestrian access is provided from a combination of new and existing pathways. Each of the heritage-designated buildings are connected to the public sidewalk by existing paths paved in concrete or interlocking stone. These paths terminate at large, ornate front porches that are key heritage features (repeated throughout the neighbourhood). All existing paths, porches, and building entrances will be maintained and restored in accordance with Section 10 of the WWHCD.

For the proposed stacked townhouse units, access will be provided from two concrete sidewalks extending from Colborne Street to the rear of the subject lands along the drive aisle. Paths are designed with a minimum width of 1.35m (south) and 1.0m (north), except the barrier-free path of travel which is designed with a minimum width of 1.5m. For the north block (rear addition to 578 Colborne Street), unit entrances consist of a small stoop situated underneath a solid canopy. These entrances reflect some of the characteristics of entrances to the heritage-designated buildings but are designed to be smaller and subordinate to entrances along Colborne Street. For the addition to 572 Colborne Street, an inset entrance is proposed along the barrier-free path of travel. Inset entrances were a common feature in Victorian and Edwardian styles and many examples are found throughout the WWHCD.

4.2 Massing

The stacked townhouse additions are designed to be subordinate to and compatible with the existing heritage-designated structures. The massing is intended to appear distinct from the Victorian and Edwardian style buildings on the subject lands while mirroring some architectural elements, such as exaggerated cornices, gable roofs, and covered entrances. Some modern features, such as larger glazing panels and canopies, are proposed to differentiate the proposed development from the existing. The proposed heights also reflect established standards of the surrounding neighbourhood, with each addition massed to appear as two-and-a-half storey buildings (two storeys below the cornice line). Floor heights will also match those of the existing buildings to support visual consistency.

The proposed massing and site design will minimize visual impacts on the public realm (Colborne Street), where the existing heritage structures define the streetscape. The stacked townhouse dwellings will be visible from Colborne Street only along the driveway. To minimize visual impacts, the proposed stacked townhouse additions are inset from the side wall of the existing buildings at

572 and 578 Colborne Street. This small setback will reduce visibility of the addition while differentiating new from original.

An aerial view of the proposed development (facing north) is shown below in Figure 5.

Figure 5 – Aerial view of proposed building massing and site layout



4.3 Architectural Detailing + Material Palette

The proposed stacked townhouses feature materials and architectural details common to both the WWHCD and the existing buildings on the subject lands. These features will establish a visual connection between the old and new without duplicating the appearance of the heritage buildings. The townhouses added to the rear of 578 Colborne Street will be clad primarily in a red brick similar to that of the existing building. Stone (or concrete) will be situated at the base of each building, to resist deterioration and serve as a plinth for finer-textured brick masonry. The brick sections will be capped by a white cornice. The rear addition to 572 Colborne will similarly mirror the original building with a yellow brick and an intersecting hip roof with two gables and white cornices.

Some window shapes and arrangements are designed to compliment the heritage designated buildings. Where windows are situated on a brick façade, they are framed by large concrete/stone

lintels and sills (a detail common in Edwardian-style residential architecture). Windows near unit entrances have a modern appearance, framed by steel and spandrel panels and located below a canopy and modified dormer. These features will distinguish old from new while contributing to a varied appearance.

4.4 Treatment of Heritage Features

As part of the proposed development, the existing heritage structures will be restored in accordance with Section 10 (Conservation Guidelines) of the WWHCD. This may include the repair of existing trim work and wood details, resurfacing paths and porches, removal of added features such as fire escapes, and other restorations as deemed appropriate and necessary. The proposed development will also limit impacts on existing landscape features, maximizing the amount of planted landscape area (softscape) and, where possible, retaining existing mature trees. Some trees will be removed to facilitate the increase in building area and the widening of the drive aisle and parking area.

Figure 6 – Perspective view of the restored heritage structure at 578 Colborne St and proposed rear addition



Overall, the north, south, and west (front) elevations of each existing heritage building will not be altered, and the appearance of the subject lands along Colborne Street will be enhanced through the restoration four C-Rated structures.

5.0 IMPACT ASSESSMENT

Each of the properties that comprise the subject lands are assigned a C-Rating in the WWHCD and are designated under Part V of the OHA. Although no properties on (or in the immediate vicinity of) the subject lands are assigned an A-Rating or designated individually under Part V, it is recognized that existing B/C-Rated properties are important heritage features that contribute to the character of the WWHCD. This section provides an overview of potential impacts on the heritage buildings, including those on the subject lands and nearby/adjacent properties. Consideration will also be given to potential impacts on the overall streetscape and HCD.

There are several policies and guidelines in the London Plan and the West Woodfield Heritage Conservation District Plan that are applicable to the proposed development. These are listed in the tables below and paired with a written response.

5.1 London Plan

CITY DESIGN: CHARACTER (197-210)		
Policy	Text	Response
197	<i>“The built form will be designed to have a sense of place and character consistent with the planned vision of the place type, by using such things as topography, street patterns, lotting patterns, streetscapes, public spaces, landscapes, site layout, buildings, materials and cultural heritage.”</i>	The proposed development is designed to be clearly subordinate to the existing heritage structures on and adjacent to the subject lands. The proposed stacked townhouses are screened from the street by existing buildings and will not have a substantial impact on the public realm. Their form and architectural treatment mimic the materials and detailing common to the WWHCD while appearing distinct from the original. Mature trees are maintained where possible, including several in the front yard.
CITY DESIGN: BUILDINGS, MATERIALS (284-305)		
305	<i>“Where new development is being constructed adjacent to heritage designated properties, building materials should be sympathetic to the materials and architectural style of the heritage property.”</i>	The proposed material palette and architectural detailing is sympathetic to existing heritage structures on the subject lands. Brick types/tones, window details, gable designs, and cornice treatments all reflect styles common to the HCD while appearing distinct from the original buildings.

SPECIFIC POLICIES FOR THE PROTECTION, CONSERVATION AND STEWARDSHIP OF CULTURAL HERITAGE RESOURCES (583-607)		
587	<p><i>“Where a property of cultural heritage value or interest is designated under Part IV of the Ontario Heritage Act, no alteration, removal or demolition shall be undertaken that would adversely affect the reasons for designation except in accordance with the Ontario Heritage Act.”</i></p>	<p>None of the Part IV designated structures on the subject lands will be removed or altered as part of the proposed development. Key heritage elements will be maintained along the front and interior side elevations of each building, such as gables, porches, fenestration, and cornice details. These features will be restored where necessary in accordance with Section 10 of the WWHCD Plan.</p>
594	<p><i>“Within heritage conservation districts established in conformity with this chapter, the following policies shall apply:</i></p> <ol style="list-style-type: none"> <i>1. The character of the district shall be maintained by encouraging the retention of existing structures and landscapes that contribute to the character of the district.</i> <i>2. The design of new development, either as infilling, redevelopment, or as additions to existing buildings, should complement the prevailing character of the area.</i> <i>3. Regard shall be had at all times to the guidelines and intent of the heritage conservation district plan.”</i> 	<p>The proposed development is designed in conformity with Policy 594:</p> <ol style="list-style-type: none"> 1. All heritage-designated structures on the subject lands will be retained and restored (where necessary) as part of the proposed development. Important landscape features, such as mature trees, will also be maintained where feasible, especially those in the front yard along Colborne Street. 2. The proposed building additions are located entirely at the rear of the subject lands (screened from Colborne Street) and will be subordinate to existing heritage structures. New buildings are designed with materials and architectural features common to the WWHCD and will complement the heritage character of the area. 3. The proposed development is designed with regard for the WWHCD Plan and meets the goals and objectives established in Section 3.1.
598	<p><i>“Development and site alteration on adjacent lands to a heritage conservation district may be permitted where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.”</i></p>	<p>All heritage attributes will be conserved as part of the proposed development. Architectural features along front and side elevations, such as gables, porches, windows, and trim work, will be maintained and restored where necessary. The only significant heritage attribute that will be lost is a mature tree in the front yard that can be replaced by new plantings.</p>

5.2 West Woodfield Heritage Conservation District Plan

DEVELOPMENT PATTERN (4.1)		
Policy	Text	Response
4.1 (a)	<i>“Maintain the residential amenity and human scale by ensuring that the low-density residential land use character remains dominant.”</i>	The proposed development will intensify the subject lands while maintaining the low-density character of the area. Each building addition is massed and located to limit impacts on the public realm, with a maximum height of two-and-a-half storeys that conforms to established building standards in the area.
4.1 (d)	<i>“Where new uses or intensification is proposed, adaptive reuse of the existing heritage building stock should be considered wherever feasible.”</i>	Each of the existing heritage buildings on the subject lands will be maintained for residential use.
4.1 (g)	<i>“Parking for new or replacement dwellings is to be located in driveways at the side of the dwelling or in garages at the rear of the main building whenever possible. New attached garages extending beyond the front of the dwelling are not permitted.”</i>	The proposed parking supply is minimal (0.5 spaces per unit) and will be entirely located at the rear of the subject lands. Parking will be screened from the public street by buildings and landscape features. Fencing and landscaping will also be provided along the rear/interior side lot lines to minimize impacts on adjacent parcels.
HERITAGE BUILDINGS (4.2)		
4.2.1 (a)	<i>“Minor exterior alterations and additions to buildings shall be permitted provided such alterations are not within any front or exterior side yard.”</i>	The proposed additions are located entirely within the rear yard. No alterations to the front or interior side elevations of existing heritage structures are proposed.
4.2.1 (c)	<i>“Additions shall be subordinate to the original structure to allow the original heritage features and built form to take visual precedence on the street.”</i>	The proposed townhouse units are located to the rear of the designated heritage buildings and will not “take visual precedence on the street.” The proposed additions are also setback/inset from the interior side wall of the existing heritage buildings (rather than being flush with the existing wall) to minimize visibility from the public realm and distinguish new from old.

NEW DEVELOPMENT (4.3)		
4.3 (a)	<i>“New buildings shall respect and be compatible with the heritage character of the West Woodfield area, through attention to height, built form, setback, massing, material and other architectural elements.”</i>	The proposed building additions are massed as two-and-a-half storey volumes, with gables, cornices, fenestration patterns, and other features that mimic buildings in the WWHCD. Each townhouse addition is inset from the driveway and side walls of existing heritage structures to minimize visibility from the public street. The proposed material palette (brick, stone/concrete) and detailing (lintels, sills, cornices, covered entrances, etc.) reflect the architectural character of the West Woodfield neighbourhood.
PUBLIC REALM (4.4)		
4.4 (d)	<i>“Landscaping that complements the existing landscapes of the district, screens parking areas and contributes to the overall pedestrian quality is encouraged for all new development. Specific landscape elements will be governed by Site Plan Approval requirements.”</i>	The proposed development will not substantially alter the existing landscaping of the subject lands. An existing driveway will be widened, and paved pedestrian pathways added as required, but these features are designed to the minimum required width. Overall, the existing visual balance between softscape and hardscape areas will be maintained. A detailed landscape strategy will be developed in coordination with City Staff during the Site Plan Approval stage.
ADJACENT AREAS (4.6)		
4.6 (a)	<i>A Heritage Impact Analysis [Assessment] in accordance with the policies of the City of London may be required for any redevelopment proposals within or adjacent to the Heritage Conservation District. The City of London Official Plan identifies adjacent lands as those lands that are contiguous and lands that are directly opposite a protected heritage property, separated only by a laneway or municipal road.</i>	The subject lands are adjacent to/across from nine properties designated under Part V of the OHA (B/C-Ratings). The proposed development will only be visible from the rear of three properties (403, 415, 417 Central Avenue) and no significant heritage features will be altered or compromised by the proposed development. Features such as gables, porches, projecting bays, and decorative trim work are located primarily on front/interior side elevations and will remain prominent from the public street.

DESIGN GUIDELINES: ADDITIONS (8.2.2)		
i	<i>“Additions that are necessary should be sympathetic and complementary in design and, if possible, clearly distinguishable from the original construction by form or detail. The use of traditional materials, finishes and colours rather than exact duplication of form, can provide appropriate transition between additions and original structures.”</i>	The proposed building massing is related to but distinguishable from the heritage-designated buildings on the subject lands. Each addition has roof geometries, entrances, window sizes/details, and other architectural features that are related to, but visually distinct from, the original buildings. The proposed materials have similar tones and textures to the original buildings without matching them precisely.
ii	<i>“Additions should be located away from principal façade(s) of heritage properties, preferably at the rear of the building, to reduce the visual impact on the street(s).”</i>	The proposed additions are located entirely in the rear yard, with outer walls inset from those of the existing heritage buildings. The appearance of the subject lands will not be changed substantially by the proposed development and will continue to be defined principally by the Part V designated structures.
iii	<i>“Form and details of the addition should be complementary to the original construction, with respect to style, scale, and materials but still distinguishable to reflect the historical construction periods of the building.”</i>	The proposed addition will not conceal original features with significant heritage value, and will respect the style, scale, and materials of the original by: maintaining gabled roof profiles and other geometries (especially the addition to 572 Colborne); mirroring the location and treatment of windows and fenestration; and complimenting traditional materials, finishes, and colours without duplicating the originals.
iv	<i>“The height of any addition should be similar to the existing building and/or adjacent buildings to ensure that the addition does not dominate the original building, neighbouring buildings or the streetscape.”</i>	The proposed additions are two-and-a-half storeys in height, matching the established scale of the WWHCD. As such, the proposed development will not “dominate” any existing heritage buildings or result in adverse impacts to the public realm along Colborne Street.
v	<i>“Additions should not obscure or remove important architectural features of the existing building.”</i>	No important architectural features will be obscured or removed as a result of the proposed development. Decorative gables, porches, and other details will be repaired and restored where necessary as part of the proposed development.

vi	<i>“Additions should not negatively impact the symmetry and proportions of the building or create a visually unbalanced facade.”</i>	The proposed building additions will not affect the symmetry, proportions, or visual balance of the front elevations. Additions will be entirely located at the rear of existing heritage buildings.
vii	<i>“New doors and windows should be of similar style, orientation and proportion as on the existing building. Where possible, consider the use of appropriate reclaimed materials.”</i>	Entrances to the proposed stacked townhouses will be located at the rear of the property and consist of a stoop (covered by a canopy) or an inset doorway. Both typologies are muted versions of the entrances found throughout the WWHCD and reference the Edwardian/Victorian styles.
viii	<i>“New construction should avoid irreversible changes to original construction.”</i>	No irreversible changes will be made to the front or interior side elevations of the existing buildings. The buildings will be restored as necessary, including the removal of added fire exits.
STREETSCAPE DESIGN GUIDELINES: LANEWAYS (9.2.7)		
ii	<i>“Where additional rear yard parking or rear lane access has been added to a site, that additional lighting requirements be fulfilled in such a manner so as to limit the amount of light spillover into adjacent properties where possible. Lighting should be lower to the ground and mounted on walls rather than on poles where site conditions permit.”</i>	Any lighting added for rear yard pedestrian paths and parking areas will be designed to avoid spillover to adjacent parcels wherever possible. Lighting designs will be resolved in coordination with City Staff as part of the Site Plan Approval process.
iii	<i>“Where additional rear yard parking or rear lane access has been added to a site, that it is done in such a manner so as to limit any impacts to existing trees on the property, or on adjacent properties, in order to preserve the canopy of mature trees on rear lanes. The amount of hard surface should be limited in such applications, and permeable paving should be employed where possible.”</i>	The design of the rear parking area will allow for the retention of existing mature trees on the subject lands (rear of 568 Colborne Street) and close to the rear lot line (southeast corner). While some trees will be removed as a result of the proposed development, most existing mature trees in the front and interior side yards will be retained. Notably, these trees have the greatest impact on the streetscape and the character of the WWHCD. The proposed site design provides space for new plantings in the front and rear yards.

5.3 Impacts + Conservation Principles

To assess potential negative impacts of the proposed development, this Heritage Impact Assessment considers *InfoSheet #5* from the provincial policy document *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005*. This document lists seven potential negative impacts of new development proximate to heritage resources which are discussed in the following table:

Impact	Response
<p>Destruction of any, or part of any, significant heritage attributes or features.</p>	<p>The proposed development will only alter the rear (east) façade of two existing heritage structures and will not result in the destruction of any significant heritage attributes or features. These features are located exclusively along the front (west) and interior side elevations facing Colborne Street. Significant features such as porches and decorative trim work will be maintained and restored where necessary as part of the proposed development.</p>
<p>Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.</p>	<p>The proposed development is sympathetic and compatible with existing heritage dwellings on and adjacent to the subject lands. The stacked townhouse additions are located entirely in the rear yard and are massed/scaled to reduce visibility from the street while limiting impacts on adjacent parcels. The proposed architectural treatment and materiality will support compatibility with existing heritage structures.</p>
<p>Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden.</p>	<p>Proposed building height reflects the established standards in the neighbourhood. Hip roof geometries will reduce shadow impacts on adjacent parcels while limiting perceptions of height. Notably, no shadows will be cast onto the front or exterior side yards of adjacent parcels and the viability of plantings in these areas will not be compromised.</p>
<p>Isolation of a heritage attribute from its surrounding environment, context or a significant relationship.</p>	<p>The proposed development will not result in the relocation or demolition of any heritage buildings and therefore will not isolate any heritage attributes.</p>
<p>Obstruction of significant views or vistas within, from, or of built and natural features.</p>	<p>The proposed development will not significantly alter the public realm along Colborne Street and will change the spacing and rhythm between buildings. Front elevations of existing heritage buildings will be maintained as the proposed additions are confined to rear yard locations that are well-screened from the public street.</p>

<p>Land Use Change such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.</p>	<p>The proposed development will not result in a significant land use change (other than density), and the proposed low-density residential use is consistent with the established character of the WWHCD.</p>
<p>Land Disturbance such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.</p>	<p>It is not anticipated that the proposed development will cause any adverse affects to heritage resources by way of land disturbance. Infill and building additions are a common type of development in the WWHCD and potential impacts can be mitigated during the construction phase.</p>

Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005 also sets out eight principles for the conservation of historic properties (discussed below):

Principle	Response
<p>Respect for Documentary Evidence Do not base restoration on conjecture.</p>	<p>This HIA was prepared with regard for the documentary evidence provided in the WWHCD Plan. The proposed development will maintain all significant heritage attributes identified in the WWHCD Plan.</p>
<p>Respect for Original Location Do not move buildings unless there is no other means to save them.</p>	<p>All existing heritage structures on the subject lands will be retained and restored in-place. No buildings will be removed or moved off-site.</p>
<p>Respect for Historic Material Repair/conserve rather than replace building materials and finishes, except where absolutely necessary.</p>	<p>Original materials will be repaired and conserved wherever possible as part of the proposed development. The proposed addition is clad with materials that mirror the existing heritage buildings without replicating them. Brick types/tones, trim colours, sill/lintel detailing, and window patterns will be continued to the building extensions, establishing a strong connection between the old and new.</p>
<p>Respect for Original Fabric Repair with like materials</p>	<p>The existing heritage buildings will be restored with like materials, including masonry and trims. Where required roofing and pathways will be repaired with materials common in original Victorian and Edwardian architecture.</p>
<p>Respect for the Building's History Do not restore to one period at the expense of another period.</p>	<p>The proposed development and restoration will respect the goals and intent of the Part V designation. No heritage attribute will be removed to restore a specific period (other than fire escapes made obsolete by the proposed redevelopment).</p>

<p>Reversibility</p> <p>Alterations should allow a resource to return to its original conditions.</p>	<p>The proposed development considers alterations to the existing heritage buildings only when necessary to accommodate the proposed addition, with all changes contained to rear (east) elevations. Where windows, doors, and other features are removed, they should be documented should they be reversed/restored in the future.</p>
<p>Legibility</p> <p>New work to be distinguishable from old.</p>	<p>The proposed building additions are made distinguishable from existing heritage structures through massing (roof geometries and inset building walls), entrance designs, fenestration patterns, and other elements discussed throughout this report. During the detail design stage, it is recommended that material details and architectural features (such as reveals) be used to further differentiate the proposed addition from the existing heritage buildings.</p>
<p>Maintenance</p> <p>With continuous care, future restoration will not be necessary.</p>	<p>The existing heritage structures are integral to the overall development strategy and will be retained as duplex and triplex dwellings. Their integration into the overall development strategy will make each building actively used, resulting in increased attention and more regular maintenance (in comparison to a building that is under-utilized or vacant).</p>

6.0 MITIGATION RECOMMENDATIONS

Overall, the proposed development largely meets the heritage goals and objectives set out by the Province of Ontario and City of London. While the proposed development generally represents an appropriate and compatible form of development that conforms with the policies and recommendations of the West Woodfield Heritage Conservation District Plan, this Assessment contains some minor recommendations that would further mitigate potential impacts on the identified heritage attributes:

1. During the detail design stage, it is recommended that material details and architectural features be used to further differentiate the proposed additions from the existing heritage buildings. For example, the transition from old to new brick could be interrupted by a “reveal”, or a recess dividing two parts. This element could be a stone or concrete seam, or a groove in the masonry veneer. Similar treatment should be applied at the foundation or building base, and at the roof if possible; and,
2. For the rear extension to 578 Colborne Street, it is recommended that the portions of the building not finished in red brick (at and above unit entrances) be simplified with less interruptions and geometric complexity at the cornice line, and fewer mullions on the glazed façade. Spandrel panels could be replaced with glass or brick if possible. The height and geometric complexity of these sections may make them more visually prominent from Colborne Street.

Overall, the proposed development exemplifies the intent of the relevant provincial and municipal policies and serves as a good example of intensification in a Heritage Conservation District. With these minor changes, the proposed development will demonstrate that intensification and redevelopment can take place in the WWHCD without negatively impacting the heritage characteristics of the area.

7.0 REFERENCES

- Avery, Derek (2003). *Victorian & Edwardian Architecture*. ISBN: 1904449026. London: Chaucer Press.
- City of Brampton (N.D.). *Heritage Impact Assessment Terms of Reference*. Brampton, Ontario.
- City of London (2019). *Register of Cultural Heritage Resources*. London, Ontario.
- City of London (2021). *The London Plan*. London, Ontario.
- Government of Ontario (2006). *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005*.
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- Government of Ontario (2024). *Planning Act, R.S.O. 1990, c. P.13*.
- Government of Ontario (2020). *Provincial Policy Statement, 2020*.
- Stantec Consulting, Nexus Architects, Ecoplans Limited and Michael Baker (2008). *West Woodfield Heritage Conservation District Plan*.

Recommended by	Property Address	Property Description	Photo(s) if any	Notes
Jean-Marc Also recommended by Orchard Park Sherwood Forest Neighbourhood association in response to Stephanie Bergman outreach	33 Bromliegh Ave	Church of the Transfiguration	 	Very unique architectural features (esp. the windows), under-represented mid-century architecture. Identified in the Regina Mundi HIA. Moderate development risk (if the church ever sold, it is a large lot in a desirable location and it is unlikely a developer would want to keep the structure which would be a difficult housing conversion). Church is very well-liked in the community so unlikely to receive any objection to designation from neighbours. The Incorporated Synod of the Diocese of Huron is the registered owner (1958). huron@huron.anglican.ca 519-434-6893 Happy to reach out if this one is determined to be a priority. Phillip Carter Johnson was the architect (same as London City Hall)
Mark A.	1285 Western Rd	Ursuline Hall - and three rooms there		Ursuline Hall - formally dedicated in 1926 as Brescia Hall. It became known as Ursuline Hall as the institution became known as Brescia (University) College. A great local example of Gothic Revival architecture. Within the building itself, three rooms are very unique and worth preservation: the chapel, the rotunda (see photo), and the Oak Room. Exterior elements as well, including the (bell) tower. The chapel has a rood screen, which is very unusual in Ontario. Ownership of the building is being transferred (as of May 1, 2024) to Western directly. Some worry about some "built in elements" in the future.
Referred by CACP	651 Talbot			
Maggie W	1148 Richmond?			JM: Maggie I think you suggested this, but it might have been one of the other priorities on Richmond near uni gate. Please confirm.
Mark A.	472 Richmond Street	St. Paul's Cathedral		I understand that this is already a designated building. Committee members may have heard about potential plans to remove the pews inside the cathedral. I suggest that, at the very least, this is a topic worthy of some discussion, as to whether or not additional protections can (or should) be provided.
Stewardship Subcommittee	925 Dundas	Western Fair Arts Building		
Stewardship Subcommittee	940 Dundas	Open Door Christian Fellowship		Formerly, St. Matthew's Anglican Church. Built in 1895 - Gothic Revival.

<p>Requested for consideration by AM Valastro</p>	<p>*London Hydro Building at Ridout and Horton streets. A beautifully designed building from the early 1980s.</p> <p>* 471 Nightingale Ave. currently being used by Nova Craft Canoe</p> <p>*131 Ann Street built in 1861 or 1866</p> <p>*133 Central Ave - listed on the heritage registry</p> <p>*191 Albert Street - listed on the heritage registry</p> <p>*126 and 128 Kent St.</p> <p>*130 Kent St.</p> <p>*136 Kent St.</p> <p>*142 Kent St.</p> <p>*565 Ridout St. North</p> <p>*134 Mill St.</p> <p>*268 Clarence St.</p>			
<p>Mark A.</p>	<p>55 Foxbar Road</p>	<p>St. Andrew's Memorial Anglican Church</p>		<p>Not to be confused with the older, 1941 building (which the CACP gave its approval for demolition). Built in 1957, a very good example of mid-century modern ecclesiastical architecture. Some consideration may also be given to the rectory building at 49 Foxbar Road, as they were completed together and can be said to be "twined buildings" on (what was) the same lot.</p>
<p>Mark A.</p>	<p>600 Sanitorium Road</p>	<p>CPRI site / Beck Sanitorium</p>		<p>Some of the buildings on this site are worthy of designation; most especially, the St. Luke's-in-the-Garden Chapel.</p>
<p>Mark A.</p>	<p>345 Lyle Street</p>	<p>St. Mary's Roman Catholic Church</p>		<p>completed in 1902</p>

Jeff Gard	300 Dufferin Avenue	City Hall		<p>Currently under review for redevelopment. I understand that this building is in the West Woodfield District, but it is such an important building it should be considered for Designation. There's so much archival coverage in clippings files at the London Room in LPL, photos at Western Archives, and CFPL film at Ontario Archives in Toronto of the current City Hall from when it was proposed, calls for designs, presentations, construction and budgeting, grand opening, etc.</p> <p>As you may know the building's 50th anniversary was celebrated during COVID with a short documentary film. The film contains a lot of key information about the building, architect Philip Carter Johnson, etc. The building is also on the DoCoMoMo Ontario gallery: http://docomomo-ontario.ca/gallery/london-city-hall/</p> <p>One of the important factors about our landmark City Hall is that London architect Philip Carter Johnson is the only London area recipient of a Massey Medal in architecture (now the Governor General's Medals in Architecture). He was honoured in 1952 for his design of Knox Presbyterian Church (1951) in Goderich.</p> <p>The Hamilton city hall, designed by Stanley Roscoe and constructed in a similar Mid-Century style in 1960, was heritage-designated in 2005 and underwent a massive award-winning revitalization project in 2010.</p> <p>Some key points re our City Hall: Building was designed as two interconnecting parts: the 'floating' oval base clad in black Peribonka granite from Quebec, which represents the people and our elected representatives in the Council chambers and the mayor's office; and the tower clad in white marble from Tweed, Ontario which represents and houses the administrative staff who serve the people Interior was designed to be open and flexible, with no columns blocking the office floors except for the central elevator/mechanical shaft Steel & glass base on either wing is done in an elegant International Style design Colourful glazed brick at the base & rooftop patio level has distinct colours of the era (there also used to be large planters in Centennial Plaza with matching glazed brick but they were unfortunately demolished several years ago). Interior lobby is white marble and black granite; originally featured a circular reception desk with a circular light fixture suspended above it which complemented the one hanging above the staircase Grand curved staircase is terrazzo marble and was poured in place; metal handrail and suspended light track were originally brass but unfortunately re-done (painted? lacquered?) with silver tone in recent years but this could be restored The original wall clock designed for the lobby was removed some years ago but is supposedly in storage and could be re-installed Mayor's office has rosewood panelling which was unfortunately painted over but could be restored. Council Chambers features white maple sound baffles on the side walls which are a signature detail of the architect</p> <p>Important elements/spaces to highlight and protect: interconnecting massing of the building's shape; exterior marble and granite cladding; glazed brick detailing at base and rooftop level; steel and glass stairwells at base; lobby including marble and granite; staircase and original suspended light fixture; mayor's office rosewood panelling; interior brown brick cladding.</p>
Josh D.	255 Delacourt Road	Woodholme Manor	https://filmlondon.ca/woodholme-manor/	https://woodholmemanor.ca/history