

# Agenda Including Addeds

## Ecological Community Advisory Committee

The 10th Meeting of the Ecological Community Advisory Committee

September 21, 2023, 4:30 PM

Committee Room #5

The City of London is situated on the traditional lands of the Anishinaabek (AUh-nish-in-ah-bek), Haudenosaunee (Ho-den-no-show-nee), Lūnaapéewak (Len-ah-pay-wuk) and Attawandaron (Add-a-won-da-run).

We honour and respect the history, languages and culture of the diverse Indigenous people who call this territory home. The City of London is currently home to many First Nations, Métis and Inuit today.

As representatives of the people of the City of London, we are grateful to have the opportunity to work and live in this territory.

The City of London is committed to making every effort to provide alternate formats and communication supports for meetings upon request. To make a request specific to this meeting, please contact [advisorycommittee@london.ca](mailto:advisorycommittee@london.ca).

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6.5	<i>(ADDED) Municipal Council resolution – 8th Report of the Ecological Community Advisory Committee</i>	76

**7. Adjournment**

# Ecological Community Advisory Committee

## Report

The 8th Meeting of the Ecological Community Advisory Committee  
July 20, 2023

Attendance S. Levin (Chair), E. Dusenge, S. Evans, T. Hain, S. Hall, K. Lee, R. McGarry, K. Moser and S. Sivakumar and H. Lysynski (Committee Clerk)

ABSENT: P. Baker, B. Krichker, M. Lima, S. Miklosi, G. Sankar and V. Tai

ALSO PRESENT: S. Butnari, K. Edwards, K. Kys, B. Westlake-Power and E. Williamson

The meeting was called to order at 4:31 PM; it being noted that S. Levin, E. Dusenge, S. Evans, T. Hain, K. Lee, R. McGarry and S. Sivakumar were in remote attendance.

### 1. Call to Order

#### 1.1 Disclosures of Pecuniary Interest

That it BE NOTED that no pecuniary interests were disclosed.

### 2. Scheduled Items

None.

### 3. Consent

#### 3.1 7th Report of the Ecological Community Advisory Committee

That it BE NOTED that the 7th Report of the Ecological Community Advisory Committee, from its meeting held on June 15, 2023, was received.

#### 3.2 Notice of Application - 1515 Trossacks Avenue

That it BE NOTED that the Notice of Planning Application for a Zoning By-law Amendment dated July 5, 2023, relating to the property located at 1515 Trossacks Avenue, was received for information.

### 4. Sub-Committees and Working Groups

#### 4.1 (ADDED) Agricultural Best Management Practices for Protecting Environmentally Significant Areas in Ontario

That it BE NOTED that the Ecological Community Advisory Committee held a general discussion and further information will be provided at a future meeting relating to a potential pamphlet or brochure on Agricultural Best Management Practices for Protecting Environmentally Significant Areas in Ontario.

### 5. Items for Discussion

#### 5.1 Phase 1 Conservation Master Plan Package Project Initiation

That it BE NOTED that the Ecological Community Advisory Committee received a presentation, as appended to the Agenda, from E. Williamson,

Ecologist Planner, with respect to the Phase 1 Conservation Master Plan Package Project Initiation and held a general discussion with respect to this matter.

5.2 Upper Thames River Conservation Authority Environmentally Significant Areas Agreement Update Process

That it BE NOTED that the Ecological Community Advisory Committee (ECAC) heard a verbal presentation from E. Williamson, Ecologist Planner, with respect to the Upper Thames River Conservation Authority Environmentally Significant Areas Agreement update process and held a general discussion with respect to this matter; it being noted that the Civic Administration will provide an update at the August 17, 2023 ECAC meeting, with respect to this matter.

5.3 Notice of Application - 465 Sunningdale Road West

That a Working Group consisting of S. Levin, S. Evans and S. Hall BE ESTABLISHED to review the Notice of Planning Application for Draft Plan of Subdivision, Official Plan and Zoning By-law Amendments relating to the property located at 465 Sunningdale Road West.

5.4 Lambeth Centennial Park Boardwalk Lifecycle Renewal & Ecological Restoration Project

That it BE NOTED that the Ecological Community Advisory Committee heard a presentation, as appended to the Agenda, from H. Sadler, Landscape Architect, Stantec Consulting, S. Spisani, Senior Ecologist, Stantec Consulting and L. McDougall, Landscape Architect, City of London, with respect to the Lambeth Centennial Park Boardwalk Lifecycle Renewal and Ecological Restoration Project and held a general discussion with respect to this matter.

5.5 (ADDED) Preventing Window Collisions Brochure

That T. Hain BE REQUESTED to review the proposed Preventing Window Collisions brochure with S. Hall and B. Samuels.

5.6 (ADDED) Goldfish Brochure

That the Civic Administration BE REQUESTED to provide the Ecological Community Advisory Committee with copies of the Goldfish brochure to distribute.

5.7 (ADDED) 952 Southdale Road West - Working Group comments

That the Ecological Community Advisory Committee Working Group comments on the Environmental Impact Statement relating to the property located at 952 Southdale Road West BE FORWARDED to the Civic Administration for review and consideration.

**6. Adjournment**

The meeting adjourned at 6:36 PM.

# Ecological Community Advisory Committee

## Report

The 9th Meeting of the Ecological Community Advisory Committee  
August 17, 2023

### Attendance

S. Levin (Chair), E. Dusenge, S. Evans, T. Hain, S. Hall, M. Lima and R. McGarry and H. Lysynski (Committee Clerk)

ABSENT: P. Baker, B. Krichker, K. Lee, S. Miklosi, K. Moser, G. Sankar, S. Sivakumar and V. Tai

ALSO PRESENT: S. Butnari, K. Edwards, K. Kys, B. Westlake-Power and E. Williamson

The meeting was called to order at 4:31 PM; it being noted that S. Levin, E. Dusenge, S. Evans, T. Hain, K. Lee, R. McGarry and S. Sivakumar were in remote attendance.

The meeting stood adjourned at 5:00 PM due to lack of quorum.



London  
CANADA

P.O. Box 5035  
300 Dufferin Avenue  
London, ON  
N6A 4L9

July 26, 2023

B. House  
Planner, Planning and Economic Development

I hereby certify that the Municipal Council, at its meeting held on July 25, 2023 resolved:

That the following actions be taken with respect to the 7th Report of the Ecological Community Advisory Committee, from its meeting held on June 15, 2023:

- a) the Working Group comments relating to the property located at 1176 Crumlin Sideroad BE FORWARDED to the Civic Administration consideration;
- b) the Working Group comments relating to Kensington Bridge BE FORWARDED to the Civic Administration for consideration;
- c) the Civic Administration BE REQUESTED to provide the Ecological Community Advisory Committee (ECAC) with the existing definitions of the OS4 and OS5 Zones as these zones relate to environmentally significant areas when the staff presentation is to be heard; it being noted that the Notice of Planning Application dated June 5, 2023, relating to the Notice of Application – ReThink Zoning, was received; it being further noted that the Civic Administration will provide a presentation on this matter at a future ECAC meeting;
- d) the Committee Clerk BE DIRECTED to send a communication to S. Miklosi indicating that attendance has been an issue and that, unless the City Clerk is provided a reason for the extended absence, the Ecological Community Advisory Committee will be asking the Planning and Environment Committee to rescind the appointment; and,
- e) clauses 1.1, 3.1 to 3.4, inclusive, 4.2, 4.3, 5.1 to 5.3, inclusive and clause 5.5 BE RECEIVED for information. (2.1/12/PEC)

M. Schulthess  
City Clerk  
/pm

cc: S. Butnari, Ecologist Planner, Planning and Economic Development  
M. Shepley, Ecologist Planner, Planning and Economic Development  
I. de Ceuster, Planner, Planning and Economic Development  
Chair and Members, Ecological Community Advisory Committee

## What's the problem?

- Birds are dying - estimates suggest that about 25 million birds die each year from window collisions in Canada.
- There are many species, including some species at risk, that collide with buildings in Canada.
- In 2019, scientists reported a 29% decrease in birds since 1970.
- Increased use of glass in modern architecture has increased the incidences of bird collisions.
- Excessive use of artificial light - known as light pollution - may cause birds to wander off course and increase the likelihood of collisions.

## What is the solution?

New and existing buildings should be made less harmful to migratory birds, with a focus on two key areas:

- making glass less dangerous
- reducing light pollution

These strategies can be incorporated into the design of new buildings and into retrofit projects of existing buildings.

The City of London has implemented lighting requirements for new site developments in an effort to preserve local bird species and migrating birds.



For questions on  
lighting criteria for  
new developments:

**Planning and Development**  
519-930-3500  
plandev@london.ca

**Preventing  
window  
collisions**

Saving our birds

Visit **flap.org** for tips to  
protect birds at your home  
and office.

[london.ca](http://london.ca)



## Why do birds crash into windows?

Birds do not see window glass as a solid object and do not understand reflections.

Birds try to pass through glass to reach where they see open space or habitat.

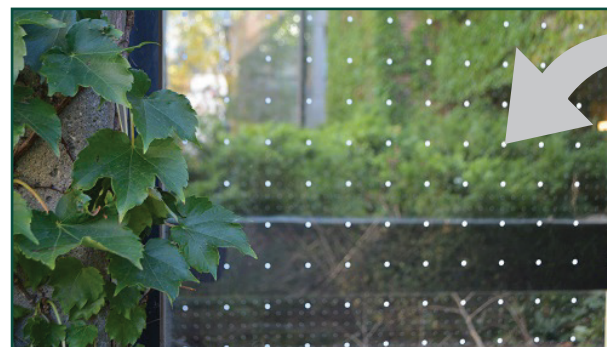
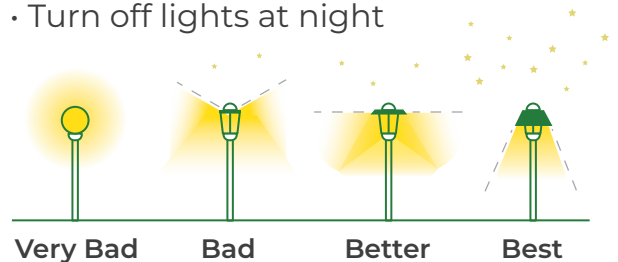
Light pollution, especially from poorly positioned exterior lighting, impacts migration patterns.

### Did you know?

Birds use the moon and stars to navigate. During peak bird migration periods—from March to May and from August to October—turn out all unnecessary lights and draw your blinds from 10 p.m. to 6 a.m.

## Ways to reduce light pollution

- Direct lighting towards the area requiring illumination
- Provide full cut-off (no light at or above 90 degrees from source) and have no up lighting
- Turn off lights at night



## Ways to make glass less dangerous to birds

### Modify glass to appear as a visible barrier rather than a potential fly-through area:

- Use visual markers by having an image or pattern screened, printed or applied to the glass surface. Spaced at a maximum of 5 cm apart\*, visual markers have proven to be the most effective way of deterring bird collisions with glass.

**The denser the pattern, the more effective it becomes. Must also be high contrast.**

- Opaque, etched, stained, frosted glass, as well as glass block are excellent bird-friendly options.

### Incorporate decorative facades to reduce the amount of visible glass.

- Screens, grilles, shutters and exterior shades are commonly used elements that can make glass safer for birds.

\* Source: CSA A460

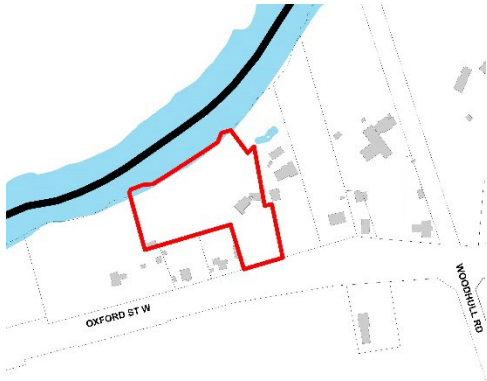




# NOTICE OF PLANNING APPLICATION

## Intent to Remove Holding Provision

### 2473 Oxford Street West



**File:** H-9639

**Applicant:** Monteith Brown Planning Consultants

**What is Proposed?**

Removal of Holding Provision(s) regarding:

- To ensure that development is permitted responsibly, without negatively impacting the relevant components of the Natural Heritage System outlined in the Official Plan.
- to assess and mitigate the risks of erosion and slope instability associated with development.



## LEARN MORE & PROVIDE INPUT

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Please provide any comments by **August 10, 2023**

Archi Patel

apatel@london.ca

519-661-CITY (2489) ext. 5069

City of London, 300 Dufferin Avenue, 6<sup>th</sup> Floor,

London ON PO BOX 5035 N6A 4L9

File: H-9639

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You may also discuss any concerns you have with your Ward Councillor:

**Anna Hopkins**

519-661-CITY (2489) ext. 4009

Date of Notice: July 20, 2023

# Application Details

## Request to Remove Holding Provision(s)

Possible change to Zoning By-law Z.-1 by deleting the of Holding h-2 and h-4 Provision from the subject lands. The removal of the holding provision(s) is contingent on:

h-2: Purpose: The purpose of the “h-2” holding provisions is to determine the extent to which development will be permitted and ensure that development will not have a negative impact on relevant components of the Natural Heritage System of the Official Plan, an agreement shall be entered into specifying appropriate development conditions and boundaries, based on an Environmental Impact Study or Subject Lands Status Report that has been prepared in accordance with the provisions of the Official Plan and to the satisfaction of the City of London, prior to removal of the "h-2" symbol.

h-4: Purpose: The purpose of the “h-4” holding provisions is to refine the One Hundred Year Erosion Limit of the Official Plan, assess the potential impacts of development and identify measures to avoid or address potential erosion/slope instability hazards, an agreement shall be entered into specifying appropriate development conditions and boundaries, based on a geotechnical study that has been prepared in accordance with the provisions of the Official Plan and to the satisfaction of the City of London, prior to removal of the "h-4" symbol.

## See More Information

You can review additional information and material about this application by:

- Contacting the City’s Planner listed on the first page of this Notice; or
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

## Reply to this Notice of Application

The Planning and Environment Committee will not hear representations from the public on this matter; however, inquiries and comments regarding the amendment may be made by contacting the City’s Planner listed on the first page of this Notice. The Delegated Authority for the City of London will consider removing the holding provision as it applies to the lands described above, no earlier than August 10, 2023.

## Notice of Collection of Personal Information

Personal information collected through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from this Notice, will be made available to the public, including publishing on the City’s website. Questions about this collection should be referred to Evelina Skalski, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

## Accessibility

Alternative accessible formats or communication supports are available upon request. Please contact [plandev@london.ca](mailto:plandev@london.ca) for more information.

## **PROPOSED REDRESIDENTIAL REDEVELOPMENT 2473 OXFORD ST WEST, LONDON**

**EIS (MTE, May, 2023) and Geotechnical (LDS, Feb 2023) reports received by ECAC after its July 2023 meeting.**

**Reviewed by S. Hall and S. Levin for August 2023 ECAC meeting**

### **RECOMMENDATION #1**

**The pool not be permitted until additional detail as to what steps can be implemented to avoid/prevent a release of water down the slope. Any release of water will almost certainly be down the slope which has the likely result of damage to the natural feature and possible future slope failure.**

Neither the Geotechnical report (LDS) nor the EIS directly address this matter.

LDS does raise the issue of surface flows on page 22. Other than water from the pool, it is unclear what other concentrated surface flows there would be:

*p. 22 - Concentrated surface flows should not be directed towards the slope crest or over the face of the slope, to help minimize the potential for surface erosion, which can lead to rilling and the formation of gullies on the slope.*

The EIS indicates there is a 4 m difference between the front and back yards. The EIS also mentions (p. 22) that the pool will be raised. This is not explained and may require additional borehole testing. Also, if engineered fill is used, the Geotechnical report page 12 raises a caution about exposed subgrade soils. ECAC cautions that calculations may also need to consider the extra weight of water in the pool.

Further, there is no storm sewer on site and the site slopes down from the road as noted on page 4 of the Geotechnical report:

*“The grade of Oxford Street West is set slightly above the private roadway, and it appears that stormwater run-off from the boulevard area sheet flows towards the site. The site is located at the top of a well vegetated slope, on the south side of the Thames River. From a topographical perspective, the ground surface exhibits a relief of approximately 3 meters from the site entrance on the south end of the property to the back of the existing residence at the top of the slope, and a relief of approximately 14 meters from the top of the slope to the north/northwest, towards the Thames River. Any minor surface flows which occur at the site under existing conditions, are generally expected to follow the topography of the site.”*

It is also unclear where the septic bed is and if it will be relocated which may also conflict with any release of water from the proposed pool.

## **RECOMMENDATION #2**

**Additional information regarding drainage, “existing drains” and the “drainage feature” is required before a permit**

*LDS p. 20 - In the event that existing drains are exposed during the excavation and site grading works, the drains should be re-routed to ensure continued controlled flows into an appropriate discharge location away from the slope face.*

If rerouting of drains is recommended during construction, it is unclear to ECAC why no mention of pool drainage is included in LDS.

It is also unclear which drains are being referenced. Other than the water course on the property, none are delineated.

## **RECOMMENDATION #3**

**The city be required to inspect the demolition and construction work that takes place adjacent to the “drainage feature” which is a tributary of the Thames. As noted in the EIS (page 13), this feature contributes to the fish habitat in the Thames. Page 20 also notes the possible alteration of the feature.**

It is unclear how the “open drainage feature” that outlets into the Thames can be unaffected by the demolition and/or construction work, particularly grading.

## **RECOMMENDATION #4**

**A clear plan for this feature must be presented to the Conservation Authority for a Section 28 permit.**

This issue is highlighted on page 11 of the Geotechnical report.

*Based on existing site conditions, it is expected that some grading activities will be required to accommodate the new building and removal of the existing structures. Vegetation removal and topsoil stripping is anticipated throughout the area to be developed. In general, this is expected to require the removal of about 250 mm of surficial topsoil. Thicker topsoil areas may also be present between the borehole locations, in proximity to existing wooded areas, and where local depressions are present at the site. Surficial topsoil may be stockpiled on site for possible re-use as landscaping fill.*

ECAC concurs that topsoil should be stockpiled on the southern part of the property given the amount of grading that may be required as noted on page 11 of LDS.

#### **RECOMMENDATION #5**

**The Significant Woodland as noted in the EIS on page 15, be added to Map 5 as ESA, replacing the potential ESA designation. The City should initiate an Official Plan Amendment as well as include this feature as Green Space in the ReThink Zoning.**

#### **RECOMMENDATION #6**

**The monitoring plan (page 23, EIS) must be approved by a City Ecologist and be approved prior to the issuance of the Building Permit. Plan must include triggers for remedial actions both biological as well as any impacts to the slope from surface water run off. It is ECAC's opinion that the City must retain funds or put a lien against the property to be able to ensure remediation takes place. The hold or lien should be in place until the completion of the monitoring period.**

ECAC also concurs with LDS on page 23:

*Consultation with the municipality and Conservation Authority is recommended to confirm inspection, monitoring, and reporting requirements, required for approval.*

#### **RECOMMENDATION #7**

**Signage to demarcate the naturalization area be required. This signage should also include a statement about avoiding the use of pesticides and herbicides in the naturalization area**

#### **RECOMMENDATION #8**

**The owner consider a conservation easement on the Significant Woodland as there are tax benefits in doing so.**

#### **RECOMMENDATION #9**

**Approval of issuance of a permit during the period April 1 to Sept 30 be subject to review by a City Ecologist.**

It is noted in Recommendation 10 and 17 that there are construction windows to consider for bats and for nesting birds. It is unclear how it will be determined if construction can proceed during the periods outlined.

#### **RECOMMENDATION #8**

**A city ecologist or UTRCA biologist provide information to the construction lead on identification of species at risk as noted in Recommendation 12 of the EIS. The cost (time and travel) be paid by the proponent.**



**SOURCE:**  
 Google Earth Pro, Version 7.3.2.5776,  
 Coordinates 17T, 468540 m E, 4757025 m N,  
 Imagery date 7/2/2018



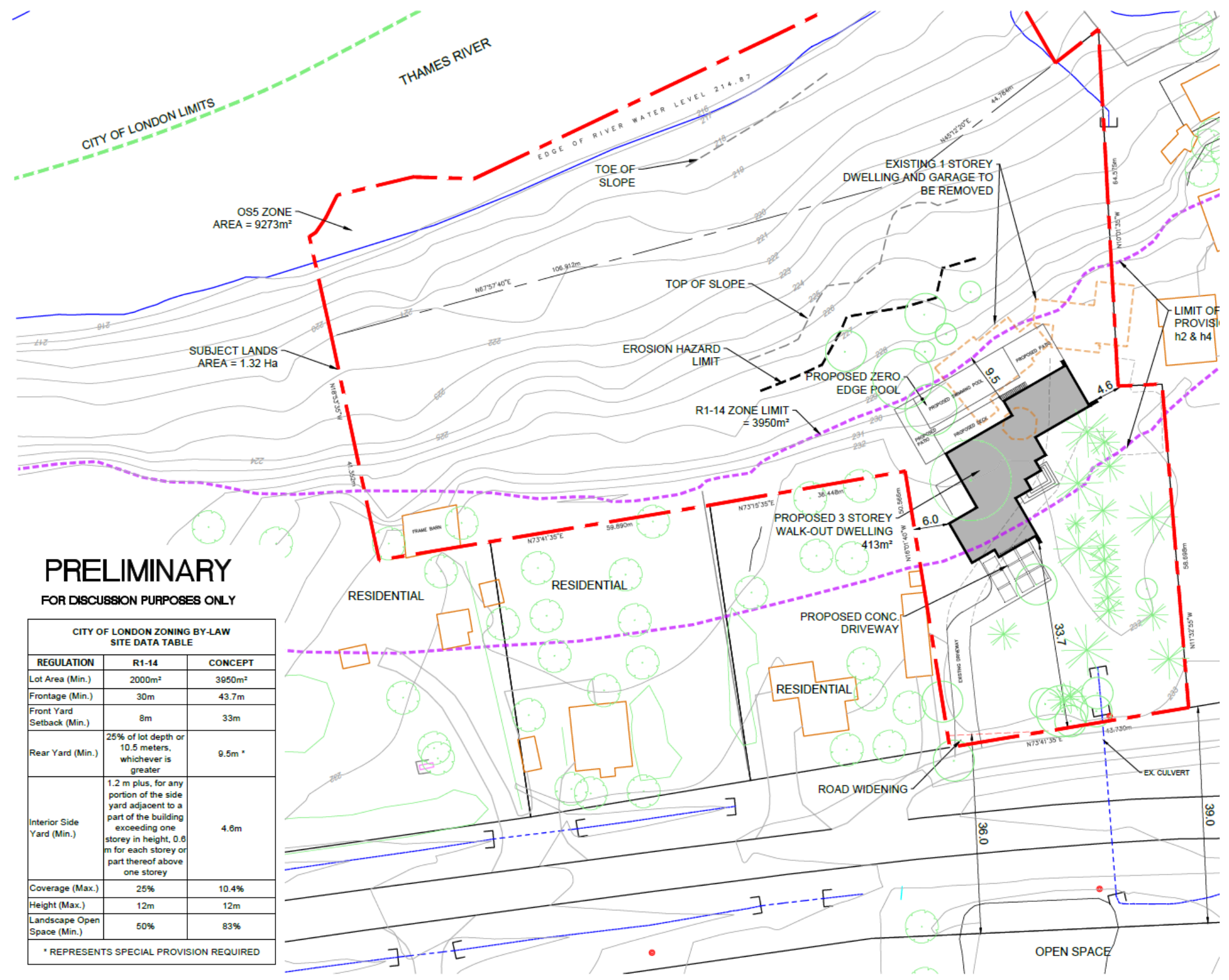
**PROJECT NAME**  
 Proposed Residential Redevelopment

**PROJECT LOCATION**  
 2473 Oxford Street West, London

**DRAWING NAME**  
 Site Features

<b>SCALE</b> As Shown	<b>PROJECT NO.</b> GE-00674
--------------------------	--------------------------------

<b>DATE</b> February 2023	<b>DRAWING NO.</b> 2
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**PRELIMINARY**  
FOR DISCUSSION PURPOSES ONLY

CITY OF LONDON ZONING BY-LAW SITE DATA TABLE		
REGULATION	R1-14	CONCEPT
Lot Area (Min.)	2000m <sup>2</sup>	3950m <sup>2</sup>
Frontage (Min.)	30m	43.7m
Front Yard Setback (Min.)	8m	33m
Rear Yard (Min.)	25% of lot depth or 10.5 meters, whichever is greater	9.5m *
Interior Side Yard (Min.)	1.2 m plus, for any portion of the side yard adjacent to a part of the building exceeding one storey in height, 0.6 m for each storey or part thereof above one storey	4.6m
Coverage (Max.)	25%	10.4%
Height (Max.)	12m	12m
Landscape Open Space (Min.)	50%	83%

\* REPRESENTS SPECIAL PROVISION REQUIRED

**SOURCE:**

Produced from Site Plan, prepared by Monteith Brown, London, Ontario, November 30, 2022



**PROJECT NAME**

Proposed Residential Redevelopment

**PROJECT LOCATION**

2473 Oxford Street West, London

**DRAWING NAME**

Site Plan

**SCALE**

NTS

**PROJECT NO.**

GE-00674

**DATE**

February 2023

**DRAWING NO.**

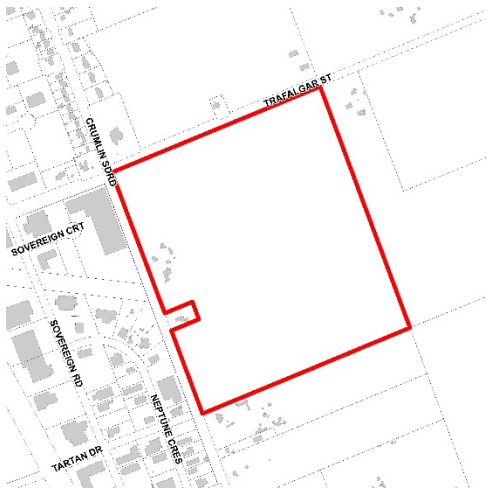
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# NOTICE OF PLANNING APPLICATION & NOTICE OF PUBLIC MEETING

## Official Plan and Zoning By-law Amendments

### 764, 772, 774 Crumlin Sideroad



**File: OZ-9642**

**Applicant: New London Group (c/o Zelinka Priamo Ltd.)**

#### What is Proposed?

Zoning amendment and Official Plan amendment to allow:

- The creation of thirteen (13) new residential single-family lots.
- A special policy area to permit lot areas less than 1 ha (0.4 ha) in the Rural Neighbourhoods Place Type.

## LEARN MORE & PROVIDE INPUT

You are invited to provide comments and/or attend a public meeting of the Planning and Environment Committee to be held:

**Meeting Date and Time:** Tuesday, October 3, 2023, no earlier than 4:00 p.m.

Please monitor the City's website closer to the meeting date to find a more accurate meeting start time: <https://london.ca/government/council-civic-administration/council-committee-meetings>

**Meeting Location:** The Planning and Environment Committee Meetings are hosted in City Hall, Council Chambers; virtual participation is also available, please see City of London website for details.

Please provide any comments by **August 22, 2023**

For more information contact:

Brent House  
bhouse@gmail.com  
519-661-CITY (2489) ext. 4078  
Development Services, City of London  
300 Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO Box 5035 N6A 4L9  
File: OZ-9642

[london.ca/planapps](https://london.ca/planapps)

To speak to your Ward Councillor:

Shawn Lewis  
slewis@london.ca  
519-661-CITY (2489) ext. 4002

**If you are a landlord, please post a copy of this notice where your tenants can see it. We want to make sure they have a chance to take part.**

Date of Notice: August 1, 2023



# Application Details

## Requested Amendment to The London Plan (New Official Plan)

To add a specific policy to allow for a reduced lot area for all lots under 1 hectare within the Rural Neighbourhoods Place Type for the subject lands.

## Requested Zoning By-law Amendment

Possible change to Zoning By-law Z.-1 FROM a Residential R1 (R1-17) Zone, an Environmental Review (ER) Zone, an Agricultural (AG1) Zone, and a holding Open Space (h-2, OS4) Zone TO a Special Provision Residential R1 (R1-14(\_)) Zone, an Environmental Review (ER) Zone, an Agricultural (AG1) Zone, and a holding Open Space (h-2, OS4) Zone. Changes to the currently permitted land uses and development regulations are summarized below.

The complete Zoning By-law is available at [www.london.ca/planapps](http://www.london.ca/planapps).

### Current Zoning

**Zone:** Residential R1 (R1-17)/Environmental Review (ER)/Agricultural (AG1)/ holding Open Space (h-2, OS4) Zone

**Permitted Uses:** Residential R1-17 Zone – single-detached dwellings. Environmental Review (ER) Zone – Conservation lands; Conservation works; Passive recreational uses; Managed woodlots; Agricultural uses. Agricultural (AG1) Zone – agricultural uses; livestock facilities provided that such facilities are located at least 300 metres from the City’s Urban Growth boundary; or in accordance with the MDS regulations, whichever is greater; Farm Dwelling; Forestry uses; Kennels; Conservation lands; Wayside pits; Nursery; Passive recreation use; Farm market; Small Wind Energy Conversion System; Greenhouse farm. Open Space (OS4) Zone – Conservation lands; Conservation works; Passive recreation uses which include hiking trails and multi-use pathways; Managed woodlots.

### Requested Zoning

**Zone:** Special Provision R1(R1-14(\_)/Environmental Review (ER)/Agricultural(AG1)/ holding Open Space (h-2, OS4) Zone

**Permitted Uses:** Residential R1-14 Zone – single-detached dwellings. Environmental Review (ER) Zone – Conservation lands; Conservation works; Passive recreational uses; Managed woodlots; Agricultural uses. Agricultural (AG1) Zone – agricultural uses; livestock facilities provided that such facilities are located at least 300 metres from the City’s Urban Growth boundary; or in accordance with the MDS regulations, whichever is greater; Farm Dwelling; Forestry uses; Kennels; Conservation lands; Wayside pits; Nursery; Passive recreation use; Farm market; Small Wind Energy Conversion System; Greenhouse farm. Open Space (OS4) Zone – Conservation lands; Conservation works; Passive recreation uses which include hiking trails and multi-use pathways; Managed woodlots.

The City may also consider the use of holding provisions, and additional special provisions to facilitate the proposed development.

## Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London’s long-range planning document. These lands are currently designated as Rural Neighbourhoods Place Type, as well as Green Space Place Type, Environmental Review Place Type and Farmland Place Type.

The subject lands are in the Rural Neighbourhoods, Environmental Review, Green Space & Agricultural Place Types in The London Plan, permitting single detached dwellings, including infill development for the Rural Neighbourhoods Place Type. The lands also permit agricultural uses, within the Farmland Place Type. The lands also permit varying permitted uses within the Green Space Place Type, depending on the natural heritage features and areas contained on the subject lands, the hazards that are present, and the presence of natural resources which are to be protected. Permitted uses in the Environmental Review Place Type will include agriculture, woodlot management, horticulture, conservation, and recreational uses

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the Official Plan designation and the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes

decisions on such planning applications in accordance with the requirements of the Planning Act. The ways you can participate in the City's planning review and decision-making process are summarized below.

## **See More Information**

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at [london.ca/planapps](http://london.ca/planapps)
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

## **Reply to this Notice of Application**

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Planning & Development staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

## **Attend This Public Participation Meeting**

The Planning and Environment Committee will consider the requested Official Plan and zoning changes at this meeting, which is required by the Planning Act. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the [Neighbourgood](http://Neighbourgood) website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

## **What Are Your Legal Rights?**

### **Notification of Council Decision**

If you wish to be notified of the decision of the City of London on the proposed official plan amendment and/or zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Clerk of the Committee.

### **Right to Appeal to the Ontario Land Tribunal**

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

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For more information go to <https://olt.gov.on.ca/appeals-process/forms/>.

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including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Evelina Skalski, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

### **Accessibility**

The City of London is committed to providing accessible programs and services for supportive and accessible meetings. We can provide you with American Sign Language (ASL) interpretation, live captioning, magnifiers and/or hearing assistive (t coil) technology. Please contact us at [plandev@london.ca](mailto:plandev@london.ca) by September 25, 2023 to request any of these services.

# Site Concept

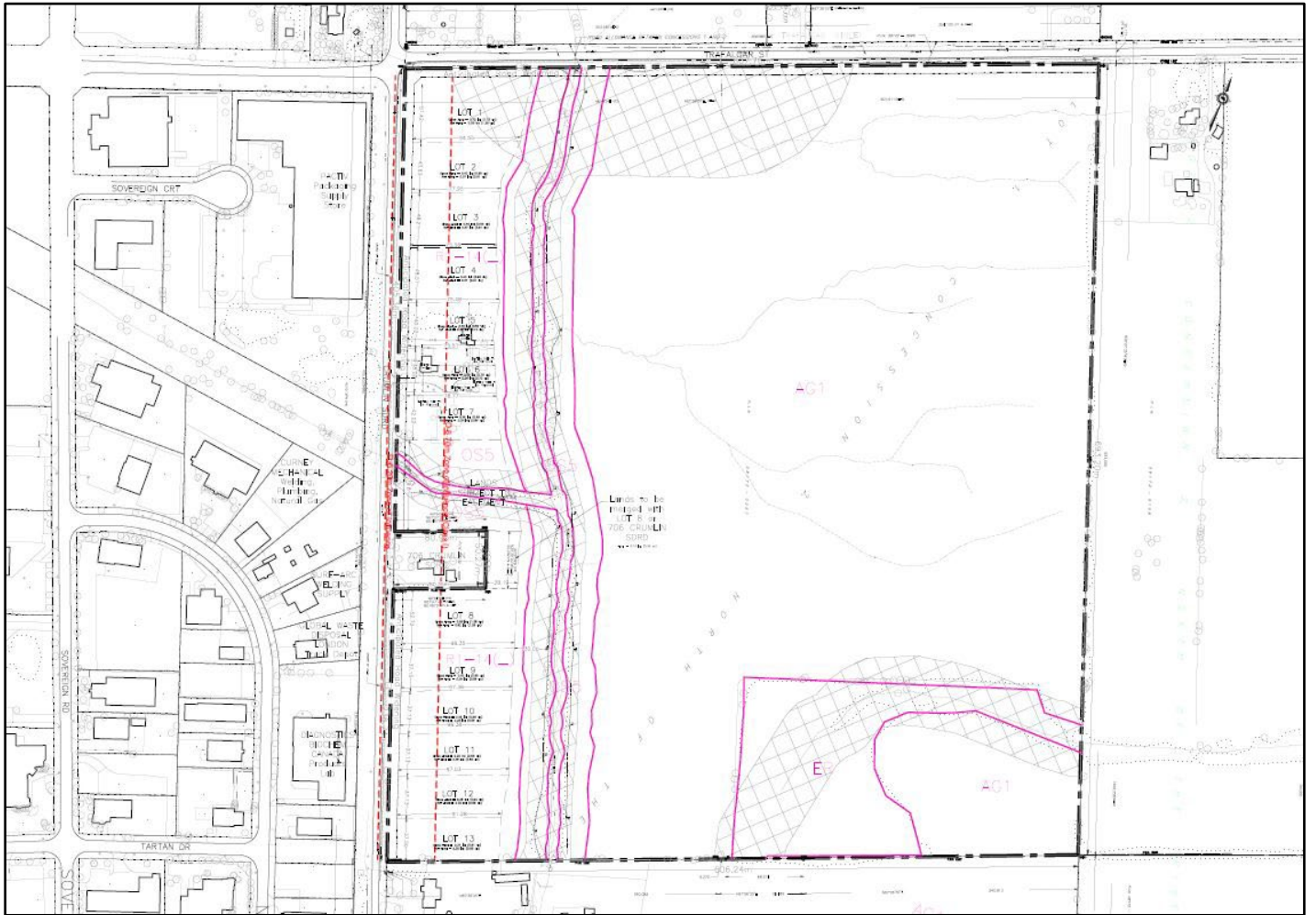


Figure 1. Severance Plan for 764,772,774 Crumlin Side Road



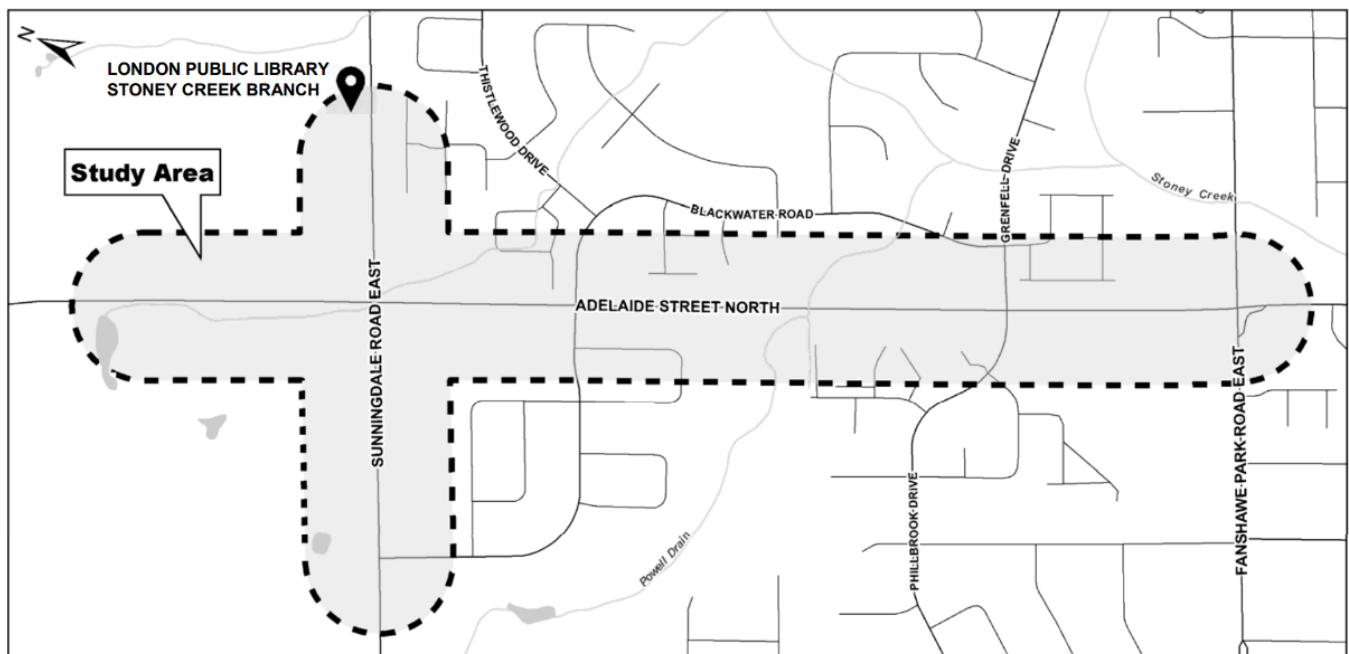
300 Dufferin Avenue  
P.O. Box 5035  
London, ON, N6A 4L9

## Adelaide Street North Improvements, City of London Municipal Class Environmental Assessment Study Notice of Study Completion

### The Study

The City of London has completed a Municipal Class Environmental Assessment (EA) Study for the widening of Adelaide Street North according to the recommendations in the City's *Smart Moves Transportation Master Plan* (TMP). The study area includes Adelaide Street North from Fanshawe Park Road East to 350m north of Sunningdale Road East; including Sunningdale Road East from Blackwater Road to Stoney Creek Community Centre entrance.

This project was completed in accordance with the planning and design process for a "Schedule C" project as outlined in the Municipal Engineers Association's *Municipal Class Environmental Assessment (October 2000, as amended in 2007, 2011 and 2015)*. The Class EA process included consultation with the public, technical agencies and Indigenous communities.



### Public Review

An Environmental Study Report (ESR) has been prepared to document the Class EA planning process used in developing the recommended plan, including the alternatives considered, the preferred design, impacts and mitigation measures, and consultation activities. **The ESR will be made available for 30-day public review period from August 11, 2023, to September 11,**

**2023** on the City's website (<https://london.ca/adelaide-street-north-EA>), at the London City Hall – 300 Dufferin Ave, and at the Stoney Creek Community Centre library - 920 Sunningdale Rd East.

Interested persons can provide written comments to the key project contacts by the end of the review period by e-mail or regular mail. All comments should be sent directly to the following team members:

**Andrew Evraire, MCIP, RPP**

**Parsons Inc.**

161 Bay Street, 27<sup>th</sup> Floor, PO Box 508

Toronto, Ontario, M6S 0A1

Tel: 437-774-4309

Email: [andrew.evraire@parsons.com](mailto:andrew.evraire@parsons.com)

**Paul Yanchuk, P.Eng.**

**City of London**

300 Dufferin Avenue, P.O Box 5035

London, ON N6A 4L9

Tel: 519-661-2489 x2563

Email: [pyanchuk@london.ca](mailto:pyanchuk@london.ca)

In addition, a request may be made to the Ministry of the Environment, Conservation and Parks (MECP) for a Section 16 Order requiring a higher level of study (e.g., requiring an individual EA approval before being able to proceed), or that conditions be imposed (e.g. require further studies), only on the grounds that the requested order may prevent, mitigate or remedy adverse impacts on constitutionally protected Aboriginal and treaty rights. Requests on other grounds will not be considered. Requests should include the requester contact information and full name for MECP.

Requests should specify what kind of order is being requested, details about your concerns, and any information in support of the statements in the request. This will ensure that MECP is able to efficiently begin reviewing the request. If no order request is received by **September 11, 2023**, the project will proceed to design and construction as outlined in the planning documentation.

The request shall be sent in writing or by e-mail to the following contacts at the Ministry of Environment, Conservation and Parks, with a copy to the City of London Project Manager:

**Minister of the Environment, Conservation and Parks**

Ministry of the Environment,

Conservation and Parks

College Park 5<sup>th</sup> Floor

777 Bay Street

Toronto, ON

M7A 2J3

[Minister.mecp@ontario.ca](mailto:Minister.mecp@ontario.ca)

**Director, Environmental Assessment and Permissions Branch**

Ministry of the Environment,

Conservation and Parks

135 St. Clair Avenue West, 1F

Toronto, ON

M4V 1P5

[enviropemissions@ontario.ca](mailto:enviropemissions@ontario.ca)

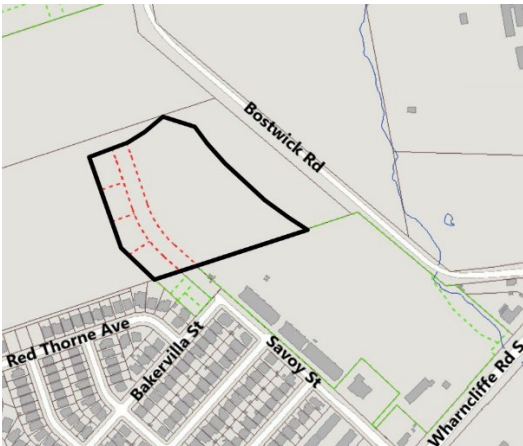
*Information collected for the study will be used in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Except for personal information, including your name, address and property location, all comments received throughout the study will become part of the public record and included in project documentation.*

**This notice was first issued on August 3, 2023.**

# NOTICE OF PLANNING APPLICATION

## Draft Plan of Subdivision and Zoning By-law Amendment

### 3849 Campbell Street North



**File: 39T-23502 / Z-9614**

**Applicant: Colonel Talbot Developments Inc.**

#### What is Proposed?

Draft Plan of Subdivision and Zoning Amendment to allow:

- A residential subdivision consisting of five (5) medium density residential blocks. The development will be served by one (1) new public road.



## LEARN MORE & PROVIDE INPUT

Please provide any comments by **August 12, 2023** to:

Michael Clark

mclark@london.ca

519-661-CITY (2489) ext. 4586

Planning & Development, City of London, 300 Dufferin Avenue, 6<sup>th</sup> Floor,

London ON PO BOX 5035 N6A 4L9

File: 39T-23502 / Z-9614

[london.ca/planapps](https://london.ca/planapps)

You may also discuss any concerns you have with your Ward Councillor:

Councillor Anna Hopkins

ahopkins@london.ca

519-661-CITY (2489) ext. 4009

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

# Application Details

## Requested Draft Plan of Subdivision

Consideration of a Draft Plan of Subdivision consisting of five (5) multi-family residential blocks served by one (1) public road. The development is conceptually planned to allow for a total of 138 dwelling units comprised of four (4) street fronting townhouse dwellings with 24 units, and one (1) cluster townhouse dwelling block with 114 units.

## Requested Zoning By-law Amendment

To change the zoning from an Urban Reserve (UR4) Zone to a Residential R1 (R1-3) Zone and Residential R4 (R4-6) Zone for Blocks 1 to 4 inclusive; and a Residential R4 (R4-6) Zone, Residential R5 (R5-5) Zone, Residential R6 (R6-5) Zone, Residential R7 (R7/H20/D100) Zone, and Residential R8 (R8-4/H20/D100) Zone for Block 5. Changes to the currently permitted land uses and development regulations are summarized below.

The Official Plans and the Zoning By-law are available at [london.ca](http://london.ca).

### Requested Zoning (Please refer to attached map)

**Zone(s):** Residential R1 (R1-3) Zone

**Permitted Uses:** single detached dwellings

**Residential Density:** minimum lot area of 300m<sup>2</sup> and minimum lot frontage of 10m

**Zone(s):** Residential R4 (R4-6) Zone

**Permitted Uses:** street townhouse dwellings

**Residential Density:** minimum lot area of 145m<sup>2</sup> and a minimum lot frontage of 5.5m

**Height:** maximum height of 12m

**Zone(s):** Residential R5 (R5-5) Zone

**Permitted Uses:** cluster townhouse dwellings and cluster stacked townhouse dwellings

**Residential Density:** maximum density of 45 units per hectare

**Height:** maximum height of 12m

**Zone(s):** Residential R6 (R6-5) Zone

**Permitted Uses:** single detached dwelling, semi-detached dwelling, Duplex dwelling, triplex dwelling, townhouse dwelling, stacked townhouse dwelling, apartment buildings, and fourplex dwelling

**Residential Density:** maximum density of 35 units per hectare

**Height:** maximum height of 12m

**Zone(s):** Residential R7 (R7/H20/D100) Zone

**Permitted Uses:** senior citizen apartment buildings, handicapped persons apartment buildings, nursing homes, retirement lodges, continuum-of-care facilities, and emergency care establishments

**Residential Density:** maximum density of 100 units per hectare

**Height:** maximum height of 20 metres

**Zone(s):** Residential R8 (R8-4/H20/D100) Zone

**Permitted Uses:** apartment buildings, handicapped person's apartment buildings; lodging house class 2; stacked townhousing, senior citizen apartment buildings, emergency care establishments, and continuum-of-care facilities

**Residential Density:** maximum density of 100 units per hectare

**Height:** maximum height of 20 metres

The City may also consider applying holding provisions or special provisions in the zoning to ensure adequate provision of municipal services, that a subdivision agreement or development agreement is entered into, and to ensure completion of noise assessment reports, implementation of mitigation measures for development adjacent arterial roads, and compatibility with surrounding land uses.

An Environmental Impact Study has been prepared to assist in the evaluation of this application.

## Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. The subject lands are in the Neighbourhoods Place Type in The London Plan, permitting a range of low to medium density residential uses as well as mixed-use and commercial uses at appropriate locations to meet the daily needs of neighbourhood residents.



# How Can You Participate in the Planning Process?

You have received this Notice because someone has applied for a Draft Plan of Subdivision and to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. The ways you can participate in the City's planning review and decision making process are summarized below.

## See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at [london.ca/planapps](http://london.ca/planapps)
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

## Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Planning & Development staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

## Attend a Future Public Participation Meeting

The Planning and Environment Committee will consider the requested Draft Plan of Subdivision and Zoning By-Law Amendment on a date that has not yet been scheduled. The City will send you another notice inviting you to attend this meeting, which is required by the Planning Act. You will also be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the [Neighbourgood](http://Neighbourgood) website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting. The Council Decision will inform the decision of the Director, Planning & Development, who is the Approval Authority for Draft Plans of Subdivision.

## What Are Your Legal Rights?

### Notification of Council and Approval Authority's Decision

If you wish to be notified of the Approval Authority's decision in respect of the proposed draft plan of subdivision, you must make a written request to the Director, Planning & Development, City of London, 300 Dufferin Ave., P.O. Box 5035, London ON N6A 4L9, or at [plandev@london.ca](mailto:plandev@london.ca). You will also be notified if you provide written comments, or make a written request to the City of London for conditions of draft approval to be included in the Decision.

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Clerk of the Committee.

### Right to Appeal to the Ontario Land Tribunal

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body is not entitled to appeal the decision of the Director, Planning & Development to the Ontario Land Tribunal.

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

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### **Accessibility**

Alternative accessible formats or communication supports are available upon request. Please contact [plandev@london.ca](mailto:plandev@london.ca) for more information.

# Requested Draft Plan of Subdivision



Stantec  
400 171 Queen's Avenue  
London, ON N6A 3J7  
Tel: 519 445 2307  
www.stantec.com

**Liability Note**  
The user acknowledges that the information provided in this drawing is for informational purposes only and is not intended to constitute a contract or any other legal instrument. The user agrees to hold Stantec harmless from any and all claims, damages, costs and expenses, including reasonable attorney's fees, arising from the use of this drawing.

## DRAFT PLAN OF SUBDIVISION THE HEATHWOODS

DATE OF PLAN: 05/05/2023  
SHEET NO.: 1 OF 1  
COUNTY OF DUNDAS  
CITY OF LONDON  
SUBDIVISION OF THE SUBJECT ROAD AND PART OF LOTS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

### INFORMATION REQUIRED UNDER SECTION 51(17) OF THE PLANNING ACT

- A: AS SHOWN ON DRAFT AND KEY PLAN
- B: AS SHOWN ON DRAFT AND KEY PLAN
- C: AS SHOWN ON DRAFT AND KEY PLAN
- D: AS SHOWN ON DRAFT AND KEY PLAN
- E: RESIDENTIAL, AGRICULTURAL, COMMERCIAL
- F: AS SHOWN ON DRAFT AND KEY PLAN
- G: AS SHOWN ON DRAFT AND KEY PLAN
- H: MUNICIPAL PIPED WATER TO BE INSTALLED
- I: AS SHOWN ON DRAFT PLAN - CAP FILL
- J: AS SHOWN ON DRAFT AND STORM
- K: AS SHOWN ON DRAFT AND STORM
- L: AS SHOWN ON PLAN
- M: AS SHOWN ON PLAN

### SCHEDULE OF LAND USE

BLOCK TO 4	0.570 ha
MEDIUM DENSITY RESIDENTIAL	2.986 ha
BLOCK 5	2.887 ha
BLOCK 6	0.008 ha
0.3m RESERVE	0.008 ha
ROADS	0.000 ha
TOTAL	6.459 ha

OWNER'S DECLARATION  
I, THE UNDERSIGNED, HEREBY DECLARE THAT THE INFORMATION AND DATA ON WHICH THIS DRAFT PLAN OF SUBDIVISION IS BASED IS TRUE AND CORRECT.

DATE: May 5, 2023

SURVEYOR'S CERTIFICATE  
I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE INFORMATION AND DATA ON WHICH THIS DRAFT PLAN OF SUBDIVISION IS BASED IS TRUE AND CORRECT.

DATE: May 5, 2023

### NOTES

- THIS IS A DRAFT PLAN AND SHOULD NOT BE CONSIDERED A PLAN OF SUBDIVISION.
- FOR FURTHER INFORMATION, CONTACT THE SURVEYOR.

DATE	05/05/2023
BY	J. L. L. L.
FOR	STANTEC
SCALE	AS SHOWN
STATUS	DRAFT

Client/Project

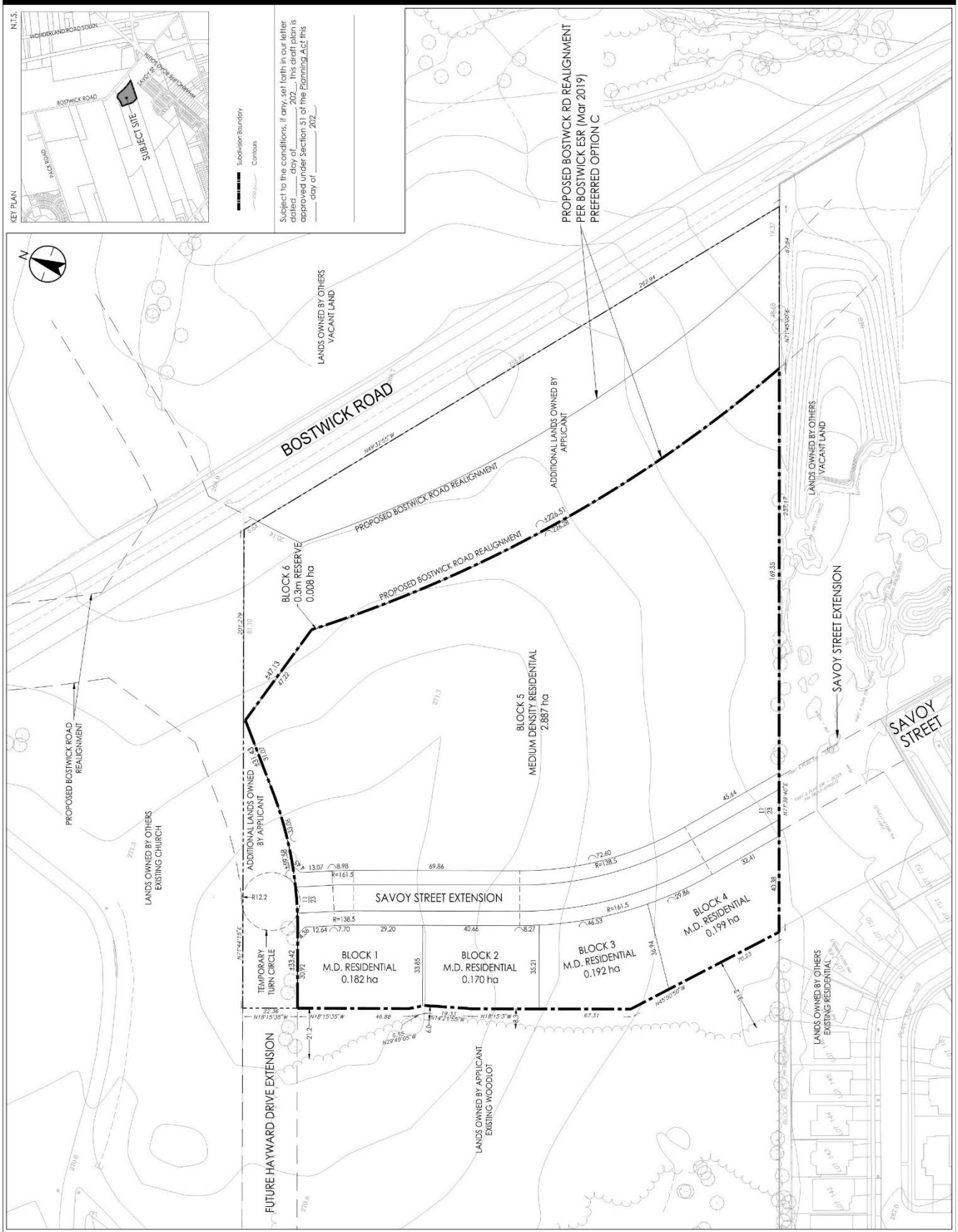
COLONEL TALBOT DEVELOPMENTS INC.

COLONEL TALBOT SUBDIVISION  
BOSTWICK ROAD SITE  
London, ON Canada

Title  
DRAFT PLAN OF SUBDIVISION

Project No. Scale  
161403241 1:1,000

Drawing No. Sheet  
1 1 of 1



The above image represents the applicant's proposal as submitted and may change.

# Requested Zoning



Stantec  
690-17 Queen Avenue  
London ON N6A 5J7  
Tel: 519-837-0777  
www.stantec.com

**Liability Note**  
This drawing was prepared by Stantec Inc. or its affiliates. It is not to be used for any other purpose without the written consent of Stantec Inc. or its affiliates.

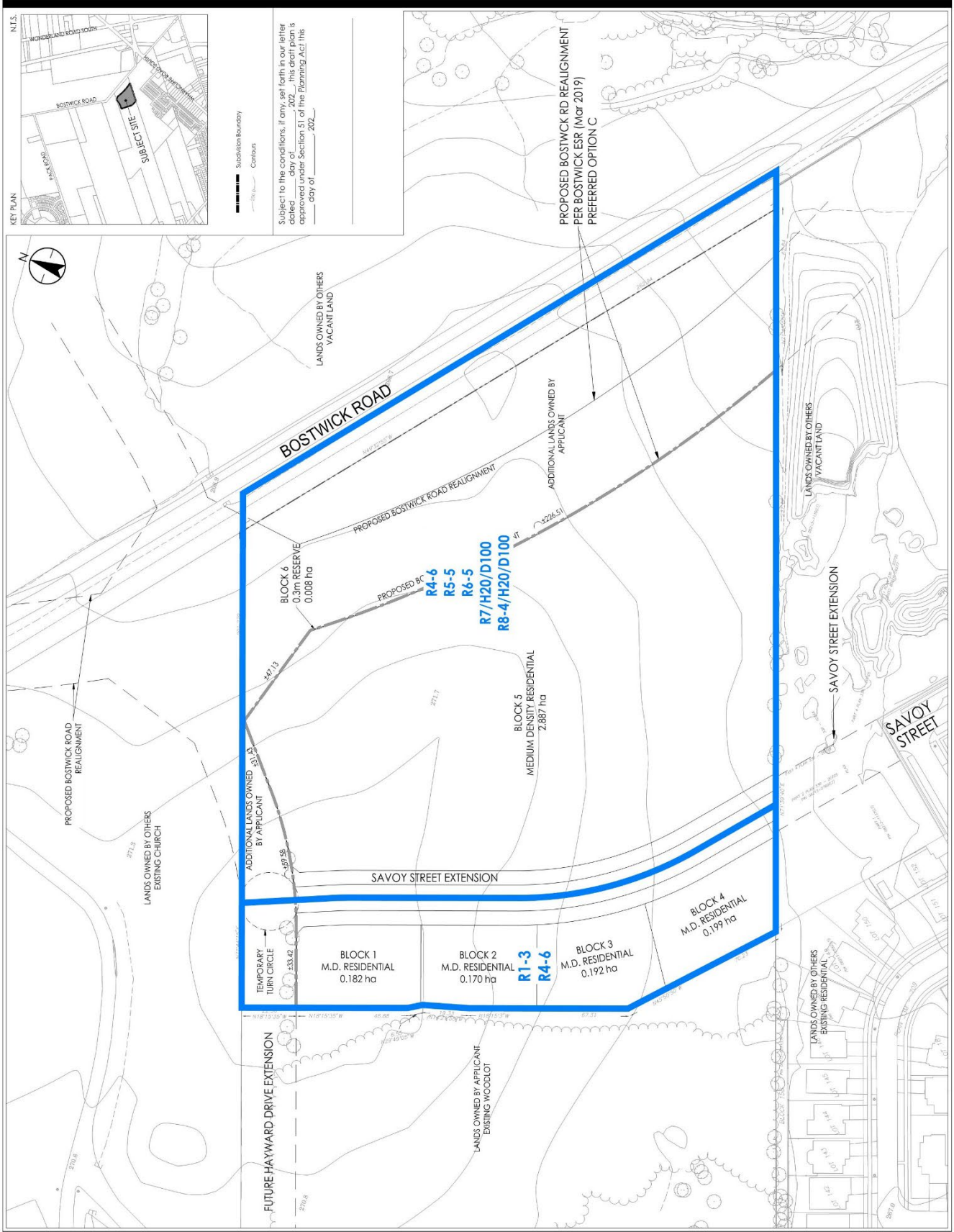
**NOTES**  
1. THIS DRAWING IS THE PROPERTY OF STANTEC INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STANTEC INC.

DATE: 11/05/2021  
BY: [Signature]  
CHECKED: [Signature]  
DATE: 11/05/2021

**Client/Project**  
COLONEL TALBOT DEVELOPMENTS INC.  
COLONEL TALBOT SUBDIVISION  
BOSTWICK ROAD SITE  
London, ON/Canada

**Title**  
PROPOSED ZONING

**Project No.** 16140241  
**Scale** 1:1000  
**Drawing No.** Sheet  
**Revision** 1



The above image represents the applicant's proposal as submitted and may change.

Corlon Properties Sunningdale North  
465 Sunningdale Road West (Sunningdale North Subdivision) File No. 39T-23503

Draft Plan of Subdivision not complete at this time. Geotechnical Investigation Report not received. Stormwater study not received.

Hydrogeological Report from LDS February 2023 and Ecosystem Recovery EIS February 2023 received by ECAC by e mail from file planner after June 2023 meeting

Reviewed by S. Evans, S. Hall, S. Levin and submitted to ECAC meeting of August 17, 2023

## **SUMMARY RECOMMENDATION**

There are many recommendations in the Hydrogeological Report (LDS) and the EIS.

**All must be conditions to draft plan approval. This will provide the City of London the authority to ensure that such recommendations are implemented before final plan approval is granted.**

## **KEY ISSUE**

Does the Axford Drain naturalization project provide for no net loss of ecological features and functions?

ECAC is of the opinion that there are benefits although it is unconvinced there will be no net loss of ecological functions over time.

## **RECOMMENDATION #1**

**ECAC supports requiring a detailed Environmental Management Plan as a condition of approval of the draft plan.** The plan must be approved by a City Ecologist and the UTRCA as part of the approval process.

As per page 59 of the EIS

“The detailed plan will identify the plant species selection, location and quantities to be planted within the Axford Drain corridor and will include wildlife habitat creation.”

As per Page 39 LDS, elements of an Environmental Management Plan are outlined:

“An environmental monitoring program will be prepared, to help ensure that site activities during construction, and in post-development conditions do not have a detrimental impact to natural heritage features, from an ecological and hydrologic perspective. The main objectives of the Environmental Monitoring Plan are expected to include:

- Providing an early indication should any environmental control measures (such as sediment and erosion control measures) or practices fail to achieve prescribed standards;
- Monitoring the performance and effectiveness of mitigation measures;
- Determining project compliance with regulatory requirements and standards and outlining reporting requirements, including timing and distribution;
- Identifying an emergency contact list and response protocol to respond to any issues or concerns identified during construction; and,
- Taking remedial actions if unexpected problems or unacceptable interference or negative impacts arise. From a preliminary standpoint, the following comments are provided regarding monitoring efforts which are expected to be confirmed and refined as detailed design information becomes available. The Monitoring Plan should be prepared by a Qualified Person (QP) and periodically reassessed and updated by the QP, as appropriate, to ensure that the objectives stated above are effectively and efficiently achieved.”

## **BACKGROUND**

The existing Axford Drain which crosses through the southwest part of the site (currently in a closed piped system) is expected to be reconstructed and enhanced through the proposed development, and set within a constructed corridor, which will also incorporate stormwater management features which will help to contribute base flows to the reconstructed drain alignment. Drawing 2, in Appendix A of LDS shows the Draft Plan of Subdivision.

The future development area will include the future stormwater management facility, identified as SWMF10, expected to convey flows to Medway Creek.

## **COMMENT**

It is encouraging to see the proposed daylighting and renaturalization along a 30 m corridor as it will be an amenity for new residents (likely allowing for a higher demand for lots) as well as better for the ecosystem. ECAC is encouraged by the opportunities outlined in the EIS on page 55.

It was interesting to note that the presence (page 42, EIS) of watercress during the field work. Watercress is an indicator of groundwater inputs.

## **RECOMMENDATION #2**

If at all possible utilize these locations as part of the location decision of how best to improve the watercourse post development.

## **OBSERVATION**

We do point out that some recent alteration (c. 2013-4) to the watercourse seems to have taken place without authorization that appear to have purposefully prohibited

upstream fish movement. See extract following from the Sunningdale Road EA. ECAC hopes the works planned for the watercourse do result in a net benefit.

*From Road EA*

### *3.2.2.3 Axford/McCallum Drain*

“The Axford Drain is described as an intermittent watercourse. The drain follows a south easterly direction before flowing into Medway Creek. The section of the drain in the Study Area runs primarily through rural and agricultural land uses including a golf course. Upstream of Sunningdale Road, the drain runs through an underground channelized system before opening into a plunge pool. There is no direct fish habitat noted upstream of Sunningdale Road. The drain flows underneath Sunningdale Road through a culvert into a plunge pool located at the perched outlet, which represents a barrier to upstream fish movement.

Observations indicate there has been some recent construction to the drain and receiving watercourse. A new culvert and riprap channel have been constructed, including a rock berm which purposefully prohibits fish movement upstream. The channel flows south through a narrow grassy cattail channel. There is evidence of erosion near the culvert as well as approximately 10 m downstream of the culvert along the left bank facing upstream. The downstream section of the Axford/McCallum Drain provides little to no direct fish habitat.”

(It is interesting to note that according to page 44 of the EIS, the Drain does contain direct fish habitat)

## **CULVERT AT SUNNINGDALE ROAD – TIMING OF CONSTRUCTION**

The Sunningdale Road EA is also relevant to this subdivision as the Axford Drain Corridor Plan drawing in the EIS (Figure 6-2) refers to the box culvert under Sunningdale being improved as part of detail design.

PROPOSED 1800x2400mm BOX  
CULVERT UNDER SUNNINGDALE ROAD  
TO BE CONFIRMED  
PER SUNNINGDALE ROAD  
IMPROVEMENTS DETAILED DESIGN

(AECOM)

LDS p. 3 also notes that:

“The existing culvert crossing at Sunningdale Road is set approximately 20 cm above the bottom of the watercourse channel on the south side of the culvert. Although improvements to the Sunningdale Road culvert crossing are expected, it is currently

anticipated that flows will be conveyed through a box culvert, and that the culvert elevation will not change significantly, due to potential conflicts with existing services which extend along Sunningdale Road, including high-pressure gas and a large-diameter watermain.”

This begs the question which comes first, the road works or the subdivision? And if the subdivision goes first, will the proponent be required to install the box culvert as part of the watercourse works?

### **RECOMMENDATION #3**

**City staff clarify timing and responsibilities for the proposed box culvert work.**

**ECAC supports rec 11 page 88 of the EIS regarding the need for exclusionary fencing of this culvert.**

### **CONSTRUCTION IMPACTS**

ECAC would hope that construction will manage stormwater better than was done at one point in the development on the south side of Sunningdale Road. The following is from a March 2022 communication to city staff, via an ECAC member, from citizens who were walking along the multi-use path. A link to a brief video is also included.

“They have built a culvert on the side of the hill close to walkway bridge closest to the Sunningdale parking lot). The pipes etc., have likely not been connected yet (i think), so I was shocked to see runoff of water and mud cascading down the hill, right next to the concrete culvert, straight into Medway Creek. The creek is now being flooded by a lot of muddy water which cannot be good for the water and for life in the creek.”

<https://drive.google.com/file/d/1j8QvgkvOl2XBWJrHzdZ73rEeZE8F4uiU/view>

There is always a requirement to stop work while active construction dewatering results in increased turbidity. The question is whether monitoring occurs and if so, who does it. And does it result in a halt in activity when such halts are costly?

### **RECOMMENDATION #4**

**ECAC encourages the city to have more site inspections given this site will not be as easily observable by the public.**

Page 33 of LDS has a number of related recommendations that ECAC supports

“Temporary short-term diversions are anticipated as work is undertaken to replace piped sections of the drain into an open watercourse. The use of erosion control protection measures (such as erosion control blankets or addition of bonded fibre matrix on bare soils within the newly constructed channels will be required to prevent sediment



loading of stormwater passing through the drain. Interceptor measures may also be required, such as fibre rolls, to slow the flow under short term conditions, which allow for sediment accumulation and removal as needed, in strategic locations. During site construction and site grading work, suitable sedimentation controls will be required to help control and reduce the turbidity of run-off water which may flow towards the surface water features. As construction work progresses at the site, regular maintenance and additional sedimentation measures will be required to limit the effect of siltation of run-off water in localized areas. If deficiencies are identified in the performance of the sediment and erosion control measures through regular inspection, enhancements beyond the recommended design may be required.”

Page 27 of LDS also has a number of recommendations supported by ECAC.

#### Additional Considerations

“Development at the site and the construction of a realigned drain corridor for the Axford Drain is expected to alter the current groundwater and surface water interactions. As part of grading works, subdrains and drainage tiles which have been installed across the site to improve drainage and redirect water from the golf features, will be removed. It is important to ensure that proposed development at the site has consideration for providing clean stormwater run-off towards the Axford Drain, and the naturalized features which will be located within the constructed corridor.

There is a risk that surface water run-off from the site could be responsible for increased salt loading during late winter and early spring periods. As such, consideration should be given to identifying appropriate mitigation measures to reduce potential salt loading associated with the development and control / maintenance during the winter months under post-development conditions.”

ECAC agrees that the salt and salt management ideas on page 36 of LDS are sound, it is unclear how salt and other contaminants can be avoided or mitigated post construction.

#### **RECOMMENDATION #5**

**ECAC supports the following from LDS and strongly recommends them as conditions of draft plan approval.**

**As noted on page 27 of LDS, “It is important to ensure that proposed development at the site has consideration for providing clean stormwater run-off towards the Axford Drain, and the naturalized features which will be located within the constructed corridor.”**

**Once the final proposed layout and design information is provided, detail design and the detailed stormwater management design during construction must address this to the satisfaction of the City and the UTRCA. Ideally, a flow can be**

**maintained throughout dry weather periods. (See water balance in LDS starting on page 28).**

**LDS notes on page 29: “It is also noted that the analysis presented in the following sections is based on the proposed layout and design information which has been provided by the developer and their civil design team. As detailed design occurs, updates to this analysis may be required to reflect specific changes to the proposed site grading, LID features and other design aspects of the site.”**

However, ECAC notes page 32 of LDS indicates soil conditions are unlikely to be conducive to effective LID measures.

**RECOMMENDATION #6**

**ECAC supports LDS page 31. This should be more than a consideration – it must be a requirement of development approval:**

“As the detailed design of the Axford Drain corridor is prepared, consideration should be given to re-assessing the infiltration and run-off components which contribute base flows to the newly constructed feature are adequate to sustain the natural features which are created within the corridor. The detailed stormwater management design will also factor into this analysis, with portions of the site being directed through future SWM facilities which will outlet to the drain.”

**RECOMMENDATION #7**

**ECAC supports LDS page 34**

“To help reduce dewatering requirements, consideration should be given to optimizing design depths for site servicing and building excavations. Where possible, construction during the drier summer months is preferred to carry out excavations when stabilized groundwater levels are not elevated under seasonal conditions. If construction occurs during wet-weather conditions or when seasonal water levels are elevated, monitoring the water levels within the monitoring wells during construction can be helpful to determine the zone of influence, and to identify changes in the water level while construction dewatering is actively occurring.”

**RECOMMENDATION #8**

**ECAC agrees with and supports including list of avoidance measures starting on page 72 of the EIS in the construction documents. They should also be included in the conditions of draft plan approval and/or of development.**

## **RECOMMENDATION #9**

The construction documents also include having on site monitoring and inspection by either City and/or UTRCA staff. We add this because page 84 discusses monitoring only at detailed design stage.

## **SPECIES AT RISK AND SIGNIFICANT WILDLIFE HABITAT**

### BUTTERNUT

Page 24 EIS

One butternut (*Juglans cinerea*) and a potential sapling was found within the 120 m study area, which is a species at risk and classified as Endangered. No butternut health assessment or genetic testing was undertaken on this tree as it is not anticipated to be affected by the proposed works.

## **RECOMMENDATION #10**

**Given the sensitivity of the species, and its location near the golf cart parking lot it would be helpful if the proponent would agree to a site specific management plan for these two trees. If the mature tree is healthy Cat 3 as per the Ministry MECP species at risk web site, the tree could be useful in determining how to prevent or resist Butternut Canker**

**Also, as noted on page 71 of the EIS and recommendation 5 on page 86, a tree preservation plan will be developed as a condition of the draft plan approval. This plan could incorporate recommended measures for the protection of the butternut tree and sapling.**

### PONDS

## **RECOMMENDATION #11**

**ECAC notes that the amount of land to replace the lost wetland features is smaller than current. This should be reviewed in light of the no net loss of ecological features requirement.**

### TURTLES

The EIS notes on page 45

“Turtle Wintering Area – Turtle wintering habitat is present within the study at multiple locations including Pond A, B and C and the Irrigation Pond. No turtles were observed within at these locations, but historical records, and golf course staff communication identify snapping turtle have been historically present within the golf course lands south of Sunningdale Rd. Snapping turtle are able to travel long distances over land in search of food, mates, and wintering habitat.”

It is unclear what steps were taken to protect turtles during construction of the subdivision south of Sunningdale.

Page 34 of the EIS notes “Overwintering habitat for turtles is present within Ponds A, B, C and the Irrigation pond due to the soft substrate, deep water levels and open water features.”

ECAC believes there is a possibility that one or more of these ponds are home to a wider variety of biologic species as was the case for the anthropologic pond at 905 Sarnia Road. As noted on page 25 of the EIS, the largest pond referred to as the irrigation pond (also called Bass Pond in the EIS) is a man-made feature, which gets its water from Medway Creek has been stocked with bass. Water from this pond is pumped for irrigation and therefore is affected by fluctuating water levels. Page 25 of the EIS appears to suggest only visual observation was conducted by the consultants.

#### **RECOMMENDATION #12**

**Sampling of the ponds that have not been recently dredged (some have not been dredged in over 10 years according to the reports), be conducted to determine if they provide habitat, especially for terrestrial crayfish and turtles. If it is determined that these and other sensitive biota are present, a plan for relocation must be prepared and implemented before the features are removed.**

#### **RECOMMENDATION #13**

**ECAC recommends that Scott Gillingwater at the UTRCA be consulted at detailed design regarding the establishment of turtle overwintering habitat in the corridor (See page 87, recommendation 10 of the EIS) and that he be consulted in the preparation of the Environmental Management Plan as it relates to turtle habitat.**

It is unclear to ECAC as to the timing of works and impact on habitat. If in winter, it could harm overwintering turtles. If in the spring, work would impact amphibian breeding habitat potentially eliminating it.

ECAC notes that Golf course turf maintenance staff have identified snapping turtles using sand bunkers for laying eggs historically year after year in areas just outside of the study area. ECAC wonders what the golf course has been doing to avoid harm to this species at risk? Hopefully it has been notifying the turtle team at the UTRCA to come and get the eggs before they are damaged. If this has not been standard procedure we have this separate recommendation for the proponent:

#### **RECOMMENDATION #14:**

**When staff see a turtle laying eggs in a sand trap, immediately call the UTRCA and ask the turtle team to come out and collect the eggs.**

## **AMPHIBIAN BREEDING HABITAT – CONFIRMED SIGNIFICANT WILDLIFE HABITAT**

It is also noted that the amphibian surveys found significant activity that is to be eliminated by the development (page 32 EIS).

Page 68 of the EIS sounds hopeful about replacing amphibian breeding habitat and turtle overwintering habitat.

“While the removal of the wetlands are required as part of the development design, the creation of wetlands as part of the Axford Drain Corridor design will compensate for the removed wetlands. These will be designed to include turtle overwintering habitat, amphibian movement and different sizes, shapes, and depths to allow for wildlife use.”

### **RECOMMENDATION #15**

**Because recreational use is indicated (Drawing 2 LDS and Axford Drain Corridor Plan in the EIS show a 3.2 m wide paved path) it is recommended that signage be installed along the feature to explain the Medway environment as well as the objectives of the Drain Corridor Plan. An example of information that can be included can be found on the sign at the trail head below the Sunningdale parking lot and on signage along the multiuse pathway starting at the parking lot and going south.**

**The signage can explain what the EMP and Corridor Plan are trying to achieve, the number for the UTRCA and / or the City to report sightings, the use of eBird and iNaturalist and the like.**

Page 56 of the EIS points out the constraints. All of these losses are proposed to be compensated by the work done to remediate the watercourse. It is subjective to conclude that there is a direct compensation for loss of amphibian breeding habitat for example, by improving the watercourse. Even page 65 of the EIS points to this being a potential loss.” Potential to impact amphibian breeding habitat;”

It is difficult to understand how you remove ponds identified as breeding habitat and expect to replace them with smaller areas within the remediated corridor in an area that will become a neighbourhood with more people, 12 months of road use and maintenance including sand and possibly salt, more pets and more lighting than the current golf course use.

### **RECOMMENDATION #16**

**ECAC agrees that lots abutting the naturalized watercourse should (actually, must) be fenced with no gates. This is consistent with EIS recommendation #17 page 89.**

## **SIGNIFICANT WOODLANDS**

### **RECOMMENDATION #17**

**It is noted that the amount of compensation for loss of significant woodland is less than the amount lost. This should be revised otherwise, there is net loss of ecological features.**

### **RECOMMENDATION #18**

**As noted on page 50 of the EIS, the woodlands identified as meeting the city criteria for significance be designated Green Space and zoned as such on Map 1 and changed on Map 5 from Unevaluated to Significant Woodland. This must be done as part of the subdivision process and related changes to the OP and zoning by law. (Also note this is Recommendation 1 of the EIS on page 86)**

## **BUFFERS**

Page 56 of the EIS refers to Figure 4-1 and the features on the site. Page 56 of the EIS also notes that “Associated buffer and setbacks for these valuable natural resources are required” however, none are shown on Figure 4-1. Nor are they indicated in section 7.3.4 on page 69. The drawing for the Axford Drain corridor clearly shows hard surfaces and a SWM facility within the 30 m corridor. (With minimal ecological buffers). In fact, the cross sections shown in the EIS (Figure 6-3) indicate that the proposed 10 m multi use pathway block is also labelled as a “10 m Nature Heritage Feature buffer.” This is simply not acceptable.

The buffer widths are not consistent with the current Environmental Management Guidelines. It is unclear to ECAC why page 70 of the EIS refers to the prior version of the EMG.

### **RECOMMENDATION #19**

**The current Environmental Management Guidelines must be used to determine buffer width for the Axford Drain Corridor Plan and for the Significant Woodlands.**

## **MONITORING**

As per p. 41 LDS

“Coordination with the ecological consultant will be required to document the conditions within the wetland features, and the general health of the flora and fauna within the natural features. The frequency of these inspections will be guided by the ecological consultant, to ensure that seasonal variations are suitably documented through the spring, summer and fall periods. Inspection reports should be generated, for circulation to the City (and other approval authorities, as appropriate) on a regular (seasonal) basis. Monitoring of native species plantings in buffer areas is also recommended. More

specifically, this will include inspection of tree and shrub stock and herbaceous vegetation plantings to evaluate survival and success of establishment and identify need for replacement plantings for any dead material. It is anticipated that the City of London will want the opportunity to comment on the monitoring plan prior to construction.”

ECAC notes that page 84 includes the following: “Ecosystem Recovery Inc. shall develop a pre-development, development and post development monitoring plan at the Detailed Design stage of the project. The intent is to monitor the biophysical parameters and environmental management systems throughout the project. This environmental monitoring plan will be prepared in consultation with the UTRCA and City of London staff.”

#### **RECOMMENDATION #20**

**The city should do more than just comment. The city needs to approve the monitoring plan as a condition of draft approval and / or development. The approval must require concurrence by a City Ecologist and the UTRCA.**

ECAC notes recommendation 12, page 88 of the EIS suggests a 5 year monitoring plan.

#### **RECOMMENDATION #21**

**The Environmental Management Plan also include remediation requirements. For example, amphibian surveys be required and if amphibian surveys note a reduced population of amphibians, there should be a requirement for compensation. Although the loss of SWH features is supposed to be compensated by the watercourse improvement, only time will tell if the ecological FUNCTIONS have been compensated for. Experience from the 905 Sarnia wetland compensation site cited by Stantec, points to ongoing monitoring in 2 to 3 year intervals beyond the initial period (see the last page in the following 2021 presentation to EEPAC by Stantec)**

#### **OTHER – RECOMMENDATION 8 of the EIS**

“The detailed design process will also consider the inclusion of raptor perch poles, osprey platforms and barn swallow nesting cups underneath the multi-use trail bridge, if appropriate, for this size of the restored green space corridor.”

ECAC has done some preliminary consultation with a PhD candidate at the Advanced Facility for Avian Research at Western who has the following comments:

“Most barn swallow mitigation that follows the Ontario provincial guidelines (e.g., wooden huts along highways) will never be used. I (AFAR) can provide design specs based on recommended practice and historical successes from Birds Canada, like the one we built in the Medway. The nest cups under the bridge may or may not be appropriate depending on the design of the site and the density of traffic. Is a

standalone structure possible? Birds won't use a new structure right away. Building it as early as possible (i.e., before the breeding season one year prior to site modification/construction) is recommended so that post-fledgling birds wandering the site before migrating may find it and return the following year to use it.

I'm skeptical of the raptor perches being used. If birds are accustomed to using trees, are they going to switch to built infrastructure? These designs should be based on evidence. Osprey platforms generally seem good for this area, but their placement needs to be thought through carefully.”

### **OTHER – PRIVATE SWM**

Stormwater facility 10 which is proposed to be operated by the Golf course (page 63 of the EIS).

Given the history of privately built and operated storm facilities, ECAC questions if this is the right decision although it does appreciate that the proposal does reduce water taking from the Medway Creek.

## **STANTEC SLIDES GO HERE**





Environmental and  
Ecological Planning  
Advisory Committee

February 18, 2021

Compensation  
Wetland  
Monitoring

905 Sarnia Road,  
London



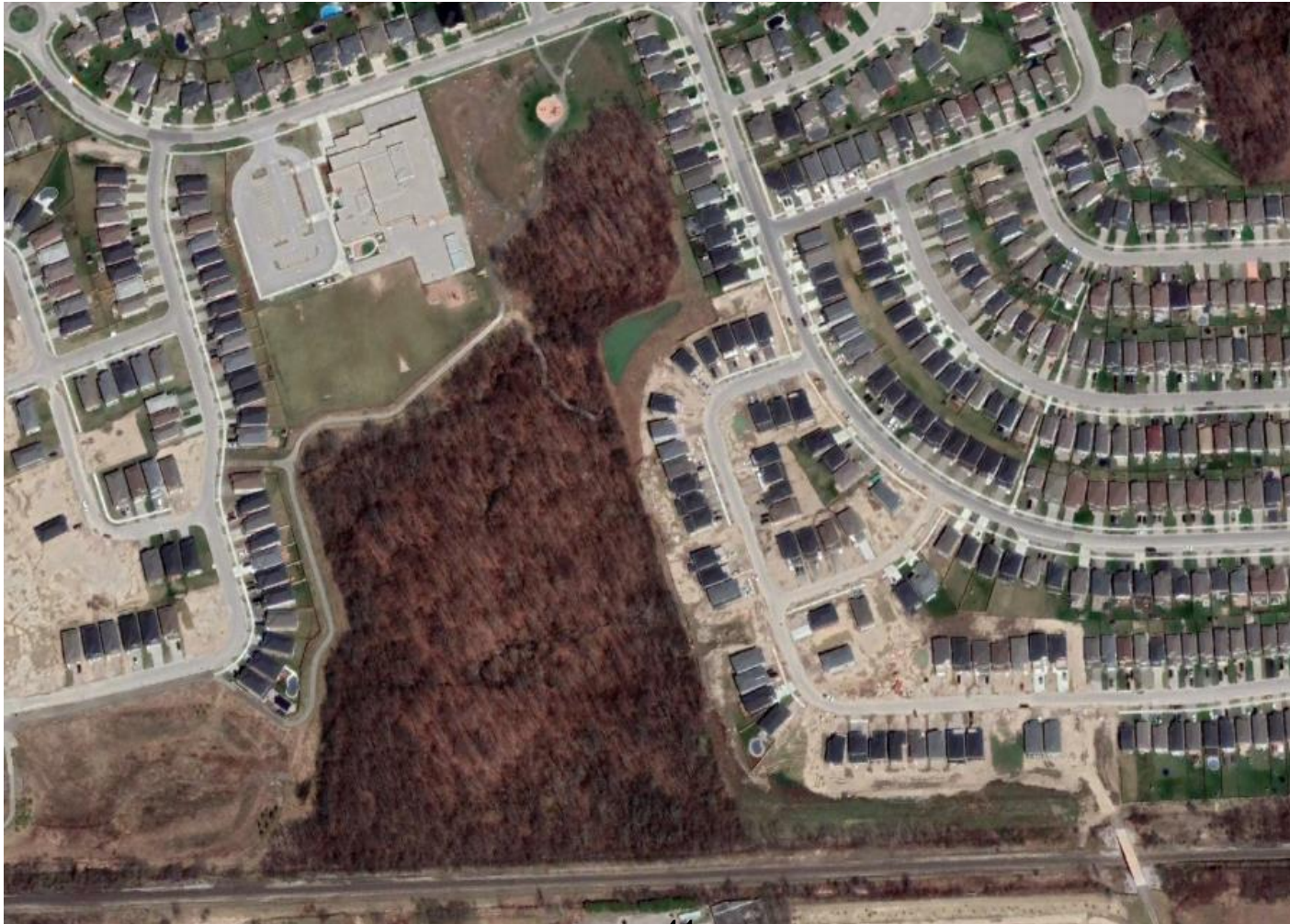
# Agenda

1. Site History
2. Objectives
3. Methods
4. Findings
5. Recommendations

# Site History – June 2016



# Site History April 2021



# Timeline

## WETLAND CONSTRUCTION

### November 2015

- Grading new wetland  
Transfer of a sample of wetland substrate and habitat features (e.g. root wads)

### May 2016

- Native seed planting

### July 2016

- Wildlife transfer
- Soil transfer
- Vegetation material transfer

## ANNUAL MONITORING

- 2016
- 2017
- 2018
- 2020



# Summary of Wildlife Relocations

Species	Calico Crayfish	Green Frog	Northern Leopard Frog	Other Invertebrates	Brook Stickleback	Eastern Newt	Midland Painted Turtle	Snapping Turtle
No. of individuals	>18,000	>4,000	>1,000	>28,000	>11,000	21	10	3



# Monitoring Objectives

2016-2018

- Three-year ecological monitoring implemented as a condition of development approval to track:
  - Water levels
  - Vegetation establishment
  - Transfer of wildlife
- Monitoring implemented by proponent

2020

- Monitoring extended to provide long-term results and inform future wetland creation projects
- Implemented by **Environmental and Ecological Planning Advisory Committee** in partnership with **Nature London**

# Methods

Type	Date(s) of Field Work
<b>Vegetation Survey</b>	
Botanical Inventory	June 26, 2020
	September 10, 2020
<b>Wildlife Surveys</b>	
Amphibian Surveys	April 8, 2020
	May 15, 2020
	June 29, 2020
Turtle Basking Surveys	May 4, 2020
	May 20, 2020
	June 26, 2020
Marsh Breeding Birds	June 7, 2020
	June 26, 2020
Terrestrial Crayfish Chimney Surveys	June 26, 2020
Terrestrial Insects	June 26, 2020
Benthic Invertebrates	September 1, 2020
Incidental Wildlife Observations	During all field visits
<b>Aquatic Survey</b>	
Water Level Monitoring	June 26, 2020



# Results - Vegetation

- Wetland emergent vegetation (cover and species) is increasing (cattails, bulrushes and sedges)
- Seeded native upland grasses (2016) are increasing (cover and species) (old switch panicgrass, yellow Indian grass, big bluestem)
- Canada thistle (invasive) is decreasing
- Phragmites (invasive) is absent



Type	2017	2018	2020
<b>Native species</b>	27	35	41
<b>Non-native species</b>	18	22	35
<b>Total species</b>	45	57	76

# Results - Wildlife

Monitoring Year			COMMON NAME
2017	2018	2020	
<b>AMPHIBIANS</b>			
X			Spotted Salamander
X	X		Tetraploid Gray Treefrog
X	X	X	Northern Green Frog
X	X	X	Northern Leopard Frog
X	X		Spring Peeper
<b>REPTILES</b>			
X	X	X	Midland Painted Turtle
X		X	Eastern Gartersnake
	X	X	Snapping Turtle
<b>FISH</b>			
X	X		Brook Stickleback
X	X	X	Calico Crayfish
	X	X	Goldfish



- **Wetland birds (foraging or breeding):** Canada Goose, Mallard, Spotted Sandpiper, Great Blue Heron, Barn Swallow, Rough-winged Swallow, Red-winged Blackbird, and Common Yellowthroat.
  - Common Yellowthroat was a new species breeding species observed in 2020
- **Insects:** diversity of Odonata and Butterflies increased from 2017 to 2020

## Results - Benthics

- 2020 was the first year benthic data was collected
- Moderate numbers of organisms and taxa richness that reflect a relatively poor-quality warmwater benthic habitat
- No pollution-sensitive taxa organisms (mayflies, stoneflies, and caddisflies) were collected from the pond
- Chironomids and oligochaetes (tolerant of nutrient enrichment) were dominant organism type





### **Monitoring**

- Continue long-term monitoring once every 2-3 years
- Additional surveys are required to determine use by woodland amphibians
- Include surveys for fish, such as minnow traps to increase detection of crayfish

### **Recommendations**

#### **Enhancements**

- Plant emergent, floating-leaved and submergent vegetation to improve water quality and provide habitat (e.g. egg attachment sites for amphibians)
- Construct turtle testing habitat, monitoring use, and protect nests

Hi Heather,

Unfortunately, yes, I will have to resign from my duties on ECAC. However, please extend my gratitude to Sandy and the group for this experience. I really enjoyed it!

Let me know if you need anything else to make my resignation official.

Take care,  
Pete

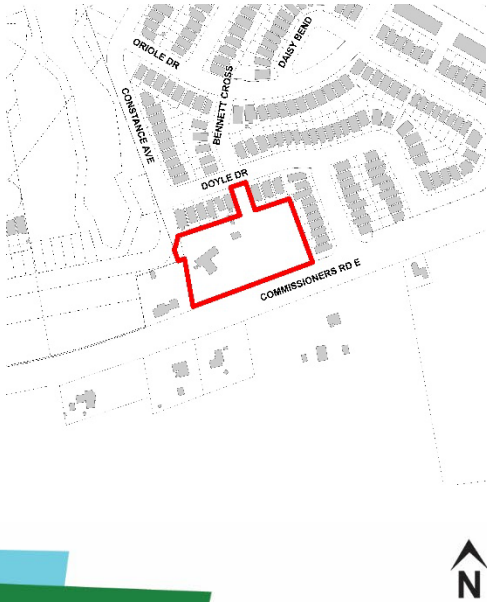
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# NOTICE OF PLANNING APPLICATION & NOTICE OF PUBLIC MEETING

## Zoning By-law Amendments

### 1990 Commissioners Road East & 2767 Doyle Drive



**File: Z-9656**

**Applicant: Lux Homes Design and Build (SBM Ltd.)**

#### What is Proposed?

Zoning amendment to allow:

- Three stacked townhouse buildings, containing 72 units in total at a density of 66 units per hectare.
- Special provisions requested for reduced west and east interior side yard setbacks, increased maximum density, and maximum height.

## LEARN MORE & PROVIDE INPUT

You are invited to provide comments and/or attend a public meeting of the Planning and Environment Committee to be held:

**Meeting Date and Time:** Monday, November 13, 2023, no earlier than 4:00 p.m.

Please monitor the City's website closer to the meeting date to find a more accurate meeting start time: <https://london.ca/government/council-civic-administration/council-committee-meetings>

**Meeting Location:** The Planning and Environment Committee Meetings are hosted in City Hall, Council Chambers; virtual participation is also available, please see City of London website for details.

Please provide any comments by **October 3, 2023**

For more information contact:

Brent House  
bhouse@gmail.com  
519-661-CITY (2489) ext. 4078  
Development Services, City of London  
300 Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO Box 5035 N6A 4L9  
File: Z-9656

[london.ca/planapps](https://london.ca/planapps)

To speak to your Ward Councillor:

Steven Hillier  
shillier@london.ca  
519-661-CITY (2489) ext. 4014

**If you are a landlord, please post a copy of this notice where your tenants can see it. We want to make sure they have a chance to take part.**

Date of Notice: September 20, 2023

# Application Details

## Requested Zoning By-law Amendment

Possible change to Zoning By-law Z.-1 FROM an Urban Reserve (UR4/UR4(5)/UR4(7)) Zone TO a Special Provision Residential R5 (R5-7(\_)) Zone. Changes to the currently permitted land uses and development regulations are summarized below.

The complete Zoning By-law is available at [www.london.ca/planapps](http://www.london.ca/planapps).

### Current Zoning

**Zone:** Urban Reserve (UR4/UR4(5)/UR4(7)) Zone

**Permitted Uses:** Existing Dwellings; agricultural uses except for mushroom farms, commercial greenhouses, livestock facilities and manure storage facilities; conservation lands; managed woodlots; wayside pit; passive recreation use; farm gate sales; kennels; private outdoor recreation facilities; riding stables.

### Requested Zoning

**Zone:** Residential Special Provision R5(R5-7(\_))

**Permitted Uses:** Cluster townhouse dwellings; cluster stacked townhouse dwellings.

**Special Provisions:** East interior side yard setback of 4.9 metres, whereas 6 metres is the minimum required. West interior side yard setback of 5.6 metres, whereas 6.0 metres is the minimum required. Minimum height of 15 metres, whereas 12 metres is the minimum required. Maximum density of 66 units per hectare, whereas 60 units per hectare is the maximum required.

**Height:** 15 metres

**Density:** 66 units per hectare

The City may also consider the use of holding provisions, and additional special provisions to facilitate the proposed development.

## Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as Neighbourhoods Place Type in The London Plan.

The subject lands are in the Neighbourhoods Place Type, fronting on a Civic Boulevard (Commissioners Road East) and a Neighbourhood Street (Doyle Drive) in The London Plan. Uses permitted include stacked townhouses, fourplexes and low-rise apartments.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the Official Plan designation and the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. The ways you can participate in the City's planning review and decision-making process are summarized below.

### See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at [london.ca/planapps](http://london.ca/planapps)
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

### Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Planning & Development staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

### Attend This Public Participation Meeting

The Planning and Environment Committee will consider the requested Official Plan and zoning changes at this meeting, which is required by the Planning Act. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community

association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the [Neighbourgood](#) website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

## What Are Your Legal Rights?

### Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed official plan amendment and/or zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Clerk of the Committee.

### Right to Appeal to the Ontario Land Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

For more information go to <https://olt.gov.on.ca/appeals-process/forms/>.

### Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Evelina Skalski, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

### Accessibility

The City of London is committed to providing accessible programs and services for supportive and accessible meetings. We can provide you with American Sign Language (ASL) interpretation, live captioning, magnifiers and/or hearing assistive (t coil) technology. Please contact us at [plandev@london.ca](mailto:plandev@london.ca) by November 6, 2023 to request any of these services.



# Site Concept

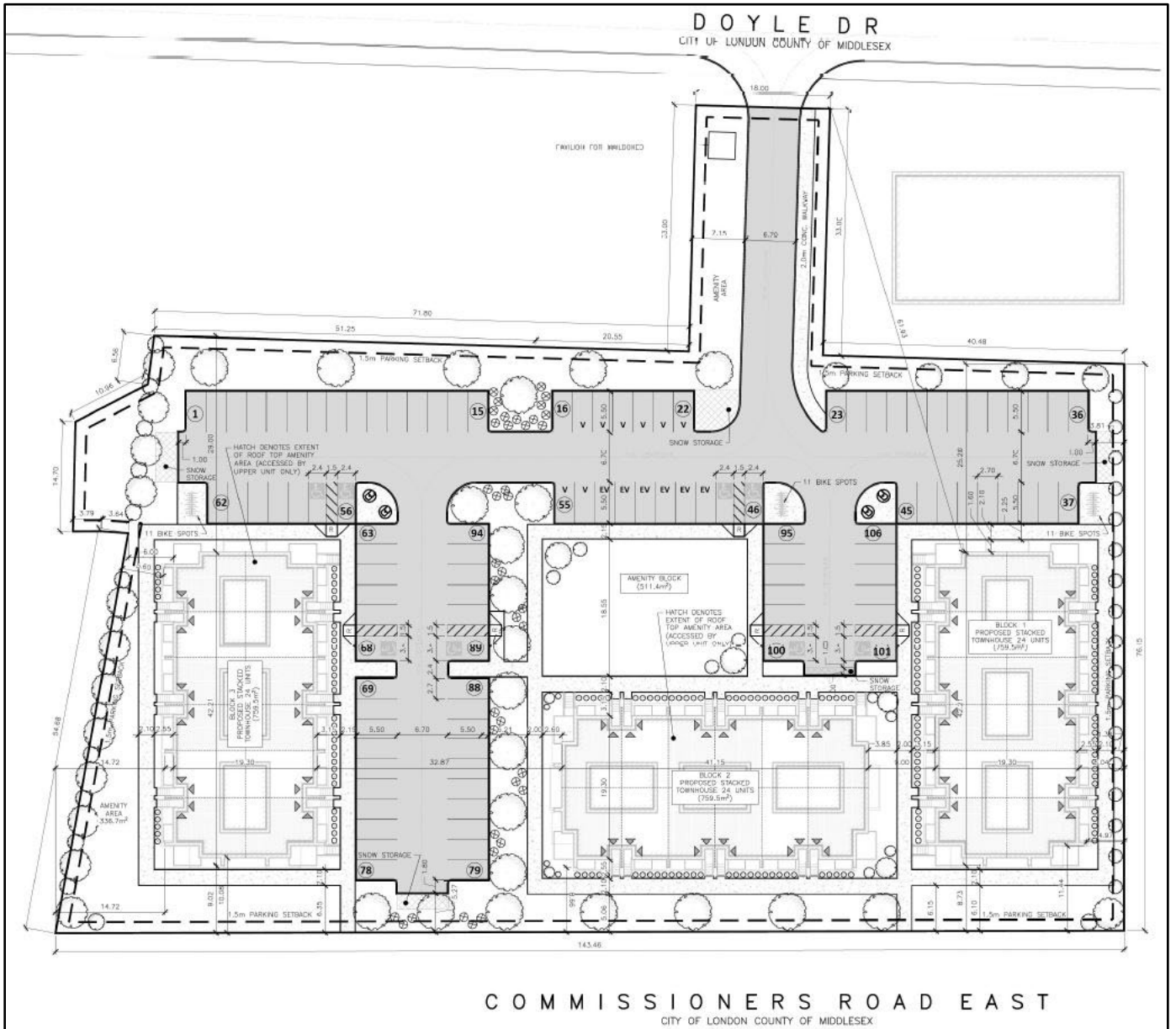


Figure 1. Site Concept Plan for 1990 Commissioners and 2767 Doyle Drive.

# Renderings

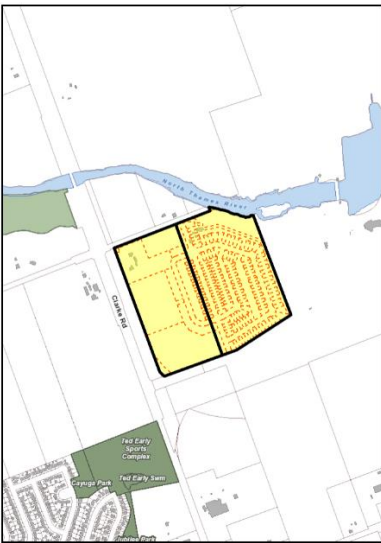


Figure 2. Rendering of Proposed Stacked Townhouse Development.

# NOTICE OF PLANNING APPLICATION

## Draft Plan of Subdivision, Official Plan and Zoning By-law Amendments

### 2331 Kilally Road and 1588 Clarke Road



**File: 39T-20502 / OZ-9244**

**Applicant: Sifton Properties Limited**

#### What is Proposed?

Draft Plan of Subdivision, Official Plan and Zoning amendments to allow:

- A residential subdivision consisting of low density single detached dwellings, medium density cluster dwellings, street townhouse dwellings, low-rise apartment buildings, parks, open spaces, multi-use pathways and stormwater management facility; served by four (4) local streets.

## LEARN MORE & PROVIDE INPUT

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Please provide any comments by **September 18, 2020**

Larry Mottram

lmottram@london.ca

519-661-CITY (2489) ext. 4866

Development Services, City of London, 300 Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO BOX 5035 N6A 4L9

File: 39T-20502 / OZ-9244

[london.ca/planapps](https://london.ca/planapps)

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You may also discuss any concerns you have with your Ward Councillor:

Councillor Mohamed Salih

msalih@london.ca

Cell Phone: 226-926-7615

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

# Application Details

Commonly Used Planning Terms are available at [london.ca/planapps](http://london.ca/planapps).

## **Requested Draft Plan of Subdivision** (please refer to attached draft plan)

Consideration of a Draft Plan of Subdivision consisting of 164 single detached lots (Lots 1-164); seven (7) medium density residential blocks (Blocks 165-171); three (3) park blocks (Blocks 172-174); two (2) blocks for Stormwater Management (SWM) Pond and Sanitary Pump Station (Blocks 175-176); one (1) open space buffer block (Block 177); one (1) open space block (Block 178); one (1) road dedication block (Block 179); and serviced by four (4) local streets (Streets A, B, C, and D).

## **Requested Official Plan Amendment** (please refer to attached map)

Possible Amendments to the (1989) Official Plan:

- Schedule 'A' – Land Use Map to change the land use designations from: “Urban Reserve – Community Growth”, “Environmental Review”, and “Open Space” to “Low Density Residential”, “Multi-Family, Medium Density Residential” and “Open Space”;
- Schedule 'B-1' – Natural Heritage Features Map to change the limits of the “Potential ESA” and “Max Hazard Line” delineations to reflect the findings of the Environmental Impact Study and Slope Stability Study; and,
- Schedule 'C' - Transportation Corridors Map to remove the “Proposed Future Arterial Road” delineation that applies to Kilally Road, approximately 200 metres east of Clarke Road.

## **Requested Zoning By-law Amendment**

Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at [london.ca/planapps](http://london.ca/planapps).

### **Requested Zoning** (Please refer to attached map)

Possible Amendment to Zoning By-law Z.-1 to change the zoning from an Urban Reserve UR4 Zone, an Urban Reserve UR4/Temporary (T-56) Zone, a Holding Urban Reserve (h-2•UR4), and an Open Space OS5 Zone to:

- Residential R1 (R1-3) Zone – to permit single detached dwellings on lots with a minimum lot area of 300 square metres and minimum lot frontage of 10 metres;
- Residential R1 (R1-4) Zone - to permit single detached dwellings on lots with a minimum lot area of 360 square metres and minimum lot frontage of 12 metres;
- Residential R1 Special Provision (R1-4(21)) Zone – to permit single detached dwellings on lots with a minimum lot area of 360 square metres and minimum lot frontage of 12 metres, together with a special provision for a dwelling setback from a high pressure pipeline of 20 metres (minimum);
- Residential R1/Residential R4 Special Provision (R1-1/R4-6(\*)) Zone – to permit single detached dwellings on lots with a minimum lot area of 250 square metres and minimum lot frontage of 9 metres, and to permit street townhouses with a minimum lot area of 145 square metres per unit and a minimum lot frontage of 5.5 metres per unit, together with a special provision for a lot coverage of 50 percent (maximum);
- Residential R5/Residential R6/Residential R7/Residential R8 (R5-7/R6-5/R7•H13•D75/R8-4) Zone – to permit such uses as townhouses and stacked townhouses up to a maximum density of 60 units per hectare and maximum height of 12 metres; various forms of cluster housing including single detached, semi-detached, duplex, triplex, fourplex, townhouse, stacked townhouse, and apartment buildings up to a maximum density of 35 units per hectare and maximum height of 12 metres; senior citizen apartment buildings, handicapped persons apartment buildings, nursing homes, retirements lodges, continuum-of-care facilities, and emergency care establishments up to a maximum density of 75 units per hectare and maximum height of 13 metres; apartment buildings, stacked townhouses, and lodging house class 2 up to a maximum density of 75 units per hectare and maximum height of 13 metres.
- Open Space OS1 Zone – to permit such uses as conservation lands, conservation works, golf courses, public and private parks, recreational buildings associated with conservation lands and public parks, campgrounds, and managed forests;
- Open Space OS1(3) Special Provision Zone – to permit conservation lands, conservation works, golf courses, public and private parks, recreational buildings associated with conservation lands and public parks, campgrounds, and managed forests, together with a special provision for no minimum lot frontage or minimum lot area requirement; and,
- Open Space OS5(3) Special Provision Zone – to permit conservation lands, conservation works, passive recreation uses which include hiking trails and multi-use

pathways, and managed woodlots, together with a special provision for no minimum lot frontage or minimum lot area requirement.

An amendment to Subsection 4.21 of the Zoning By-law General Provisions is also requested to amend the street classification of Kilally Road, 200 metres east of Clarke Road, from a 'Proposed Arterial' to 'Local Road', and amend the road allowance limit as measured from the centre line from 18 metres to 10 metres to reflect existing conditions (the steep slopes and vegetation on the north side of Kilally Road will impede any road-widening plans), and to be consistent with the transportation network vision established in The London Plan.

The City may also consider applying holding provisions in the zoning to ensure adequate provision of municipal services, that a subdivision agreement or development agreement is entered into, and to ensure completion of noise assessment reports and implementation of mitigation measures for development in proximity to arterial roads.

An Environmental Impact Study (EIS) report prepared by AECOM, dated March 2020, was submitted with the application for draft plan of subdivision. The EIS report is available for viewing on the City's website application-specific page at [london.ca/planapps](https://london.ca/planapps).

## **Planning Policies**

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as "Urban Reserve – Community Growth", "Environmental Review" and "Open Space". The land use designations in the (1989) Official Plan are subject to possible amendment, as described above.

The subject lands are in the "Neighbourhoods" Place Type in The London Plan (Council adopted, approved by the Ministry with modifications, and the majority of which is in force and effect) permitting a range of housing including single detached, townhouses and low rise apartments, and "Green Space", permitting a range of public and private open space, parks, recreation, floodplain and conservation uses.

## **How Can You Participate in the Planning Process?**

You have received this Notice because someone has applied for a Draft Plan of Subdivision and to change the Official Plan designation and zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. The ways you can participate in the City's planning review and decision making process are summarized below. For more detailed information about the public process, go to the [Participating in the Planning Process](https://london.ca/participating-in-the-planning-process) page at [london.ca](https://london.ca).

### **See More Information**

You can review additional information and material about this application by:

- contacting the City's Planner listed on the first page of this Notice; or
- viewing the application-specific page at [london.ca/planapps](https://london.ca/planapps).

### **Reply to this Notice of Application**

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Development Services staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

### **Attend a Future Public Participation Meeting**

The Planning and Environment Committee will consider the requested Draft Plan of Subdivision, Official Plan and zoning changes on a date that has not yet been scheduled. The City will send you another notice inviting you to attend this meeting, which is required by the *Planning Act*. You will also be invited to provide your comments at this public participation meeting. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting. The Council Decision will inform the decision of the Director, Development Services, who is the Approval Authority for Draft Plans of Subdivision.

# What Are Your Legal Rights?

## Notification of Council and Approval Authority's Decision

If you wish to be notified of the Approval Authority's decision in respect of the proposed draft plan of subdivision, you must make a written request to the Director, Development Services, City of London, 300 Dufferin Ave., P.O. Box 5035, London ON N6A 4L9, or at [developmentsservices@london.ca](mailto:developmentsservices@london.ca). You will also be notified if you provide written comments, or make a written request to the City of London for conditions of draft approval to be included in the Decision.

If you wish to be notified of the decision of the City of London on the proposed official plan amendment and zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

## Right to Appeal to the Local Planning Appeal Tribunal

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body is not entitled to appeal the decision of the Director, Development Services to the Local Planning Appeal Tribunal.

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

For more information go to <http://elto.gov.on.ca/tribunals/lpat/about-lpat/>.

## Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the *Municipal Act*, 2001, as amended, and the *Planning Act*, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Cathy Saunders, City Clerk, 519-661-CITY(2489) ext. 4937.

Accessibility – Alternative accessible formats or communication supports are available upon request. Please contact [accessibility@london.ca](mailto:accessibility@london.ca) or 519-661-CITY(2489) extension 2425 for more information.

# Requested Draft Plan of Subdivision

**Monteith & Brown**  
planning consultants  
1211 EASTERN AVENUE, SUITE 100  
LONDON, ONTARIO N6A 1K1

**DRAFT PLAN OF SUBDIVISION**  
PART OF LOT 4, CONCESSION 3  
(GEOGRAPHIC TOWNSHIP OF LONDON)  
CITY OF LONDON  
COUNTY OF MIDDLESEX

**OWNER'S CERTIFICATE**  
I, the undersigned, being the owner of the land hereinafter described, do hereby certify that the plan hereon shown is a true and correct copy of the plan as approved by the City of London and the County of Middlesex on the 4th day of April, 2020.

**SURVEYOR'S CERTIFICATE**  
I hereby certify that the boundary of the lands to be subdivided as shown on the plan hereon is a true and correct copy of the plan as approved by the City of London and the County of Middlesex on the 4th day of April, 2020.

**REVISIONS**

No.	REVISION	DATE
3	RESUBMIT	MAY 2020
2	FOR	OCT 2018
1	FOR	MAY 2017
No.	REVISIONS	DATE

**TECHNICAL STUDIES AND COMMENTS**

No.	TECHNICAL STUDY	DATE	BY
1	As indicated with DPS Application	Oct 2018	BS
2	As indicated with DPS Application	Oct 2018	BS

**RECORD OF SUBMISSION**

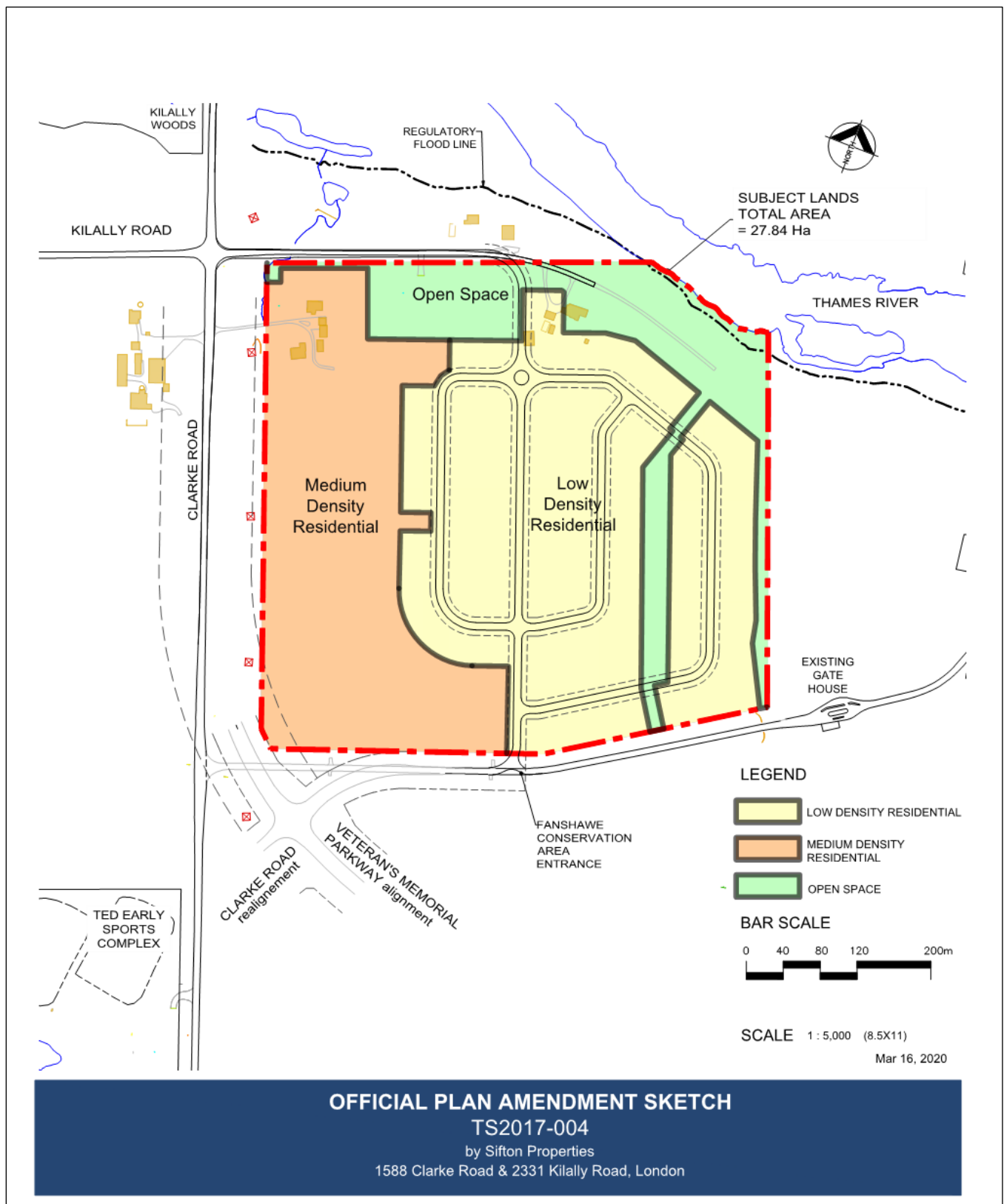
No.	RESUBMIT	DATE
3	RESUBMIT	MAY 2020
2	FOR	OCT 2018
1	FOR	MAY 2017
No.	REVISIONS	DATE

**LAND USE SCHEDULE**

Land Use	AREA (ha)	%
Low Density Residential Lots 1 to 64	7.98	28.7
Medium Density Residential Blocks 165 to 171	10.90	39.2
Open Space - Parkland Blocks 172 to 174	1.37	4.9
Open Space - Sanitary Pump Blocks 175 & 176	1.38	5.0
Open Space - ESA Buffer Block 177	0.71	2.6
Open Space - ESA Block 178	1.44	5.2
Streets A to D & Block 179 (VAP)	4.06	14.6
<b>Total Site Area</b>	<b>27.84</b>	<b>100.0</b>

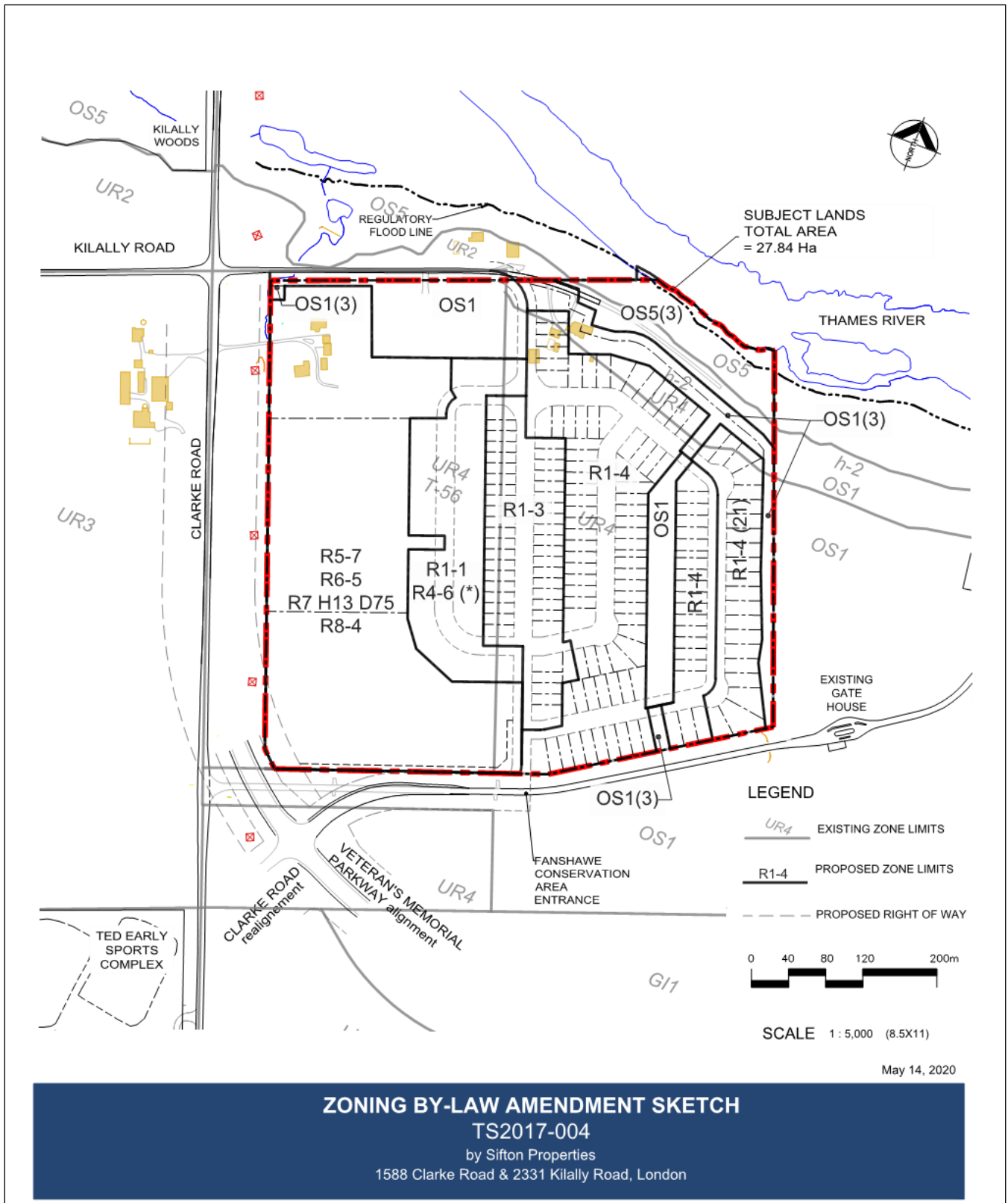
The above image represents the applicant's proposal as submitted and may change.

# Requested Official Plan Designations



The above image represents the applicant's proposal as submitted and may change.

# Requested Zoning



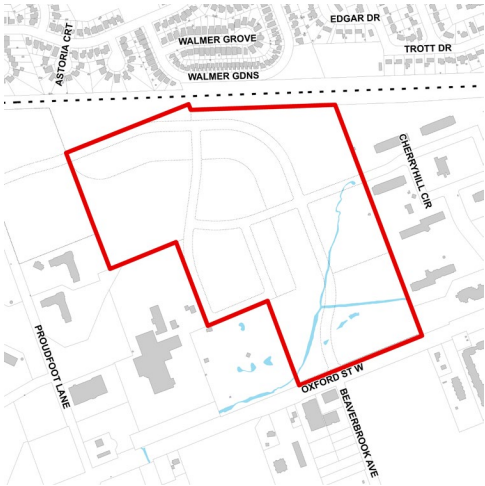
The above image represents the applicant's proposal as submitted and may change.



# NOTICE OF PLANNING APPLICATION

## **REVISED Draft Plan of Subdivision and Zoning By-law Amendment**

### **323 Oxford Street West, 92 & 825 Proudfoot Lane**



**File: 39T-21505/Z-9416**

**Applicant: Sam Katz Holdings Inc.**

#### **What is Proposed?**

Draft Plan of Subdivision and Zoning amendment to allow:

- a proposed draft plan of subdivision consisting of three (3) medium density residential blocks; four (4) high density blocks; three (3) park blocks; six (6) open space blocks; one (1) road widening block; one (1) road reserve block; all served by the extension of Westfield Drive, Beaverbrook Avenue and two (2) new local streets.

## **LEARN MORE & PROVIDE INPUT**

Please provide any comments by **October 16, 2023**

Sean Meksula

[smeksula@london.ca](mailto:smeksula@london.ca)

519-661-CITY (2489) ext. 5349

Planning & Development, City of London, 300 Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO BOX 5035 N6A 4L9

File: 39T-21505/Z-9416

[london.ca/planapps](https://london.ca/planapps)

You may also discuss any concerns you have with your Ward Councillor:

Sam Trosow

[strosow@london.ca](mailto:strosow@london.ca)

519-661-CITY (2489) ext. 4006

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

# Application Details

## Requested Draft Plan of Subdivision

Consideration of a Draft Plan of Subdivision consisting of three (3) medium density residential blocks; four (4) high density blocks; three (3) park blocks; six (6) open space blocks; one (1) road widening block; one (1) road reserve block; serviced by four (4) local streets (Streets A, B, Beaverbrook Avenue, and Westfield Drive)

## Requested Zoning By-law Amendment

To change the zoning from a Holding Residential R5/R6/R7/R8 (h-1/R5-3/R6-5/R7/D75/H13/R8-4), Residential R5/R6/R7/R8, Neighbourhood Facility (R5-3/R6-5/R7/D75/H13R8-4/NF1), Holding Residential R8 (h-1/R8-4), Holding Residential Special Provision R8 (h-1/R8-4(9)), Residential R9 (R9-7/H40), Residential R9 (R9-7/H46) Holding Residential Special Provision R9 (h-1/R9-3(8)/H22), Open Space (OS1), and Open Space (OS4) Zones to a Holding Residential R5 Special Provision (h-1/h-80/h-100/R5-7(\*\*)/D75/H13), Holding Residential R9 Special Provision/Neighbourhood Shopping Area (h-1/h-80/h-100/R9-7(\*\*)/D305/H75/NSA3), Holding Residential R9 Special Provision (h-1/h-80/h-100/R9-7(\*\*)/D242/H46), Holding Residential R9 Special Provision (h-1/h-80/h-100/R9-7(\*\*)/D230/H20), Holding Residential R9 Special Provision/Neighbourhood Facility (h-1/R9-7(\*\*)/D240/H40/NF), Holding Residential R9 Special Provision (h-1/h-80/h-100/R9-7(\*\*)/D200), OS1 and Open Space (OS5) Zone. Changes to the currently permitted land uses and development regulations are summarized below. The Zoning By-law is available at [london.ca](http://london.ca).

## Requested Zoning (Please refer to attached map)

### Zone(s):

- **Block 1 - Holding Residential R9 Special Provision/Neighbourhood Shopping Area (h-1/h-80/h-100/R9-7(\*\*)/D305/H75/NSA3) Zone** - to permit apartment buildings, lodging house class 2, senior citizen apartment buildings, handicapped person's apartment buildings, and continuum-of-care facilities together with a special provision for additional permitted uses: cluster stacked townhouse dwelling, cluster townhouses, and uses permitted within the NSA3 Zone variation, building setbacks for apartments, south property line (Oxford Street West) 6.0 metres maximum / 0.0 metres minimum, west property line (Beaverbrook Avenue) 6.0 metres maximum / 3.0 metres minimum, north property line (Westfield Drive) 6.0 metres maximum / 3.0 metres minimum, east property line 6.0 metres, density maximum of 305 units/ha, height (maximum) 75.0 metres (16 storeys), for towers with frontage on Oxford Street West: from established grade along Oxford Street West 72.0 metres (22 storeys), from established grade in development block 78.0 metres (24 storeys), for towers with frontage on Westfield Drive 46.0 metres (14 storeys), for towers internal to the development block 59.0 metres (18 storeys), building step back after 4<sup>th</sup> storey 3.0 metres minimum, maximum point tower floorplate 1,000m<sup>2</sup> for towers with frontage on Oxford Street West, Tower Separation 25.0 metres minimum, coverage 45% maximum and a landscape open space 30% minimum. The NSA Zone provides for and regulates a range of neighbourhood-scale retail, personal service and office uses which are primarily intended to provide for the convenience shopping and service needs of nearby residents;
- **Block 2 - Holding Residential R9 Special Provision (h-1/h-80/h-100/R9-7(\*\*)/D242/H46) Zone** - to permit apartment buildings, lodging house class 2, senior citizen apartment buildings, handicapped person's apartment buildings, and continuum-of-care facilities, together with a special provision for additional permitted uses: cluster stacked townhouse dwelling and cluster townhouses, building setbacks, front yard 6.0 metres maximum and 0.0 metres minimum, exterior side yard 6.0 metres and 3.0 metres minimum, north property line 3.0 metres, east property line 6.0 metres, density maximum of 242 units/ha, height (maximum) 46.0 metres (14 storeys), built form percentage along streetscape 50% minimum, building stepback after 4<sup>th</sup> storey 3.0 metres minimum, tower separation 25.0 metres minimum, coverage 45% maximum and landscape open space 30% minimum;
- **Block 3 - Holding Residential R9 Special Provision (h-1/h-80/h-100/R9-7(\*\*)/D230/H20) Zone** - to permit apartment buildings, lodging house class 2, senior citizen apartment buildings, handicapped person's apartment buildings, and continuum-of-care facilities, together with a special provision for additional permitted uses: cluster stacked townhouse dwelling; cluster townhouses; together with a special provision for additional permitted uses: cluster stacked townhouse dwelling and cluster townhouses; setbacks for apartment buildings, front yard 6.0 metres maximum/3.0 metres minimum, exterior side yard 6.0 metres maximum/3.0 metres minimum, interior side yard 5.0 metres and rear yard 5.0 meters; setbacks for townhouse dwellings, front yard 3.0 metres maximum, exterior side yard 3.0

metres, interior side yard 1.5 metres and rear yard 3.0 metres, density maximum of 230 units/ha, height 20.0 metres (maximum), (6 storeys), built form percentage along streetscape 50% minimum, coverage 45% maximum and landscape open space 30% minimum;

- **Blocks 4 and 5 - Holding Residential R5 Special Provision (h-1/h-80/h-100/R5-7(\*\*)/D75/H13) Zone** - to permit such uses as townhouses and stacked townhouses up to a maximum density of 60 units per hectare and maximum height of 12 metres, together with a special provision for additional permitted use(s): cluster stacked townhouse dwelling; with building setbacks, front and rear yard 3.0 metres, exterior and interior side yard 1.5 metres, Density of 75 units/ha, height 13.0 metres (maximum), (4 storeys), coverage 45% maximum and landscape open space 30% minimum;
- **Block 6 - Holding Residential R9 Special Provision/Neighbourhood Facility (h-1/R9-7(\*\*)/D240/H40/NF)** – to permit apartment buildings, lodging house class 2, senior citizen apartment buildings, handicapped person’s apartment buildings, and continuum-of-care facilities, together with a special provision for additional permitted uses: cluster stacked townhouse dwelling and cluster townhouses; setbacks for apartment buildings, front yard 6.0 metres maximum/3.0 metres minimum, exterior side yard 6.0 metres maximum/3.0 metres minimum east interior side and interior side yard 6.0 metres maximum and south property line 6.0 meters maximum; setbacks for townhouse dwellings, front yard 3.0 metres maximum, exterior side yard 3.0 metres maximum, interior side 1.5 metres maximum and rear yard 3.0 metres maximum, density maximum of 240 units/ha, height 40.0 metres (maximum), (13 storeys), built form percentage along streetscape 50% minimum, building stepback after 4<sup>th</sup> storey 3.0 metres minimum, tower separation 25.0 metres minimum, coverage 45% maximum and landscape open space 30% minimum. The Neighbourhood Facility zone provides for and regulates public and private facility uses which primarily serve a neighbourhood function. They include small to medium scale uses which have minimal impact on surrounding land uses and may be appropriate adjacent to or within residential neighbourhoods. The NF Zone variation permits the lowest impact uses permitted in the zone and typically uses are developed independently. The following are permitted uses in the NF Zone variation, places of worship, elementary schools and day care centres;
- **Block 7 - Holding Residential R9 Special Provision (h-1/h-80/h-100/R9-7(\*\*)/D200)** - to permit apartment buildings, handicapped person’s apartment buildings, lodging house class 2, stacked townhousing, senior citizen apartment buildings, emergency care establishments, continuum-of-care facilities and maximum height of 16 metres, together with a special provision for additional permitted uses: cluster stacked townhouse dwelling setbacks for apartment buildings, front yard 6.0 metres maximum/3.0 metres minimum, north property line 30.0 meters; setbacks for townhouse dwellings, front yard 3.0 metres maximum, west property line 5.0 metres maximum, north property line 3.0 metres, density maximum of 200 units/ha, height 13.0 metres (4 storeys) within 72 metres of the west property boundary; otherwise 40.0 metres (maximum), (12 storeys), building stepback after 4<sup>th</sup> storey 3.0 metres minimum, tower separation 25.0 metres minimum, built form percentage along streetscape 50% minimum, coverage 45% maximum and landscape open space 30% minimum;
- **Block 9, 10 - OS1 Zone** - to permit such uses as conservation lands, conservation works, golf courses, public and private parks, recreational buildings associated with conservation lands and public parks, campgrounds, and managed forests; and,
- **Blocks 8, 11, 12, 13, 14, 15 - OS5 Zone** - to permit conservation lands, conservation works, passive recreation uses which include hiking trails and multi-use pathways, and managed woodlots.

The City may also consider applying holding provisions in the zoning to ensure adequate provision of municipal services, that a subdivision agreement or development agreement is entered into, and to ensure completion of noise assessment reports and implementation of mitigation measures for development adjacent arterial roads

A revised Environmental Impact Study (EIS) report prepared by MTE Consultants, dated February 28, 2023, has been submitted with the application for draft plan of subdivision. The EIS report is available for viewing by contacting the City’s Planner listed below. File: 39T-21505 / Z-9416 Planner: S. Meksula (City Hall).

## Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as Multi-family, Medium Density Residential, Multi-family, High Density Residential, and Open Space in the Official Plan, which permits single detached, semi-detached, duplex and multiple attached dwellings, such as row houses or cluster houses; low-rise apartment buildings; and small-scale nursing homes, rest homes, and homes for the aged; low-rise and high-rise apartment buildings; apartment hotels; multiple-attached dwellings; emergency care facilities; nursing home; rest homes; homes for the aged; and rooming and boarding houses. public open space uses such as public parks, and private open space uses such as cemeteries and private golf courses, as the main uses. The subject lands are in the 'Neighbourhoods' and 'Green Space' Place Types in *The London Plan*.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied for a Draft Plan of Subdivision and to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. The ways you can participate in the City's planning review and decision making process are summarized below.

### See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at [london.ca/planapps](http://london.ca/planapps)
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

### Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Planning & Development staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

This request represents residential intensification as defined in the policies of the Official Plan. Under these policies, Planning & Development staff and the Planning and Environment Committee will also consider detailed site plan matters such as fencing, landscaping, lighting, driveway locations, building scale and design, and the location of the proposed building on the site. We would like to hear your comments on these matters.

### Attend a Future Public Participation Meeting

The Planning and Environment Committee will consider the requested Draft Plan of Subdivision and zoning changes on a date that has not yet been scheduled. The City will send you another notice inviting you to attend this meeting, which is required by the Planning Act. You will also be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the [Neighbourgood](http://Neighbourgood) website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting. The Council Decision will inform the decision of the Director, Planning & Development, who is the Approval Authority for Draft Plans of Subdivision.

## What Are Your Legal Rights?

### Notification of Council and Approval Authority's Decision

If you wish to be notified of the Approval Authority's decision in respect of the proposed draft plan of subdivision, you must make a written request to the Director, Planning & Development, City of London, 300 Dufferin Ave., P.O. Box 5035, London ON N6A 4L9, or at [plandev@london.ca](mailto:plandev@london.ca). You will also be notified if you provide written comments, or make a written request to the City of London for conditions of draft approval to be included in the Decision.

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you

speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

### **Right to Appeal to the Ontario Land Tribunal**

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body is not entitled to appeal the decision of the Director, Planning & Development to the Ontario Land Tribunal.

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

For more information go to <https://olt.gov.on.ca/appeals-process/forms/>.

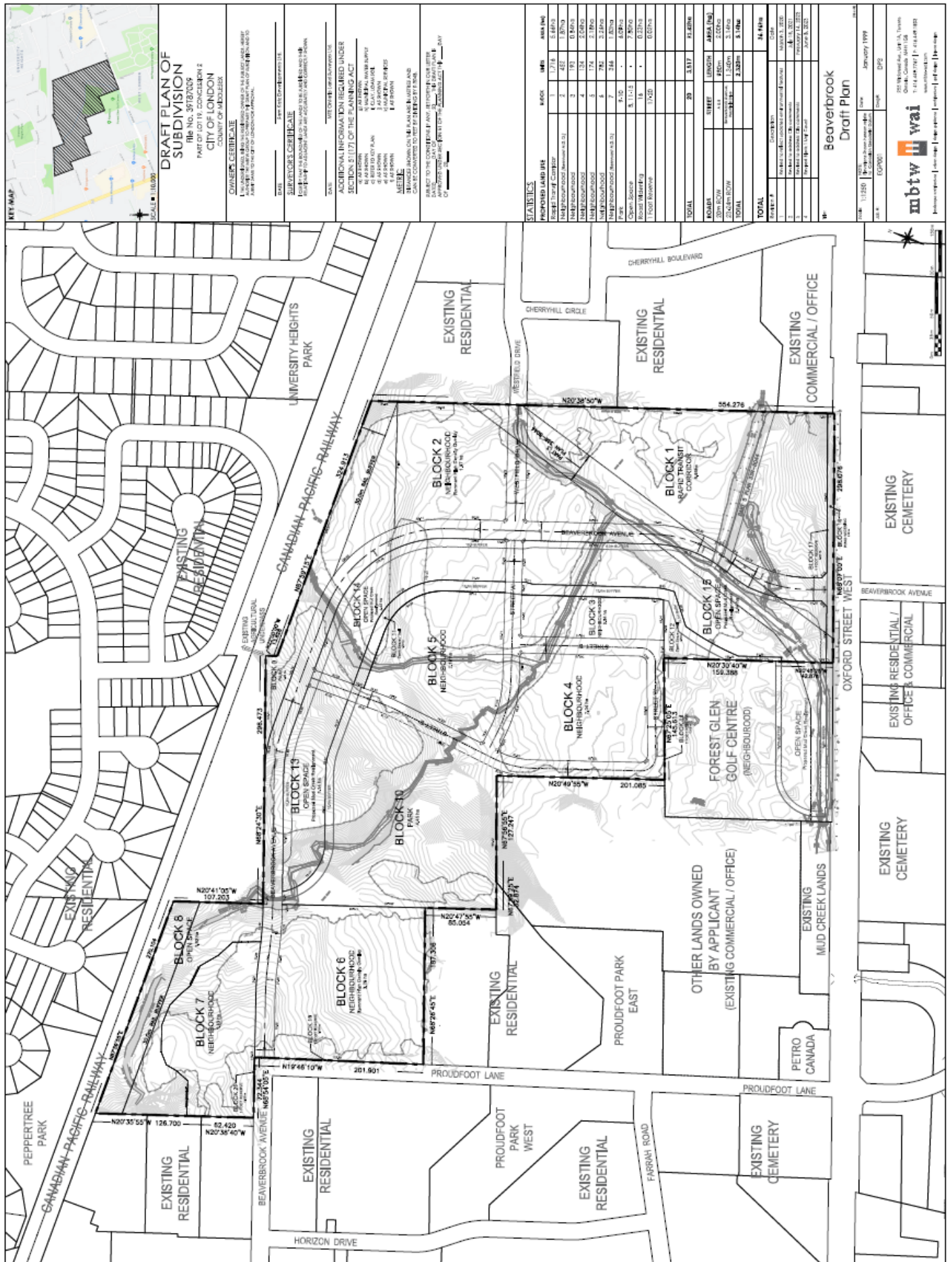
### **Notice of Collection of Personal Information**

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Evelina Skalski, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

### **Accessibility**

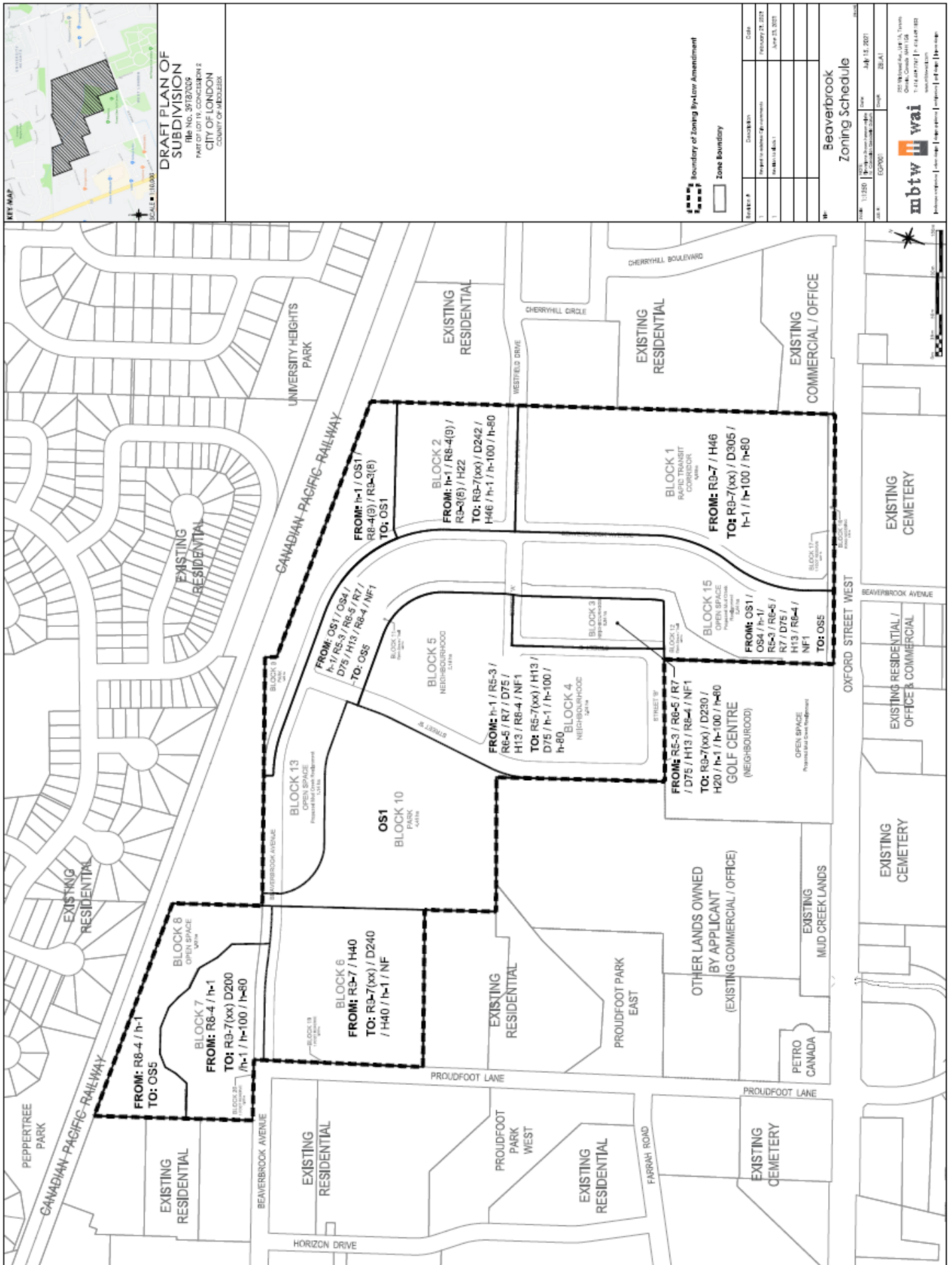
Alternative accessible formats or communication supports are available upon request. Please contact [plandev@london.ca](mailto:plandev@london.ca) for more information.

# Requested Draft Plan of Subdivision



The above image represents the applicant's proposal as submitted and may change.

# Requested Zoning

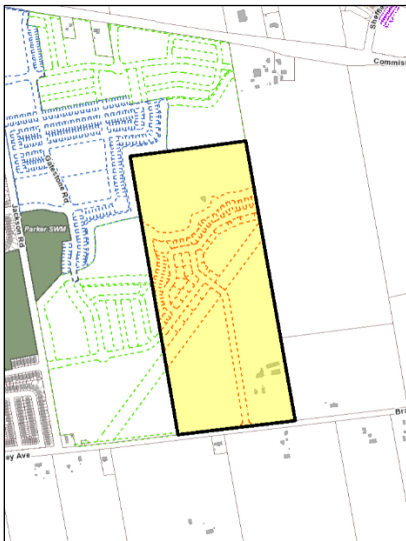


The above image represents the applicant's proposal as submitted and may change.

# NOTICE OF PLANNING APPLICATION

## Draft Plan of Subdivision

### 1944 Bradley Avenue



**File: 39T-23505**

**Applicant: Elite Bradley Developments Inc.**

#### What is Proposed?

Request for Draft Plan Approval to allow:

- A residential subdivision consisting of single detached dwellings, cluster townhouses, street townhouses, parkland, open space, and future development lands, served by three (3) public streets.

## LEARN MORE & PROVIDE INPUT

Please provide any comments by **November 2, 2023**

Larry Mottram

[lmottram@london.ca](mailto:lmottram@london.ca)

519-661-CITY (2489) ext. 4866

Planning and Development, City of London, 300 Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO BOX 5035 N6A 4L9

File: 39T-23503

[london.ca/planapps](https://london.ca/planapps)

You may also discuss any concerns you have with your Ward Councillor:

Councillor Steven Hillier

[shillier@london.ca](mailto:shillier@london.ca)

519-661-2489 ext. 4014

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**



# Application Details

Commonly Used Planning Terms are available at [london.ca/planapps](https://london.ca/planapps).

## Requested Draft Plan of Subdivision

Consideration of a Draft Plan of Subdivision consisting of 49 single detached residential lots (Lots 1-49); 23 street townhouse blocks with an estimated yield of 144 dwelling units (Blocks 50-72); one (1) cluster townhouse block with an estimated yield of 90 back-to-back dwelling units (Block 73); one (1) park block (Block 74); two (2) future development blocks (Block 75-76); two (2) hydro corridor blocks (Blocks 77-78); one (1) open space buffer block (Block 79); one (1) open space block (Block 80); two (2) 0.3 metre reserve blocks (Blocks 81-82); served by three new streets (Streets A, B, & C). (please refer to attached draft plan)

## Requested Zoning By-law Amendment

Application to amend the zoning by-law will be made at a future date.

A Focused Environmental Impact Study - 1944 Bradley Avenue (EIS) report prepared by Palmer TM, dated July 24, 2023, was submitted with the application for draft plan of subdivision. The EIS report is available on the City of London's website and by contacting the City's Planner listed on the first page of this notice.

## Planning Policies

The subject parcel straddles the Urban Growth Boundary (UGB) shown on Map 1 – Place Types in The London Plan. The northerly portion of the parcel inside the UGB is within the “Neighbourhoods” and “Green Space” Place Types. The Neighbourhoods Place Type permits a range of housing types including single detached, semi-detached, duplex, triplex, and townhouse dwellings. Permitted uses within the Green Space Place Type are dependent upon the natural heritage features and areas contained on the subject lands, the hazards that are present, and the presence of natural resources which are to be protected. Permitted uses may include district, city-wide and regional parks; private green spaces such as cemeteries and private golf courses; and agriculture, woodlot management and urban gardens.

The southerly portion of the parcel outside the UGB is within the Farmland Place Type permitting agricultural uses, including the principal farm residence, secondary farm dwelling units that may be required for the farm operation, and associated on-farm buildings and structures that support the farm operation, such as barns, silos, drive sheds, and manure storage facilities. Residential uses on existing lots of record, agricultural-related commercial and industrial uses, secondary farm occupations and on-farm diversified uses, ancillary retail for on-farm grown and/or produced goods, green space, conservation areas, and natural resource extraction may also be permitted subject to the policies of The London Plan.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied for a Draft Plan of Subdivision on land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. The ways you can participate in the City's planning review and decision-making process are summarized below. For more detailed information about the public process, go to the [Participating in the Planning Process](https://london.ca/participating-in-the-planning-process) page at [london.ca](https://london.ca).

### See More Information

You can review additional information and material about this application by:

- contacting the City's Planner listed on the first page of this Notice; or
- viewing the application-specific page at [london.ca/planapps](https://london.ca/planapps).
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner

### Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Planning and Development staff's recommendation to the City of London Approval Authority. Planning

considerations usually include such matters as land use, development intensity, and form of development.

## What Are Your Legal Rights?

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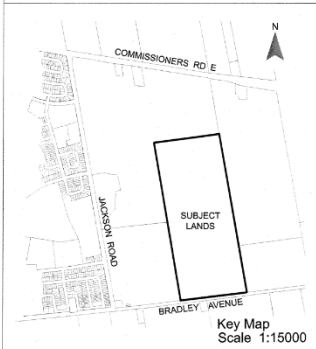
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**Accessibility – Alternative accessible formats or communication supports are available upon request. Please contact [plandev@london.ca](mailto:plandev@london.ca) for more information.**

# Requested Draft Plan of Subdivision



**DEVELOPMENT STATISTICS:**

Land Use	Lots/Blocks	Units	Area
Single Detached Residential	Lots 1-49	49 units	2,246 ha
Street Townhouses	Blks 50-72	144 units	2,748 ha
Condo Townhouse Block	Blk 73		1,862 ha
GreenSpace Connector	Blk 74		0,232 ha
Future Development	Blk 75, 76		17,635 ha
Hydro Easement	Blk 77, 78		2,518 ha
30 m Buffer	Blk 79		1,909 ha
Environmental Protection Area	Blk 80		9,449 ha
0.3m Reserves	Blk 81, 82		0,001 ha
Roads			3,517 ha
<b>TOTAL</b>		<b>193 units</b>	<b>42,117 ha</b>

**ADDITIONAL INFORMATION:**  
 [Section 51(17) of the Planning Act, R.S.O. 1990, c. P.13], as amended to February 09, 2023.  
 a), b), e), f), g), & j) - on plan.  
 c) - on key plan  
 d) - see statistics  
 h) - piped municipal water supply  
 i) - silty clay and gravel  
 k) - piped communal sewage disposal  
 l) - easements as in instruments

**OWNER'S CERTIFICATE:**  
 I authorize Weston Consulting Group Inc. to prepare and submit this plan for draft approval.

*Ronald Holmei*  
 Date: 8/18/2023

**SURVEYOR'S CERTIFICATE:**  
 I hereby certify that the boundaries of the lands being subdivided and their correct relationship to the adjacent lands are accurately and correctly shown on this plan.

*RA*  
 Date: 09/16/2023

**DRAFT PLAN OF SUBDIVISION**  
 PART 1 PLAN OF SOUTH HALF OF LOT 11 CONCESSION 1  
 GEOGRAPHIC TOWNSHIP OF WESTMINSTER CITY OF LONDON COUNTY OF MIDDLESEX

SCALE: 0 25 50 75 100m

**WESTON CONSULTING**

Weston:  
 201 Milliken Ave. Suite 10  
 Vaughan, Ontario L4K 0G2  
 T: 905.739.8900 F: 905.739.8937

Stanton:  
 288 Hurontario St.  
 Toronto, Ontario M5A 3S5  
 T: 416.862.9171 F: 905.739.8937

**REVISIONS LIST**

Date	Description
21 FEB 2023	First Draft

Drawing Number: **D1**

File Number: 10574  
 Drawn By: SM  
 Planner: MC  
 Scale: see scale bar  
 CAD: 10574.dwg plans\01.dwg

The above image represents the applicant's proposal as submitted and may change.



London  
CANADA

P.O. Box 5035  
300 Dufferin Avenue  
London, ON  
N6A 4L9

August 30, 2023

N. Pasato  
Senior Planner, Planning and Economic Development

I hereby certify that the Municipal Council, at its meeting held on August 29, 2023 resolved:

That the following actions be taken with respect to the 8th Report of the Ecological Community Advisory Committee:

- a) the Ecological Community Advisory Committee Working Group comments on the Environmental Impact Statement relating to the property located at 952 Southdale Road West BE FORWARDED to the Civic Administration for review and consideration; and,
- b) clauses .11, 3.1, 3.2, 4.1, 5.1 to 5.6, inclusive BE RECEIVED for information. (2.1/13/PEC)

M. Schulthess  
City Clerk  
/pm

cc: Chair and Members, Ecological Community Advisory Committee