

Agenda Including Addeds

Community Advisory Committee on Planning

4th Meeting of the Community Advisory Committee on Planning

April 10, 2024, 5:30 PM

Committee Room #5

The City of London is situated on the traditional lands of the Anishinaabek (AUh-nish-in-ah-bek), Haudenosaunee (Ho-den-no-show-nee), Lūnaapéewak (Len-ah-pay-wuk) and Attawandaron (Add-a-won-da-run).

We honour and respect the history, languages and culture of the diverse Indigenous people who call this territory home. The City of London is currently home to many First Nations, Métis and Inuit today.

As representatives of the people of the City of London, we are grateful to have the opportunity to work and live in this territory.

The City of London is committed to making every effort to provide alternate formats and communication supports for meetings upon request. To make a request specific to this meeting, please contact advisorycommittee@london.ca.

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Community Advisory Committee on Planning Report

3rd Meeting of the Community Advisory Committee on Planning
March 13, 2024

Attendance PRESENT: S. Bergman (Chair), M. Ambrogio, I. Connidis, J. Dent, J. Gard, A. Johnson, S. Jory, J.M. Metrailler, M. Rice, M. Wallace, K. Waud and M. Whalley, M. Wojtak and J. Bunn (Committee Clerk)

ABSENT: M. Bloxam and S. Singh Dohil ALSO PRESENT: Councillor J. Pribil; L. Dent, E. Hunt, K. Gonyou and K. Mitchener

The meeting was called to order at 5:30 PM; it being noted that M. Ambrogio, I. Connidis, A. Johnson, J.M. Metrailler and M. Wallace were in remote attendance.

1. Call to Order

1.1 Disclosures of Pecuniary Interest

M. Wallace discloses a pecuniary interest in clause 3.2 of the 3rd Report of the Community Advisory Committee on Planning, having to do with the Notice of Planning Application and Notice of Public Meeting - Zoning By-law Amendment - 634 Commissioners Road West, by indicating that the applicants are members of the association that employs him.

J. Dent discloses a pecuniary interest in clause 4.1 of the 3rd Report of the Community Advisory Committee on Planning, having to do with the Stewardship Sub-Committee Report, by indicating that his employer has done work related to one of the items on the report.

2. Scheduled Items

None.

3. Consent

3.1 2nd Report of the Community Advisory Committee on Planning

That it BE NOTED that the 2nd Report of the Community Advisory Committee on Planning, from the meeting held on February 14, 2024, was received.

3.2 Notice of Planning Application and Notice of Public Meeting - Zoning By-law Amendment - 634 Commissioners Road West

That it BE NOTED that the Notice of Planning Application and Notice of Public Meeting, dated February 15, 2024, from B. House, Planner, with respect to a Zoning By-law Amendment related to the property located at 634 Commissioners Road West, was received.

3.3 Notice of Planning Application and Notice of Public Meeting - Zoning By-law Amendments - 1170 Fanshawe Park Road East

That it BE NOTED that the Notice of Planning Application and Notice of Public Meeting, dated February 26, 2024, from M. Hynes, Planner, with respect to Zoning By-law Amendments related to the property located at 1170 Fanshawe Park Road East, and the Heritage Impact Assessment, dated February 2, 2024, from Zelinka Priamo Ltd., were received.

3.4 Notice of Revised Planning Application and Public Meeting - Review of The London Plan - City-wide - Official Plan Review of The London Plan and Land Needs Assessment Update

That it BE NOTED that the Notice of Revised Planning Application and Public Meeting, from T. Macbeth, Manager, Planning Policy (Growth), with respect to a Review of the London Plan related to a City-wide Official Plan Review of the London Plan and Land Needs Assessment Update, was received.

4. Sub-Committees and Working Groups

4.1 Stewardship Sub-Committee Report

That it BE NOTED that the Stewardship Sub-Committee Report, from the meeting held on February 28, 2024, was received; it being noted that the Community Advisory Committee on Planning indicated continued interest in the property located at 600 Sanitorium Road and requests continued engagement with Infrastructure Ontario with respect to this matter.

5. Items for Discussion

5.1 Heritage Designation of the Property Located at 244 Base Line Road East

That it BE NOTED that the Community Advisory Committee on Planning (CACP) received a staff report, dated March 13, 2024, with respect to the Heritage Designation of the property located at 244 Base Line Road East, and the CACP supports the staff recommendation.

5.2 Properties Located at 651 Talbot Street and 172 Central Avenue

That the following actions be taken with respect a delegation from A.M. Valastro related to the properties located at 651 Talbot Street and 172 Central Avenue:

- a) the matter of the property located at 651 Talbot Street BE REFERRED to the Stewardship Sub-Committee for review; and,
- b) the Civic Administration BE REQUESTED to explore expropriation, or other preservation options, related to the property located at 172 Central Avenue, for repurposing or other uses; it being noted the significance of Dr. Oronhyatekha, the first known occupant of the property, to the indigenous history of our community;

it being further noted that this comes in response to a delegation from a member of the public;

it also being noted that a verbal delegation, and the delegation appended to the Agenda, from A.M. Valastro, with respect to this matter, were received.

5.3 Community Heritage Ontario Membership Renewal 2024

That the Community Advisory Committee on Planning membership renewal with Community Heritage Ontario for 2024, BE APPROVED.

5.4 Community Advisory Committee on Planning Terms of Reference

That the staff report, dated February 6, 2024, with respect to the Community Advisory Committee on Planning Terms of Reference, BE REFERRED to the Planning and Policy Sub-Committee for review.

5.5 Heritage Planners' Report

That it BE NOTED that the Heritage Planners' Report, dated March 13, 2024, was received.

6. Deferred Matters/Additional Business

6.1 (ADDED) Notice of Planning Application and Notice of Public Meeting - Zoning By-law Amendment - 376-390 Hewitt Street and 748 King Street

That it BE NOTED that the Notice of Planning Application and Notice of Public Meeting, dated March 8, 2024, from C. Cernanec, Planner, with respect to a Notice of Planning Application and Notice of Public Meeting related to a Zoning By-law Amendment for the properties located at 376-390 Hewitt Street and 748 King Street, was received.

7. Adjournment

The meeting adjourned at 7:16 PM.



Welcome to the 2024 Ontario Heritage Conference – in Gravenhurst!

Registration is NOW OPEN!

We are excited about our [program line up](#) and hope that you leave this conference and your time with us feeling inspired, invigorated and invested in the future of heritage in your own community.

We invite you to extend your stay to explore Gravenhurst and Muskoka before or after your sessions to see why we are shameless promoters of our natural beauty, welcoming communities, rich heritage and cultural assets.

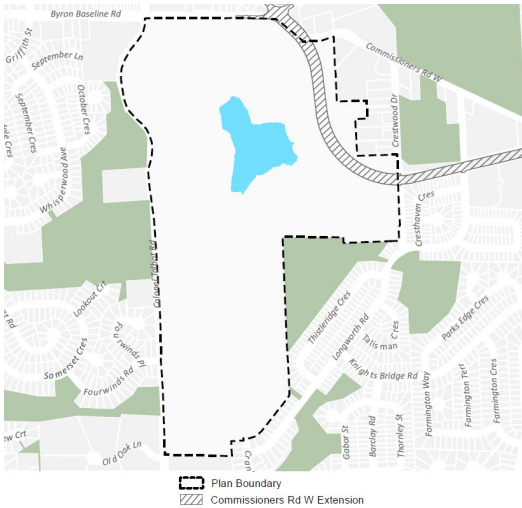
Be sure to take a look at [hotel options](#) and book your room before the special rates expire (first cut off date is March 29, 2024) and stay tuned after you register for communication about selecting specific program options.

We look forward to welcoming you to our corner of Muskoka! The countdown is on!



Secondary Plan Adoption and Official Plan Amendment

Byron Gravel Pits Secondary Plan



File: O-8434
Applicant: City of London

What is Proposed?

Official Plan amendment to:

- Adopt the Byron Gravel Pits Secondary Plan under the London Plan
- Apply land use designations for future development of the Byron Gravel Pit
- Provide a framework for the evaluation of future development applications on the lands in the former gravel pit
- Amendments to Maps 1, 3, 4 and 7 of the London Plan to reflect the Secondary Plan
- Amendments to existing policies for specific policy areas related to the Byron Gravel Pits.

YOU ARE INVITED!

Further to the Notice of Public Information Centre you received on October 5, 2023, you are invited to a public meeting of the Planning and Environment Committee to be held:

Meeting Date and Time: Tuesday, April 9, 2024, not before 1:00 p.m.

Meeting Location: The Planning and Environment Committee Meetings are hosted in City Hall, Council Chambers; virtual participation is also available, please see City of London website for details.

For more information contact:

Alison Curtis
acurtis@london.ca
519-661-CITY (2489) ext. 4497
Planning and Development, City of London
300 Dufferin Avenue, 6th Floor,
London ON PO Box 5035 N6A 4L9
File: O-8434

To speak to your Ward Councillor:

Paul Van Meerbergen
pvanmeerbergen@london.ca
519-661-CITY (2489) ext. 4010

<https://getinvolved.london.ca/byrongravelpits>

**If you are a landlord, please post a copy of this notice where your tenants can see it.
We want to make sure they have a chance to take part.**

Application Details

Requested Amendment to The London Plan (New Official Plan)

The City of London has prepared a Secondary Plan for lands generally defined as properties bounded by Colonel Talbot Road, Byron Baseline Road, Commissioners Road West, and existing development along Crestwood Drive and Longworth Road. The purpose of this Secondary Plan is to establish a policy framework to guide the future development of the lands within and around the former Byron Gravel Pit that is more detailed than the policies in The London Plan. The Secondary Plan contemplates infill development around the edge of the former gravel pit and the protection of the central portion as green space. The Secondary Plan requires further studies related to natural heritage features, slope stability, transportation impacts, and servicing capacity as part of future development applications.

Possible amendments may be required to Policy 1565 and Map 7 of The London Plan to add the Byron Gravel Pits Secondary Plan as a new Secondary Plan. Possible amendments may be required to Maps 1, 3 and 4 of the London Plan to redesignate the Secondary Plan area FROM Future Community Growth, Neighbourhoods and Environmental Review TO Neighbourhoods, Green Space, and Environmental Review Place Types on Map 1, MODIFY the Civic Boulevard on Map 3, and MODIFY the Cycling and Walking Routes on Map 4 as shown in the Secondary Plan. Possible deletion and amendments may also be required to Policies 1168, 1537, 1538 and Map 7 in The London Plan, which provide specific policies for the Byron Gravel Pits and Adjacent Lands within the Future Community Growth Place Type and Aggregate Resources Policies.

Planning Policies

The Secondary Plan Area is designated a Future Community Growth, Environmental Review, and Neighbourhoods on Map 1 of the London Plan. Specific Policies within the Future Community Growth Place Type and the Aggregate Resource Policies of the London Plan indicate that the long-term land use of this area will be a mix of residential housing types and recreational uses, and that redevelopment of this area will be based on a comprehensive rehabilitation and development plan.

How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the Official Plan designation and the zoning of land located within 120 metres of a property you own, or your landlord has posted the public meeting notice in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. If you previously provided written or verbal comments about this application, we have considered your comments as part of our review of the application and in the preparation of the planning report and recommendation to the Planning and Environment Committee. The additional ways you can participate in the City's planning review and decision making process are summarized below.

See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the project-specific page at <https://getinvolved.london.ca/byrongravelpits>
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

Attend This Public Participation Meeting

The Planning and Environment Committee will consider the requested Official Plan Amendment at this meeting, which is required by the Planning Act. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the [Neighbourgood](#) website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

What Are Your Legal Rights?

Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed official plan amendment and/or zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at docservices@london.ca. You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Clerk of the Committee.

Right to Appeal to the Ontario Land Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

For more information go to <https://olt.gov.on.ca/appeals-process/forms/>.

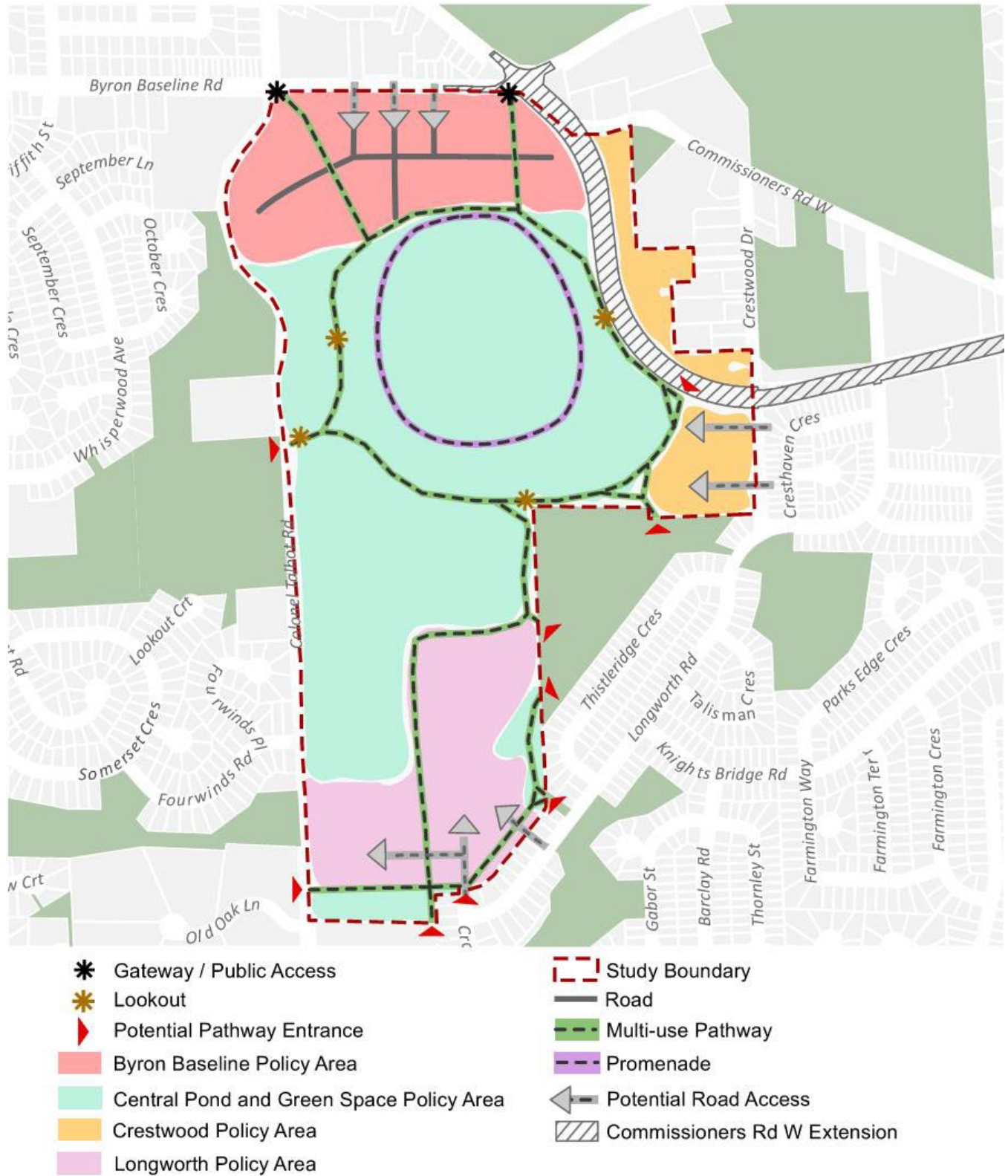
Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Evelina Skalski, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

Accessibility

The City of London is committed to providing accessible programs and services for supportive and accessible meetings. We can provide you with American Sign Language (ASL) interpretation, live captioning, magnifiers and/or hearing assistive (t coil) technology. Please contact us at plandev@london.ca by January 2, 2024, to request any of these services.

Community Structure Plan



Map showing the conceptual structure plan for the Bryon Gravel Pits.

The above image represents a schedule from the draft Secondary Plan and may change.

651 Talbot St

Historical: The residence was built in 1905 and is referred to in the *London Register of Cultural Heritage Resources* as the Kotowicz Property. The current house replaced a 19th century laundry operated by George Vinall. Between 1909-1916, according to *City Directories*, the house was occupied by Thomas P. McCormick, who was the son of the founder of the McCormick Manufacturing Company, producer of cookies and candies. The younger McCormick, who became vice-president and manager of the company, expanded the cookie business and was the overseer of the new innovatively designed McCormick factory, built in 1914 on Dundas St E. Clad in white tile with large 'daylight' windows this was known as the 'White Palace'.

The house remained in the possession of Thomas' widow until 1970.

Architectural: This house is basically Queen Anne in concept but with some trending towards the incoming styles of Arts and Crafts or Craftsman style with a solid, broader aspect and robust design elements.

The hipped roof is complex with cross gables at differing heights and it is flanked by tall chimneys which are especially lofty on the north side.. The gable on the front façade is large and commanding with shingle imbrication bargeboard enclosing a Palladian window. This window is marked by substantial framing. There is a small roof-line dormer turret topped with a conical roof with a curved window set into it. The roof has a deep cornice with simple modillions and a fascia board.

The house is constructed of red brick with stone surrounds to the windows which are plain and rectangular, except for a linked trio of round-headed windows on the first storey which are outlined with ample white stone surrounds. It is possible that the bay window on the second floor is a later addition. The broad verandah is spacious, spanning two-thirds of the façade and has a second storey balcony above it. It is supported by Classical columns and features wood balustrading. The front entrance is accessed with a flight of stone steps.

Although the house is assymetrical in basic plan especially the roof and attic storeys, the broad 3-bay façade is ordered with the window bays and front entrance balanced and centred.

Heritage attributes:

Contextual: There are several grand houses in this vicinity that are of a similar size and date. This property is one of the remaining few 'riverside residences' of this western stretch of Talbot St which overlook the river. They are flanked by 'Raleigh House' to the south, and 'Locust Mount' (now demolished) to the north which are of an earlier date. 651 is prominent in a spacious landscaped lot and is typical of the larger houses of the successful businessmen and professionals who moved gradually north from the centre of the city.

*Note: This house is almost a mirror image of **530 Ridout St N.** (built in 1903)*

Yes to design/physical value, historical/associative value and contextural value

Synthetic Materials Discussion

Background

Some heritage alteration permit (HAP) and other decisions have come through CACP and Council, where there has been disagreement on use of alternative materials to wood etc.

Most existing HCD plans and guidelines encourage wood, and discourage aluminum/vinyl, but are silent on some other materials (ie. composites). They also seem to frequently use language like “avoid” and “encourage” rather than “must” or “must not.”

- So, it is unsurprising that reasonable people can disagree about what should be allowed.

Excerpts from a selection of HCD plans and guidelines (Bishop Hellmuth, Blackfriars, and Wortley/Old South) are attached as Schedule “A.”

It seems to be in everyone’s interest to have consistency in decisions on the use of synthetic materials, and fairer to set that direction comprehensively rather than as one-off exceptions to those who complain louder or apply for retroactive approval.

Focus has been on HCDs rather than individually designated buildings:

- Individually designated buildings have more uniquely identified features, probably harder to create anything close to “one size fits all” guidance.
- HCDs also have building rankings that could make more concrete guidance easier to develop

Technological advancements in materials, climate resiliency considerations, and increasing concerns around affordability to property owners, may merit a fresh rethink of the use of synthetic materials in HCDs (within the bounds of our heritage policies/legislation).

Language of Motion for Consideration:

CACP recommends that Council task civic administration with creating and delivering a more permissive set of guidelines for the use of synthetic materials (including composites) in buildings designated under HCDs. These guidelines would aim to offer greater flexibility in material choices, while also aligning with London's existing HCD policies. Such guidelines would be made available to the public and implemented in staff's delegated heritage decisions, with the intention of enhancing the current framework.

Schedule “A”

Bishop Hellmuth

Building Alteration Policies

Original building materials, features and finishes should be repaired and conserved rather than replaced, when possible. The original has greater historical value. (p. 5)

When replacing building features, they should be duplicated or be in keeping with the character of the original. (p.5)

Walls: Original exterior wall finishes should be conserved wherever possible, together with their patina of age and weathering. 92% of the buildings in the heritage district are brick. Brick is the preferred wall finish for alterations. Alternative wall finishes should be traditional, such as stucco and wood. (p. 5)

Windows: The conservation of original windows in general and stained glass windows in particular is a high priority. If altered, they should complement the finish, style, proportions and placement of the original. Removal of original stained glass windows is strongly discouraged. Vinyl and aluminum-clad windows are discouraged as they lack historic character. (p. 6)

Trim: Alterations should ensure the conservation of the original trim wherever possible. If replaced, it should duplicate the original. Custom-made trim is usually required when replacing (p. 6)

Verandahs: Alterations should ensure their conservation, particularly the original posts, handrails and 'brackets. If parts are to be replaced, they should duplicate the original (p. 6)

Gables: If parts are replaced or repaired, they should duplicate the original in terms of finish, size, proportions and appearance. Custom made replacement parts are usually required (p. 6)

Roofs: New roof finishes should duplicate the original, such as slate, cedar shingle or asphalt, or be a complementary alternative such as asphalt appearing as cedar shingle. (p. 8)

Building Addition Policies

Original building materials, features and finishes should be repaired and conserved, rather than replaced, when possible. The original has greater historical value. (p. 9)

Materials: Materials Over 90% of the buildings in the heritage district are brick. The continued use of brick for additions is encouraged. Compatible alternatives should be traditional, such as wood or stucco. Vinyl or metal sidings are discouraged as they lack historic character and longevity. (p. 10)

Windows: Painted wood windows are encouraged. Vinyl and aluminum-clad windows are discouraged as they lack historic character. (p. 11)

Trim: Decorative wood trim extended through to the new addition is encouraged. As a secondary facade, a more modest trim is also appropriate. Vinyl or aluminum trim, particularly for soffits, is strongly discouraged as not being compatible. (p. 11)

New Building Policies

Original building materials, features and finishes should be repaired and conserved, rather than replaced, when possible. The original has greater historical value. (p. 13)

Materials: Compatible alternatives should be traditional, such as wood or stucco. Vinyl or metal sidings are discouraged as they lack historic character and longevity (p. 17)

Windows: The sash and window style in new buildings is encouraged to have a similar look and colour to comply with the heritage design objectives. (p. 17)

Trim: Where appropriate to the style of the new building, painted decorative wood trim is encouraged. This is a character defining architectural feature of the heritage district. (p. 18)

Blackfriars

Architectural Design Guidelines

Many forms of growth and change are not only inevitable, but desirable to keep the area viable and vibrant. Change can incorporate new lifestyle patterns and materials, assemblies and technology that are the expectation today, for most residents and property owners (p.44)

Gables, Dormers:

Deteriorated wood components should be replaced with new components fabricated to replicate the original design. Where components are completely missing, or too deteriorated to provide a pattern for replication, undertake adequate research by observing similar examples and copying as precisely as possible;

Siding:

Natural wood siding can be acquired and milled to profiles identical to the original profile and nailed in place and painted or stained to replicate the original appearance. This is the optimum solution where feasible;

Prefinished wood siding in several standard profiles and colours, along with required trim components is also available. While the raw wood that is the starting material has knots and blemishes that were not present in wood siding a century ago, this material is the preferred second choice if natural wood siding is unavailable or too costly;

Vinyl and aluminum siding are popular now for new construction and renovation because they are very inexpensive alternatives. They are inexpensive because they are very thin sheet materials formed into plank-shaped profiles and finished in a range of standard colours. They perform well at keeping rain and weather out of the building, but because of the thin nature of the sheet material, they are very fragile in use and prone to damage from impact of vehicles, toys, and ladders used for maintenance. These materials are not recommended to cover or replace original wood siding; and,

Fiber-cement board (which is a safe development from the abandoned asbestos-cement industry) is a relatively new product that offers many of the benefits of traditional wood siding without the cost or some of the defects that are standard with new wood products. The boards are available in a variety of standard profiles and pre-finished with a primer for finish painting on site. They are available in a smooth, flat finish that will stay smooth and flat compared to most vinyl and aluminum sidings. Like wood, they must be protected with a paint finish that can be selected from any paint colour and must be maintained with occasional repainting. This material, while less preferable than wood siding, is more suitable than aluminum and vinyl materials;

Porches and Verandahs:

For decorative elements such as gingerbread fretwork and other trim, wood is still the best choice to recreate the original appearance, but using improved technology such as waterproof glues and biscuit joiners and liquid preservatives and best quality paints to protect the finished product;

Fiberglass and plastic versions of decorative trims should be avoided. Poor interpretation of the scale or design of applied decoration detracts from the visual appearance and architectural coherence of porches and verandahs;

Soffits & Fascias

Avoid maintenance and repairs that require the covering of original materials with a new layer that conceals the original;

Replace deteriorated original wood details in soffits and fascias with new wood cut to replicate the profile of the original, and finished to match;

Windows & Doors

The replacement of original wood framed windows by vinyl or aluminum clad windows is discouraged. If this is the only reasonable option, the replacement windows should mimic the original windows with respect to style, size and proportion, with a frame that is similar in colour, or can be painted, to match other windows;

Decorative Trim and Details

Avoid covering or otherwise obscuring decorative trim and details with other materials, particularly vinyl and aluminum siding;

Wortley/Old South

Avoid “new” materials and methods of construction if the original is still available. In some cases, after careful research, substitute materials may perform better than original materials, but beware of using materials that have not been tested for years in a similar application.

C o n s e r v e ; Retain and restore heritage attributes wherever possible rather than replacing them, particularly for features such as windows, doors, porches and decorative trim.

Where replacement of features (e.g. doors, windows, trim) is unavoidable, the replacement components should be of the same style, size, proportions and material whenever possible.

Gables, Dormers and Turrets

Deteriorated wood components should be replaced with new components fabricated to replicate the original design. Where components are completely missing, or too deteriorated to provide a pattern for replication, undertake adequate research by observing similar examples and copying as precisely as possible.

Soffits & Fascias

Avoid maintenance and repairs that require the covering of original materials with a new layer that conceals the original.

Replace deteriorated original wood details in soffits and fascias with new wood cut to replicate the profile of the original, and finished to match.

Siding

The replacement materials available for wood siding includes: natural wood, specially prepared and pre-finished wood, vinyl, aluminum, and fiber-cement board siding.

Natural wood siding can be acquired and milled to profiles identical to the original profile and nailed in place and painted or stained to replicate the original appearance. This is the optimum solution where feasible.

Prefinished wood siding in several standard profiles and colours, along with required trim components is also available. While the raw wood that is the starting material has knots and blemishes that were not present in wood siding a century ago, this material is the preferred second choice if natural wood siding is unavailable or too costly.

Vinyl and aluminum siding are popular now for new construction and renovation because they are very inexpensive alternatives. They are inexpensive because they are very thin sheet materials formed into plank-shaped profiles and finished in a range of standard colours. They perform well at keeping rain and weather out of the building, but because of the thin nature of the sheet material, they are very fragile in use and prone to damage from impact of vehicles, toys, and ladders used for maintenance. These materials are not recommended to cover or replace original wood siding.

Fiber-cement board (which is a safe development from the abandoned asbestos-cement industry) is a relatively new product that offers many of the benefits of traditional wood siding without the cost or some of the defects that are standard with new wood products. The boards are available in a variety of standard profiles and pre-finished with a primer for finish painting on site. They are available in a smooth, flat finish that will stay smooth and flat compared to most vinyl and aluminum sidings. Like wood, they must be protected with a paint finish that can be selected from any paint colour and must be maintained with occasional repainting.

This material, while less preferable than wood siding, is more suitable than aluminum and vinyl materials.

Porches and Verandahs

For decorative elements such as gingerbread fretwork and other trim, wood is still the best choice to recreate the original appearance, but using improved technology such as waterproof glues and biscuit joiners and liquid preservatives and best quality paints to protect the finished product.

Fibreglass and plastic versions of decorative trims should be avoided. Poor interpretation of the scale or design of applied decoration detracts from the visual appearance and architectural coherence of porches and verandahs.

Windows

The replacement of original wood framed windows by vinyl or aluminum clad windows is discouraged. If this is the only reasonable option, the replacement windows should mimic the original windows with respect to style, size and proportion, with a frame that is similar in colour, or can be painted, to match other windows.

Decorative Trim and Details

Avoid covering or otherwise obscuring decorative trim and details with other materials, particularly vinyl and aluminum siding.

Preserve and restore as much of the original trim and detailing as possible and use the original as templates for new replacements.

Heritage Planners' Report to CACP: April 10, 2024

1. Heritage Alteration Permits processed under Delegated Authority By-law:
 - a) 441 Ridout Street North (L.S.P.-3330-152, DNTN HCD) – New surface-mounted signage;
 - b) 239 Wortley Road (WV-OS HCD) – Porch replacement;
 - c) 188 Bruce Street (WV-OS HCD) – New porch handrail;
 - d) 51 Edward Street (WV-OS HCD) – Front window replacement, masonry and stained-glass repair;
 - e) 68 Albion Street (BP HCD) – Amendment – Windows and cladding on two-storey rear addition;
 - f) 647 Elias Street (OE HCD) – Amendment – Detached shed relocation to rear of property.

Upcoming Heritage Events

- Allocation Committee for the London Endowment for Heritage Fund
 - Seeking Allocation Committee members

- 17th Annual London Heritage Awards 2024 – Museum London
 - Thursday April 11, 2024, 6:30pm
 - <https://londonheritageawards.ca/>

- Mother's Day Botanical Market – Eldon House Courtyard and Interpretive Centre
 - Sunday May 12, 2024, 10:00am – 4:00pm (By Donation)
 - <https://eldonhouse.ca/product/mothers-day-botanical-market/>

- Ontario Heritage Conference 2024 – Gravenhurst, ON
 - Thursday, June 13 – Saturday, June 15, 2024
 - Registration now open: <https://www.gravenhurst.ca/en/explore-and-play/2024-ontario-heritage-conference.aspx#Register-for-the-Conference>

- London and Middlesex Historical Society
 - Upcoming meetings and events: <https://www.londonhistory.org/lmhs-meetings>

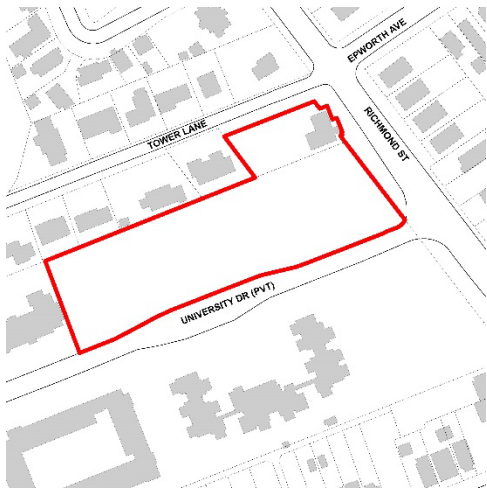
- Asian Heritage Month – May 2024



NOTICE OF PLANNING APPLICATION & NOTICE OF PUBLIC MEETING

Zoning By-law Amendment

1151 & 1163 Richmond Street



File: Z-9723

Applicant: MHBC Planning (c/o Scott Allen)

What is Proposed?

Zoning amendment to allow:

- The development of an eight-storey student residence, containing 259 residential suites (772 bedrooms).
- Special Provisions are being requested to allow Richmond Street to act as the frontage, reduced front yard setback, reduced exterior side yard setback, reduced interior side yard setback, and a reduced rear yard setback.

LEARN MORE & PROVIDE INPUT

You are invited to provide comments and/or attend a public meeting of the Planning and Environment Committee to be held:

Meeting Date and Time: Tuesday, June 11, 2024, no earlier than 1:00 p.m.

Please monitor the City's website closer to the meeting date to find a more accurate meeting start time: <https://london.ca/government/council-civic-administration/council-committee-meetings>

Meeting Location: The Planning and Environment Committee Meetings are hosted in City Hall, Council Chambers; virtual participation is also available, please see City of London website for details.

Please provide any comments by **May 10, 2024**

For more information contact:

Chloe Cernanec
ccernane@london.ca
519-661-CITY (2489) ext. 7674
Development Services, City of London
300 Dufferin Avenue, 6th Floor,
London ON PO Box 5035 N6A 4L9
File: Z-9723
london.ca/planapps

To speak to your Ward Councillor:

Sam Trosow
strosow@london.ca
519-661-CITY (2489) ext. 4006

If you are a landlord, please post a copy of this notice where your tenants can see it. We want to make sure they have a chance to take part.

Date of Notice: April 5, 2024

Application Details

Requested Zoning By-law Amendment

To change the zoning from a Regional Facility and Private Road (RF/PR) and Regional Facility (RF(7)) Zone to a Special Provision Regional Facility (RF(_)) Zone. Changes to the currently permitted land uses and development regulations are summarized below.

The Zoning By-law is available at london.ca.

Current Zoning

Zone: Regional Facility / Private Road (RF/PR) and Special Provision Regional Facility (RF(7))

Permitted Uses: RF: Adult secondary schools; Ancillary residential and/or hostels and accommodations, together with permitted uses in this zone; Places of Worship; Commercial parking structures and/or lots; Commercial schools; Community colleges; Day care centres; Elementary schools; Emergency care establishments; Group Home Type 2; Hospitals; Institutional uses; Libraries; Nursing homes; Private schools; Recreational buildings; Secondary schools; Stadia; Supervised residences; Universities. PR: Represents development on individually owned parcels or structures with frontage on a private road, in conformity with the Official Plan policies.

Special Provision(s): RF(7) permitted uses: University excluding the following uses associated with the main permitted use: a) Residences; b) Licensed drinking establishments; c) Restaurants. Regulations: i) Height (maximum): 8.0 metres, ii) Landscaped Open Space (minimum): 30%, iii) Retail Store, Associated With University Use (maximum): 25% of gross floor area.

Height: 40.0 metres

Requested Zoning

Zone: Special Provision Regional Facility (RF(_))

Permitted Uses: Adult secondary schools; Ancillary residential and/or hostels and accommodations, together with permitted uses in this zone; Places of Worship; Commercial parking structures and/or lots; Commercial schools; Community colleges; Day care centres; Elementary schools; Emergency care establishments; Group Home Type 2; Hospitals; Institutional uses; Libraries; Nursing homes; Private schools; Recreational buildings; Secondary schools; Stadia; Supervised residences; Universities.

Special Provision(s): Special Provisions are being requested to allow for Richmond Street to act as the frontage, reduced front yard setback, reduced exterior side yard setback, reduced interior side yard setback, and a reduced rear yard setback.

The City may also consider the use of holding provisions and additional special provisions.

Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. The subject lands are in the Urban Corridors Place Type at the corner of two Civic Boulevards in The London Plan, permitting a range of residential, retail, service, office, cultural, recreational, and institutional uses.

How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. The ways you can participate in the City's planning review and decision making process are summarized below.

See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at london.ca/planapps
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Planning & Development staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

Attend This Public Participation Meeting

The Planning and Environment Committee will consider the requested Official Plan and zoning changes at this meeting, which is required by the Planning Act. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the [Neighbourgood](#) website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

What Are Your Legal Rights?

Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at docservices@london.ca. You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Clerk of the Committee.

Right to Appeal to the Ontario Land Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

For more information go to <https://olt.gov.on.ca/appeals-process/forms/>.

Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Evelina Skalski, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

Accessibility

The City of London is committed to providing accessible programs and services for supportive and accessible meetings. We can provide you with American Sign Language (ASL) interpretation, live captioning, magnifiers and/or hearing assistive (t coil) technology. Please contact us at plandev@london.ca by June 4, 2024, to request any of these services.

Site Concept

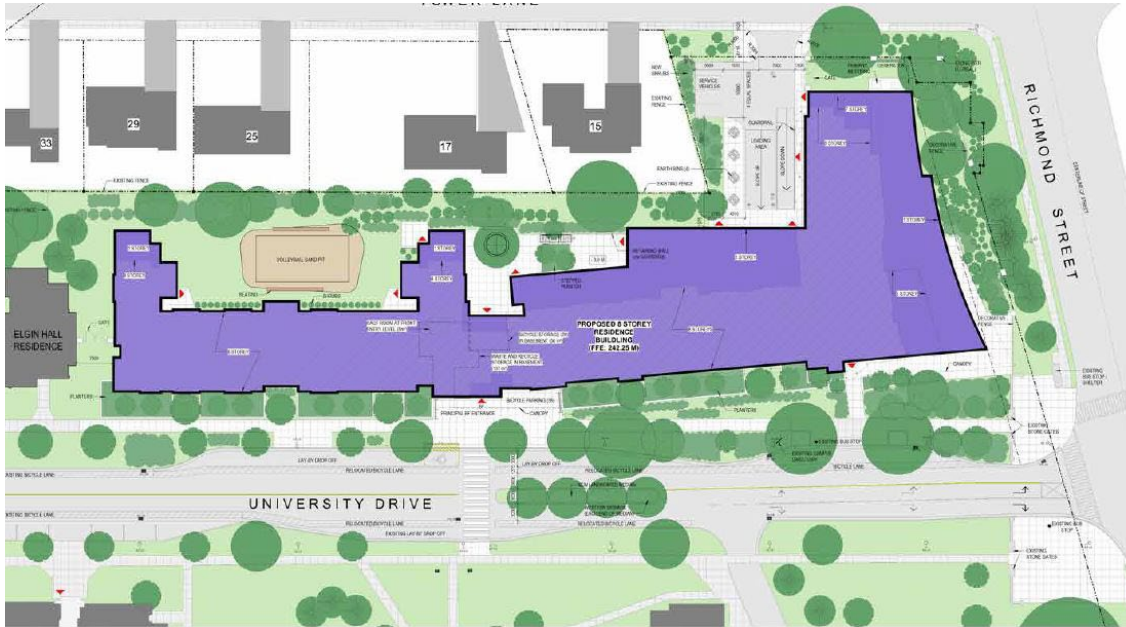


Figure 1: Site Layout



Figure 2: Rendering of proposed eight-storey student residence.

The above images represent the applicant's proposal as submitted and may change.

Heritage Impact Assessment

*Proposed University Drive
Student Residence*

1151 Richmond Street (Medway
Hall and University Gates East) &
1163 Richmond Street (BMO Bank
Building)
London, Ontario

Date:
November 23, 2023

Revised February 7, 2024

Prepared for:
University of Western Ontario

Prepared by:
**MacNaughton Hermsen Britton Clarkson
Planning Limited (MHBC)**
200-540 Bingemans Centre Drive
Kitchener, ON N2B 3X9
T: 519 576 3650
F: 519 576 0121

Project No. 10175E

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Project Personnel

Dan Currie, MA, MCIP, RPP, CAHP	<i>Managing Director of Cultural Heritage</i>	Senior Review
Rachel Redshaw, MA, HE Dipl., CAHP	<i>Senior Heritage Planner</i>	Author, Research
Jennifer Gaudet, MCIP, RPP	<i>Planner</i>	Fieldwork
Lee-Anne McLeod	<i>Junior Planner</i>	Research
Paul Jae Wong Lee	<i>Technician</i>	Map Figures
Nina Pulver, MLA, OALA, CSLA	<i>Senior Landscape Architect</i>	Landscape Architect Review

Glossary of Abbreviations

CHVI	<i>Cultural Heritage Value or Interest</i>
HIA	<i>Heritage Impact Assessment</i>
HCD	<i>Heritage Conservation District</i>
MHBC	<i>MacNaughton Hermsen Britton Clarkson Planning Limited</i>
MCM	<i>Ministry of Citizenship and Multiculturalism</i>
OHA	<i>Ontario Heritage Act</i>
OHTK	<i>Ontario Heritage Toolkit</i>
O-REG 9/06	<i>Ontario Regulation 9/06 for Determining Cultural Heritage Value or Interest</i>
PPS 2020	<i>Provincial Policy Statement (2020)</i>
S&Gs	<i>Standards and Guidelines for the Conservation of Historic Places in Canada</i>

Acknowledgement of Indigenous Communities

This Heritage Impact Assessment acknowledges that the subject property is located at 1151 & 1163 Richmond Street, City of London, Ontario which is situated within the traditional territory of the Anishinaabek, Haudenosaunee, Lūnaapéewak and Attawandaron peoples on lands that relate to the London Township and Sombra Treaties of 1796 and the dish with One Spoon Covenant Wampum (Western University).

This document takes into consideration the cultural heritage of indigenous communities including their oral traditions and history when available and related to the scope of work.

Other Acknowledgements

This Heritage Impact Assessment also acknowledges the Western Libraries- Archives and Special Collections and the Bank of Montreal Archives for providing relevant information.

Executive Summary

MHBC Planning, Urban Design and Landscape Architecture (“MHBC”) was retained in August 2023 by the by Architects Tillmann Ruth Robinson to undertake a Heritage Impact Assessment (“HIA”) for the proposed redevelopment located on 1151 & 1163 Richmond Street, City of London, Ontario. The proposed redevelopment includes the removal of the existing building (Former BMO Bank of Montreal Building) located at 1163 Richmond Street, and the construction of an eight-storey student residence building within Western University’s East Campus at the north-west corner of University Drive and Richmond Street (the “Project Site”). The Project Site is currently vacant and is adjacent to an existing student residence (Elgin Hall) to the west.

This HIA evaluated and assessed Medway Hall and the University Gates (East) as required by the Campus Lands in the Western’s Campus Wide Master Site Plan and Development Agreement. The report also evaluated the property located at 1163 Richmond Street which is included in the Subject Lands. The Subject Lands are adjacent to several listed (non-designated) properties on the *City of London’s Register of Cultural Heritage Resources* (2022). The City of London (the “City”) scoped the adjacent properties required for evaluation and assessment to the following:

- 1137 Richmond Street
- 1140 Richmond Street
- 1142 Richmond Street
- 1144 Richmond Street
- 1148 Richmond Street
- 1150 Richmond Street
- 1156 Richmond Street
- 1158 Richmond Street
- 1160 Richmond Street

The HIA determined that Medway Hall and University Gates (East) have cultural heritage value or interest (“CHVI”) in addition to the following properties as reviewed in Sub-section 5.5 of this report:

- 1142 Richmond Street
- 1144 Richmond Street
- 1148 Richmond Street
- 1150 Richmond Street
- 1156 Richmond Street
- 1160 Richmond Street

It was determined that the properties located at 1163 Richmond Street, which is part of the Subject Lands, and 1137, 1140, 1158 Richmond Street do not have potential to meet at least two of the prescribed criteria under O. Reg 9/06 and therefore, are not considered cultural heritage resources and subsequently not included in the impact analysis in Section 7.0 of this report.

The impact analysis determined that adverse impacts are limited to potential impacts of alterations and land disturbances as it relates to the University Gates (East) and the landscaping associated with the proposed redevelopment. There is no adverse impact identified for Medway Hall (1151 Richmond Street) or for adjacent, above-mentioned properties determined to be of CHVI.

The following lists mitigative measures that are recommended to eliminate or limit potential negative impacts as it relates to the University Gates (East):

- Ensure that hardscaping and other related landscape works be of a material and location that is compatible with the existing masonry of the University Gates (East) such as:
 - Unobtrusive, interlocking pavers of natural stone or brick hardscaping (suggest similar colour of grey limestone); natural stone from local quarry, such as Warton, could be used as an accent;
 - Furnishings have simple, clean lines, metal elements and natural wood; and,
 - Clean planting with evergreens (i.e. yew or cedar), grasses and flowering shrubs (i.e. hydrangea).
- Protective measures (i.e. hoarding or tarping) should be implemented around the masonry monuments to reduce/ eliminate potential damage to the structures during construction works; and,
- Ensure proper documentation of the University Gates (East) is completed prior to works (i.e. architectural drawings, digital scanning) and identifying characteristics of the source of the type of stone use and composition of mortar.

It is recommended that the guidelines for masonry in Section 4.5.3 within the Standards and Guidelines for the Conservation of Historic Places ("S&Gs") be applied, where necessary.

- Protect and maintain masonry by preventing water penetration, and maintaining proper drainage so that water or organic matter does not stand on flat surfaces, or accumulate in decorative figures by making appropriate repairs (Guideline 3);
- On-going maintenance cleaning masonry to remove heavy soiling, where needed and when required, using gentle cleaning methods and carrying out masonry cleaning tests prior to the use; recommend five-year inspections to determine when cleaning is required (Guideline 6);
- On-going repairing masonry by repointing the mortar joints where there is evidence of deterioration and using mortars that ensure the long-term preservation of the masonry by duplicating original mortar joints in colour,

texture, width and joint profile, where needed and when required;
recommend five-year inspections to determine when cleaning is required
(Guideline 13).

In addition to the above, it is recommended that similar conservation work be applied to Medway Hall in areas where there is discolouration and minor deterioration of masonry and associated mortar and that works be completed in consistency with Section 4.5.3 of the S&Gs as recommended similarly above for the masonry University Gates (East).

The general design of the proposed new buildings appears consistent with the adjacent cultural heritage resources. The use of precast concrete and brick masonry mimics the texture and appearance of the material of these built heritage resources and the neutral colour palette supports their integration into their immediate context which conserves their surrounding environment.

1.0 Introduction

MHBC Planning, Urban Design and Landscape Architecture (“MHBC”) was retained in August 2023 by the by Architects Tillmann Ruth Robinson to undertake a Heritage Impact Assessment (“HIA”) for the proposed redevelopment of 1151 & 1163 Richmond Street, City of London, Ontario (the “Subject Lands”) (see **Appendix ‘A’**). The proposed redevelopment includes the removal of the existing building located at 1163 Richmond Street (former BMO Bank of Montreal Building), and the construction of an eight storey student residence building within Western University’s campus on approximately 0.95 hectares with fronting on Richmond Street and University Drive (the “Project Site”). The Project Site as it relates to 1151 Richmond Street is currently greenfield and is adjacent to an existing student residence (Elgin Hall) to the west.

The Subject Lands located at 1151 and 1163 Richmond Street are identified on the *City of London’s Register of Cultural Heritage Resources* (2019) as containing “listed” (non-designated) properties. Additionally, the Subject Lands are adjacent (contiguous and non-contiguous) to several “listed” (non-designated) properties, however, the City of London (“the City”) has requested a scoped review of the following adjacent properties: 1137, 1140, 1142, 1144, 1148, 1150, 1156, 1158, and 1160 Richmond Street.

As per Policy 565 of the London Plan, an HIA must be completed to form part of complete planning applications required for the redevelopment of the Project Site. The report will assess both Medway Hall and the University Gates (East) which are identified as built heritage features located within a 50-metre boundary of the development within the Campus Lands in the Western’s Campus Wide Master Site Plan and Development Agreement as requiring a Heritage Impact Assessment (Schedule D of the agreement). The purpose of the HIA is to assess impact to identified cultural heritage value or interest (“CHVI”) and associated heritage attributes. If adverse impacts are identified, alternative development options, mitigation and conservation measures will be provided.

1.1 Description of Subject Lands

The Subject Lands are located at 1151 & 1163 Richmond Street, London, Ontario shown in **Figure 1** and **Appendix ‘A’** of this report. The Project Site is situated within Western University’s campus on the northwest corner of the Richmond Street and University Drive intersection; it is currently vacant as it relates to 1151 Richmond Street (see **Photo 1**) and includes the former BMO Bank of Montreal Building which was converted into the Child and Youth Development Clinic as it relates to 1163 Richmond Street (see **Photo 7**). The Project Site is adjacent to Elgin Hall (student residence) and University Gates (East) (**Photos 2-7**). The surrounding Subject Lands include: Alumni House, Medway Hall, Sydenham Hall, surface parking lot, landscaped open green space and pedestrian pathways.



Figure 1
Location Plan

LEGEND

-  Subject Lands (1151 & 1163 Richmond St.)
-  Project Site

Date: November 2023

Scale: 1:5,000

File: 10175E

Drawn: PL



1151 & 1163 Richmond St.
City of London
Ontario

Source:
City of London 2022 Aerial Imagery

K10175E 1151 & 1163 Richmond Street, London RPT/Report Figures.cgr



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& LANDSCAPE
ARCHITECTURE

200-540 BINGHAM'S CENTRE DRIVE, KITCHENER, ON, N2B 3P9 | P: 519-576-3656 | WWW.MHBCPLAN.COM



Photos 1 & 2 (above) View of Project Site looking eastwards from Elgin Hall towards University Gates (East) (East) and Richmond Street; (below) View of Elgin Hall and Medway and Sydenham Hall looking westwards along University Drive towards University Bridge (MHBC, 2023).

*Heritage Impact Assessment for Proposed University Drive Student Residence
1151 & 1163 Richmond Street, London, ON*



Photos 3 & 4 (above) View of Elgin Hall and University Drive looking north-east towards Project Site; (below) View of University Drive looking south-east towards Elgin Hall and Sydenham Hall (MHBC, 2023).

*Heritage Impact Assessment for Proposed University Drive Student Residence
1151 & 1163 Richmond Street, London, ON*



Photos 5 & 6 (above) View of University Gates (East) (East) looking north-west along University Drive; (below) View of University Drive towards University Bridge (MHBC, 2023).



Photo 7: View of the BMO Bank of Montreal Building located at 1163 Richmond Street which is part of the Project Site (MHBC, 2023)

1.2 Description of Surrounding Area

The area surrounding the Project Site is a mixed-use area that includes residential, commercial and institutional uses. To the north are low to high rise residential buildings. Located directly to the east is the commercial corridor of Richmond Street which primarily includes low-rise residential dwellings and further east is King’s University College campus. To the south is the urban thoroughfare of University Drive which is mainly characterized by 3-4 storey multi-residential student housing buildings, but also contains low-rise residential and commercial forms. To the west is the University Bridge and west end of the university campus.

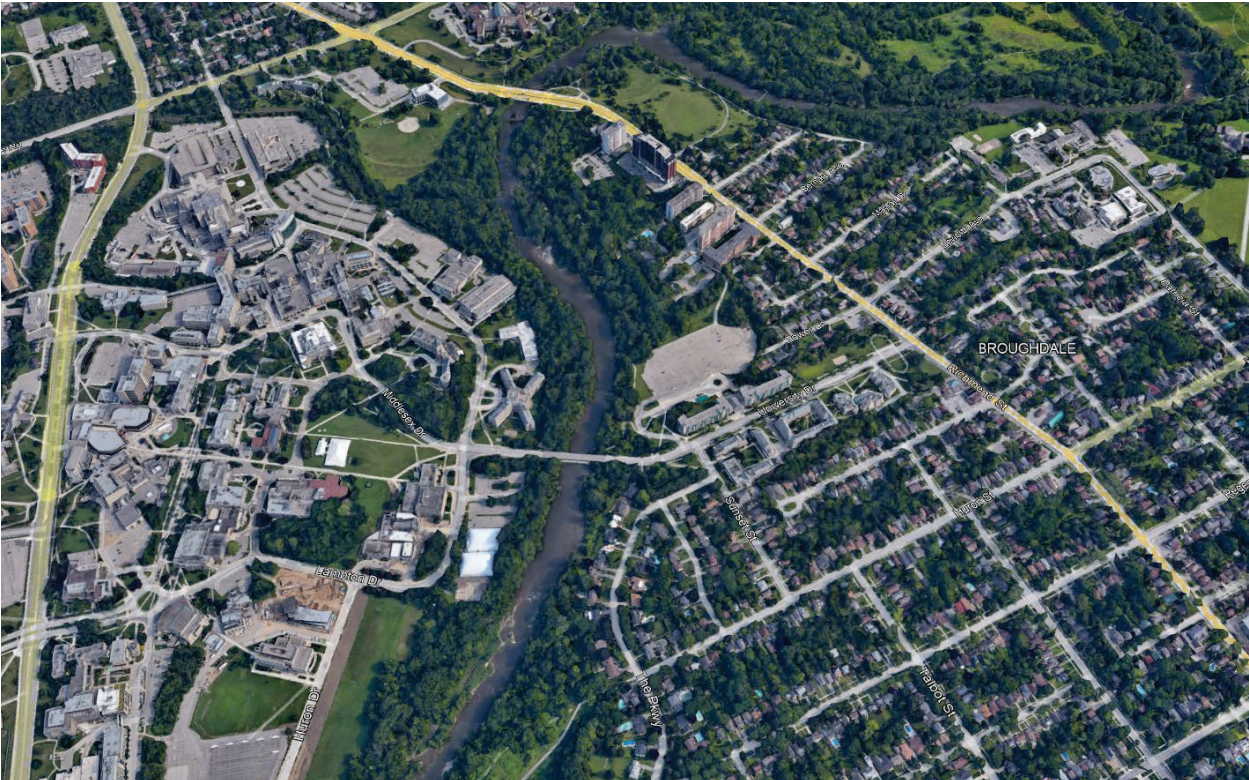


Photo 8: Aerial view of the Subject Lands and surrounding area (Google Earth Pro, 2023)

*Heritage Impact Assessment for Proposed University Drive Student Residence
1151 & 1163 Richmond Street, London, ON*



Photos 9 & 10: (above) View of Richmond Street looking northwards from intersection of University Drive and Richmond Street; (below) View of Richmond Street looking southwards from intersection of University Drive and Richmond Street towards residential properties along Richmond Street (Google Earth Pro, 2022).

*Heritage Impact Assessment for Proposed University Drive Student Residence
1151 & 1163 Richmond Street, London, ON*



Photos 11 & 12: (above) View of University Bridge looking westwards towards the west side of campus; (below) View of Tower Lane looking westwards from 1163 Richmond Street (MHBC, 2023).

1.3 Heritage Status

1.3.1 Subject Lands

In order to confirm the presence of identified cultural heritage resources, several databases were consulted such as: *City of London's Register of Cultural Heritage Resources* (Updated 2022), *City of London's Official Plan*, the *Ontario Heritage Act Register* (Ontario Heritage Trust), the *Canadian Register of Historic Places*. Based on the review of the above-mentioned databases, it was confirmed that the Subject Lands are "listed" (non-designated) on the *City of London's Register of Cultural Heritage Resources* (2022) and adjacent to several listed (non-designated) properties (see **Figure 2**). The following provides the description of the Subject Lands within the City's municipal heritage register:

- **1151 Richmond Street**
(Register description: 1925, Collegiate Gothic, added to Register on March 26, 2007)
- **1163 Richmond Street**
(Register description: Description not provided, added to Register on March 27, 2018).

The Western Campus Wide Master Site Plan and Development Agreement identifies the following built heritage features related to 1151 Richmond Street in Schedule 'D' entitled "Western Heritage Review Area":

- Cronyn Observatory
- Great Hall – Somerville House
- Lawson Hall
- Lawson Library
- McIntosh Gallery
- **Medway Hall**
- Middlesex College
- Natural Sciences,
- Spencer Engineering
- Thames Hall
- University Bridge
- University College
- **University Gates-East**

The proposed development is within the 50-metre buffer of Medway Hall and the University Gates (East) which are identified as requiring an HIA in the agreement (see **Figure 3**). The Project Site is not within a location identified as a 'viewshed' in Schedule D of this development agreement.

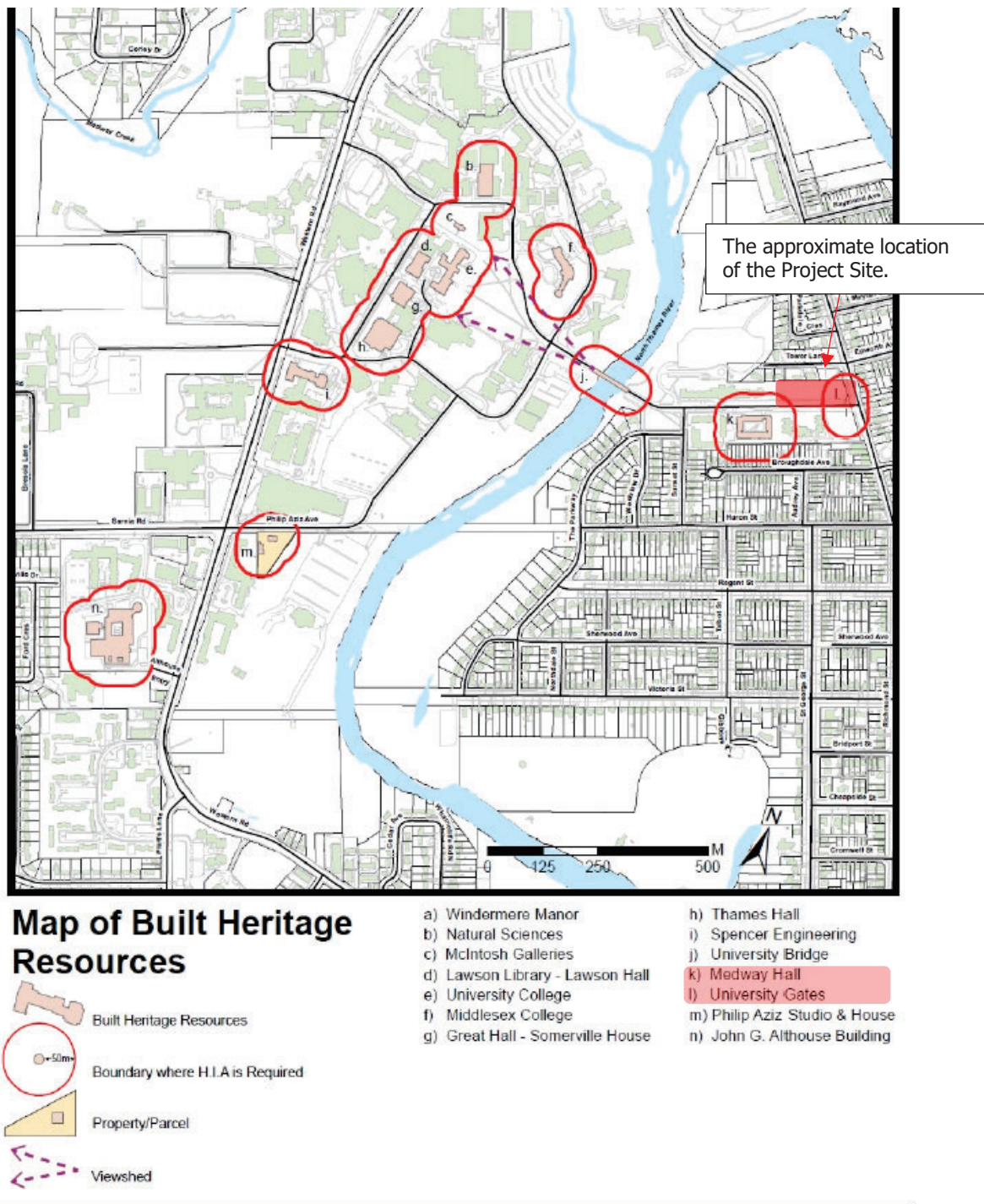


Figure 3: Map of Built Heritage Resources identifying built heritage resources, viewsheds and boundaries where an HIA is required from the Western Campus Wide Master Site Plan and Development Agreement (Source: Western Campus Wide Master Site Plan Development Agreement, Schedule D).

1.3.2 Adjacent Properties

The Subject Lands are adjacent to nine (9) “listed” (non-designated) properties on the *City of London’s Register of Cultural Heritage Resources* (2019) that have been requested by the City to be evaluated (see **Figure 4**). **Table 1.0** reviews the adjacent properties that are requested to be reviewed as part of this report and associated information provided in the City’s Register.

Table 1.0 – Heritage ‘Listed’ (Non-designated) Adjacent Properties

	Address	Description from Municipal Heritage Register
No. 1	1137 Richmond Street	Description not provided, added to Register on March 27, 2018
No. 2	1140 Richmond Street	c. 1920, added to Register on March 27, 2018
No. 3	1142 Richmond Street	c. 1937, added to Register on March 27, 2018
No. 4	1144 Richmond Street	c. 1938, added to Register on March 27, 2018
No. 5	1148 Richmond Street	c. 1870, Ontario Farmhouse, added to Register on March 27, 2017
No. 6	1150 Richmond Street	c. 1900, added to Register on March 27, 2018
No. 7	1156 Richmond Street	c. 1929, added to Register on March 27, 2018
No. 8	1158 Richmond Street	Description not provided, added to register on March 27, 2018
No. 9	1160 Richmond Street	c. 1890, Vernacular, added to Register on March 27, 2018

Section 5.0 of this report evaluates the specified built features on the Subject Lands and adjacent properties under the prescribed *Ontario Regulation 9/06* (“O. Reg 9/06”) to determine if they have CHVI.



Figure 3
**Identified Properties/
Built Features
Requiring Evaluation
and Assessment**

1151 & 1163 Richmond Street
City of London
Ontario

LEGEND

-  Subject Lands (1151 & 1163 Richmond St.)
-  City of London Listed Heritage Properties
- Adjacent Listed Properties
 - ① 1137 Richmond St
 - ② 1140 Richmond St
 - ③ 1142 Richmond St
 - ④ 1144 Richmond St
 - ⑤ 1148 Richmond St
 - ⑥ 1150 Richmond St
 - ⑦ 1156 Richmond St
 - ⑧ 1158 Richmond St
 - ⑨ 1160 Richmond St

Source: City of London 2022 Aerial Imagery

Date: November 2023

Scale: 1:5,000

File: 10175E

Drawn: PL



<110175E 1151 & 1163 Richmond Street, London>RPT/Report Figures.qxd



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& LANDSCAPE
ARCHITECTURE
200-540 BINGEMANS CENTRE DRIVE, KITCHENER, ON, N2B 3P9 | P: 519.576.3605 | WWW.MHBCPLAN.COM

Figure 4: An aerial photo identifying the Subject Lands in red dotted line; yellow highlights identified heritage “listed” (non-designated) properties that require evaluation and assessment (blue identifies the built features that require assessment on the Subject Lands) (MHBC, 2023).

1.4 Land Use and Zoning

Part of the Subject Lands include the zoning "PRRF" and "RF(7)". The 'Regional Facility Special Provision (RF)' permits a broad range of major institutional uses including universities and supervised residences (see **Figure 5**).

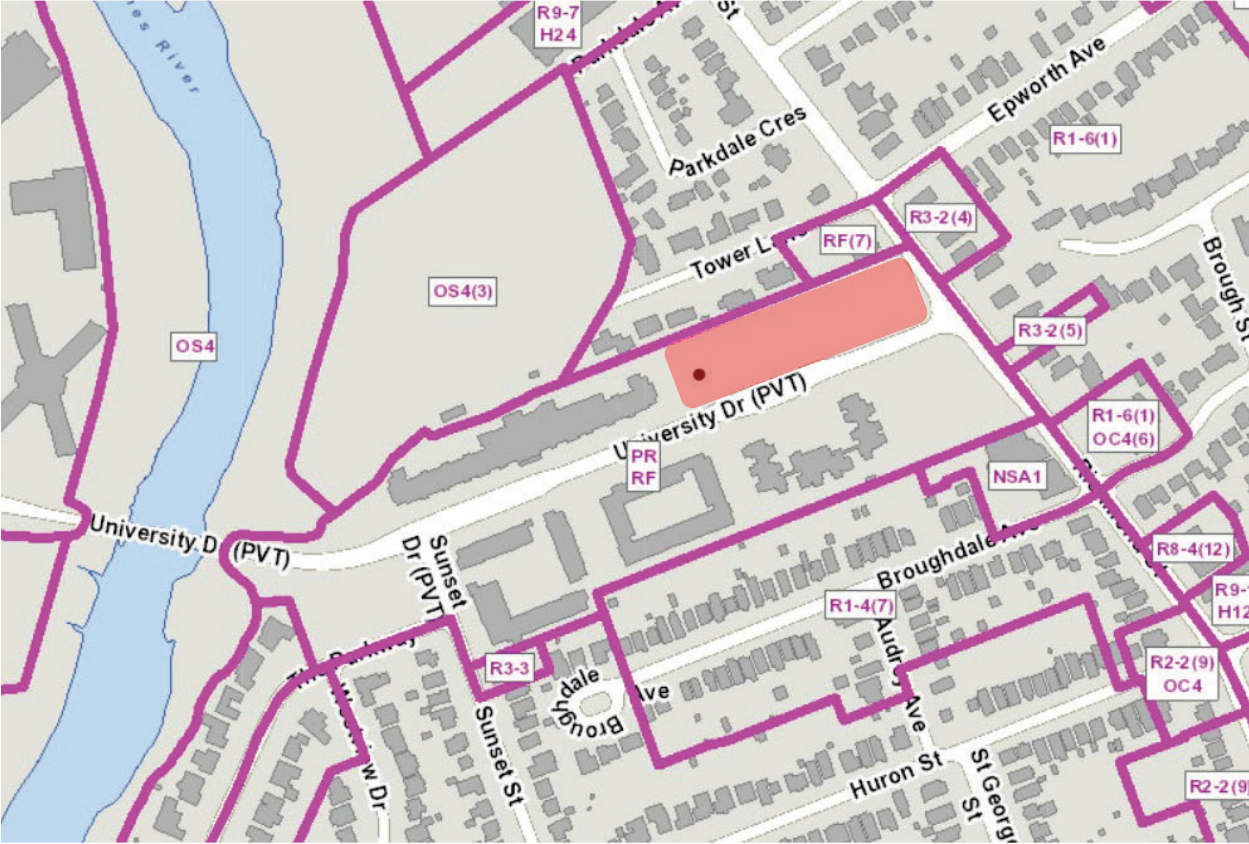


Figure 5: Excerpt from the City of London Interactive Zoning City Map; red box identifies general vicinity of the Project Site within the Subject Lands (Source: City of London Interactive Mapping, 2023).

2.0 Policy Context

2.1 The Ontario Planning Act

The *Planning Act* includes direction relating to a number of provisions respecting cultural heritage, either directly in Section 2 of the Act or Section 3 respecting policy statements and provincial plans. In Section 2, the *Planning Act* outlines 18 spheres of provincial interest that must be considered by appropriate authorities in the planning process. Regarding cultural heritage, Subsection 2(d) of the Act provides that:

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as, ...

(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

The *Planning Act* therefore provides for the overall broad consideration of cultural heritage resources through the land use planning process.

2.2 Provincial Policy Statement (2020)

In support of the provincial interest identified in Subsection 2 (d) of the *Planning Act*, and as provided for in Section 3, the Province has refined policy guidance for land use planning and development matters in the *Provincial Policy Statement, 2020* (PPS). The PPS is “intended to be read in its entirety and the relevant policy areas are to be applied in each situation”. This provides a weighting and balancing of issues within the planning process. When addressing cultural heritage planning, the PPS provides for the following:

2.6.1 *Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*

2.6.3 Planning authorities shall not permit *development and site alteration on adjacent lands to protected heritage property* except where the proposed *development and site alteration* has been evaluated and it has been demonstrated that the heritage attributes of the *protected heritage property* will be conserved.

The PPS defines the following terms:

Significant: means in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*.

Built Heritage Resource: means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. *Built heritage resources* are located on property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal and/or international registers.

Protected Heritage Property: means property designated under Parts IV, V or VI of the *Ontario Heritage Act*; property subject to a heritage conservation easement under Parts II or IV of the *Ontario Heritage Act*; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

2.3 Ontario Heritage Act

The *Ontario Heritage Act*, R.S.O., 1990, c.0.18 remains the guiding legislation for the conservation of significant cultural heritage resources in Ontario. Preparation of this report has been guided by the criteria provided with *Regulation 9/06* of the *Ontario Heritage Act*, which outlines the mechanism for determining cultural heritage value or interest. The regulation sets forth categories of criteria and several sub-criteria. Section 2.0 of the *Ontario Heritage Act* directs the Ministry of Citizenship and Multiculturalism ("MCM") to determine policies, priorities and programs for the conservation, protection and preservation of the heritage of Ontario.

2.4 Ontario Heritage Toolkit

The Province has published several resources containing information related to cultural heritage resources, and compiled the information into the *Ontario Heritage Toolkit*. This compilation is a collection of documents authored by the MCM, which provide guidance related to a variety of cultural heritage planning matters. The documents contained within the Heritage Resources in the Land Use Planning Process compilation have specifically been referenced in the preparation of this report, to ensure consistency with best practices.

2.5 City of London Official Plan (The London Plan, 2019)

The London Plan states that new development on or adjacent to heritage properties will require a Heritage Impact Assessment. The London Plan identifies adjacent as follows:

Adjacent when considering potential impact on cultural heritage resources means sites that are contiguous; sites that are directly opposite a cultural heritage resource separated by a laneway, easement, right-of-way, or street; or sites upon which a proposed development or site alteration has the potential to impact identified visual character, streetscapes or public views as defined within a statement explaining the cultural heritage value or interest of a cultural heritage resource.

The London Plan discusses the importance of urban regeneration in the City which includes the protection of built and cultural heritage resources while “facilitating intensification within [the City’s] urban neighbourhoods, where it is deemed to be appropriate and in a form that fits well within the existing neighbourhood” (Policy 152, 8). Policy 554, reinforces the importance of the protection and conservation of built and heritage resources within the City and in particular, in the respect to development. As part of this initiative the City states in Policy 586, that,

The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved.

Thus, it is the purpose of this report to analyze the potential impact(s) to the Subject Lands and adjacent properties located at: 1137, 1140, 1142, 1144, 1148, 1150, 1156, 1158, and 1160 Richmond Street specified by the City for evaluation and assessment.

3.0 Historical Background

3.1 Indigenous Communities and Pre-Contact History

The pre-contact period of history in Ontario specifically refers to the period of time prior to the arrival of Europeans in North America. The prehistory of Ontario spans from the time the first inhabitants arrived in the Paleo-lithic period to the late Woodland period, just before the arrival of Europeans and the “contact” period, in the 16th and 17th centuries. The periods (and sub-periods) of Indigenous history in Ontario includes the Paleo period (beginning approximately 11,500 B.P.), the Archaic Period (9,500 B.P. to 2,900 B.P.), and the Woodland period (900 B.C. to approximately the 16th century). There are several registered archaeological sites in London dating to the Paleo period, the Early, Middle and Late Archaic period, as well as Early, Middle, and Late Woodland period. This includes Iroquoian longhouse settlements during the Early and Late Ontario Iroquoian period (*Archaeological Management Plan* (2017)). The Region included the Anishnaabeg, Haudenosaunee, and Lenni-Lenape Nations (City of London, 2020).

On September 7, 1796, an agreement was made between representatives of the Crown and certain Anishinaabe peoples called the *London Township Purchase* also known as Treaty #6. The territory included in the agreement was approximately 30km² and included payments of “-calico and serge cloths, cooking implements, rifles and flint, and vermilion” (Ministry of Indigenous Affairs, Government of Ontario). Today, the neighbouring First Nations communities including the Chippewas of the Thames First Nation, Munsee-Delaware Nation and Oneida Nation of the Thames, identify the City of London and area as traditional territory (The London Plan, 2019, 137).

3.2 Brief History of the City of London

Three years prior to the establishment of *The London Treaty* of 1796, Lieutenant-Governor John Graves Simcoe, attracted by the Forks of the Thames, envisioned that it would be the location for the capital of the province (City of London, 2020). Thomas Talbot who accompanied Simcoe immigrated to Upper Canada upon receiving a land grant in the newly established London District in 1800 (Historic Places Canada).

It was not until more than three decades later, in 1826, that London was founded as the district town of the area. The town was surveyed by Colonel Thomas Talbot in 1824 and later Colonel Mahlon Burwell, “which covered the area now bounded on the south and west by the two branches of the Thames” (City of London, 2020). The town expanded and by 1834 there were 1,000 residents (City of London, 2020). The Mackenzie Rebellion was the catalyst to establishing a garrison in the town which served as a military base between

1838 and 1869 in what is presently Victoria Park (City of London, 2020). Leading merchants such as John Labatt and Thomas Carling were instrumental in connecting the town with the surrounding area in the 1840s by constructing the “Proof Line Road” and manufacturers such as Simeon Morrell and Ellis W. Hyman, Elijah Leonard and McClary brothers became well known in the area as prominent manufacturers (Whebell & Goodden, 2020).

Unfortunately, in 1844 and 1845 a fire resulted in the destruction of some of the town’s centre. By 1848, however, the town was rebuilt and reincorporated; the population at the time was recorded as 4,584 (Whebell & Goodden, 2020). By 1854, the Great Western Railway line was running through the town, allowing for businesses to flourish with the ability to import and export more goods. In 1855, the Town of London was officially incorporated as a City (Whebell & Goodden, 2020).

In the latter half of the 19th century, many of London’s neighbouring communities were annexed including London South in 1890 into Westminster Township, which at the time was one of the largest townships within Middlesex County (Whebell & Goodden, 2020). The Council for the Westminster Township was first established in March of 1817 (Brock and Moon, 84). By the mid-1800s, the City of London had significantly expanded resulting in the annexation of land from Westminster Township as part of the City’s boundaries.

By the First World War, there were approximately 55,000 people living in London (City of London, 2020). Between the first and second world war, the City growth slowed due to challenges posed by the Great Depression. The year 1961 marked the great annexation of London which increased its population by 60,000 residents and included the annexation of Westminster Township (Meligrana, 5) (Whebell & Goodden, 2020). Since then, the City has grown and as of 2021, the population of the City has reached approximately 422, 324 (Canadian Census, 2021).

3.3 Brief Historical Overview of 1151 Richmond Street

The Project Site is part of the Western University campus and was historically part of Lot 15, Concession 3. The *Historical County Map of Middlesex County* of 1862 by George Tremaine shows Richmond Street crossing the Thames River. In the general vicinity of the Subject Lands, there are two buildings or structures, however, the land does not appear to be subdivided or within the City limits (**see Figure 6**). By 1878, the *Illustrated Historical Atlas of the County of Middlesex, Ontario* demonstrates that the surrounding lands were gradually subdivided (**see Figure 7**). On March 7, 1878, Western University was established by Bishop Isaac Hellmuth and known at the time as “The Western University of London, Ontario’ (Western University).



Figures 6 & 7: (above) Excerpt of the Historical County Map of Middlesex County of 1862 by George Tremaine showing general location of Subject Lands in red circle (Courtesy of Ontario Historical County Maps Project, University of Toronto); (below) Excerpt of the Illustrated Historical Atlas of the County of Middlesex, Ontario of 1878 showing general location of Subject Lands in red circle (Courtesy of McGill University).

In 1881, students first attended Western University with its four faculties including: Arts, Divinity, Law and Medicine (Western University). The Bird's Eye View from 1890 shows a natural/ pastoral landscape in the vicinity of the university grounds (see **Figure 8**). During the late 1890s and early 1900s, Western University leased facilities from Huron College and other locations within the City (Western University). In 1916, Kingsmill Farm was purchased by Western and the first structure that was constructed included the University Drive Bridge followed by the University College (The Arts Building), Physics and Astronomy (The Natural Science Building) and the Boiler House (Western University). The adjacent properties assessed as part of this report are not included in the London City and Middlesex County directory of the 1880s and into the 1890s as listings terminated at Regent Street and later south of Huron Street (Regent and later Huron Street historically marked the City Limits) which appears as open landscape in **Figure 8**. The listings of properties along Richmond Street reviewed in this report, located north of Regent Street, do not appear until the 1896/ 1897 *London City and Middlesex County Directory* which lists owners between Huron Street and Thames River (with no associated civic addresses). By 1915, there were nine owners listed on the east side of Richmond Street between Huron Street and Epworth Avenue and seven owners along the west (*Foster's London City and Middlesex County Directory*).

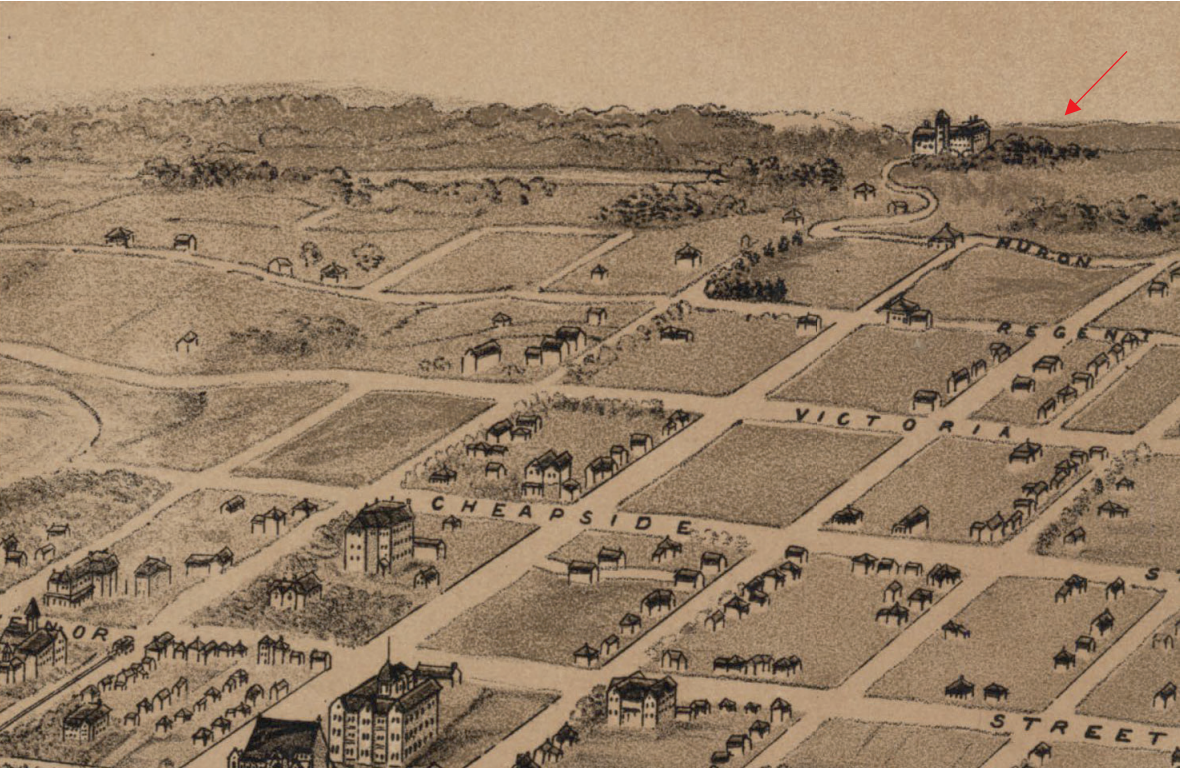


Figure 8: Excerpt from the 1890 Bird's Eye View of London which provides a historic illustration of the City; red arrow identifies approximate location of university grounds (Courtesy of Western University).

The university campus originated on the west side of the Thames River and eventually led to the construction of University Bridge. In the 1920s, the Putherbough Construction

Company constructed the bridge using primarily horsepower (see **Photo 13**). In 1924, the Board Chairman Arthur Little stated, “There is nothing final about the growth of the University. There will doubtless be other occasions like the present when we will open other new buildings” (Western Archives). The illustration in **Figure 9** below shows how the university was depicted to grow by 1980.



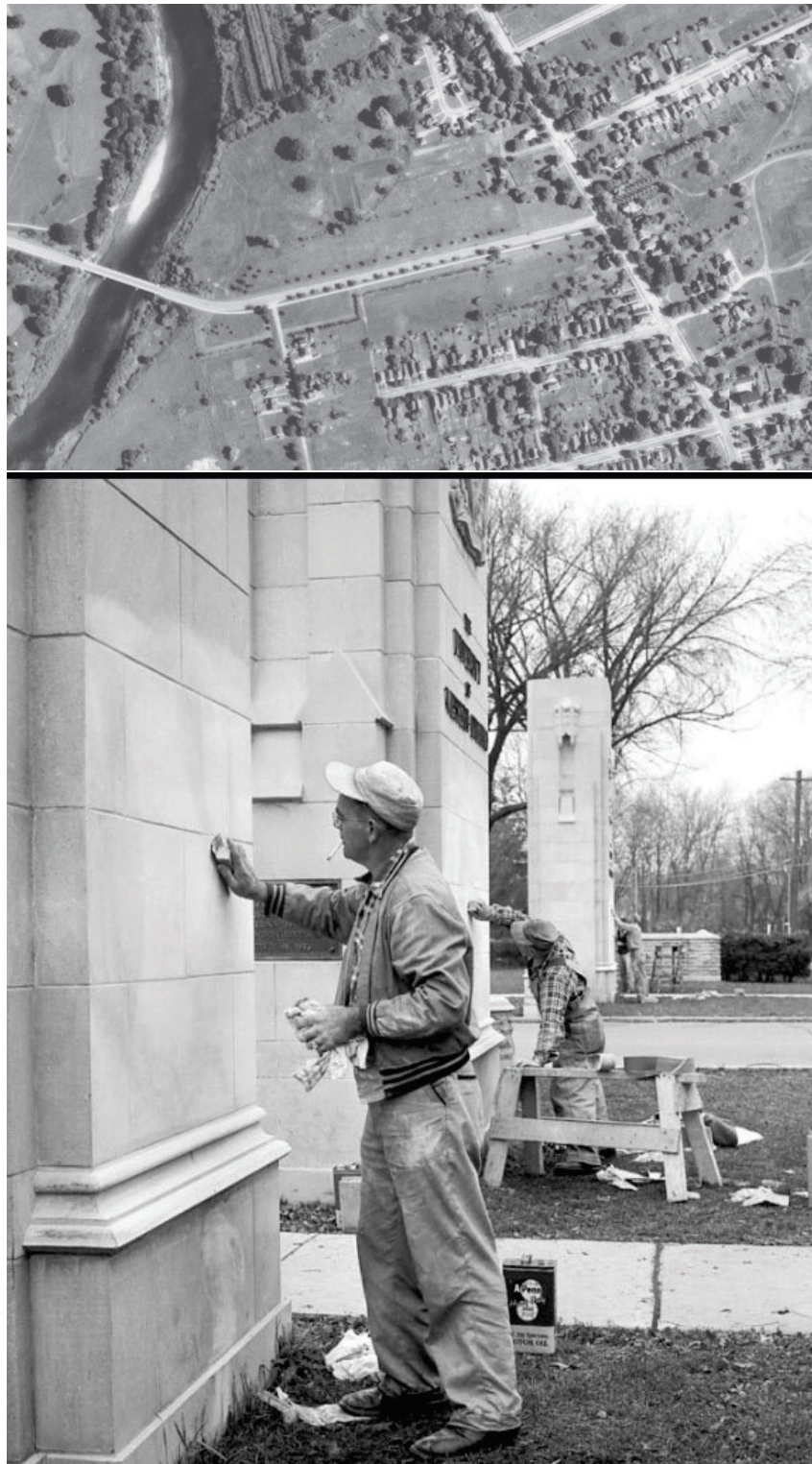
Photo 13 and Figure 9: (above) 1922 photograph of the construction of University Bridge (below) Illustration from 1930 depicting campus growth and development over the next 50 years (Source: JJ Talman Collection/Western Archives).

The **Photos 14-15** show a view of the University Bridge and an aerial showing the land to the east of campus which includes the Subject Lands in the 1930s; the area is primarily open green space with residential development.



Photos 14 & 15: Photographs from November 1930 of the University Bridge and campus along the Thames River which was at the time open landscaped green space with limited plants and trees (Source: JJ Talman Collection/ Western Archives).

By 1947, a great extent of the original wooded areas remained on campus and the surrounding Hunt Club golf course provided a designed landscaped setting for the campus buildings. **Photo 16** below shows the western end of campus looking towards the east side of the Thames River in the vicinity of the Subject Lands which continued to be open space and residential buildings.



Photos 16 & 17: (above) Aerial photograph of 1945 shows the Project Site and surrounding area (Photo courtesy of Western Libraries); (below) UWP Physical Plant Staff removing paint on newly finished Richmond Street entrance gates in 1956 (Courtesy of Western Libraries Digital Photograph Collection).



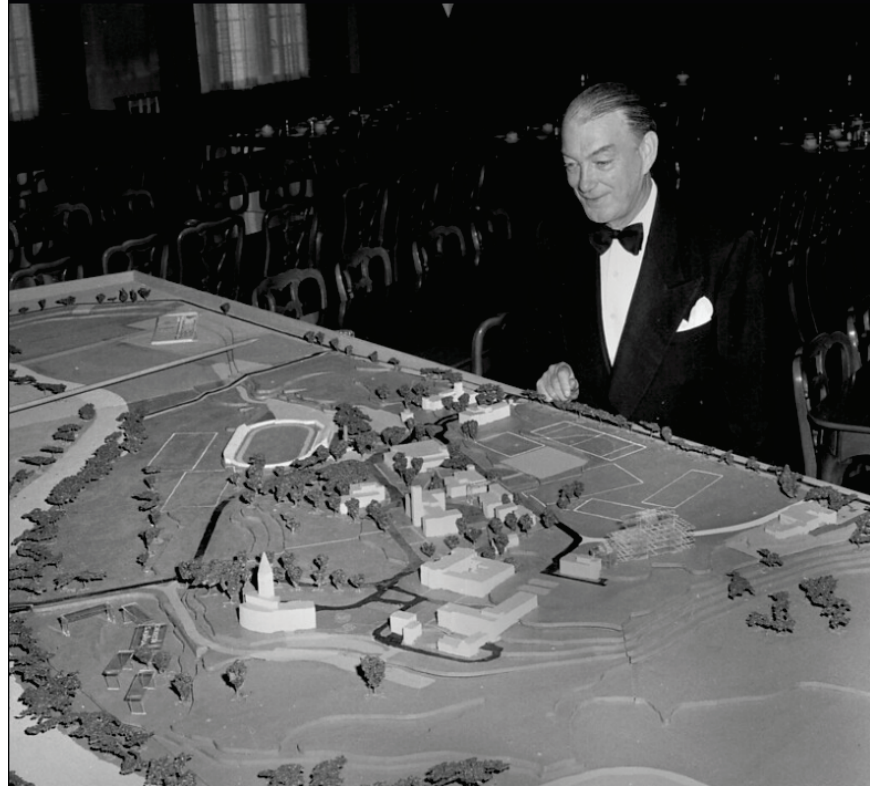
Photo 18: Photo from 1955 showing the University Gates (East). Mrs. Edna Jeffrey enabled construction of Richmond Street through a bequest in 1953 for the entrance as a memorial to her husband A.O. Jeffrey former President of London Life (Photo credit: London Free Press Collection of Negatives/ Western Archives).

In 1953, the existing University Gates (East) (East) were erected as a memorial to A.O. Jeffrey who was the former President of London Life and cost approximately \$38,000 to construct (Western Archives). With a growing student population, the University decided to construct new residences based on an urgent request for student housing. Medway Hall began to be constructed in 1959 as an all-male residence in the Collegiate Gothic architectural style; the Hall includes three iron gates in the inner courtyard that were custom made by the Hancock Company in the UK. At the time that Medway Hall opened over 100 students had applied for the 300 spaces that were available (Western University).



Photo 19: Photograph from 1959 of the construction of Medway Hall (Source: Free Press Collection of Negatives/ Western Archives).

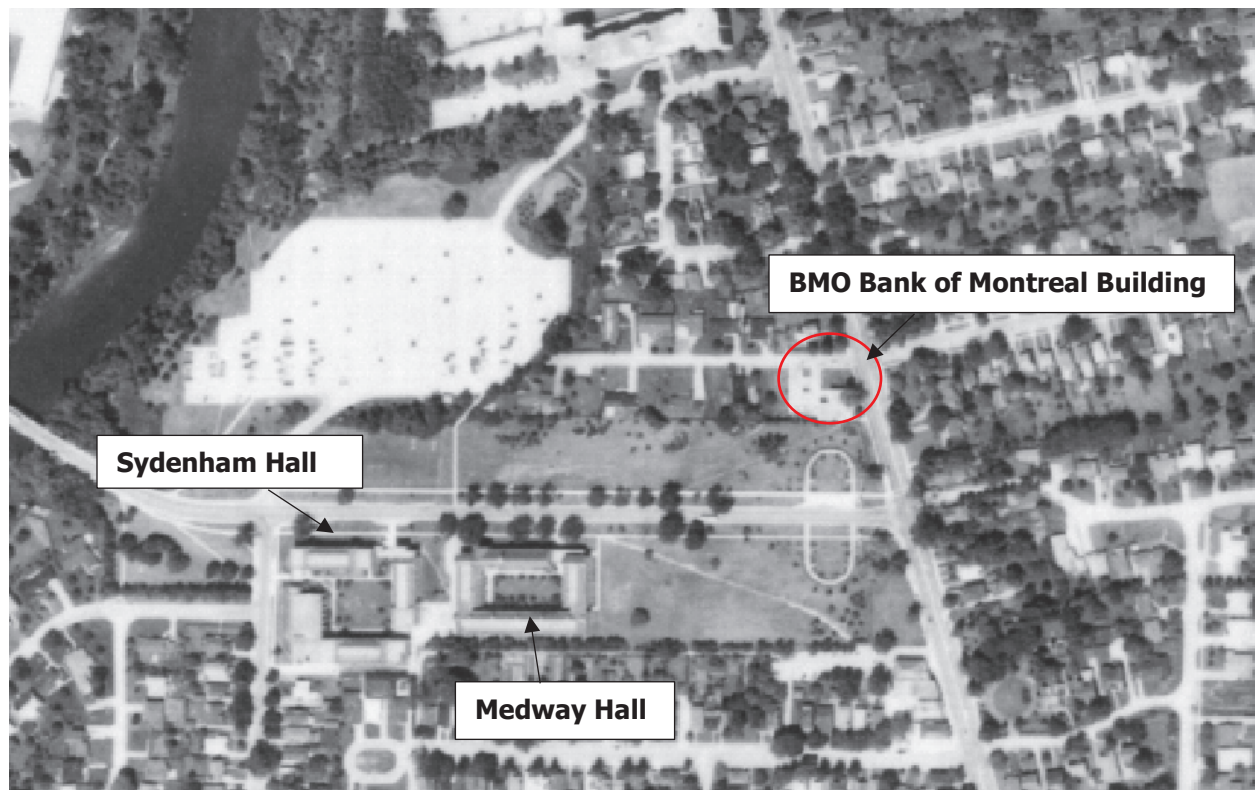
Medway Hall includes several floors with various names (Murphy, Peache, Wilson, Gibbons, McKibben, Merredith, Beattie, Drury and Eccles) and also includes the Thomas L. Hoskin Library (Medlib). In June of 1960, a meeting of the Board of Governors, which took place in the newly built Medway Hall, introduced a 10-year expansion program which included the construction of several new buildings including an addition to Lawson Memorial Library and a new women's residence and two more men's residences (see **Photo 20**). The adjacent residence Sydenham Hall, originally an all-male residence, was constructed in 1961 (although became an all-female residence in 1968). Unfortunately, the construction of new residences was not enough to facilitate student accommodation and by the 1960s, a student-housing crisis developed (see **Photo 21**).



Photos 20 & 21: (above) Photograph from 1960 of a scale model of the, then, existing campus displaying proposed new construction (Western Archives); (below) 1967 student marching during a student-housing crisis (London Free Press Collection of Negatives/ Western Archives).

By 1970, the expansion of the eastern campus included both Medway and Sydenham Hall, a large surface parking lot and various pedestrian trails including the semi-circular walkway just west of the University Gates (East) which still exist today. The BMO Bank of Montreal building was constructed and began operations in 1964 (although does not appear in the *Vernon's City Directory* until the following year in 1965) (see **Photo 22**). The former BMO Bank of Montreal building is shown in the aerial photograph below dating to 1971 (see **Photo 23**). The eastern side of Richmond Street adjacent to the campus was populated by residential buildings, many of which were a result of mid-century subdivisions.

1135 Orchid Bty Shoppe, 439-0871	306 Hollands, T R, 439-1851
1135 Harry's Barber Shop	307 Potter, Douglas, 434-6252
1135 Smith-Graham Drug Stores Ltd, 434-2721	308 Davis, Gordon, 439-5378
1137 Canada Trust-Huron & Erie, 438-2167	309 Newbold, J S, 43E-1238
+ UNIVERSITY DR BEGINS Entrance to University of Western Ontario	310 Copeland, Marjorie, 439-4703
1163 Bank of Montreal (Univer- sity Branch), 432-2291	311 Bewley, T, Mrs, 432-6366
+ TOWER LA BEGINS	312 MacDonald, B C, Mrs, 434-5664
1169* Owen, Harry, 432-4906	314 Sutherland, Jas, 432-5403
1177* Hayman, L, Mrs, 432-3637	315 Grant, Mary G, Mrs, 434-7767
+ PARKDALE CRES BEGINS	316 Shea, E Denis, 434-2236
	317 McKibbin, C, Mrs, 439-9742
	318 Tanton, Arthur, 438-4823
	319 Bryan, A C, Mrs,



Photos 22 & 23: (above) Excerpt of the City of London Vernon Directories for 1965 identifying the listing of the BMO Building (Source: Family Search); (below) Aerial photograph from 1971 (Western Libraries Digital Aerial Photograph Collection).

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Since then, Alumni House was constructed in 1986 and Elgin Hall Residence was constructed in 1999. Sydenham Hall and Medway Hall joined together in 1986 to become Medway-Sydenham Hall and in 1997 became co-ed (previously Medway Hall was an all-male residence). Medway-Sydenham Hall is the oldest residence still in operation on the campus.

Also, in 1997 the BMO Bank of Montreal branch was closed and was donated to Western University for “renewed purpose in support of innovative programming, student learning and community engagement at Western” (Western University). The BMO Bank of Montreal building has been adaptively re-used, most recently, for a Child and Youth Development Clinic.



Photo 24: Aerial of Subject Lands and surrounding area April 2023 (Google Earth Pro).

4.0 Existing Conditions

The following sub-section will describe the built features and landscape features on the Project Site and of Medway Hall and University Gates (East) which have been scoped for review and assessment based on the Western's Campus Wide Master Site Plan and Development Agreement. **Figure 10** below identifies the existing location of the new student residence (the Project Site), Medway Hall and the University Gates (East) which will be reviewed in this section of the report.

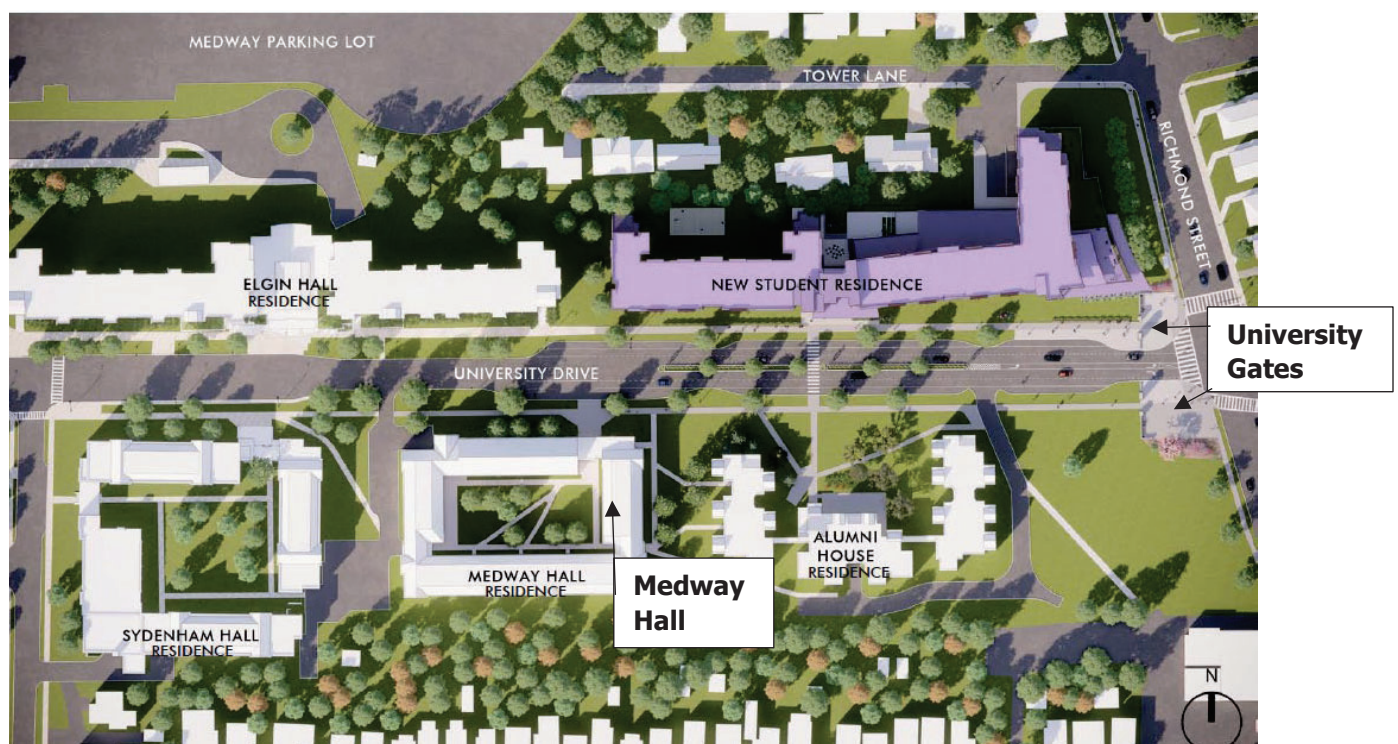


Figure 10: Conceptual plan of proposed student residence and surrounding area (Source: Architects Tillmann Ruth Robinson, 2023).

4.1 1151 Richmond Street (East Campus)

Project Site

The Project Site relative to 1151 Richmond Street is vacant with open landscaping and tree plantings concentrated along the rear property lines of northern residential properties as well as along Richmond Street and University Drive. There are remnants of a semi-circular pedestrian pathway just west of the University Gates (East). A site visit was conducted by MHBC Cultural Heritage Staff on October 23, 2023. See **Photos 25-31**.



Photo 25: Pedestrian view of Project Site looking eastwards towards Richmond Street (MHBC, 2023).



Photos 26 & 27: (above) View of Project Site looking eastwards towards Richmond Street (below) View of Project Site looking westwards towards Elgin Hall (MHBC, 2023).



Photos 28 & 29: (above) View of Project Site looking north-east towards 1163 Richmond Street, which is part of the Subject Lands; (below) View of Project Site looking southwards towards Alumni House and Medway Hall (MHBC, 2023).



Photos 30 & 31: (above) View of Project Site looking westwards along sidewalk on north side of Richmond Street looking towards Elgin Hall; (below) View of the University Gates (East) and the Project Site looking north-west (MHBC, 2023).

Medway Hall

Medway Hall is a three-storey sandstone masonry building and includes an internal courtyard. The main entryway is off University Drive through a semi-arched Gothic-inspired tunnel which is part of a lower two storey podium. The facades include a variety of Gothic inspired features including stone buttresses, pointed pilasters, door, and window surrounds. The main entryway, in particular, is flanked by pointed stone pilasters and above the lintel, a coat of arms inspired parapet which replicate the vertical form of the pilasters (see **Photo 33**). The building includes a variety of rooflines including platform and gabled with parapet gable ends and associated coping amongst prominent masonry chimneys.

The window placement and size are consistent throughout the building except for the central portion along the north (front) elevation which includes window galleries that span two stories adorned by heavy stone drip moulding and slit windows, inspired by the Gothic architecture. The stone surrounds for both window and door openings are key to the architectural style, however, appear to have resulted in some deterioration due to presumably poor water drainage which has led to the discolouration of masonry in various locations. Several features including the iron gates that accompany entrances into the courtyard and some fixtures remain and appear in good condition.

See **Photos 31-51** to review all elevations of building including those located within the internal courtyard.



Photos 31 & 32: (above) View of Medway Hall north (front) elevation looking south-west; (below) View of north (front) elevation of Medway Hall looking south-east (MHBC, 2023).



Photo 33: Main entryway of Medway Hall (MHBC, 2023).

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Photos 34 & 35: (above) View of Medway Hall west elevation and east elevation of Sydenham Hall looking southwards from north side of University Drive; (below) View of north (front) elevation of Medway Hall looking south-west along University Drive from approximate location of Project Site (MHBC, 2023).

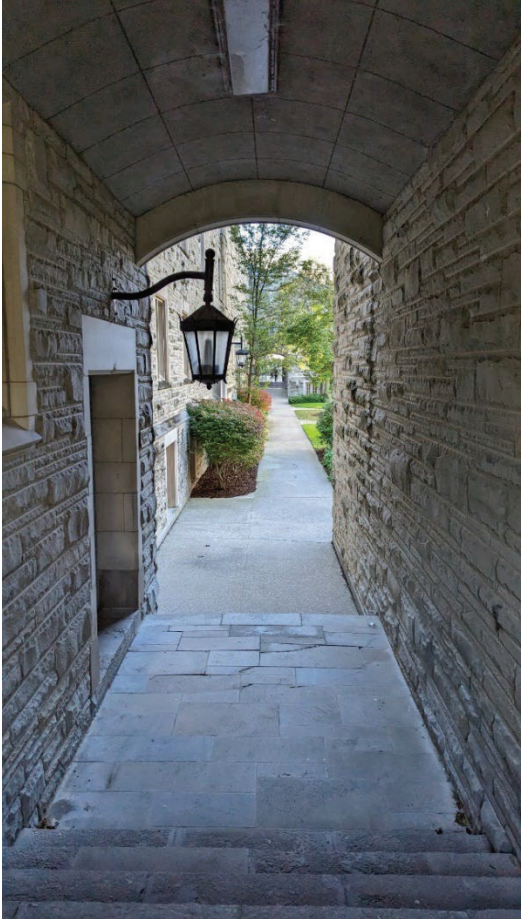
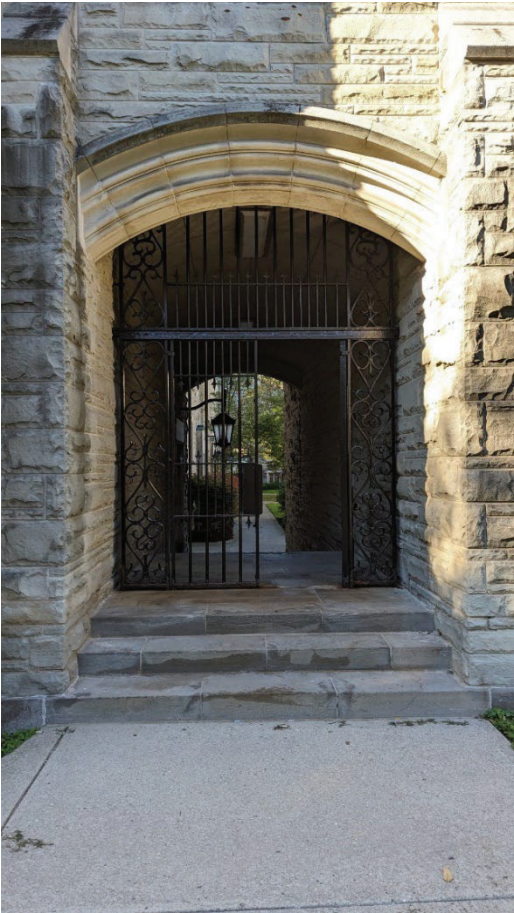


Photos 36 & 37: (above) View of north (front) elevation of Medway Hall looking southwards from north side of University Drive; (below) View of east elevation of Medway Hall and rear elevation of Alumni House looking westwards (MHBC, 2023).

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Photos 38-40: (above) View of east elevation of Medway Hall looking westwards; (below left) View of east elevation towards eastern entry to courtyard; (below right) View of southern portion of east elevation of Medway Hall (MHBC, 2023).

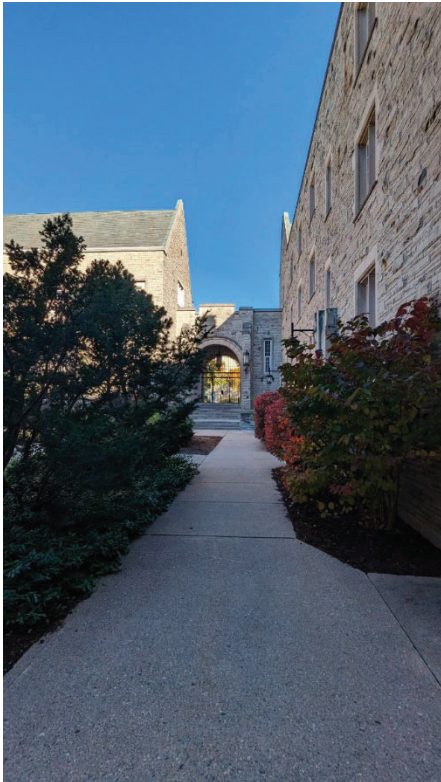


Photos 41-43: (above left) View of eastern entry into the courtyard including wrought-iron gates; (above right) View of tunnel to courtyard from east elevation; (below) View of east elevation of Medway Hall looking towards Project Site (MHBC, 2023).



Photos 44-46: (above) View of front (north) elevation from the internal courtyard looking towards the front entryway; (below) View of internal courtyard looking towards front entryway (MHBC, 2023).

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Photos 47-50: Various photographs of the internal courtyard and entryways (MHBC, 2023).



Photo 51: View of western elevation of Medway Hall (MHBC, 2023).

University Gates (East)

The University Gates (East) are comprised of two stone monuments that flank either side of University Drive. The main monuments are supported by smaller stone structures that flank the opposite side of the pedestrian walkway and there are also rusticated stone walls that connect the main monuments with the streetscape which have conical terminations and along the smaller counterparts on the opposite side of the pedestrian walkways. Architectural details include tiered pilasters and crenellation like indentations along the top of the main monuments. There appears to be some discolouration in both the monuments and stone walls likely due to poor water drainage along the masonry as well as signs of efflorescence. See **Photos 52-54**.

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Photos 52-54: (above) View of University Gates (East) looking north-east towards University Drive from Richmond Street; (below left) View of west side of the entry; (below right) View of east side of entry (MHBC, 2023).

4.2 1163 Richmond Street (Former BMO Bank of Montreal Building)

Built Features

Exterior

The property includes a one and a half storey building (BMO Bank of Montreal Building) with an 'L' shaped floor plan; the main building displays a stone veneer and a glass vestibule is located on the eastern elevation. The vestibule includes a feature wall along the east elevation which consists of fieldstone; this wall has a centrally placed panel. There is also a fieldstone wall that extends along the north elevation; the course fieldstone and smooth stone veneer creates a juxtaposition between textures. Large window openings are situated along the main (east) elevation and partly on the north elevation. The south and west elevations include single, narrow window openings that span the majority of the height of the facades. The main building and associated vestibule have a flat roof. The building appears to be in good condition except for discolouration along the foundation walls. See **Photos 55-60**.

Interior

The building includes the main floor and basement (see **Photos 61-67**). The main floor is an open concept used as a general meeting area. There are some office rooms off of the primary room including a vault formerly used when the building operated as a bank (see **Photos 63 & 64**). The interior of the vestibule includes a stone wall which functioned partly as a vault for overnight deposits (see **Photo 65**). The basement includes several small meeting rooms.

Landscape Features

There are limited landscape features located on the property. The property includes surface parking and primarily open green landscaped space (see **Photo 68**).



Photos 55 & 56: (above) View of east (front) elevation of the building looking north-west; (below) View of east elevation of building looking westwards and towards vestibule entrance and feature stone wall (MHBC, 2023).

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Photos 57 & 58: (above) Perspective view of east (front) elevation and north elevation of the building looking south-west; (below) View of north elevation of building looking southwards (MHBC, 2023).



Photos 59 & 60: (above) Perspective view of north and west elevations of the building looking south-east; (below) View of west elevation of the building looking eastwards (MHBC, 2023).

Main Floor



Photos 61& 62: (above) View of primary room upon main entry looking north-east; (below) View of primary room looking northwards (MHBC, 2023).



Photos 63 & 64: (above) View of office space on main floor; (below) View of vault off the primary room looking westwards (MHBC, 2023).



Basement



Photos 65 & 66: (above) View of stone feature wall in vestibule including vault; (below) View of office spaces in basement (MHBC, 2023).

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Photos 67 & 68: (above) View of example office space in basement (MHBC, 2023); (below) View of general landscaping in spring months (Google Earth Pro, May 2022).

5.0 Evaluation of Cultural Heritage

Resources

5.1 Evaluation Criteria

The determination of CHVI for potential cultural heritage resources is mandated by the provincial government through the prescribed *Ontario Regulation 9/06* ("O. Reg 9/06") which is as follows:

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.'
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark. O. Reg. 569/22, s. 1.

If the property meets one or more of the criteria, it may be included in the Municipal Heritage Register, however, must meet two or more criteria to be designated under the OHA.

The built heritage resources identified within the vicinity of the proposed development, including Medway Hall and University Gates (East) and the adjacent properties will be evaluated in this section of the report to determine Cultural Heritage Value or Interest.

5.2 Evaluation of 1151 Richmond Street (Medway Hall)

Criteria i-iii:

- i. Rare, unique, representative or early example of a style, type, expression, material or construction method*

The Medway Hall, constructed in 1959, is an excellent representation of Collegiate Gothic architectural style. Although the construction of the Hall is later than what is expected of this type of architectural style in Canada, which was prominent commencing in the 1880s and into the earlier part of the 20th century, it exemplifies the key characteristics of this style including: large arched entryways, buttresses, spire-like pilasters, crenellation, narrow openings, intricate ironworks and a romanticized courtyard.

- ii. Displays high degree of craftsmanship or artistic merit*

Medway Hall demonstrates a high degree of craftsmanship in the extensive use of sandstone masonry in its construction including the various details such as the door and window surrounds and quoining. The three wrought iron gates that lead to the courtyard were custom made by Percy May, Ernest Smith, Jack Batt and Leonard Withall who were employed by Hancock Company in the United Kingdom; it was claimed that they were the heaviest gates made by the company at the time (Western Archives).

- iii. Demonstrates high degree of technical or scientific achievement*

The building does not demonstrate a high degree of technical or scientific achievement.

- iv. Direct associations with a theme, event, belief, person, activity, organization, institution that is significant*

Medway Hall is directly associated with Western University which has a long standing significant institution with the community. The Hall is directly associated with the theme of campus expansion particularly in the 1960s when the building was constructed as a result of student housing constraints and is the oldest residence still in operation on campus.

- v. Yields, or has potential to yield information that contributes to an understanding of a community or culture*

The building does not yield or have potential to yield information that is particularly significant to the community.

vi. *Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.*

The building was designed by O. Roy Moore, a leading architect in London and architect of several other campus buildings including: Lawson Memorial Library (1934), Thames Hall (1949) and Huron College (1949-50).

vii. *Important in defining, maintaining or supporting the character of an area*

The building defines and maintains the greater character of the Western campus which includes a collection of Collegiate Gothic built form.

viii. *Physically, functionally, visually, or historically linked to its surroundings*

The building is functionally linked to the surrounding areas a student residence and visually, physically and historically linked to its counterpart- Sydenham Hall.

ix. *Is a landmark.*

Medway Hall, in its own right, is not considered a landmark.

Table 2.0- Evaluation of 1151 Richmond Street (Medway Hall)

Ontario Regulation 9/06		Medway Hall
i.	Rare, unique, representative or early example of a style, type, expression, material or construction method	<input checked="" type="checkbox"/>
ii.	Displays high degree of craftsmanship or artistic merit	<input checked="" type="checkbox"/>
iii.	Demonstrates high degree of technical or scientific achievement	<input type="checkbox"/>
iv.	Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	<input checked="" type="checkbox"/>
v.	Yields, or has potential to yield information that contributes to an understanding of a community or culture	<input type="checkbox"/>
vi.	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	<input checked="" type="checkbox"/>
vii.	Important in defining, maintaining or supporting the character of an area	<input checked="" type="checkbox"/>
viii.	Physically, functionally, visually, or historically linked to its surroundings	<input checked="" type="checkbox"/>
ix.	Is a landmark	<input type="checkbox"/>

Statement of Cultural Heritage Value or Interest

The Medway Hall is an excellent representation of Collegiate Gothic architectural style as it exemplifies the key characteristics of this style including: large arched entryways, buttresses, spire-like pilasters, crenellation, narrow openings, intricate ironworks and

romanticized courtyard. Medway Hall demonstrates a high degree of craftsmanship in the extensive use of sandstone masonry in its construction including the various details such as the door and window surrounds and drip moulding. The three wrought iron gates that lead to the courtyard were custom made by Percy May, Ernest Smith, Jack Batt and Leonard Withall who were employed by Hancock Company in the United Kingdom; it was claimed that they were the heaviest gates made by the company at the time (Western Archives).

Medway Hall is directly associated with Western University which has a long standing significant association with the community. The building is directly associated with the theme of campus expansion particularly in the 1960s when the building was constructed as a result of student housing constraints and is the oldest residence still in operation on campus. The building was designed by O. Roy Moore, a leading architect in London and architect of several other campus buildings including Lawson Memorial Library (1934).

The building is important in defining and maintain the character of the Western campus which includes a grouping of Collegiate Gothic built form and is functionally linked to the surrounding area as a student residence. The building is also visually, physically and historically linked to its counterpart- Sydenham Hall.

Heritage Attributes:

- All exterior rusticated sandstone elevations with associated decorative stone work including:
 - Stone surrounds and quoining (window and doors);
 - Historic window and door openings including vaulted tunnels to the inner courtyard; and,
 - Grand main entry with smooth stone, grand semi-arched lintel, flanking peaked pilasters and coat of arm inspired stone reliefs with vertical undulations.
- Gabled and platform roofline with parapets details and original chimney shafts;
- Original doors and associated hardware;
- Three wrought iron gates leading into the inner courtyard and historic light fixtures on exterior elevations;
- Interior courtyard arrangement and associated landscaping;
- Orientation and location along University Drive and association and physical interrelationship with Sydenham Hall; and,
- Views of the front façade moving along University Drive.

5.3 Evaluation of 1151 Richmond Street (University Gates (East))

i. *Rare, unique, representative or early example of a style, type, expression, material or construction method*

The University Gates (East), constructed in 1953, are representative of the Collegiate Gothic architectural style and exemplifies key characteristics of this style including: pointed pilasters, crenellation-like indentations along the top of the monument and use of coat of arm insignia.

ii. *Displays high degree of craftsmanship or artistic merit*

The University Gates (East) demonstrate a high degree of craftsmanship or artistic merit particular as it relates to the decorative stonework, in particular, the coat of arm reliefs.

iii. *Demonstrates high degree of technical or scientific achievement*

The University Gates (East) do not demonstrate a high degree of technical or scientific achievement.

iv. *Direct associations with a theme, event, belief, person, activity, organization, institution that is significant*

The University Gates (East) are directly associated with Western University which has a long-standing significant association with the community. The University Gates (East) are associated with theme of the expansion of the Western University campus which expanded east of the Thames River around the mid-20th century at which point in time, these gates were installed. They were constructed as a memorial to the A.O. Jeffrey who was the former President of London Life.

v. *Yields, or has potential to yield information that contributes to an understanding of a community or culture*

The University Gates (East) do not yield or have potential to yield information that is particularly significant to the community.

vi. *Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.*

The University Gates (East) demonstrate the work of O. Roy Moore and Company. The company was also responsible for the design of other buildings on campus, including Medway Hall, and is considered significant to the community.

vii. *Important in defining, maintaining or supporting the character of an area*

The University Gates (East) define the boundaries of the greater character of the Western campus which includes a collection of Collegiate Gothic built form.

viii. *Physically, functionally, visually, or historically linked to its surroundings*

The University Gates (East) are functionally, physically and visually linked to their surroundings as they are presented at the intersection of Richmond Street and University Drive.

ix. *Is a landmark.*

The University Gates (East) demarcate the entrance to the University Campus and by this right can be considered a landmark.

Table 3.0- Evaluation of 1151 Richmond Street (University Gates (East))

Ontario Regulation 9/06	University Gates (East)
i. Rare, unique, representative or early example of a style, type, expression, material or construction method	<input checked="" type="checkbox"/>
ii. Displays high degree of craftsmanship or artistic merit	<input checked="" type="checkbox"/>
iii. Demonstrates high degree of technical or scientific achievement	<input type="checkbox"/>
iv. Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	<input checked="" type="checkbox"/>
v. Yields, or has potential to yield information that contributes to an understanding of a community or culture	<input type="checkbox"/>
vi. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	<input checked="" type="checkbox"/>
vii. Important in defining, maintaining or supporting the character of an area	<input checked="" type="checkbox"/>
viii. Physically, functionally, visually, or historically linked to its surroundings	<input checked="" type="checkbox"/>
ix. Is a landmark	<input checked="" type="checkbox"/>

Statement of Cultural Heritage Value or Interest

The University Gates (East) were designed in the Collegiate Gothic architectural style that exhibited throughout Western University campus. Key architectural characteristics include the pointed pilasters, crenellation-like indentations along the top of the monuments and use of coat of arm insignia. The decorative stonework, in particular the coat of arm reliefs, demonstrate a high degree of craftsmanship or artistic merit particular.

The University Gates (East) are directly associated with Western University which has a long-standing significant association with the community and are also associated with theme of the expansion of the Western University campus. The University Gates (East) were erected mid-century which marked the future expansion of the University Campus on the east side of the Thames. In 1953, the University Gates (East) were constructed as a

memorial to the A.O. Jeffrey who was the former President of London Life and a significant person to the community. The University Gates (East) are important in defining the boundaries of the University Campus and maintaining the greater character of the Western campus which includes a collection of Collegiate Gothic built form. The University Gates (East) are functionally, physically and visually linked to their surroundings at the intersection of Richmond Street and University Drive and demarcate the entrance to the University Campus and by virtue considered a landmark.

Heritage Attributes:

- Stone monuments flanking either side of University Drive at the intersection of Richmond Street and University Drive which including architectural embellishments such as the coat of arms relief and motifs, crenellation and pointed pilasters;
- Associated features including:
 - Corresponding tiered monuments on the opposite side of the pedestrian walkway which mimics the architectural stone design features of their larger counterparts including pointed pilasters;
 - Stone wall that extends internally off of the monuments towards University Drive with conical terminations and stone capping;
 - Stone wall that extends east and west from the counterpart tiered monuments with stone capping.
- Location and orientation of the gates in relation to the campus grounds.

5.4 Evaluation of 1163 Richmond Street (Former BMO Bank of Montreal Building)

- i. *Rare, unique, representative or early example of a style, type, expression, material or construction method*

In the 1950s, the traditional representation of commercial buildings, such as banks, gradually transitioned to that of the mid-century modern architectural style post WWII which is characterized by ample, floor-to-ceiling windows, open floor plans, opening interior spaces to bring 'the outdoors' inside by using natural materials (i.e. wood, stone) and a new range of materials such as steel and concrete, that renders a 'clean' design with simple lines in replacement of decorative embellishments.

The BMO Bank of Montreal building was constructed in 1964 just prior to the Centennial movement in 1967 and is *representative* of mid-century modern architecture. The BMO Bank of Montreal building exhibits an open floor plan concept with floor-to-ceiling windows, the use of natural materials, particularly that of stone, which in the front vestibule ties the exterior and interior with its feature fieldstone wall. The exterior built form is streamlined and unadorned as reflected of this type of architecture.

- ii. *Displays high degree of craftsmanship or artistic merit*

The building does not demonstrate a high degree of craftsmanship or artistic merit. The quality of materials, assembly and construction are not considered well above industry standards at the time.

- iii. *Demonstrates high degree of technical or scientific achievement*

The building does not demonstrate a high degree of scientific or technical achievement. The construction method and materials were conventional for its time.

- iv. *Direct associations with a theme, event, belief, person, activity, organization, institution that is significant*

Although the BMO Bank of Montreal Building on the property was historically associated with the Bank of Montreal, there are more than 800 branches throughout Canada and its association is not particularly significant to the community. The property is not associated with a theme, event, belief, person, activity, organization or institution that is significant to the community.

- v. *Yields, or has potential to yield information that contributes to an understanding of a community or culture*

The property cannot yield or have potential to yield information that contributes to an understanding of a community or culture as it pertains to cultural heritage value or interest.

vi. *Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.*

Research was completed to determine the architect of the building; both the Bank of Montreal (BMO) Archives was consulted (October 2023) and the Biographical Dictionary of Architects in Canada and neither resulted in the identification of an architect who is significant to the community.

vii. *Important in defining, maintaining or supporting the character of an area*

The property is not important in defining, maintaining or supporting the character of the area which is characterized by a mature residential neighbourhood to the east, north and south and institutional use of the university campus to the west.

viii. *Physically, functionally, visually, or historically linked to its surroundings*

The property is not physically, functionally, visually or historically linked to its surroundings. There are no features on-site or surrounding area that are physically or functionally linked to the building on the property. The orientation and setting of the building do not result in a significant visual linkage to the surrounding area. The building is not historically linked to its surroundings in a manner that is considered significant.

ix. *Is a landmark.*

The building on the property is not considered a landmark to the community.

Table 4.0- Evaluation of 1163 Richmond Street

Ontario Regulation 9/06	1163 Richmond Street
i. Rare, unique, representative or early example of a style, type, expression, material or construction method	<input checked="" type="checkbox"/>
ii. Displays high degree of craftsmanship or artistic merit	<input type="checkbox"/>
iii. Demonstrates high degree of technical or scientific achievement	<input type="checkbox"/>
iv. Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	<input type="checkbox"/>
v. Yields, or has potential to yield information that contributes to an understanding of a community or culture	<input type="checkbox"/>
vi. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	<input type="checkbox"/>
vii. Important in defining, maintaining or supporting the character of an area	<input type="checkbox"/>
viii. Physically, functionally, visually, or historically linked to its surroundings	<input type="checkbox"/>
ix. Is a landmark	<input type="checkbox"/>

In summary, the property meets one (1) of the prescribed criteria identified as Criteria (i) outlined in O. Reg. 9/06 and therefore, does not warrant long-term conservation through designation under the *Ontario Heritage Act*.

5.5 Evaluation of Adjacent Listed (Non-designated) Properties

The following pages provide a high-level evaluation of the following 'listed' (non-designated), adjacent (contiguous) properties:

- 1137 Richmond Street
- 1140 Richmond Street
- 1142 Richmond Street
- 1144 Richmond Street
- 1148 Richmond Street
- 1150 Richmond Street
- 1156 Richmond Street
- 1158 Richmond Street
- 1160 Richmond Street

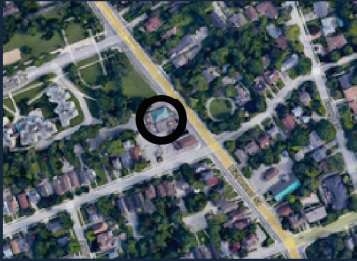
In summary, the properties located at 1137, 1140 and 1158 Richmond Street do not meet the required threshold for satisfying at least one of the nine criteria (cognisant that Criteria iv has not been fully researched), to potentially meet at least two of the prescribed criteria of O. Reg. 9/06 and therefore, they should not be considered cultural heritage resources and will not be part of the impact analysis in Section 7.0 of this report.

1137 Richmond St

London, Ontario



Location



Current aerial photograph

Historical Images



1961 topographic map



1971 aerial photograph

Ontario Regulation 9/06

Criteria i: The property includes a one storey commercial building constructed c. 1965 with a high-pitched hipped roof and large window openings/ window galleries. It is determined that the building is not clearly representative of a specific architectural typology. The property is not rare, unique or an early examples of a style, type, expression, material or construction method.

Criteria ii: The property does not display a high degree of craftsmanship or artistic merit.

Criteria iii: The property does not demonstrate a high degree of technical or scientific achievement.

Criteria iv: The building on the property was constructed c. 1965 replacing an earlier residence between 1955 and 1961 formerly owned by the Knaption Family. The building has operated as a Bank of Canada Trust Co. since its opening in the 1960s, however, there are hundreds of similar branches across Canada and not considered particularly significant to this community. The property is not directly associated with a theme, event belief, person, activity, organization or institution that is significant to the community.

Criteria v: The property does not have potential to yield, information that contributes to an understanding of a community or culture.

Criteria vi: The property does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Criteria vii: The property is part of a mid-century modern commercial plaza that replaced a former residential building. The property does not define, maintain or support the character of the area that renders it significant.

Criteria viii: The property is not physically, functionally, visually or historically linked to its surroundings.

Criteria ix: The property is not considered a landmark by the community.

Summary

A property must satisfy at least two of the criteria based on O. Reg 9/06. This property does not meet the threshold and, therefore, it is determined that this property does not have Cultural Heritage Value or Interest.

References

- Vernon Directories, City of London
 London City and Middlesex County Directories
 Foster's London City and Middlesex County Directories
 Topographic Maps of 1961 and 1973
 Aerial photographs of 1942, 1945, 1950, 1955, 1971, 1974, 2003, 2023
 1890 and 1893 Bird's Eye View of the City of London
 Historical topographic maps of 1961 and 1973, Surveys and Mapping Branch,
 Department of Energy, Mines and Resources

Table 5.0- Evaluation of 1137 Richmond Street

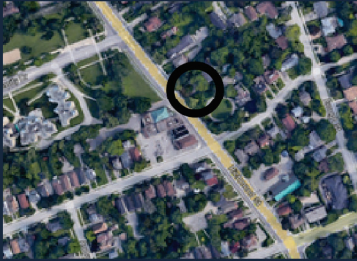
Ontario Regulation 9/06		1137 Richmond Street	
i.	Rare, unique, representative or early example of a style, type, expression, material or construction method	<input type="checkbox"/>	
ii.	Displays high degree of craftsmanship or artistic merit	<input type="checkbox"/>	
iii.	Demonstrates high degree of technical or scientific achievement	<input type="checkbox"/>	
iv.	Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	<input type="checkbox"/>	
v.	Yields, or has potential to yield information that contributes to an understanding of a community or culture	<input type="checkbox"/>	
vi.	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	<input type="checkbox"/>	
vii.	Important in defining, maintaining or supporting the character of an area	<input type="checkbox"/>	
viii.	Physically, functionally, visually, or historically linked to its surroundings	<input type="checkbox"/>	
ix.	Is a landmark	<input type="checkbox"/>	

1140 Richmond St

London, Ontario



Location



Current aerial photograph

Historical Images



1942 aerial photograph



1971 aerial photograph

Ontario Regulation 9/06

Criteria i: The property includes a two-storey dwelling constructed c. 1920. It is determined that it is not clearly representative of a specific architectural typology. The property is not rare, unique or an early examples of a style, type, expression, material or construction method.

Criteria ii: The property does not display a high degree of craftsmanship or artistic merit.

Criteria iii: The property does not have design value or physical value because it demonstrates a high degree of technical or scientific achievement.

Criteria iv: It is unknown if the property has a direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community. Previous owners include: Rolfe, Lowry, McLeod, Ward, King Families.

Criteria v: The property does not have potential to yield, information that contributes to an understanding of a community or culture.

Criteria vi: The property does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Criteria vii: The property was part of the urban development in the early half of the 20th century which urbanized the areas north of the historic City limits (originally Regent Street and later Huron Street) as part of the community of Broughdale. However, the property does not define, maintain or support the character of the area that renders it significant. The existing dwelling's built form and setback contrasts that of the surrounding area.

Criteria viii: The property is not physically, functionally, visually or historically linked to its surrounding area. There are no surrounding features that indicate a physical or functional linkage. The deep setback detracts from any visual linkage to the surrounding area. There is no significant historical linkage of the property to the surrounding area.

Criteria ix: The property is not considered a landmark by the community.

Summary

A property must satisfy at least two of the criteria based on O. Reg 9/06. Although the specifications of Criteria (iv) is unknown, the property would require meeting an additional criteria to be determined to have Cultural Heritage Value or Interest. Therefore, it is determined that this property does not have Cultural Heritage Value or Interest.

References

- Vernon Directories, City of London
 London City and Middlesex County Directories
 Foster's London City and Middlesex County Directories
 Topographic Maps of 1961 and 1973
 Aerial photographs of 1942, 1945, 1950, 1955, 1971, 1974, 2003, 2023
 1890 and 1893 Bird's Eye View of the City of London
 Historical topographic maps of 1961 and 1973, Surveys and Mapping Branch,
 Department of Energy, Mines and Resources

Table 6.0- Evaluation of 1140 Richmond Street

Ontario Regulation 9/06	1140 Richmond Street
i. Rare, unique, representative or early example of a style, type, expression, material or construction method	<input type="checkbox"/>
ii. Displays high degree of craftsmanship or artistic merit	<input type="checkbox"/>
iii. Demonstrates high degree of technical or scientific achievement	<input type="checkbox"/>
iv. Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	<input type="checkbox"/> Further research required.
v. Yields, or has potential to yield information that contributes to an understanding of a community or culture	<input type="checkbox"/>
vi. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	<input type="checkbox"/>
vii. Important in defining, maintaining or supporting the character of an area	<input type="checkbox"/>
viii. Physically, functionally, visually, or historically linked to its surroundings	<input type="checkbox"/>
ix. Is a landmark	<input type="checkbox"/>

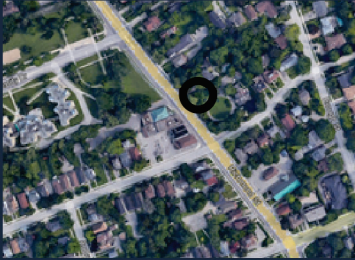
1142 Richmond St

London, Ontario

Ontario Regulation 9/06



Location



Current aerial photograph

Historical Images



1942 aerial photograph



1971 aerial photograph

Criteria i: The property includes a one and half storey bungalow constructed c. 1937. The building is not clearly representative of a specific architectural typology. The property is not rare, unique or an early examples of a style, type, expression, material or construction method.

Criteria ii: The property does not display a high degree of craftsmanship or artistic merit.

Criteria iii: The property does not demonstrate a high degree of technical or scientific achievement.

Criteria iv: It is unknown if the property has a direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community. Former owners' surnames include: Casselman, O' Neil, Hodgins.

Criteria v: The property does not have potential to yield, information that contributes to an understanding of a community or culture.

Criteria vi: The property does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Criteria vii: The property supports the character of the area due to its dating and built form which is reflective of the surrounding building stock.

Criteria viii: The property is not physically, functionally, visually or historically linked to its surroundings.

Criteria ix: The property is not considered a landmark by the community.

Summary

A property must satisfy at least two of the criteria based on O. Reg 9/06. As the specifications of Criteria (iv) is unknown, and the property meets at least one criteria (Criteria vii), for the purpose of this evaluation, the property is determined to have Cultural Heritage Value or Interest as potentially meeting two or more of the nine criteria.

Heritage Attributes

Heritage attributes include: one and half storey built form, open gabled roofline and asymmetrical entryway.

References

Vernon Directories, City of London
London City and Middlesex County Directories
Foster's London City and Middlesex County Directories
Topographic Maps of 1961 and 1973
Aerial photographs of 1942, 1945, 1950, 1955, 1971, 1974, 2003, 2023
1890 and 1893 Bird's Eye View of the City of London
Historical topographic maps of 1961 and 1973, Surveys and Mapping Branch,
Department of Energy, Mines and Resources

Table 7.0- Evaluation of 1142 Richmond Street

Ontario Regulation 9/06	1142 Richmond Street
i. Rare, unique, representative or early example of a style, type, expression, material or construction method	<input type="checkbox"/>
ii. Displays high degree of craftsmanship or artistic merit	<input type="checkbox"/>
iii. Demonstrates high degree of technical or scientific achievement	<input type="checkbox"/>
iv. Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	<input type="checkbox"/> Further research required.
v. Yields, or has potential to yield information that contributes to an understanding of a community or culture	<input type="checkbox"/>
vi. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	<input type="checkbox"/>
vii. Important in defining, maintaining or supporting the character of an area	<input checked="" type="checkbox"/>
viii. Physically, functionally, visually, or historically linked to its surroundings	<input type="checkbox"/>
ix. Is a landmark	<input type="checkbox"/>

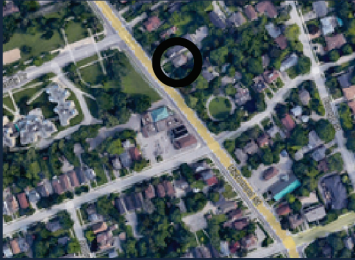


1144 Richmond St

London, Ontario

Ontario Regulation 9/06

Location



Current aerial photograph

Historical Images



1942 aerial photograph



1971 aerial photograph

Criteria i: The property includes a two-storey dwelling constructed c. 1938 and is representative of the American Foursquare architectural style which was popular primarily during the Edwardian period.

Criteria ii: The property does not display a high degree of craftsmanship or artistic merit.

Criteria iii: The property does not demonstrate a high degree of technical or scientific achievement.

Criteria iv: It is unknown if the property has a direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community. Former property owners' surnames include: Schavo, Trelaven, Ballingall, Johnson, McArthur.

Criteria v: The property does not have potential to yield, information that contributes to an understanding of a community or culture.

Criteria vi: The property does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Criteria vii: The property does not define or maintain the character of the area, however, it does support the surrounding Edwardian building stock.

Criteria viii: The property is not physically, functionally, visually or historically linked to the surrounding area.

Criteria ix: The property is not considered a landmark by the community.

Summary

A property must satisfy at least two of the criteria based on O. Reg 9/06. As the specifications of Criteria (iv) is unknown, and the property meets at least one criteria, for purpose of this evaluation, the property is determined to have Cultural Heritage Value or Interest as potentially meeting two of the nine criteria.

Heritage Attributes

Heritage attributes include: square floor plan, all elevations and original window and door openings, low-pitched hipped roofline with centrally placed hipped dormer.

References

- Vernon Directories, City of London
- London City and Middlesex County Directories
- Foster's London City and Middlesex County Directories
- Topographic Maps of 1961 and 1973
- Aerial photographs of 1942, 1945, 1950, 1955, 1971, 1974, 2003, 2023
- 1890 and 1893 Bird's Eye View of the City of London
- Historical topographic maps of 1961 and 1973, Surveys and Mapping Branch, Department of Energy, Mines and Resources

Table 8.0- Evaluation of 1144 Richmond Street

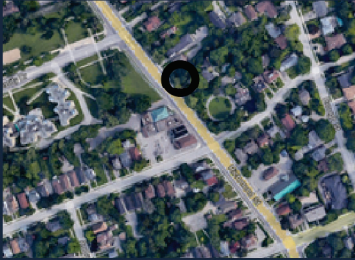
Ontario Regulation 9/06		1144 Richmond Street
i.	Rare, unique, representative or early example of a style, type, expression, material or construction method	<input checked="" type="checkbox"/>
ii.	Displays high degree of craftsmanship or artistic merit	<input type="checkbox"/>
iii.	Demonstrates high degree of technical or scientific achievement	<input type="checkbox"/>
iv.	Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	<input type="checkbox"/> Further research required.
v.	Yields, or has potential to yield information that contributes to an understanding of a community or culture	<input type="checkbox"/>
vi.	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	<input type="checkbox"/>
vii.	Important in defining, maintaining or supporting the character of an area	<input checked="" type="checkbox"/>
viii.	Physically, functionally, visually, or historically linked to its surroundings	<input type="checkbox"/>
ix.	Is a landmark	<input type="checkbox"/>

1148 Richmond St

London, Ontario



Location

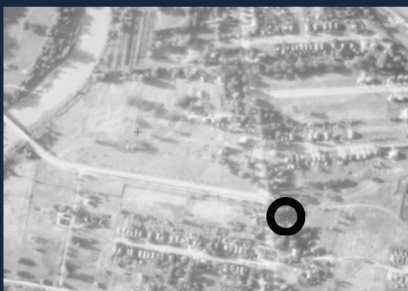


Current aerial photograph

Historical Images



Illustrated historical atlas of the county of Middlesex, Ontario of 1878



1942 aerial photograph

Ontario Regulation 9/06

Criteria i: The property includes a one-and-a-half storey dwelling constructed c. 1870. The dwelling is representative of a Gothic Revival Ontario Farmhouse. The property is not rare, unique or an early examples of a style (in this case using pre-confederation as a threshold), type, expression, material or construction method.

Criteria ii: The property does not display a high degree of craftsmanship or artistic merit.

Criteria iii: The property does not have design value or physical value because it demonstrates a high degree of technical or scientific achievement.

Criteria iv: It is unknown if the property has a direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community. Former owners include: Foster and Febrey Families,

Criteria v: The property has potential to yield, information that contributes to an understanding of the early Broughdale community.

Criteria vi: The property does not reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Criteria vii: The property does not define, maintain or support the existing character of the area which is predominately early to mid-20th century building stock.

Criteria viii: The property can be considered historically linked to the surrounding area, particularly its interrelationship with the property at 1132 Richmond Street which is designated under Part IV of the OHA. The property is not physically, functionally, or visually linked to its surroundings.

Criteria ix: The property is not considered a landmark by the community.

Summary

In summary, the property meets at least 3 of the nine criteria, so for the purpose of this evaluation, it is determined that this property does have Cultural Heritage Value or Interest.

Heritage Attributes

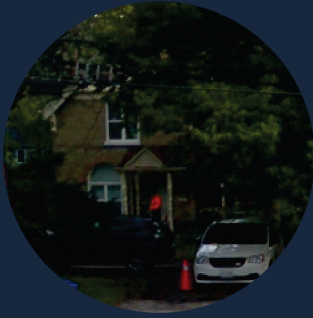
Heritage attributes include: centre-hall rectangular floor plan, one and half storey built form including all elevations and original window and door openings, gabled roofline with signature centrally placed gabled dormer, front verandah with wooden posts.

References

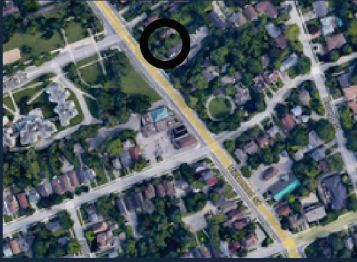
- Vernon Directories, City of London
- London City and Middlesex County Directories
- Foster's London City and Middlesex County Directories
- Topographic Maps of 1961 and 1973
- Aerial photographs of 1942, 1945, 1950, 1955, 1971, 1974, 2003, 2023
- 1890 and 1893 Bird's Eye View of the City of London
- Historical topographic maps of 1961 and 1973, Surveys and Mapping Branch, Department of Energy, Mines and Resources

Table 9.0- Evaluation of 1148 Richmond Street

Ontario Regulation 9/06		1148 Richmond Street
i.	Rare, unique, representative or early example of a style, type, expression, material or construction method	<input checked="" type="checkbox"/>
ii.	Displays high degree of craftsmanship or artistic merit	<input type="checkbox"/>
iii.	Demonstrates high degree of technical or scientific achievement	<input type="checkbox"/>
iv.	Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	<input type="checkbox"/> Further research required.
v.	Yields, or has potential to yield information that contributes to an understanding of a community or culture	<input checked="" type="checkbox"/>
vi.	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	<input type="checkbox"/>
vii.	Important in defining, maintaining or supporting the character of an area	<input type="checkbox"/>
viii.	Physically, functionally, visually, or historically linked to its surroundings	<input checked="" type="checkbox"/>
ix.	Is a landmark	<input type="checkbox"/>



Location



Current aerial photograph

Historical Images



1942 aerial photograph



1971 aerial photograph

1150 Richmond St

London, Ontario

Ontario Regulation 9/06

Criteria i: The property includes a one-and-a-half storey dwelling constructed c. 1900. The dwelling appears to be vernacular in design with limited architectural details and is not clearly representative of a specific typology. The property is not rare, unique or an early examples of a style, type, expression, material or construction method.

Criteria ii: The property does not display a high degree of craftsmanship or artistic merit.

Criteria iii: The property does not demonstrate a high degree of technical or scientific achievement.

Criteria iv: It is unknown if the property has a direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community. Previous owners include the Dixon Family.

Criteria v: The property does not have potential to yield, information that contributes to an understanding of a community or culture.

Criteria vi: The property does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Criteria vii: The property does not define or maintain the character of the area, however, it does support the surrounding building stock due to its dating and built form.

Criteria viii: The property is not physically, functionally, visually or historically linked to its surroundings.

Criteria ix: The property is not considered a landmark by the community.

Summary

A property must satisfy at least two of the criteria based on O. Reg 9/06. As the specifications of Criteria (iv) is unknown, and the property meets at least one criteria (Criteria vii), for the purpose of this evaluation, the property is determined to have Cultural Heritage Value or Interest as potentially meeting two or more of the nine criteria.

Heritage Attributes

Heritage attributes include: one and half storey built form, open gabled roofline and asymmetrical entryway.

References

Vernon Directories, City of London
London City and Middlesex County Directories
Foster's London City and Middlesex County Directories
Topographic Maps of 1961 and 1973
Aerial photographs of 1942, 1945, 1950, 1955, 1971, 1974, 2003, 2023
1890 and 1893 Bird's Eye View of the City of London
Historical topographic maps of 1961 and 1973, Surveys and Mapping Branch,
Department of Energy, Mines and Resources

Table 10.0- Evaluation of 1150 Richmond Street

Ontario Regulation 9/06		1150 Richmond Street
i.	Rare, unique, representative or early example of a style, type, expression, material or construction method	<input type="checkbox"/>
ii.	Displays high degree of craftsmanship or artistic merit	<input type="checkbox"/>
iii.	Demonstrates high degree of technical or scientific achievement	<input type="checkbox"/>
iv.	Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	<input type="checkbox"/> Further research required.
v.	Yields, or has potential to yield information that contributes to an understanding of a community or culture	<input type="checkbox"/>
vi.	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	<input type="checkbox"/>
vii.	Important in defining, maintaining or supporting the character of an area	<input checked="" type="checkbox"/>
viii.	Physically, functionally, visually, or historically linked to its surroundings	<input type="checkbox"/>
ix.	Is a landmark	<input type="checkbox"/>

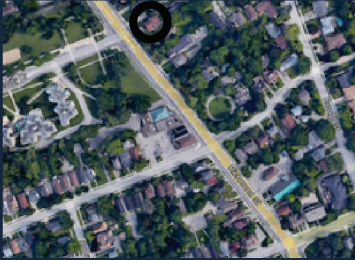


1156 Richmond St

London, Ontario

Ontario Regulation 9/06

Location



Current aerial photograph

Historical Images



1942 aerial photograph



Sears, Roebuck and Co. showing the "Westwood" bungalow debuting in the early 1930s.

Criteria i: The property includes a one-and-a-half storey dwelling constructed c. 1929. The dwelling is representative of the American Foursquare architectural style in a variation of a bungalow. The property is not rare, unique or an early examples of a style, type, expression, material or construction method.

Criteria ii: The property does not display a high degree of craftsmanship or artistic merit.

Criteria iii: The property demonstrates a high degree of technical or scientific achievement.

Criteria iv: It is unknown if the property has a direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community. Previous owners include: the Hodgins and Brown Families,

Criteria v: The property does not have potential to yield, information that contributes to an understanding of a community or culture.

Criteria vi: The property does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community. Although the dwelling appears to be reflective of a Sears catalogue home (the Westwood), these kits were well disseminated throughout Canada and not significant to this community.

Criteria vii: The property maintains the character of the area due to its architectural design which is reflective of a collection of primarily one to one-and-a-half storey Edwardian bungalows along Richmond Street.

Criteria viii: The property is not physically, functionally, visually or historically linked to the surrounding area.

Criteria xi: The property is not considered a landmark by the community.

Summary

A property must satisfy at least two of the criteria based on O. Reg 9/06. As the specifications of Criteria (iv) is unknown, and the property meets at least one criteria, for purpose of this evaluation, the property is determined to have Cultural Heritage Value or Interest as potentially meeting two or more of the nine criteria.

Heritage Attributes

Heritage attributes include: one and half storey built form including all brick elevations and original window and door openings, original window and door frames, medium-pitched hipped roofline with signature centrally placed hipped dormer and masonry chimney shafts, asymmetrical entryway, brick front porch with brick piers and stone capping.

References

- Vernon Directories, City of London
- London City and Middlesex County Directories
- Foster's London City and Middlesex County Directories
- Topographic Maps of 1961 and 1973
- Aerial photographs of 1942, 1945, 1950, 1955, 1971, 1974, 2003, 2023
- 1890 and 1893 Bird's Eye View of the City of London
- Historical topographic maps of 1961 and 1973, Surveys and Mapping Branch, Department of Energy, Mines and Resources

Table 11.0- Evaluation of 1156 Richmond Street

Ontario Regulation 9/06		1156 Richmond Street
i.	Rare, unique, representative or early example of a style, type, expression, material or construction method	<input checked="" type="checkbox"/>
ii.	Displays high degree of craftsmanship or artistic merit	<input type="checkbox"/>
iii.	Demonstrates high degree of technical or scientific achievement	<input type="checkbox"/>
iv.	Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	<input type="checkbox"/> Further research required.
v.	Yields, or has potential to yield information that contributes to an understanding of a community or culture	<input type="checkbox"/>
vi.	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	<input type="checkbox"/>
vii.	Important in defining, maintaining or supporting the character of an area	<input checked="" type="checkbox"/>
viii.	Physically, functionally, visually, or historically linked to its surroundings	<input type="checkbox"/>
ix.	Is a landmark	<input type="checkbox"/>

1158 Richmond St

Laneway

London, Ontario

Ontario Regulation 9/06



Location



Current aerial photograph

Historical Images



1942 aerial photograph



1961 topographic map



1971 aerial photograph

Criteria i: The property is vacant and does not include buildings or structures. The property is a laneway that interconnects Richmond Street with University Crescent. The property is not rare, unique, representative or an early examples of a style, type, expression, material or construction method.

Criteria ii: The property does not display a high degree of craftsmanship or artistic merit.

Criteria iii: The property does not demonstrate a high degree of technical or scientific achievement.

Criteria iv: The property is not directly associated with a theme, event, belief, person, activity, organization, institution that is significant to the community.

Criteria v: The property does not have potential to yield, information that contributes to an understanding of a community or culture.

Criteria vi: The property does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Criteria vii: The property does not define, maintain or support the character of the area.

Criteria viii: The property is functionally linked to the surrounding area as a circulation route, particularly due to its interrelationship and access between University Crescent and Richmond Street. Historically, the laneway was part of a lengthy drive which culminated in a cul-du-sac, however, became the current University Crescent as a result of surrounding development by the 1950s. The property is not significantly physically or visually linked to its surroundings.

Criteria ix: The property is not considered a landmark by the community.

Summary

A property must satisfy at least two of the criteria based on O. Reg 9/06. Although the property meets Criteria viii, the property would require meeting an additional criteria to be determined to have Cultural Heritage Value or Interest. Therefore, it is determined that this property does not have Cultural Heritage Value or Interest.

References

- Vernon Directories, City of London
- London City and Middlesex County Directories
- Foster's London City and Middlesex County Directories
- Topographic Maps of 1961 and 1973
- Aerial photographs of 1942, 1945, 1950, 1955, 1971, 1974, 2003, 2023
- 1890 and 1893 Bird's Eye View of the City of London
- Historical topographic maps of 1961 and 1973, Surveys and Mapping Branch, Department of Energy, Mines and Resources

Table 12.0- Evaluation of 1158 Richmond Street

Ontario Regulation 9/06		1158 Richmond Street
i.	Rare, unique, representative or early example of a style, type, expression, material or construction method	<input type="checkbox"/>
ii.	Displays high degree of craftsmanship or artistic merit	<input type="checkbox"/>
iii.	Demonstrates high degree of technical or scientific achievement	<input type="checkbox"/>
iv.	Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	<input type="checkbox"/>
v.	Yields, or has potential to yield information that contributes to an understanding of a community or culture	<input type="checkbox"/>
vi.	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	<input type="checkbox"/>
vii.	Important in defining, maintaining or supporting the character of an area	<input type="checkbox"/>
viii.	Physically, functionally, visually, or historically linked to its surroundings	<input checked="" type="checkbox"/>
ix.	Is a landmark	<input type="checkbox"/>

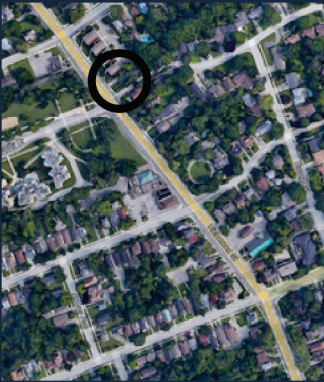


1160 Richmond St

London, Ontario

Ontario Regulation 9/06

Location



Current aerial photograph

Historical Images



1942 aerial photograph



1971 aerial photograph

Criteria i: The property includes a one-and-a-half storey dwelling constructed c. 1890 with additions. The building is not clearly representative of a specific architectural typology but rather presents as a vernacular building which has undergone several alterations. The property is not rare, unique or an early examples of a style, type, expression, material or construction method.

Criteria ii: The property does not display a high degree of craftsmanship or artistic merit.

Criteria iii: The property does not demonstrate a high degree of technical or scientific achievement.

Criteria iv: It is unknown if the property has a direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community, however, there is indication that the property has an association with the Dickerson Family, which is one of the few families identified in early directories that reside within the area north of Huron Street and the Thames River within the community of Broughdale at the turn of the century.

Criteria v: The property does not have potential to yield, information that contributes to an understanding of a community or culture.

Criteria v: The property does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Criteria vii: The property does not define or maintain the character of the area. The property does support the surrounding building stock due to its dating and general built form.

Criteria viii: The property is not physically, functionally, visually or historically linked to its surroundings.

Criteria ix: The property is not considered a landmark by the community.

Summary

A property must satisfy at least two of the criteria based on O. Reg 9/06. As the specifications of Criteria (iv) is unknown, and the property meets at least one criteria (Criteria vii), for the purpose of this evaluation, the property is determined to have Cultural Heritage Value or Interest as potentially meeting two or more of the nine criteria.

Heritage Attributes

Heritage attributes include: one and half storey built form, open gabled roofline and asymmetrical entryway.

References

Vernon Directories, City of London
London City and Middlesex County Directories
Foster's London City and Middlesex County Directories
Topographic Maps of 1961 and 1973
Aerial photographs of 1942, 1945, 1950, 1955, 1971, 1974, 2003, 2023
1890 and 1893 Bird's Eye View of the City of London
Historical topographic maps of 1961 and 1973, Surveys and Mapping Branch,
Department of Energy, Mines and Resources

Table 13.0- Evaluation of 1160 Richmond Street

Ontario Regulation 9/06	1160 Richmond Street
i. Rare, unique, representative or early example of a style, type, expression, material or construction method	<input type="checkbox"/>
ii. Displays high degree of craftsmanship or artistic merit	<input type="checkbox"/>
iii. Demonstrates high degree of technical or scientific achievement	<input type="checkbox"/>
iv. Direct associations with a theme, event, belief, person, activity, organization, institution that is significant	<input type="checkbox"/> Further research required.
v. Yields, or has potential to yield information that contributes to an understanding of a community or culture	<input type="checkbox"/>
vi. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to the community.	<input type="checkbox"/>
vii. Important in defining, maintaining or supporting the character of an area	<input checked="" type="checkbox"/>
viii. Physically, functionally, visually, or historically linked to its surroundings	<input type="checkbox"/>
ix. Is a landmark	<input type="checkbox"/>

6.0 Description of Proposed Development

The proposed development includes the removal of the existing BMO Bank of Montreal Building located at 1163 Richmond Street and the construction of an 8 storey residential building (with one underground basement level) for student housing with an approximate total of 250 residential suites and 13 Don suites. There are 5 vehicular surface parking spaces and 59 bicycle parking spaces provided. The surface parking lot will be accessed off Tower Lane on the northern side of the Subject Lands. See **Appendix 'B'** of this report for larger versions of the site plan, elevations, and renderings.

The proposed building includes one storey elements fronting Richmond Street and where the development interfaces with Tower Lane properties. There is a large dining area, and indoor and outdoor amenity spaces such as a gym, lounges, multi-purpose rooms, and a courtyard. There are proposed landscape alterations to access the building and enhanced hard and soft landscaping around the University Gates (East).

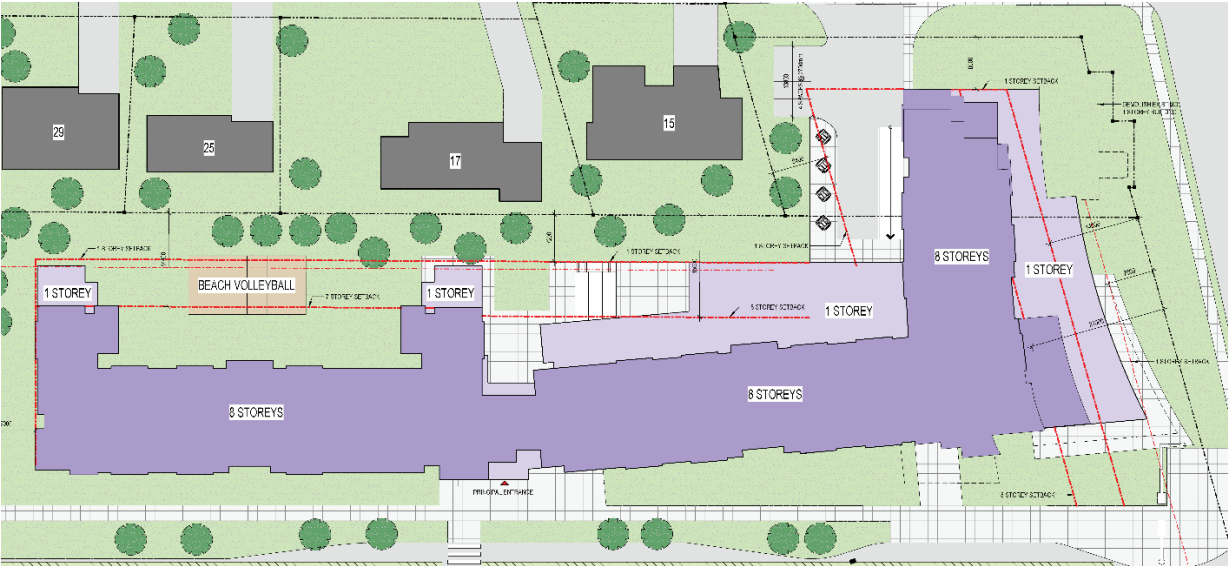


Figure 11: Conceptual site plan of proposed student residence on Project Site (Source: Architects Tillmann Ruth Robinson, 2023).

The design of the new building includes glazing, brick and precast concrete and metal panelling in a neutral palette with vertical rhythms in the fenestration and other architectural details which reflect that of the Collegiate Gothic architectural style. There is a one storey podium fronting Richmond Street and also along the rear of the central portion of the development. There is a variety of architectural articulation along the elevations that create a range of depth along the facades. See **Figures 12 & 13**.



Figure 12: Conceptual renderings of the elevations of the proposed new residence (Source: Architects Tillmann Ruth Robinson, 2023).



Figure 13: Conceptual dimensional renderings of the proposed new residence (Source: Architects Tillmann Ruth Robinson, 2023).

7.0 Impact Analysis

7.1 Introduction

The impacts of a proposed development or change to a cultural heritage resource may occur over a short, medium or long-term. Impacts to a cultural heritage resource may also be site specific or widespread, and may have low, moderate or high levels of impact which may be direct or indirect, beneficial or adverse. According to the *Ontario Heritage Tool Kit*, the following constitutes adverse impacts which may result from a proposed development:

- Demolition of any, or part of any, heritage attributes or features;
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance of a building;
- Shadows created that obscure heritage attributes or change the viability of the associated cultural heritage landscape;
- Isolation of a heritage resource or part thereof from its surrounding environment, context or a significant relationship;
- Obstruction of significant identified views or vistas of, within, or from individual cultural heritage resources;
- A change in land use where the change affects the property's cultural heritage value; and
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.

The impacts of a proposed development or change to a cultural heritage resource may be direct (demolition or alteration) or indirect (shadows, isolation, obstruction of significant views, a change in land use and land disturbances). Impacts may occur over a short term or long term duration, and may occur during a pre-construction phase, construction phase or post-construction phase (medium-term). Impacts to a cultural heritage resource may also be site specific or widespread, and may have low, moderate or high levels of physical impact. Severity of impacts used in this report derives from *International Council on Monuments and Sites (ICOMOS) Guidance on Heritage Impact Assessments for Cultural World Heritage Properties (2011)*.

Table 14.0- ICOMOS Scale and Severity of Change/ Impact

Impact Grading	Description
Major	Change to key historic building elements that contribute to the cultural heritage value or interest (CHVI) such that the resource is totally altered. Comprehensive changes to the setting.
Moderate	Change to many key historic building elements, such that the resource of significantly modified. Changes to the setting an historic building, such that it is significantly modified.
Minor	Change to key historic building elements, such that the asset is slightly different. Change to setting of an historic building, such that is it noticeably changed.
Negligible/ Potential	Slight changes to historic building elements or setting that hardly affect it.
No change	No change to fabric or setting.

7.2 Impact Analysis for the Subject Lands

7.2.1 Impact Analysis for the Subject Lands (1151 Richmond Street, Medway Hall)
 The assessment of the impact of the proposed development on the Medway Hall which is identified as a built heritage resource which requires a Heritage Impact Assessment as per the Campus Wide Development Agreement. The impact analysis is addressed in **Table 15.0** below.

Table 15.0 –Impact Analysis for Medway Hall

<i>Impact</i>	<i>Level of Impact (Potential, None, Negligible, Minor, Moderate or Major)</i>	<i>Analysis</i>
Demolition of any, or part of any, heritage attributes or features;	None.	The redevelopment does not propose to demolish any, or part of any, heritage attributes or features of Medway Hall.
Alteration that is not sympathetic, or is incompatible, with the	None.	The redevelopment does not propose to alter Medway Hall and associated heritage attributes.

historic fabric and appearance of a building;		
Shadows created that obscure heritage attributes or change the viability of the associated cultural heritage landscape;	None.	A Shadow Study was completed and is included in Appendix 'C' of this report. Based on a review of the Study, there are no shadows that will obscure the heritage attributes of change the viability of the associated landscape features of Medway Hall.
Isolation of a heritage resource or part thereof from its surrounding environment, context or a significant relationship;	None.	The interrelationship between Sydenham Hall and Medway Hall will not be impacted by the proposed redevelopment. The current setting includes Alumni House (1986) and Elgin Hall (1999) which were later developments in the immediate environment.
Obstruction of significant identified views or vistas of, within, or from individual cultural heritage resources;	None.	The proposed development will not impact significant views associated with Medway Hall which would include views of the front façade as well as perspective views of the south (front) and west and east elevations and within the internal courtyard. Schedule 'D' of the Campus Wide Development Agreement does not identify viewsheds within the vicinity of Medway Hall.
A change in land use where the change affects the property's cultural heritage value; and	None.	The extension of the east campus was historically because of a student housing demand and the redevelopment of the Project Site for residential housing is in keeping with the historical use of the immediate surrounding area.
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely	None.	Based on this analysis, Medway Hall is approximately 41.1 metres from the new construction in addition to being on the other side of the right-of-way. Therefore, no significant impacts of land disturbances are anticipated.

affect a cultural heritage resource.		
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7.2.2 Impact Analysis for the Subject Lands (1151 Richmond Street- University Gates (East))

The assessment of the impact of the proposed development on the University Gates (East) which is identified as a built heritage resource which requires a Heritage Impact Assessment as per the Campus Wide Development Agreement. The impact analysis is addressed in **Table 16.0** below.

Table 16.0 –Impact Analysis for University Gates (East)

<i>Impact</i>	<i>Level of Impact (Potential, None, Negligible, Minor, Moderate or Major)</i>	<i>Analysis</i>
Demolition of any, or part of any, heritage attributes or features;	None.	The redevelopment does not propose to demolish any, or part of any, heritage attributes of the University Gates (East).
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance of a building;	Potential.	The redevelopment proposes to alter hardscaping in and around the gates. There is potential that alterations could be made that would be unsympathetic to the historic fabric. See sub-section 7.2.2.1.
Shadows created that obscure heritage attributes or change the viability of the associated cultural heritage landscape;	None.	A Shadow Study was completed and is included in Appendix 'C' of this report. Based on a review of the Study, there are no shadows that will obscure the heritage attributes of the University Gates (East).
Isolation of a heritage resource or part thereof from its surrounding environment, context or a significant relationship;	None.	The interrelationship between the gates and other Collegiate Gothic inspired built forms (i.e. Medway and Sydenham Hall) will not be significantly impacted.
Obstruction of significant identified views or vistas of, within, or from individual cultural heritage resources;	None.	The proposed development will not impact significant views associated with the gates which would be from the intersection of Richmond Street and University Drive. Schedule 'D' of the Campus Wide Development

		Agreement does not identify viewsheds in vicinity of University Gates (East).
A change in land use where the change affects the property’s cultural heritage value; and	None.	The use of the Project Site for residential purposes is within context of the immediate environment and will not negatively impact the University Gates (East).
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.	Potential.	Based on this analysis, University Gates (East) (monuments) are approximately 14 metres (approximately 7 metres including associated stone walls) from the new construction. There is potential that new construction and associated landscape work may result in land disturbances. See sub-section 7.2.2.1.

7.2.2.1 Impact of Alteration and Land Disturbances

The University Gates (East) are located within the immediate vicinity of the proposed new development. The University Gates (East) monuments are approximately 14 metres from the new construction and the associated stone wall along the northern side of University Drive is approximately 7 metres from the new construction. In addition, there is proposed hardscaping proposed directly within the immediate vicinity of these existing features (see **Figures 16 & 17** for existing and proposed conditions). There is potential that unsympathetic alterations, through accidental damage, could occur because of proposed landscaping works and potential for adverse impacts of land disturbances as it relates to new construction and potential changes to soils and drainage. It is expected, however, that other requirements of the new development (i.e. demonstrating adequate grading and drainage plans), that potential impacts of land disturbances will be addressed.



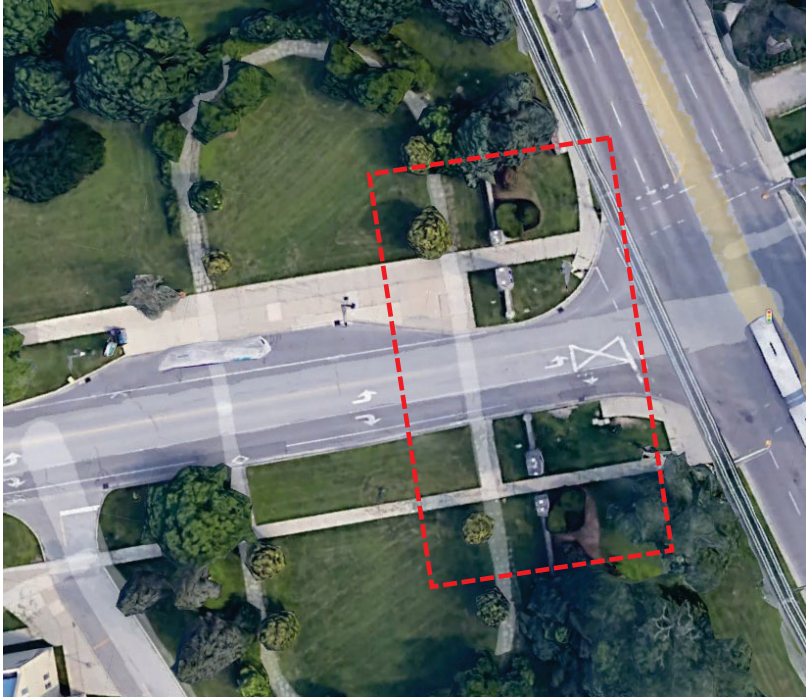
RENDERING LOOKING NORTHWEST BIRD'S EYE VIEW



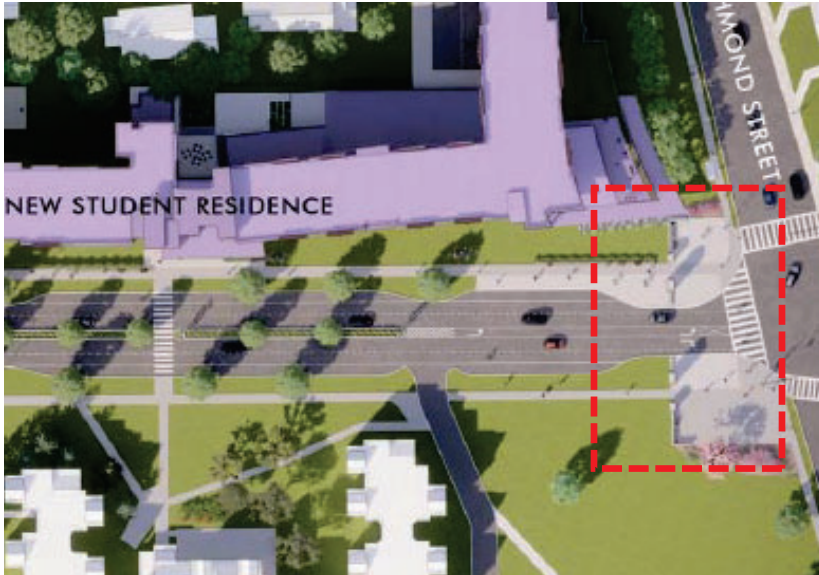
RENDERING LOOKING NORTHWEST

Figures 14 & 15: (left) Conceptual rendering of the proposed new residence looking north-west showing proposed hardscaping in the vicinity of the existing University Gates (East); (below) Pedestrian view of the proposed development and associated hardscaping within the vicinity of the University Gates (East) (East) looking north-west (Source: Architects Tillmann Ruth Robinson, 2023).

Existing Condition
of University Gates
(East)



Proposed
Landscaping for
University Gates
(East)



Figures 16 & 17: (above) Aerial photograph of existing University Gates (East); red box identifying location of University Gates (East) and associated stone walls (Source: Google Earth Pro); (below) Aerial view of the proposed development and associated hardscaping within the vicinity of the University Gates (East); red box identifying location of University Gates (East) and associated stone walls (Source: Architects Tillmann Ruth Robinson, 2023).

7.3 Impact Analysis for Adjacent Cultural Heritage Resources

The following **Table 17.0** provides an impact analysis for the adjacent 'listed' (non-designated) properties which have determined to have potential or identified to have cultural heritage value or interest reviewed in Sub-section 5.5 of this report:

- 1142 Richmond Street
- 1144 Richmond Street
- 1148 Richmond Street
- 1150 Richmond Street
- 1156 Richmond Street
- 1160 Richmond Street

In summary, there are no significant adverse impacts as a result of the proposed redevelopment for the above-mentioned adjacent listed properties. The residential neighbourhood along Richmond Street has historically been part of the growing expansion of the university grounds and the redevelopment is rather part of the historical development of student housing particularly in this part of the university campus. **Figure 18** identifies the approximate distance between the listed (non-designated) properties subject to evaluation and the proposed new construction. **Appendix 'C'** provides the Shadow Study as it applies to the impact analysis of adjacent properties.

Table 17.0- Impact Analysis of Adjacent Listed (Non-designated Properties)

<i>Impact Level of Impact (Potential, None, Negligible, Minor, Moderate or Major)</i>	1142 Richmond St	1144 Richmond St	1148 Richmond St	1150 Richmond Str	1156 Richmo
Demolition of any, or part of any, heritage attributes or features;	The development does not propose demolition of heritage attributes.	The development does not propose demolition of heritage attributes.	The development does not propose demolition of heritage attributes.	The development does not propose demolition of heritage attributes.	The devel does not demolition heritage a
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance of a building;	The development does not propose alteration to the historic fabric or appearance of the building.	The development does not propose alteration to the historic fabric or appearance of the building.	The development does not propose alteration to the historic fabric or appearance of the building.	The development does not propose alteration to the historic fabric or appearance of the building.	The dev does not alteration historic appearan building.
Shadows created that obscure heritage attributes or change the viability of the associated cultural heritage landscape;	The shadows created by the proposed development will not change the viability of the heritage attributes.	The shadows created by the proposed development will not change the viability of the heritage attributes.	The shadows created by the proposed development will not change the viability of the heritage attributes.	The shadows created by the proposed development will not change the viability of the heritage attributes.	The shado created b proposed developm not chang viability o heritage a
Isolation of a heritage resource or part thereof from its surrounding environment, context or a significant relationship;	The proposed development is contained within the campus and will not isolate the property from the existing mature residential character.	The proposed development is contained within the campus and will not isolate the property from the existing mature residential character.	The proposed development is contained within the campus and will not isolate the property from the existing mature residential character.	The proposed development is contained within the campus and will not isolate the property from the existing mature residential character.	The propo developm contained the camp will not is property f existing m residential character
Obstruction of significant identified views or vistas of, within, or from individual cultural heritage resources;	The proposed development is primarily along University Drive and will not directly or indirectly obstruct views of the property.	The proposed development is primarily along University Drive and will not directly or indirectly obstruct views of the property.	The proposed development is primarily along University Drive and will not directly or indirectly obstruct views of the property.	The proposed development is primarily along University Drive and will not directly or indirectly obstruct views of the property.	The propo developm primarily University and will n directly or indirectly views of t property.

<p>A change in land use where the change affects the property's cultural heritage value; and</p>	<p>The use of the subject lands was historically for student housing and will not impact this property.</p>	<p>The use of the subject lands was historically for student housing and will not impact this property.</p>	<p>The use of the subject lands was historically for student housing and will not impact this property.</p>	<p>The use of the subject lands was historically for student housing and will not impact this property.</p>	<p>The use of the subject lands was historically for student housing and will not impact this property.</p>
<p>Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.</p>	<p>The proposed new construction is approximately 102.5 metres from the property. Due to the distance and being situated non-contiguous on the opposite side of the right-of-way, adverse impacts land disturbances are not anticipated.</p>	<p>The proposed new construction is approximately 91.6 metres from the property. Due to the distance and being situated non-contiguous on the opposite side of the right-of-way, adverse impacts land disturbances are not anticipated.</p>	<p>The proposed new construction is approximately 79.7 metres from the property. Due to the distance and being situated non-contiguous on the opposite side of the right-of-way, adverse impacts land disturbances are not anticipated.</p>	<p>The proposed new construction is approximately 58.9 metres from the property. Due to the distance and being situated non-contiguous on the opposite side of the right-of-way, adverse impacts land disturbances are not anticipated.</p>	<p>The proposed new construction is approximately 58.9 metres from the property. Due to the distance and being situated non-contiguous on the opposite side of the right-of-way, adverse impacts land disturbances are not anticipated.</p>

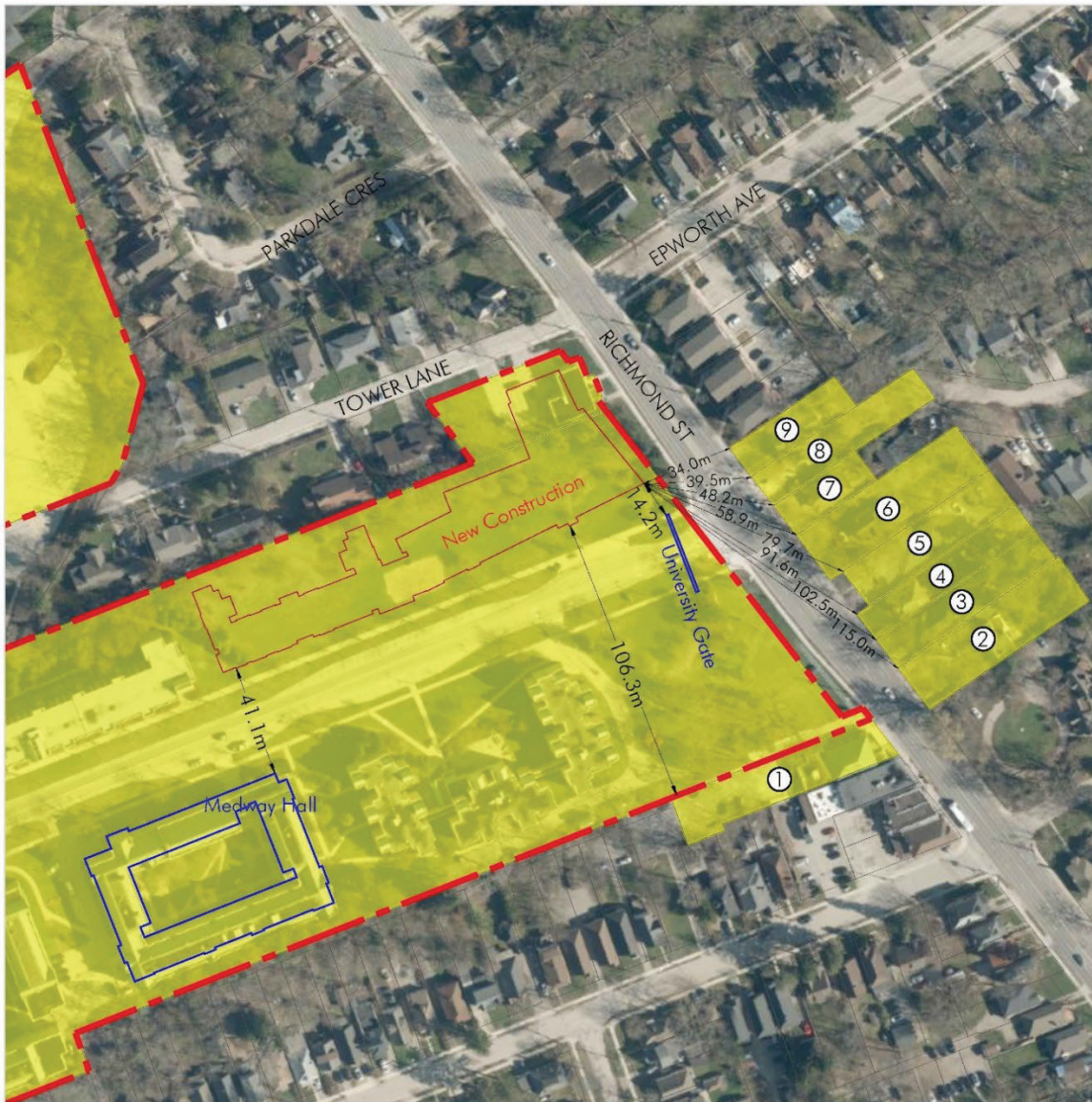


Figure 2-1
Distance to Construction

1151 & 1163 Richmond Str.
City of London
Ontario

LEGEND

- Subject Lands (1151 & 1163 Richmond Street)
- City of London Listed Heritage Properties
- Adjacent Listed Properties
- ① 1137 Richmond St
- ② 1140 Richmond St
- ③ 1142 Richmond St
- ④ 1144 Richmond St
- ⑤ 1148 Richmond St
- ⑥ 1150 Richmond St
- ⑦ 1156 Richmond St
- ⑧ 1158 Richmond St
- ⑨ 1160 Richmond St

Notes:
- Aerial Imagery: City of London Ortho Basemap - 2022
- Site Plan: Tillmann Architects Ruth Robinson, Oct. 10, 2023

DATE: November, 2023

SCALE: 1:2,000

FILE: 10175E

DRAWN: PL



K:10175E 1151 & 1163 RICHMOND STREET,
LONDON\RP\F2-1_DISTANCE TO CONSTRUCTION.DWG

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& LANDSCAPE
ARCHITECTURE
200-540 BINGEMANS CENTRE DR. KITCHENER, ON, N2B 3X9
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Figure 18: Aerial photograph identifying distance (metric) between listed (non-designated) properties (Medway Hall and University Gates (East) identified) and the new construction (Source: MHBC, 2023).

8.0 Alternative Development Options, Mitigation and Conservation Measures

8.1 Alternative Development Options

Consideration of alternative development approaches is routinely undertaken through the assessment of heritage impacts when significant adverse impacts are identified. In review of the impact analysis in Section 7.0 of this report, impacts are limited to a potential impact of alterations and land disturbances due to the University Gates (East). Since there are limited adverse impacts that have been identified, alternative development approaches are not warranted as impact can be adequately addressed through mitigation and conservation measures. The following sub-sections provide recommendations as it relates to mitigation and conservation that are specific to the University Gates (East).

8.2 Mitigation and Conservation Measures

The following lists mitigative measures that are recommended to eliminate or limit potential negative impacts as it relates to the University Gates (East):

- Ensure that hardscaping and other related landscape works be of a material and location that is compatible with the existing masonry of the University Gates (East) such as:
 - Unobtrusive, interlocking pavers of natural stone or brick hardscaping (suggest similar colour of grey limestone); natural stone from local quarry, such as Wiarion, could be used as an accent;
 - Furnishings have simple, clean lines, metal elements and natural wood; and,
 - Clean planting with evergreens (i.e. yew or cedar), grasses and flowering shrubs (i.e. hydrangea).
- Protective measures (i.e. hoarding or tarping) should be implemented around the masonry monuments to reduce/ eliminate potential damage to the structures during construction works; and,
- Ensure proper documentation of the University Gates (East) is completed prior to works (i.e. architectural drawings, digital scanning) and identifying characteristics of the source of the type of stone use and composition of mortar.

It is recommended that the guidelines for masonry in Section 4.5.3 within the Standards and Guidelines for the Conservation of Historic Places ("S&Gs") be applied, where necessary.

- Protect and maintain masonry by preventing water penetration, and maintaining proper drainage so that water or organic matter does not stand on flat surfaces, or accumulate in decorative figures by making appropriate repairs (Guideline 3);
- On-going maintenance cleaning masonry to remove heavy soiling, where needed and when required, using gentle cleaning methods and carrying out masonry cleaning tests prior to the use; recommend five-year inspections to determine when cleaning is required (Guideline 6);
- On-going repairing masonry by repointing the mortar joints where there is evidence of deterioration and using mortars that ensure the long-term preservation of the masonry by duplicating original mortar joints in colour, texture, width and joint profile, where needed and when required; recommend five-year inspections to determine when cleaning is required (Guideline 13).

In addition to the above, it is recommended that similar conservation work be applied to Medway Hall in areas where there is discolouration and minor deterioration of masonry and associated mortar and that works be completed in consistency with Section 4.5.3 of the S&Gs as recommended similarly above for the masonry University Gates (East).

The general design of the proposed new buildings appears consistent with the adjacent cultural heritage resources. The use of precast concrete and brick masonry mimics the texture and appearance of the material of these built heritage resources and the neutral colour palette supports their integration into their immediate context which conserves their surrounding environment.

9.0 Conclusions & Recommendations

In conclusion, this HIA has determined, based on the prescribed O. Reg 9/06, that Medway Hall and University Gates (East) have cultural heritage value or interest ("CHVI") in addition to the following properties: 1142 Richmond Street, 1144 Richmond Street, 1148 Richmond Street, 1150 Richmond Street, 1156 Richmond Street, 1160 Richmond Street reviewed in Sub-section 5.5 of this report.

It was determined that the properties located at 1163 Richmond Street (Former BMO Bank of Montreal Building), which is part of the Subject Lands, and 1137, 1140, 1158 Richmond Street do not have potential to meet at least two of the prescribed criteria under O. Reg 9/06 and therefore, are not considered cultural heritage resources and subsequently not included in the impact analysis in Section 7.0 of this report.

The impact analysis, based on the heritage attributes identified in Section 5.0 for properties of CHVI, identified adverse impacts limited to alteration and land disturbances as it relates to the University Gates (East) and the proposed landscaping associated with the proposed redevelopment. There is no other adverse impact identified for Medway Hall (1151 Richmond Street) or for adjacent, above-mentioned properties determined to be of potential or identified cultural heritage value. Sub-section 8.2 of this report outlines the recommended mitigation and conservation measures to be implemented to mitigate and conserve the University Gates (East) during construction as well as on-going maintenance which are consistent with the S&Gs. Conservation measures are also provided for Medway Hall as it relates to the conservation of masonry.

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Appendix A

Maps



**Figure 1
Location Plan**

LEGEND

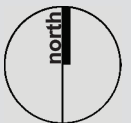
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-  Project Site

Date: November 2023

Scale: 1:5,000

File: 10175E

Drawn: PL



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1151 & 1163 Richmond St.
City of London
Ontario

Source:
City of London 2022 Aerial Imagery



Figure 2
Heritage Status

LEGEND



Subject Lands

Listed on the City of London Register of Cultural Heritage Resources



Designated Properties



Listed Properties

Date: October 2023

Scale: 1:5,000

File: 10175E

Drawn: PL




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Figure 3
**Identified Properties/
 Built Features**
Requiring Evaluation
and Assessment

1151 & 1163 Richmond Street
 City of London
 Ontario

LEGEND

 Subject Lands (1151 & 1163 Richmond St.)

 City of London Listed Heritage Properties

Adjacent Listed Properties

- ① 1137 Richmond St
- ② 1140 Richmond St
- ③ 1142 Richmond St
- ④ 1144 Richmond St
- ⑤ 1148 Richmond St
- ⑥ 1150 Richmond St
- ⑦ 1156 Richmond St
- ⑧ 1158 Richmond St
- ⑨ 1160 Richmond St

Date: November 2023

Scale: 1:5,000

File: 10175E

Drawn: PL



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 & LANDSCAPE
 ARCHITECTURE**

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Figure 2-1
Distance to
Construction

1151 & 1163 Richmond Str.
 City of London
 Ontario

LEGEND

- Subject Lands (1151 & 1163 Richmond Street)
- City of London Listed Heritage Properties
- Adjacent Listed Properties
- ① 1137 Richmond St
- ② 1140 Richmond St
- ③ 1142 Richmond St
- ④ 1144 Richmond St
- ⑤ 1148 Richmond St
- ⑥ 1150 Richmond St
- ⑦ 1156 Richmond St
- ⑧ 1158 Richmond St
- ⑨ 1160 Richmond St

Notes:

- Aerial Imagery: City of London Ortho Base Map - 2022
- Site Plan: Tillmann Architects Ruth Robinson, Oct. 10, 2023

DATE: November, 2023

SCALE: 1:2,000

FILE: 10175E

DRAWN: PL



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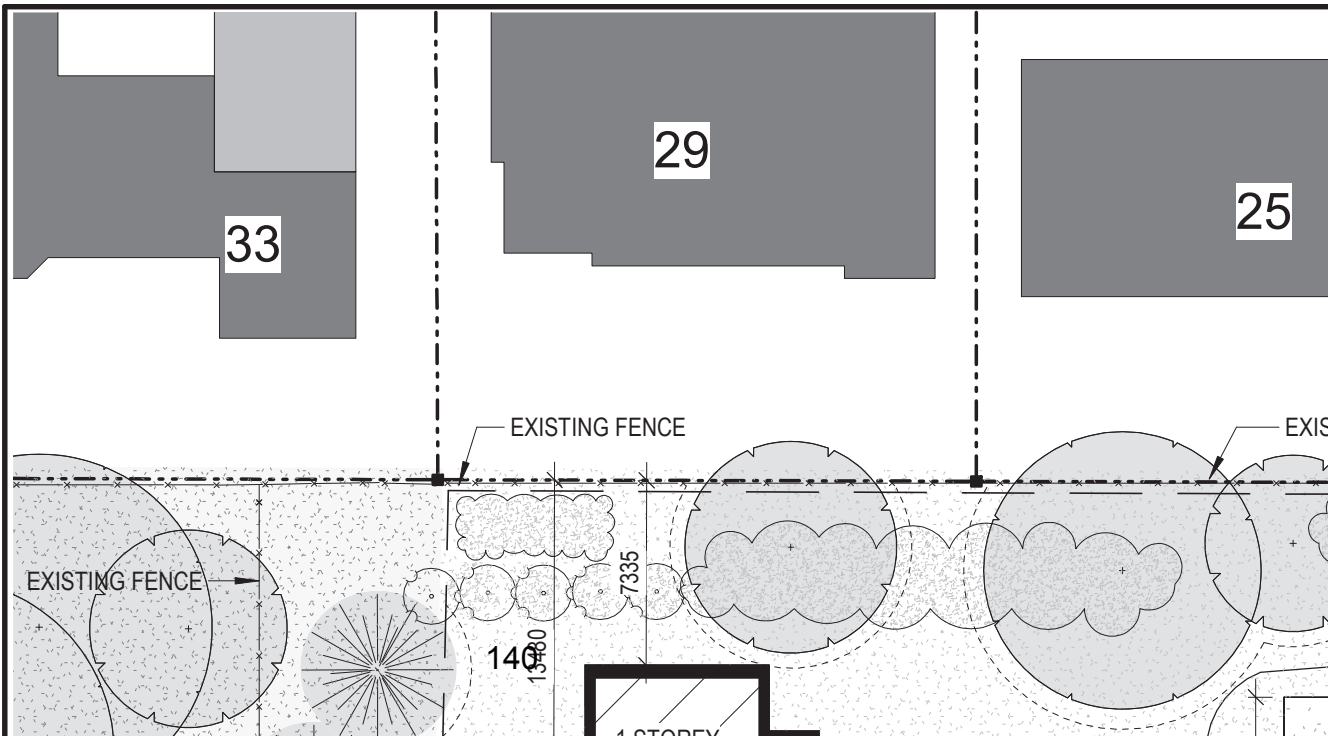
Appendix B

Site Plan, Elevations and Renderings

ZONING BY LAW COMPLIA

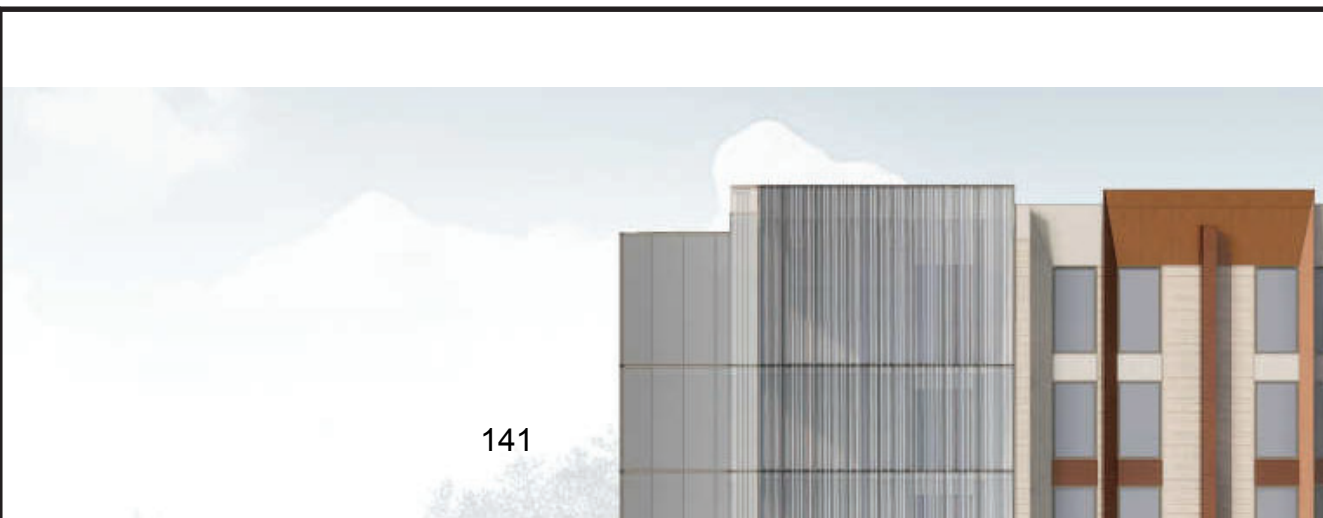
UNIVERSITY DRIVE RESIDENCE

ZONE VARIATION	REQUIRED		
	RF (1151 RICHMOND)	RF(7) (1163 RICHMOND)	
PERMITTED USES	B) ANCILLARY RESIDENTIAL I) INSTITUTIONAL USES T) SUPERVISED RESIDENCES U) UNIVERSITIES	SAME AS RF, EXCEPT: RESIDENCE, RESTAURANTS AND LICENSED DRINKING ESTABLISHMENTS NOT PERMITTED.	B) ANCILLA I) INSTITUT T) SUPERV
LOT AREA (m ²) (MIN)	4000.0 m ²		
LOT FRONTAGE (m) (MIN)	50.0 m		
FRONT YARD DEPTH (MIN)	6.0m +1.0m per 3.0m OF MAIN BUILDING HEIGHT OR FRACTION THEREOF ABOVE THE FIRST 3.0m	14.0 m	
EXTERIOR SIDE YARD DEPTH (MIN)			
REAR SIDE YARD DEPTH (MIN)	6.0m +1.2m FOR EACH 3.0m OF BUILDING HEIGHT OR FRACTION THEREOF ABOVE THE FIRST 3.0m	15.6 m	
INTERIOR SIDE YARD DEPTH (MIN)			
LANDSCAPED OPEN SPACE (%) (MIN)	15%	30%	
LOT COVERAGE (%) (MAX)	30%		
HEIGHT (M) (MAX)	40.0 m	8.0 m	
GENERAL PROVISIONS	REQUIRED		
PARKING	CAMPUS WIDE		CAMPUS
ACCESSIBLE SPACES	CAMPUS WIDE		
BICYCLE PARKING (0.2 SPACES / 100m ² GFA + 2 SPACES	60		(37 INSIDE B





1 NORTH - EAST ELEVATION





Appendix C

Shadow Study

APPENDIX C: SUN/SHADOW STUDY



March 10 am



March 12 pm



June 10 am



June 12 pm



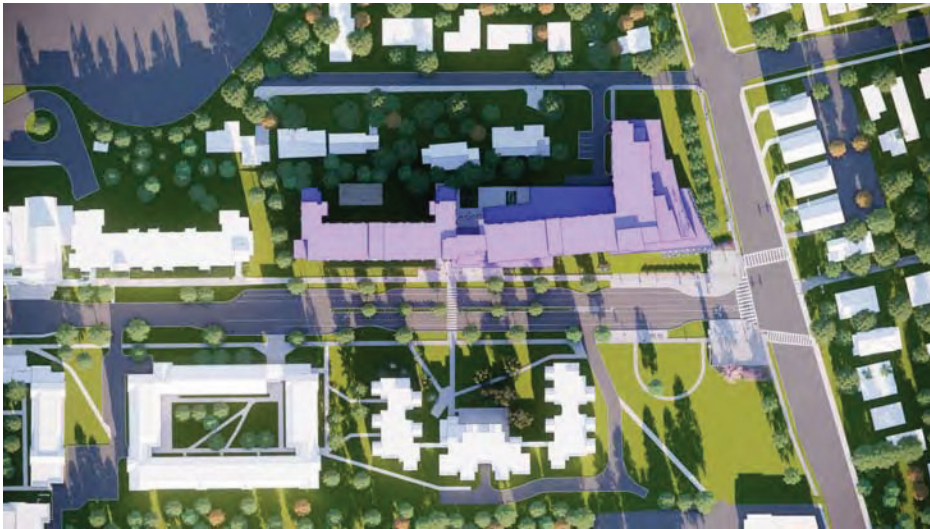
APPENDIX C: SUN/SHADOW STUDY



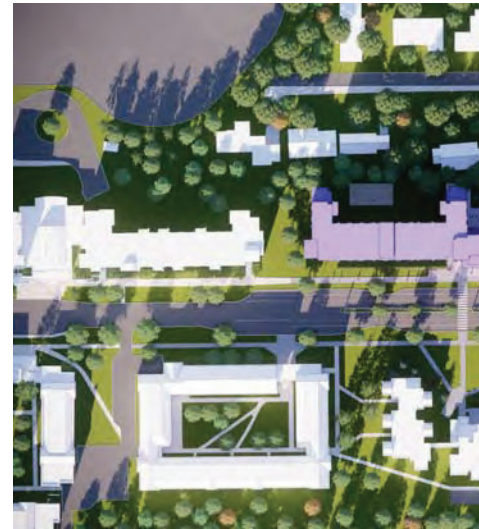
September 10 am



September 12 pm



December 10 am



December 12 pm



Appendix D

CVs



EDUCATION

2006

Masters of Arts (Planning)
University of Waterloo

1998

Bachelor of Environmental Studies
University of Waterloo

1998

Bachelor of Arts (Art History)
University of Saskatchewan

CONTACT

540 Bingemans Centre Drive,
Suite 200
Kitchener, ON N2B 3X9
T 519 576 3650 x 744
F 519 576 0121
dcurrie@mhbcplan.com
www.mhbcplan.com

CURRICULUM VITAE

Dan Currie, MA, MCIP, RPP, CAHP

Dan Currie, a Partner and Managing Director of MHBC's Cultural Heritage Division, joined MHBC Planning in 2009, after having worked in various positions in the public sector since 1997. Dan provides a variety of planning services for public and private sector clients including a wide range of cultural heritage policy and planning work including strategic planning, heritage policy, heritage conservation district studies and plans, heritage master plans, cultural heritage evaluations, heritage impact assessments and cultural heritage landscape studies.

PROFESSIONAL ASSOCIATIONS

Full Member, Canadian Institute of Planners
Full Member, Ontario Professional Planners Institute
Professional Member, Canadian Association of Heritage Professionals

SELECTED PROJECT EXPERIENCE

Heritage Conservation District Studies and Plans

Stouffville Heritage Conservation District Study
Alton Heritage Conservation District Study, Caledon
Port Stanley Heritage Conservation District Plan
Port Credit Heritage Conservation District Plan, Mississauga
Town of Cobourg Heritage Conservation District Plan updates
Rondeau Heritage Conservation District Study & Plan, Chatham Kent,
Barriefield Heritage Conservation District Plan Update, Kingston
Victoria Square Heritage Conservation District Study, Markham
Bala Heritage Conservation District Study and Plan, Township of Muskoka Lakes
Downtown Meaford Heritage Conservation District Study and Plan
Brooklyn and College Hill Heritage Conservation District Plan, Guelph
Garden District Heritage Conservation District Study and Plan, Toronto

Heritage Master Plans and Management Plans

Town of Aurora Municipal Heritage Register Update
City of Guelph Cultural Heritage Action Plan
Town of Cobourg Heritage Master Plan
Burlington Heights Heritage Lands Management Plan
City of London Western Counties Cultural Heritage Plan

CURRICULUMVITAE

Dan Currie, MA, MCIP, RPP, CAHP

Cultural Heritage Evaluations

Morningstar Mill, St Catherines
 MacDonald Mowatt House, University of Toronto
 City of Kitchener Heritage Property Inventory Update
 Niagara Parks Commission Queen Victoria Park Cultural Heritage Evaluation
 Designation of Main Street Presbyterian Church, Town of Erin
 Designation of St Johns Anglican Church, Norwich
 Cultural Heritage Landscape evaluation, former Burlingham Farmstead, Prince Edward County

Heritage Impact Assessments

Heritage Impact Assessment for Pier 8, Hamilton
 Homer Watson House Heritage Impact Assessment, Kitchener
 Expansion of Schneider Haus National Historic Site, Kitchener
 Redevelopment of former industrial facility, 57 Lakeport Road, Port Dalhousie
 Redevelopment of former amusement park, Boblo Island
 Redevelopment of historic Waterloo Post Office
 Redevelopment of former Brick Brewery, Waterloo
 Redevelopment of former American Standard factory, Cambridge
 Redevelopment of former Goldie and McCullough factory, Cambridge
 Mount Pleasant Islamic Centre, Brampton
 Demolition of former farmhouse at 10536 McCowan Road, Markham

Heritage Assessments for Infrastructure Projects and Environmental Assessments

Heritage Assessment of 10 Bridges within Rockcliffe Special Policy Area, Toronto
 Blenheim Road Realignment Collector Road EA, Cambridge
 Badley Bridge EA, Elora
 Black Bridge Road EA, Cambridge
 Heritage and Cultural Heritage Landscape Assessment of Twenty Mile Creek Arch Bridge, Town of Lincoln
 Heritage Evaluation of Deer River, Burnt Dam and MacIntosh Bridges, Peterborough County

Conservation Plans

Black Bridge Strategic Conservation Plan, Cambridge
 Conservation Plan for Log house, Beurgetz Ave, Kitchener
 Conservation and Construction Protection Plan - 54 Margaret Avenue, Kitchener

CONTACT

540 Bingemans Centre Drive,
 Suite 200
 Kitchener, ON N2B 3X9
 T 519 576 3650 x 744
 F 519 576 0121
 dcurrie@mhbcpplan.com
 www.mhbcpplan.com

CURRICULUMVITAE

Dan Currie, MA, MCIP, RPP, CAHP

Tribunal Hearings:

Redevelopment of 217 King Street, Waterloo (OLT)
Redevelopment of 12 Pearl Street, Burlington (OLT)
Designation of 30 Ontario Street, St Catharines (CRB)
Designation of 27 Prideaux Street, Niagara on the Lake (CRB)
Redevelopment of Langmaids Island, Lake of Bays (LPAT)
Port Credit Heritage Conservation District (LPAT)
Demolition 174 St Paul Street (Collingwood Heritage District) (LPAT)
Brooklyn and College Hill HCD Plan (OMB)
Rondeau HCD Plan (LPAT)
Designation of 108 Moore Street, Bradford (CRB)
Redevelopment of property at 64 Grand Ave, Cambridge (LPAT)
Youngblood subdivision, Elora (LPAT)
Downtown Meaford HCD Plan (OMB)
Designation of St Johns Church, Norwich (CRB - underway)

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- Official Plan Amendment
- Zoning By-law Amendment
- Minor Variance
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CONTACT

540 Bingemans Centre Drive,
Suite 200
Kitchener, ON N2B 3X9
T 519 576 3650 x 744
F 519 576 0121
dcurrie@mhbcpplan.com
www.mhbcpplan.com



EDUCATION

2011

Higher Education Diploma
Cultural Development/ Gaelic
Studies
University of the Highlands and
Islands

2012

Bachelor of Arts
Joint Advanced Major in Celtic
Studies and Anthropology
Saint Francis Xavier University

2014

Master of Arts
World Heritage and Cultural
Projects for Development
UNESCO, University of Turin, the
International Training Centre of the
ILO

CONTACT

540 Bingham Centre Drive,
Suite 200
Kitchener, ON N2B 3X9
T 519 576 3650 x728
F 519 576 0121
rredshaw@mhbcpplan.com
www.mhbcpplan.com

CURRICULUM VITAE

Rachel Redshaw, MA, H.E. Dipl.

Rachel is a Senior Heritage Planner with MHBC and joined the firm in 2018. She holds a Master's degree from the University of Turin in collaboration with the International Training Centre of the ILO and *UNESCO* in World Heritage and Cultural Projects for Development. Rachel has experience in research and report writing for both public and private sector clients. She has experience in historical research, inventory work and evaluation on a variety of projects, including heritage conservation districts, cultural heritage evaluation reports and cultural heritage impact assessments.

Prior to joining MHBC, Rachel gained experience working for Municipal Development Services in rural settings. Rachel's B.A. has a Bachelor's degree (Joint Advanced Major with Honours) in Anthropology and Celtic Studies from Saint Francis Xavier University and Higher Education Diploma from the University of the Highlands and Islands which allowed her to work with tangible and intangible cultural heritage resources in Nova Scotia and Scotland.

PROFESSIONAL ASSOCIATIONS

Professional Member, Canadian Association of Heritage Professionals (CAHP)
Professional Member, International Council on Monuments and Sites (ICOMOS)
Candidate, Ontario Professional Planners Institute

PROFESSIONAL HISTORY

2022 - Present	Senior Heritage Planner, MacNaughton Hermsen Britton Clarkson Planning Limited
2018 - 2022	Heritage Planner, MacNaughton Hermsen Britton Clarkson Planning Limited
2018	Building Permit Coordinator, (Contract) Township of Wellesley
2018	Building Permit Coordinator (Contract) RSM Building Consultants
2017	Deputy Clerk, Township of North Dumfries



CURRICULUM VITAE

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PROFESSIONAL/COMMUNITY ASSOCIATIONS

- 2018-2019 Member of Publications Committee, Waterloo Historical Society
- 2018 Member, Architectural Conservancy of Ontario- Cambridge
- 2016 - 2019 Secretary, Toronto Gaelic Society
- 2012 - 2021 Member (Former Co-Chair & Co-Founder), North Dumfries Historical Preservation Society
- 2011 - 2014 Member, North Dumfries Municipal Heritage Committee

AWARDS / PUBLICATIONS / RECOGNITION

- 2008-2012 Historical Columnist for the Ayr News
- 2018 Waterloo Historical Society, "Old Shaw: The Story of a Kindly Waterloo County Roamer"
- 2012 Waterloo Historical Society, "Harvesting Bees in Waterloo Region"
- 2014 The Rise of the City: Social Business Incubation in the City of Hamilton, (MA Dissertation)
- 2012 Nach eil ann tuilleadh: An Nòs Ùr aig nan Gàidheal (BA Thesis) Thesis written in Scottish Gaelic evaluating disappearing Gaelic rites of passage in Nova Scotia.

PROFESSIONAL DEVELOPMENT COURSES

- 2021 Indigenous Relations Program (University of Calgary)
- 2018 Building Officials and the Law (OBOA Course)
- 2017 AMCTO Map Unit 1
- 2010 Irish Archaeological Field School Certificate

CULTURAL HERITAGE IMPACT ASSESSMENTS

- Promenade at Clifton Hill, Niagara Falls (Niagara Parks Commission)
- 16-20 Queen Street North, Kitchener (Former Economical Insurance Building)
- Peterborough Lift Lock and Trent-Severn Waterway (TSW), National Historic Sites, Development for 380 Armour Road, City of Peterborough

CONTACT

540 Bingham Centre Drive,
Suite 200
Kitchener, ON N2B 3X9
T 519 576 3650 x728
F 519 576 0121
redshaw@mhbcpplan.com
www.mhbcpplan.com



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- Middlesex County Court House, National Historic Site, for development at 50 King Street
 - McDougall Cottage and National Historic Site, for development at 93 Grand Avenue South, City of Kitchener
 - City of Waterloo Former Post Office, Development for 35-41 King Street North, City of Waterloo, Phase II
 - Consumers' Gas Station B, Development for 450 Eastern Avenue, City of Toronto
 - 82 Weber Street and 87 Scott Street, City of Kitchener
 - 39 Wellington Street West, City of Brampton
 - 543 Ridout Street North, City of London
 - 34 Manley Street, Village of Ayr, Township of North Dumfries
 - Quinte's Isle Campark, 558 Welbanks Road, Prince Edward County (OLT)
 - 174 St. Paul Street, Town of Collingwood (OLT)
 - 45 Duke Street, City of Kitchener
 - 383-385 Pearl Street, City of Burlington
 - St. Patrick's Catholic Elementary School, (SPCES), 20 East Avenue South, City of Hamilton
 - 250 Allendale Road, City of Cambridge
 - 249 Clarence Street, City of Vaughan
- Specific for Relocation of Heritage Buildings*
- 1395 Main Street, City of Kitchener
 - 10379 & 10411 Kennedy Road, City of Markham

CULTURAL HERITAGE SCREENING REPORT

Kelso Conservation Area, Halton County
 5th Side Road, County Road 53, Simcoe County
 Waterdown Trunk Watermain Twinning Project, City of Hamilton

CULTURAL HERITAGE EVALUATION REPORTS

- 52 King Street North, City of Kitchener
- Sarnia Collegiate Institute and Technical School (SCITS), 275 Wellington, City of Sarnia (Municipal contingency study)
- 10536 McCowan Road, City of Markham
- Former Burns Presbyterian Church, 155 Main Street, Town of Erin (Designation Report)
- Former St. Paul's Anglican Church, 23 Dover Street, Town of Otterville, Norwich Township (OLT)
- 6170 Fallsview Boulevard, City of Niagara Falls

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 rredshaw@mhbcpplan.com
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CONSERVATION PLANS

- City of Waterloo Former Post Office, 35-41 King Street North, City of Waterloo
- 82 Weber Street East, City of Kitchener
- 87 Scott Street, City of Kitchener
- 107 Young Street, City of Kitchener
- 1395 Main Street, City of Kitchener
- 10379 & 10411 Kennedy Road, City of Markham

Cultural Heritage Conservation Protection Plans (Temporary protection for heritage building during construction)

- 16-20 Queen Street North, Kitchener (included Stabilization, Demolition and Risk Management Plan)
- 12 & 54 Margaret Avenue, City of Kitchener
- 45 Duke Street, City of Kitchener
- 82 Weber Street West and 87 Scott Street, City of Kitchener
- 660 Sunningdale Road, London

DOCUMENTATION AND SALVAGE REPORTS

- 16-20 Queen Street North, City of Kitchener
- 57 Lakeport Road City of St. Catharines
- Gaslight District, 64 Grand Avenue South, City of Cambridge
- 242-262 Queen Street South, City of Kitchener
- 721 Franklin Boulevard, City of Cambridge

HERITAGE PERMIT APPLICATIONS

- 16-20 Queen Street North, Kitchener
- 50 King Street, London
- 35-41 King Street North, City of Waterloo (Old Post Office), Phase II (alteration to building with a municipal heritage easement, Section 37, OHA)
- 50-56 Weber Street West & 107 Young Street, City of Kitchener (demolition and new construction within HCD)
- 30-40 Margaret Avenue, City of Kitchener (new construction within HCD)
- 249 Clarence Street, City of Vaughan (alteration within HCD)
- 174 St. Paul Street, Town of Collingwood (demolition within HCD)

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HERITAGE CONSERVATION DISTRICTS/ MASTER PLANS/ HERITAGE CHARACTER STUDY

- Elgin, Central and Memorial Neighbourhoods, Municipality of Clarington
- Stouffville Heritage Conservation District Study (Project Lead 2021-2022)
- Town of Aurora Heritage Register Update

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