

# Agenda Including Addeds

## Community Advisory Committee on Planning

10th Meeting of the Community Advisory Committee on Planning

September 13, 2023, 5:30 PM

Committee Room #5

The City of London is situated on the traditional lands of the Anishinaabek (AUh-nish-in-ah-bek), Haudenosaunee (Ho-den-no-show-nee), Lūnaapéewak (Len-ah-pay-wuk) and Attawandaron (Add-a-won-da-run).

We honour and respect the history, languages and culture of the diverse Indigenous people who call this territory home. The City of London is currently home to many First Nations, Métis and Inuit today.

As representatives of the people of the City of London, we are grateful to have the opportunity to work and live in this territory.

The City of London is committed to making every effort to provide alternate formats and communication supports for meetings upon request. To make a request specific to this meeting, please contact [advisorycommittee@london.ca](mailto:advisorycommittee@london.ca).

	Pages
<b>1. Call to Order</b>	
1.1 Disclosures of Pecuniary Interest	
<b>2. Scheduled Items</b>	
<b>3. Consent</b>	
3.1 9th Report of the Community Advisory Committee on Planning	3
3.2 Municipal Council Resolution - 9th Report of the Community Advisory Committee on Planning	9
3.3 Public Meeting Notice - Zoning By-law Amendment - 1208 Fanshawe Park Road East	10
3.4 Notice of Planning Application and Public Meeting - Official Plan and Zoning By-law Amendments - City-Wide - Increasing the Number of Additional Residential Units to Permit Four Units as-of-right	84
3.5 Notice of Planning Application - Revisions to Application for Draft Plan of Subdivision, Official Plan and Zoning By-law Amendments - 2331 Kilally Road and 1588 Clarke Road	87
<b>4. Sub-Committees and Working Groups</b>	
4.1 Stewardship Sub-Committee Report	94
<b>5. Items for Discussion</b>	
5.1 Demolition Request for the Heritage Listed Property Located at 1588 Clarke Road	95
a. L. Dent, Heritage Planner	
b. A. Haasen, Sifton Properties Limited	
c. J. McGuffin, Monteith Brown Planning Consultants	

5.2	Request to Remove the Property Located at 176 Piccadilly Street from the Register of Cultural Heritage Resources	133
	a. K. Mitchener, Heritage Planner	
5.3	Heritage Planners' Report	
	a. <i>(ADDED) Heritage Planners' Report</i>	198

**6. Confidential**

6.1 Personal Matter/Identifiable Individual

A personal matter pertaining to identifiable individuals, including municipal employees, with respect to the 2024 Mayor's New Year's Honour List.

**7. Adjournment**



# Community Advisory Committee on Planning Report

9th Meeting of the Community Advisory Committee on Planning  
August 9, 2023

Attendance S. Bergman (Chair), M. Ambrogio, J. Dent, J. Gard, A. Johnson, S. Jory, J.M. Metrailler, M. Rice, S. Singh Dohil, M. Wallace, K. Waud, M. Whalley, M. Wojtak and K. Mason (Acting Committee Clerk)

ABSENT: M. Bloxam, I. Connidis

ALSO PRESENT: L. Dent, K. Edwards, M. Greguol, K. Gonyou, K. Mitchener, B. Westlake-Power, S. Wise

The meeting was called to order at 5:30 PM, it being noted that M. Ambrogio, J. Dent, A. Johnson, J.M. Metrailler, S. Singh Dohil and K. Waud were in remote attendance.

## 1. Call to Order

### 1.1 Disclosures of Pecuniary Interest

That it BE NOTED that no pecuniary interests were disclosed.

## 2. Scheduled Items

### 2.1 Notice of Planning Application - Official Plan and Zoning By-law Amendments - 50 King Street and 399 Ridout Street North

That the attached revised Working Group comments, with respect to the property located at 50 King Street and 399 Ridout Street North, BE FORWARD to S. Wise, Senior Planner, for consideration to be included in the staff report going to the Planning and Environment Committee August 14, 2023; it being noted that Community Advisory Committee on Planning would encourage public access through the corridors connected between the proposed towers and jail and courthouse.

## 3. Consent

### 3.1 8th Report of the Community Advisory Committee on Planning

That it BE NOTED that the 8th Report of the Community Advisory Committee on Planning, from its meeting held on July 12, 2023, was received.

### 3.2 Municipal Council Resolution - 7th Report of the Community Advisory Committee on Planning

That it BE NOTED that the Municipal Council resolution, from its meeting held on June 27, 2023, with respect to the 7th Report of the Community Advisory Committee on Planning, was received.

### 3.4 2024 Mayor's New Year's Honour List - Call for Nominations

That it BE NOTED that the communication, dated July 12, 2023, from the City Clerk and the Deputy City Clerk, with respect to the 2024 Mayor's New Year's Honour List Call for Nominations, was received.

#### **4. Sub-Committees and Working Groups**

##### **4.1 (ADDED) Stewardship Sub-Committee Report**

That it BE NOTED that the attached Stewardship Sub-Committee Report, from its meeting held July 26th, 2023, was received.

#### **5. Items for Discussion**

##### **5.1 Demolition Request for the Heritage Listed Properties Located at 763-769 Dundas Street**

That it BE NOTED that the Community Advisory Committee on Planning (CACP) received a report, dated August 9, 2023, with respect to a demolition request for the heritage listed properties located at 763-769 Dundas Street, and the CACP supports the staff recommendation.

##### **5.2 Designation of the Property Located at 1350 Wharncliffe Road South pursuant to Part IV, Ontario Heritage Act**

That it BE NOTED that the Community Advisory Committee on Planning (CACP) received a report, dated August 9, 2023, with respect to designation of the property located at 1350 Wharncliffe Road South, pursuant to part IV of the *Ontario Heritage Act*, and the CACP supports the staff recommendation.

##### **5.3 Heritage Alteration Permit Application by W. Etheridge for the Property Located at 134 Wortley Road, Wortley Village-Old South Heritage Conservation District**

That it BE NOTED that the Community Advisory Committee on Planning (CACP) received a report, dated August 9, 2023, with respect to a demolition request and heritage alteration permit application by Zelinka Priamo Ltd. for the property located at 320 King Street in the Downtown Heritage Conservation District, and the CACP supports the staff recommendation.

##### **5.4 Demolition Request and Heritage Alteration Permit Application by Zelinka Priamo Ltd. for the Property Located at 320 King Street, Downtown Heritage Conservation District**

That it BE NOTED that the Community Advisory Committee on Planning (CACP) received a report, dated August 9, 2023, with respect to a demolition request and heritage alteration permit application by Zelinka Priamo Ltd. for the property located at 320 King Street in the Downtown Heritage Conservation District, and the CACP supports the staff recommendation.

##### **5.5 Heritage Alteration Permit Application by AE Builders Inc. for the Property Located at 520 Ontario Street, Old East Heritage Conservation District**

That it BE NOTED that the Community Advisory Committee on Planning (CACP) received a report, dated August 9, 2023, with respect to a heritage alteration permit application by AE Builders Inc. for the property located at 520 Ontario Street in the Old East Heritage Conservation District, and the

CACP supports the staff recommendation; it being further noted that the CACP recommends the applicant's request be approved to modify the project to provide for the use of horizontal vinyl siding to clad all elevations around the exterior of the home with the exception of the gables and around the front door, which would use shake-style fiber cement board cladding.

5.6 Heritage Planners' Report

That it BE NOTED that the Heritage Planners' Report, dated August 9, 2023, was received.

**6. Adjournment**

The meeting adjourned at 7:34 PM.

50 King Street, 399 Ridout Street North  
CACP Working Group Notes  
REVISED

At its meeting on July 12, 2023, the CACP referred the Notice of Application and Heritage Impact Assessment for the application at 50 King Street, 399 Ridout Street North (“Courthouse Lands”) to a working group for comment. Considering the significance of the Courthouse property to London’s history and cultural heritage, the committee felt that less than two days was not sufficient time for the committee to review and prepare meaningful comments, so the file was referred to an ad-hoc working group to prepare comments for the CACP to consider at its next meeting.

The working group presents the following comments to the CACP for consideration, and requests that these comments be shared with the file planner as well as Council through the PEC for consideration.

- Four different layers of protection on this property, underlining this as London’s premier historic site and the seed of our City:
  - Downtown Heritage Conservation District
  - Part IV Designation
  - National Historic Site of Canada
  - Heritage Conservation Easement with Ontario Heritage Trust
- ~~The proposed development concept does not acknowledge the importance of the setting to the property’s cultural heritage value. The site was home to London’s first public park, and this should be better reflected in the development concept.~~
  - ~~The current height does not respect the setting and context, which is an important cultural heritage attribute of the site~~
  - ~~The design concept runs contrary to the City’s theme of “back to the river”, creating a wall against the river.~~
- ~~The scale and architectural treatment of the tower podium/podia should be complementary to the courthouse structure.~~
- Courthouse property and structure:
  - It must be acknowledged that preserving the Courthouse/Gaol property as part of this development is mandatory and not optional.
- Archaeological resources:
  - There are significant known-archaeological resources that exist on this property, including known burials on the former gaol property. All due diligence should be undertaken in completing the necessary archaeological assessments, including consultation with Indigenous communities.
- Commemoration:
  - We recommend that commemoration include the history of the site beyond just the courthouse property, including the context within the redevelopment along King Street in the 1950’s.

The working group also recommends the committee review the attached “position paper” created anonymously, which reflects similar concerns about the development proposal on this site.

**Stewardship Sub-Committee  
Report**

Wednesday July 26, 2023

Time: 6:30pm  
Location: Zoom

Attendance: P. Milner, M. Rice, B. Vasquez, M. Whalley, T. Regnier, L. Dent, K. Gonyou, M. Greguol, K. Mitchener (Staff)  
Regrets: K. Waud

**Agenda Items**

**1. Request for Demolition for the Heritage Listed Property at 763-769 Dundas Street**

The Stewardship Sub-Committee reviewed the Cultural Heritage Evaluation Report (Stantec, 2023) for the heritage listed property at 763-769 Dundas Street. The Stewardship Sub-Committee discussed historic hotels in London.

Motion: The Stewardship Sub-Committee recommends that the property at 763-769 Dundas Street be designated based on the evaluation completed in the CHER (Stantec, 2023) and the prepared statement of cultural heritage value or interest. Moved: M. Whalley; Seconded: M. Rice. Passed.

**2. Request for Designation for 1350 Wharncliffe Road South**

The Stewardship Sub-Committee reviewed the HIA (Stantec, 2023) and HIA (Wood, 2020) for the heritage listed property at 1350 Wharncliffe Road South. Staff provided a verbal report, noting that the heritage listed property at 1350 Wharncliffe Road South is subject to a “prescribed event.”

The Stewardship Sub-Committee had a discussion on the heritage attributes and made minor comments for revision/clarification to the Statement of Cultural Heritage Value or Interest. The Stewardship Sub-Committee also reviewed the siting of the Weldwood Farmhouse on a corner lot in the proposed subdivision.

The Stewardship Sub-Committee recognized the importance of the historical associations of the Weldwood Farm property, including the printing press on the lawn which is believed to be associated with the *Farmer’s Advocate*. The Stewardship Sub-Committee encourages the preservation of the printing press.

Motion: The Stewardship Sub-Committee recommends the designation of the property at 1350 Wharncliffe Road South (Weldwood Farm) based on the amended Statement of Cultural Heritage Value or Interest. Moved: M. Whalley  
Seconded: B. Vasquez. Passed.

**3. Request for Demolition and Heritage Alteration Permit for 320 King Street, Downtown Heritage Conservation District**

The Stewardship Sub-Committee reviewed the Heritage Impact Assessment (Zelinka Priamo, 2022) for the heritage designated property at 320 King Street in the Downtown Heritage Conservation District. Staff provided a verbal update on the planning process for the property, noting that it is present in Site Plan.

The Stewardship Sub-Committee noted that the parking garage on the property at 320 King Street is not historically significant.

Motion: The Stewardship Sub-Committee supports the demolition request for the parking garage on the property at 320 King Street in the Downtown Heritage Conservation District. Moved: T. Regnier; Seconded: M. Whalley. Passed.

**4. Discussion: 81 Grand Avenue**

A request from a member of the public to add the property at 81 Grand Avenue to the Register of Cultural Heritage Resources was submitted.

The property at 81 Grand Avenue is not presently listed on the Register of Cultural Heritage Resources or designated under the *Ontario Heritage Act*. The property at 81 Grand Avenue is presently known as Grand Wood Park (retirement residence) but was historically Parkwood Hospital.

Staff noted that a property must meet at least one of the criteria of O. Reg. 9/06 to be included on the Register of Cultural Heritage Resources and that a listing is only valid for two years.

Further discussion on this property will be had a future meeting of the Stewardship Sub-Committee. Stewardship Sub-Committee members agreed to undertake additional research on the property.

**5. Discussion: Candidate Properties, Western University Public History Program**

The Stewardship Sub-Committee provided input to staff identifying potential candidate properties for Western University Public History program research project.

The students' presentations to the Stewardship Sub-Committee will be scheduled for late November/early December 2023.



London  
CANADA

P.O. Box 5035  
300 Dufferin Avenue  
London, ON  
N6A 4L9

August 30, 2023

S. Wise  
Senior Planner, Planning and Economic Development

I hereby certify that the Municipal Council, at its meeting held on August 29, 2023 resolved:

That the following actions be taken with respect to the 9th Report of the Community Advisory Committee on Planning, from its meeting held on August 9, 2023:

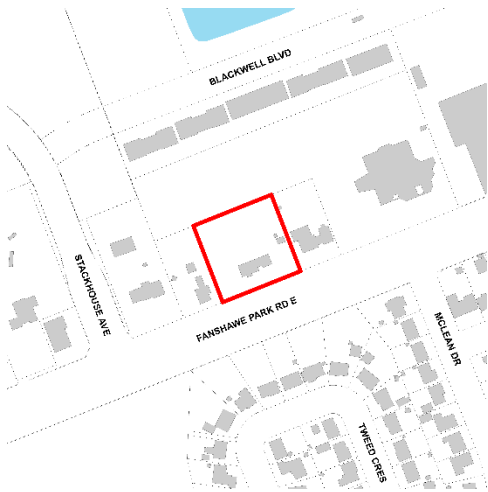
- a) the revised Working Group comments appended to the Community Advisory Committee on Planning Report, with respect to the property located at 50 King Street and 399 Ridout Street North, BE FORWARD to S. Wise, Senior Planner, for consideration to be included in the staff report going to the Planning and Environment Committee August 14, 2023; it being noted that Community Advisory Committee on Planning would encourage public access through the corridors connected between the proposed towers and jail and courthouse; and,
- b) clauses 1.1, 3.1, 3.2 and 3.3, 4.1, 5.1 to 5.6, inclusive, BE APPROVED.  
(5.1/13/PEC)

M. Schulthess  
City Clerk  
/pm

cc: Chair and Members, Community Advisory Committee on Planning

## Zoning By-Law Amendment

### 1208 Fanshawe Park Road East



**File: Z-9539**

**Applicant: Masar Development Inc. (c/o Abdul Zaro)**

#### What is Proposed?

Zoning Amendment:

- Two 3.5-storey (previously 3-storey) stacked townhouse buildings with a total of 26 residential units.
- A maximum density of 74 units per hectare.



## YOU ARE INVITED!

Further to the Notice of Application you received on June 28, 2023, you are invited to a public meeting of the Planning and Environment Committee to be held:

**Meeting Date and Time:** Monday, September 18, 2023, no earlier than 4:00 p.m.

**Meeting Location:** The Planning and Environment Committee Meetings are hosted in City Hall, Council Chambers; virtual participation is also available, please see City of London website for details.

For more information contact:

Nancy Pasato  
[npasato@london.ca](mailto:npasato@london.ca)  
 519-661-CITY (2489) ext. 7156  
 Planning & Development, City of London  
 300 Dufferin Avenue, 6<sup>th</sup> Floor,  
 London ON PO Box 5035 N6A 4L9  
 File: Z-9539

[london.ca/planapps](https://london.ca/planapps)

To speak to your Ward Councillor:

Councillor Jerry Pribil  
[jpribil@london.ca](mailto:jpribil@london.ca)  
 519-661-CITY (2489) ext. 4005

**If you are a landlord, please post a copy of this notice where your tenants can see it. We want to make sure they have a chance to take part.**



# Application Details

## Requested Zoning By-law Amendment

To change the zoning from a Residential R1 (R1-14) Zone to a Residential R5 Special Provision (R5-7(\_)) Zone. Changes to the currently permitted land uses and development regulations are summarized below.

The Zoning By-law is available at [london.ca](http://london.ca).

### Current Zoning

**Zone:** Residential R1 (R1-14)

**Permitted Uses:** A single detached dwelling.

**Special Provision(s):** N/A

**Height:** 12.0 metres

### Requested Zoning

**Zone:** Residential R5 Special Provision (R5-7(\_))

**Permitted Uses:** Cluster townhouse dwellings; and Cluster stacked townhouse dwellings.

**Special Provision(s):** To permit a reduced minimum front yard depth of 3.0m, whereas 8.0m is required; a reduced minimum rear yard depth of 5.0m, whereas 6.0m is required; an increased maximum density of 74 units per hectare (uph), whereas 60uph is permitted, and that no below grade units shall be permitted fronting Fanshawe Parking Road East.

**Residential Density:** 74 units per hectare

**Height:** 12.0 metres (up to four (4) storeys)

The City may also consider additional considerations such as a different base zone, the use of holding provisions, and/or additional special provisions.

## Planning Policies

Any change to the Zoning By-law must conform to the policies of The London Plan, London's long-range planning document. The subject lands are in the Neighbourhoods Place Type fronting an Urban Thoroughfare in The London Plan, permitting a range of residential uses including stacked townhouses; fourplexes; low-rise apartments; emergency care establishments; rooming houses; and supervised correctional residences.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the public meeting notice in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. If you previously provided written or verbal comments about this application, we have considered your comments as part of our review of the application and in the preparation of the planning report and recommendation to the Planning and Environment Committee. The additional ways you can participate in the City's planning review and decision-making process are summarized below.

### See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at [london.ca/planapps](http://london.ca/planapps)
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

### Attend This Public Participation Meeting

The Planning and Environment Committee will consider the requested zoning changes at this meeting, which is required by the Planning Act. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the [Neighbourgood](http://Neighbourgood) website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

# What Are Your Legal Rights?

## Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Clerk of the Committee.

## Right to Appeal to the Ontario Land Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

For more information go to <https://olt.gov.on.ca/appeals-process/forms/>.

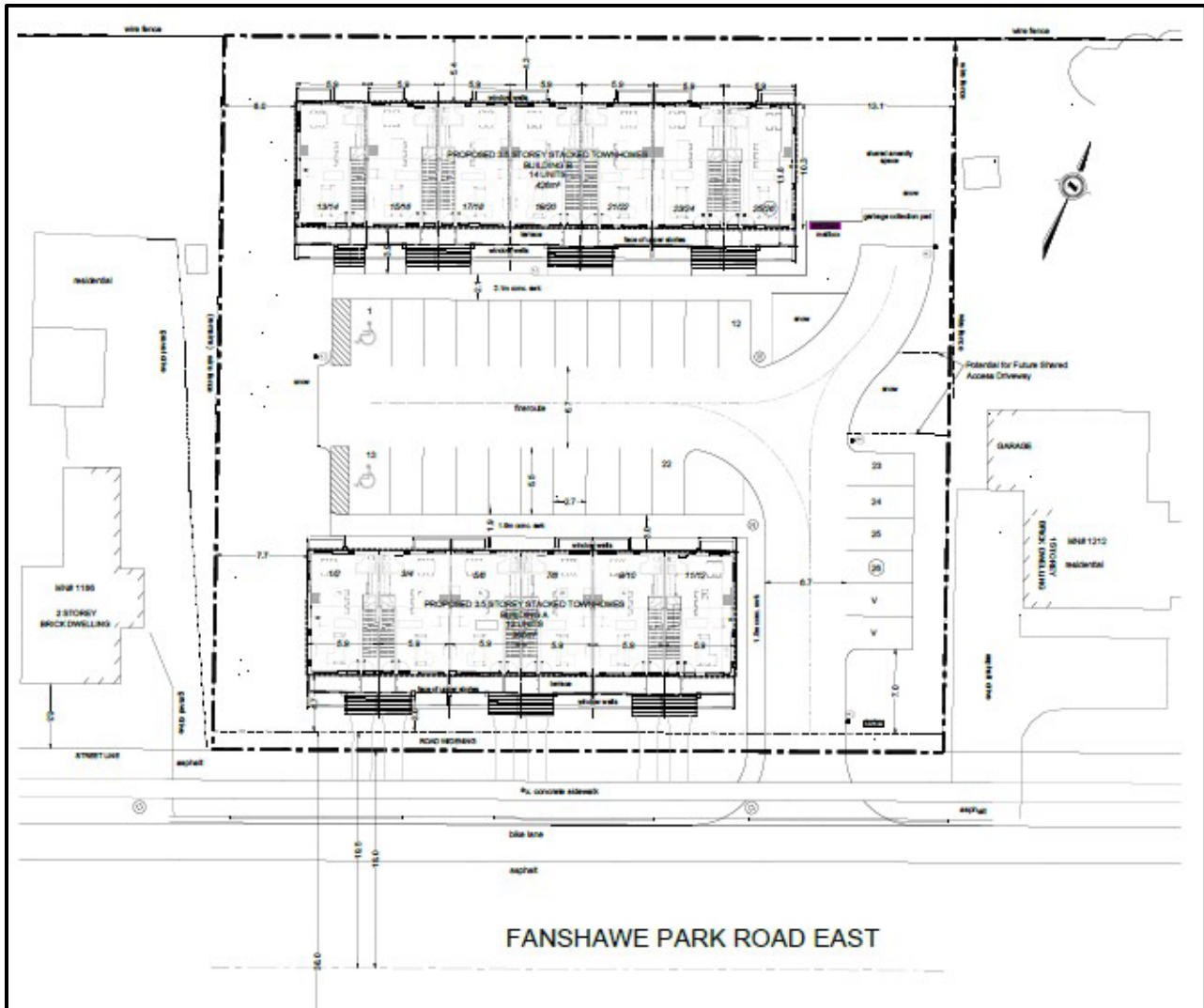
## Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Evelina Skalski, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

## Accessibility

The City of London is committed to providing accessible programs and services for supportive and accessible meetings. We can provide you with American Sign Language (ASL) interpretation, live captioning, magnifiers and/or hearing assistive (t coil) technology. Please contact us at [plandev@london.ca](mailto:plandev@london.ca) by September 15, 2023, to request any of these services.

# Site Concept



The above image represents the applicant's proposal as submitted and may change.

# Building Renderings



# Conceptual Elevations

The above images represent the applicant's proposal as submitted and may change.

Masar Development Inc.

## Heritage Impact Assessment

Proposed Development of 1208 Fanshawe Park Road East, Adjacent  
to 1186 Fanshawe Park Road East, a Heritage Listed Property

**Prepared by:**

AECOM Canada Ltd.  
105 Commerce Valley Drive West, 7<sup>th</sup> Floor  
Markham, ON L3T 7W3  
Canada

T: 905.886.7022  
F: 905.886.9494  
[www.aecom.com](http://www.aecom.com)

**Prepared for:**

Masar Development Inc., 2056 Meadowbrook Drive, Unit 127, London ON, N2L 1E3

**Date:** February 2022

**Project #:** 60670915

# Statement of Qualifications and Limitations

The attached Report (the "Report") has been prepared by AECOM Canada Ltd. ("AECOM") for the benefit of the Client ("Client") in accordance with the agreement between AECOM and Client, including the scope of work detailed therein (the "Agreement").

The information, data, recommendations, and conclusions contained in the Report (collectively, the "Information"):

- is subject to the scope, schedule, and other constraints and limitations in the Agreement and the qualifications contained in the Report (the "Limitations");
- represents AECOM's professional judgment in light of the Limitations and industry standards for the preparation of similar reports;
- may be based on information provided to AECOM which has not been independently verified;
- has not been updated since the date of issuance of the Report and its accuracy is limited to the time period and circumstances in which it was collected, processed, made or issued;
- must be read as a whole and sections thereof should not be read out of such context;
- was prepared for the specific purposes described in the Report and the Agreement; and
- in the case of subsurface, environmental or geotechnical conditions, may be based on limited testing and on the assumption that such conditions are uniform and not variable either geographically or over time.

AECOM shall be entitled to rely upon the accuracy and completeness of information that was provided to it and has no obligation to update such information. AECOM accepts no responsibility for any events or circumstances that may have occurred since the date on which the Report was prepared and, in the case of subsurface, environmental or geotechnical conditions, is not responsible for any variability in such conditions, geographically or over time.

AECOM agrees that the Report represents its professional judgement as described above and that the Information has been prepared for the specific purpose and use described in the Report and the Agreement, but AECOM makes no other representations, or any guarantees or warranties whatsoever, whether express or implied, with respect to the Report, the Information or any part thereof.

Without in any way limiting the generality of the foregoing, any estimates or opinions regarding probable construction costs or construction schedule provided by AECOM represent AECOM's professional judgement in light of its experience and the knowledge and information available to it at the time of preparation. Since AECOM has no control over market or economic conditions, prices for construction labour, equipment or materials or bidding procedures, AECOM, its directors, officers and employees are not able to, nor do they, make any representations, warranties or guarantees whatsoever, whether express or implied, with respect to such estimates or opinions, or their variance from actual construction costs or schedules, and accept no responsibility for any loss or damage arising therefrom or in any way related thereto. Persons relying on such estimates or opinions do so at their own risk.

Except (1) as agreed to in writing by AECOM and Client; (2) as required by-law; or (3) to the extent used by governmental reviewing agencies for the purpose of obtaining permits or approvals, the Report and the Information may be used and relied upon only by Client.

AECOM accepts no responsibility, and denies any liability whatsoever, to parties other than Client who may obtain access to the Report or the Information for any injury, loss or damage suffered by such parties arising from their use of, reliance upon, or decisions or actions based on the Report or any of the Information ("improper use of the Report"), except to the extent those parties have obtained the prior written consent of AECOM to use and rely upon the Report and the Information. Any injury, loss or damages arising from improper use of the Report shall be borne by the party making such use.

This Statement of Qualifications and Limitations is attached to and forms part of the Report and any use of the Report is subject to the terms hereof.

## Authors

### Report Prepared By:



Liam Ryan, BA.  
Cultural Heritage Specialist, Intern

### Report Checked By:



Tara Jenkins, M.A., GPCertCHS, CAHP  
Cultural Heritage Specialist

### Report Verified By:



Adria Grant, M.A., CAHP  
Associate Vice President  
West & Ontario Department Manager

# Table of Contents

	page
<b>1. Introduction .....</b>	<b>1</b>
1.1 Study Purpose .....	1
1.2 Location and Physical Description of the Development Area and the Study Area .....	2
1.2.1 The Development Area – 1208 Fanshawe Park Road East.....	2
1.2.2 The Study Area – 1186 Fanshawe Park Road East.....	2
1.2.3 Property Owner of Development Area .....	2
1.2.3.1 Cultural Heritage Status .....	3
1.2.3.2 The Thames River Heritage Designation .....	3
1.3 Methodology .....	3
1.3.1 Public Consultation .....	4
<b>2. Policy Context .....</b>	<b>7</b>
2.1 Planning Act and Provincial Policy Statement .....	7
2.2 Ontario Heritage Act .....	8
2.3 The London Plan .....	8
<b>3. Summary of Background Research and Analysis .....</b>	<b>10</b>
3.1 Historical Background.....	10
3.2 Overview of the Land Use History of the Study Area .....	10
3.2.1 London Township.....	10
3.2.2 City of London.....	11
3.2.3 Land Use History of the Study Area .....	11
3.2.4 Summary of Land Use History of the Study Area .....	14
<b>4. Existing Conditions .....</b>	<b>15</b>
4.1 Introduction .....	15
4.2 Development Area– 1208 Fanshawe Park Road East.....	15
4.3 Study Area– 1186 Fanshawe Park Road East.....	20
4.3.1 Context and Landscape Features .....	20
4.3.2 House: General Exterior Description.....	23
4.3.3 House: South Elevation – Exterior .....	25
4.3.4 House: East Elevation – Exterior.....	27
4.3.5 House: West Elevation – Exterior.....	29
4.3.6 House: North Elevation – Exterior .....	31

4.3.7	1186 Fanshawe Park Road East - Interior .....	32
4.3.8	Outbuildings .....	32
<b>5.</b>	<b>Comparative Analysis .....</b>	<b>34</b>
5.1	518 Fanshawe Park Road East .....	34
<b>6.</b>	<b>Cultural Heritage Evaluation – 1186 Fanshawe Park Road East.....</b>	<b>36</b>
6.1	Ontario Heritage Act .....	36
6.1.1	Ontario Regulation 9/06 .....	36
<b>7.</b>	<b>Draft Statement of Significance .....</b>	<b>40</b>
7.1	Description of the Property .....	40
7.2	Draft Statement of Significance .....	40
7.3	Heritage Attributes .....	40
<b>8.</b>	<b>Impact Assessment .....</b>	<b>42</b>
8.1	Description of the Proposed Project.....	42
8.2	Assessment of Impacts.....	42
8.2.1	Screening for Potential Impacts .....	42
8.2.2	Assessment of Potential Impacts on the Study Area.....	43
<b>9.</b>	<b>Mitigation Strategy and Recommendations .....</b>	<b>45</b>
9.1	Mitigation Strategy .....	45
9.2	Recommendations.....	45
<b>10.</b>	<b>Sources .....</b>	<b>47</b>

## List of Figures

Figure 1:	Location of the Development Area and Study Area .....	5
Figure 2:	Location of the Development Area and Study Area on Aerial Photography .....	6
Figure 3:	Conceptual Townhouse Layout over Aerial Photography .....	44
Figure 4:	Study Area Overlaid on the 1862 Tremaine Map.....	50
Figure 5:	Study Area Overlaid on the 1878 Illustrated Historical Atlas Feature .....	51
Figure 6:	Study Area Overlaid on the 1915 Topographic Map .....	52



Figure 7:	Study Area Overlaid on the 1928 Topographic Map .....	53
Figure 8:	Study Area Overlaid on the 1936 Topographic Map .....	54
Figure 9:	Study Area Overlaid on the 1954 Aerial Photograph .....	55
Figure 10:	Study Area Overlaid on the 1967 Aerial Photograph .....	56
Figure 11:	Study Area Overlaid on the 1973 Topographic Map .....	57

## **List of Tables**

Table 1:	Results of the Consultation Activities .....	4
Table 2:	Ontario Regulation 9/06 Evaluation for 1186 Fanshawe Park Road East.....	38
Table 3:	Impact Assessment – 1186 Fanshawe Park Road East .....	43

## **Appendices**

Appendix A. Historical Map Set

Appendix B. Project Personnel- CVs

# 1. Introduction

---

## 1.1 Study Purpose

AECOM Canada Ltd. (AECOM) was retained by Masar Development Inc. to conduct a Heritage Impact Assessment on the property located at 1186 Fanshawe Park Road East in the City of London as part of a Zoning By-Law Amendment application to develop a residential subdivision at 1208 Fanshawe Park Road East. This Heritage Impact Assessment is structured to determine the impact of the proposed development of 1208 Fanshawe Park Road East on the adjacent property of 1186 Fanshawe Park Road East since it is a Listed property on the City of London's *Register of Cultural Heritage Resources*.

For the purpose of this Heritage Impact Assessment, the Study Area consists of 1186 Fanshawe Park Road East and the Development Area consists of 1208 Fanshawe Park Road East.

This Heritage Impact Assessment provides:

- A description of the location of the Development Area and the Study Area;
- A summary of the land-use history focused on the Study Area;
- A description of the cultural heritage value and heritage attributes of the Study Area;
- A description of the development impacts on the cultural heritage value and heritage attributes of the Study Area, based on the Conceptual Townhouse Layout of 1208 Fanshawe Park Road East; and,
- A list of mitigation measures and recommendations to ensure that any impacts on the Study Area are avoided or minimized.

This report was completed by a team of AECOM's Cultural Resource Management staff including Liam Ryan, BA (Cultural Heritage Specialist) Tara Jenkins, MA, CAHP (Cultural Heritage Specialist, Lead), and Adria Grant, MA, CAHP (Associate Vice President, Impact Assessment and Permitting). The present Heritage Impact Assessment follows the Ministry Heritage, Sport, Tourism and Culture Industries (MHSTCI) *Ontario Heritage Toolkit* (2006), and the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010).

## **1.2 Location and Physical Description of the Development Area and the Study Area**

### **1.2.1 The Development Area – 1208 Fanshawe Park Road East**

The Development Area is municipally referred to as 1208 Fanshawe Park Road East (**Figure 1** and **Figure 2**). Historically, the Development Area is situated in part of Lot 9, Concession V, in the Township of London, Middlesex County. It is a rectangular-shaped lot with an approximate size of 0.36 hectares. The Development Area is generally bound by the Study Area to the west, 1240 Fanshawe Park Road East to the north, 1212 Fanshawe Road East to the east, and Fanshawe Park Road East to the south.

The landscape of the Development Area in 2021 can be interpreted as a rural residential property which consists of a house, mature trees and a grassed field (previously ploughed). With the exception of the rural residential properties on the north side of Fanshawe Park Road East between Stackhouse Avenue and Highbury Avenue, the Development Area is surrounded by suburban subdivisions built in the mid-twentieth century and early twenty-first century.

The house on the property is a one-storey dichromatic brick house with an attached two-car garage.

### **1.2.2 The Study Area – 1186 Fanshawe Park Road East**

The Study Area consists of a rural residential property, which is municipally rereferred to as 1186 Fanshawe Park Road East (**Figure 1** and **Figure 2**). Historically, the Study Area is in part of Lot 9, Concession V, in the Township of London, Middlesex County. It is a rectangular-shaped property approximately 0.18 hectares in size and is generally bound by 1170 Fanshawe Park Road East to the west, 1240 Fanshawe Park Road East to the north, the Development Area to the east, and Fanshawe Park Road East to the south.

The landscape of the Study Area in 2021 can be interpreted as a rural residential property. With the exception of the rural residential properties on the north side of Fanshawe Park Road East between Stackhouse Avenue and Highbury Avenue, the Development Area is surrounded by suburban subdivisions built in the mid-twentieth century and early twenty-first century.

The Study Area consists of a late-nineteenth century two-storey buff brick detached house with Italianate design influences. The house has an L-shaped plan and low-hipped roof with wide overhanging eaves. In addition, the property has a detached garage and a line of mature trees that surround the east, west, and north edges of the Study Area.

### **1.2.3 Property Owner of Development Area**

The property at 1208 Fanshawe Park Road East is currently owned by Masar Development Inc.

### 1.2.3.1 Cultural Heritage Status

1208 Fanshawe Park Road East is not currently designated or listed on the City of London's *Register of Cultural Heritage Resources*, 1186 Fanshawe Park Road East is Listed on the City of London's *Register of Cultural Heritage Resources* on March 26, 2007 (Year built 1890).

### 1.2.3.2 The Thames River Heritage Designation

The Thames River, and its tributaries, was designated a Canadian Heritage River on August 14, 2000. The designation was announced by the Minister of Canadian Heritage, the Honourable Sheila Copps and Ontario's Minister of Natural Resources, the Honourable John Snobelen. The Thames River was recognized as a heritage river for its outstanding contributions to the country's cultural heritage, natural heritage, and recreational opportunities. The broad goal of managing the Thames and a Canadian Heritage river is: *"To increase the appreciation, enjoyment and stewardship of the natural, and cultural heritage and recreational opportunities of the Thames River and its watershed through community cooperation and involvement."*

## 1.3 Methodology

This Heritage Impact Assessment was completed by a team of AECOM's Cultural Resource Management staff including Liam Ryan (Cultural Heritage Specialist), Tara Jenkins (Cultural Heritage Specialist, Lead), and Adria Grant (Associate Vice President, Impact Assessment and Permitting). This Heritage Impact Assessment adheres to the guidelines set out in the MHSTCI *InfoSheet #5 Heritage Impact Assessment and Conservation Plans* as part of the *Ontario Heritage Tool Kit* (2006). This Heritage Impact Assessment addresses the impacts of the proposed developed on the Study Area, Listed on the *Register of Cultural Heritage Resources* as 1186 Fanshawe Park Road.

For the purpose of this Heritage Impact Assessment, AECOM undertook the following key tasks:

- Reviewed appropriate background documents including the:
  - Conceptual Townhouse Layout of 1208 Fanshawe Park Road East (September 02, 2021).
- Consulted with the City of London Heritage Planner, to confirm the scope of the Heritage Impact Assessment and gather any previous heritage studies completed on the Study Area.
- Conducted a field review to document the existing conditions of the Study Area and the Development Area from the public right-of-way, on November 10, 2021.
- Identified and prepared a description of the proposed development plan.

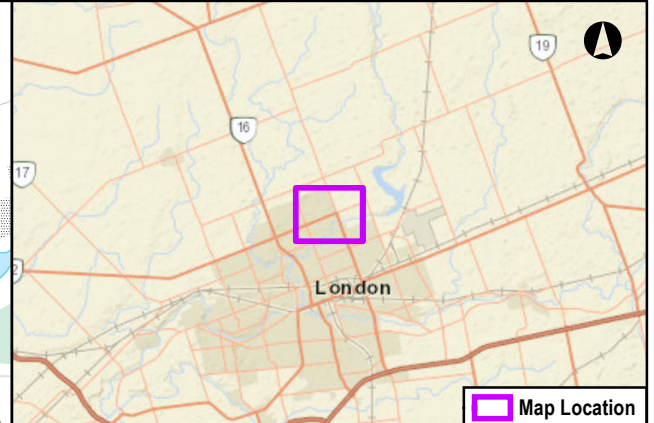
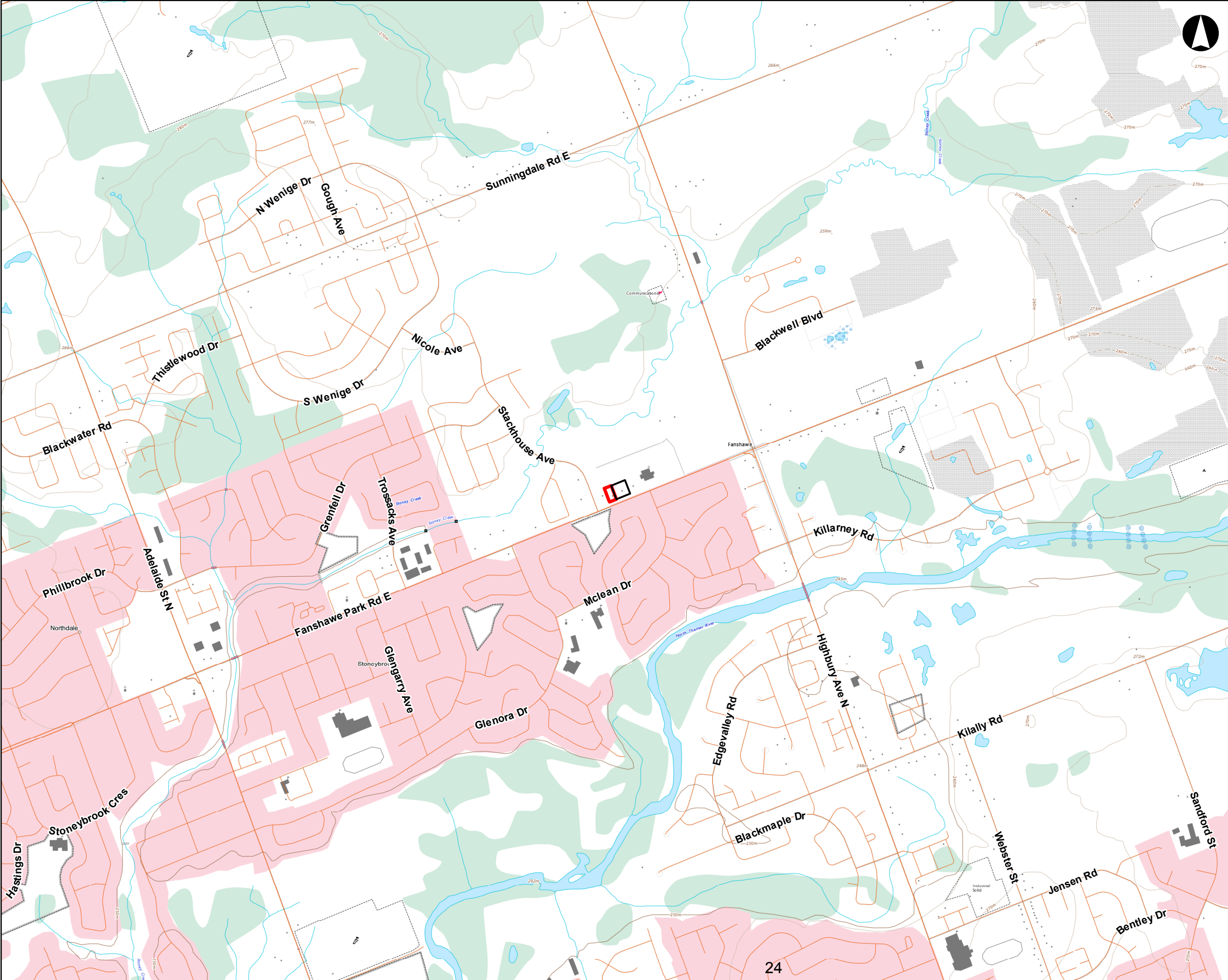
- Assessed the proposed development impacts, based on the Conceptual Townhouse Layout of 1208 Fanshawe Park Road East, on the cultural heritage value and heritage attributes of the Study Area.
- Prepared mitigation options and mitigation measures with recommendations to avoid or reduce any negative impacts to the Study Area.
- Prepared the Heritage Impact Assessment report.

### 1.3.1 Public Consultation

The subsection below includes a summary of the consultation activities, as well as relevant consultation and feedback undertaken as a part of the Heritage Impact Assessment for property-specific impacts to the property located at 1186 Fanshawe Park Road East.

**Table 1: Results of the Consultation Activities**

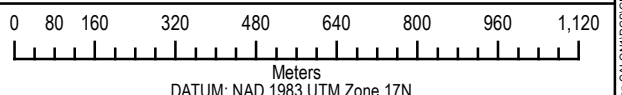
Contact	Contact Information	Date	Notes
<b>Laura Dent / Heritage Planner / City of London</b>	Ident@london.ca	November 05, 2021.	Laura Dent confirmed that the City of London's digital files do not have any substantive information of the property located at 1186 Fanshawe Park Road East.
<b>Siloam United Church</b>	Office@sioamunitedchurch.org	November 09, 2021.	The Siloam United Church was contacted to request historical photos and archival information that could help better link the property located at 1186 Fanshawe Park Road East to the church. At the time this report was submitted, no response was received.



- Legend**
- Development Area – 1208 Fanshawe Park Road East
  - Study Area – 1186 Fanshawe Park Road East

**Heritage Impact Assessment  
1208 Fanshawe Park Road East**

Location of the  
Development Area and Study Area



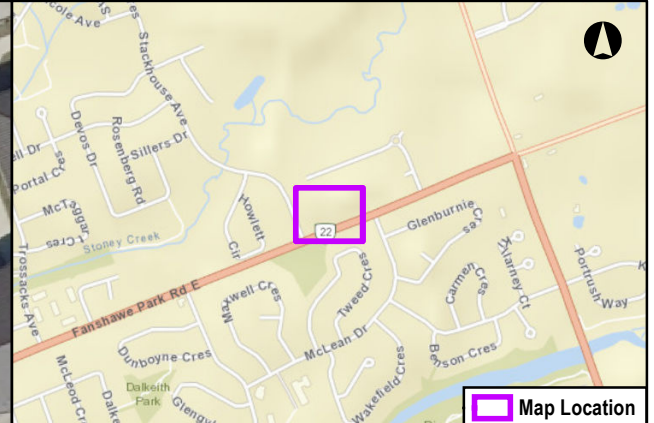
November 2021	1:15,000 <small>* when printed 11"x17"</small>	<small>Source: MNRF 2020, City of London 2021 Image: Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community</small>
P#: 60670915	V#:	

<b>AECOM</b>	<b>Figure 1</b>
--------------	-----------------

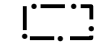


This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.

Map location: \\fs.aecocom.com\AMER\London\CALON\DCS\GIS\Projects\60670915\_HIA\_1208F\analyse\Design\1\_Report\HIA\Fig 1-Study Area\Location.mxd  
Date saved: 1/25/2021 1:30:40 PM User: cshah



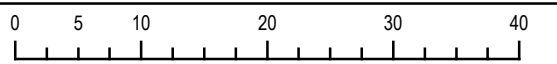


**Legend**

-  Development Area – 1208 Fanshawe Park Road East
-  Study Area – 1186 Fanshawe Park Road East
-  Parcel Boundary

**Heritage Impact Assessment  
1208 Fanshawe Park Road East**

**Location of the Development Area  
and Study Area on Aerial Photography**



DATUM: NAD 1983 UTM Zone 17N

November 2021	1:600 * when printed 11"x17"	Source: MNR 2020, City of London 2021 Image: City of London 2021, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User
P#: 60670915	V#:	



**Figure 2**

This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.

Map location: \\na.aecom.com\London\CALON\DCS\GIS\Projects\60670915\_HIA\_1208F\anashaw\Design\1\_Report\HIA\Fig2\_Study\_Area.mxd  
Date saved: 1/22/2021 1:30:57 PM User: c.davis



## 2. Policy Context

---

The authority to request a Heritage Impact Assessment arises from the *Ontario Heritage Act*, Section 2(d) of the *Planning Act*, the Provincial Policy Statement (2020), and the City of London's Official Plan: *The London Plan* (June 23, 2016).

### 2.1 Planning Act and Provincial Policy Statement

The *Planning Act* (1990) and the associated Provincial Policy Statement (2020) provide a legislative framework for land use planning in Ontario. Both documents identify matters of provincial interest, which include the conservation of significant features of architectural, cultural, historical, archaeological, or scientific interest. The *Planning Act* requires that all decisions affecting land use planning matters "shall be consistent with" the Provincial Policy Statement. In general, the Provincial Policy Statement recognizes that Ontario's long-term prosperity, environmental health, and social well-being depend on protecting natural heritage, water, agricultural, mineral, cultural heritage, and archaeological resources for their economic, environmental, and social benefits.

Pursuant to Section 2.6 of the 2020 Provincial Policy Statement, Policy 2.6.1 states "Significant built heritage resources and significant cultural heritage landscapes shall be conserved." The 2020 Provincial Policy Statement issued under the authority of the *Planning Act* defines "conserved" as "means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision designated and available for the purposes of this definition."

To conserve a cultural heritage resource, a municipality or approval authority may require a heritage impact assessment and/or a conservation plan to guide the approval, modification, or denial of a proposed development or site alteration that affects a cultural heritage resource. Using tools such as heritage impact assessments, municipalities and approval authorities can further enhance their own heritage preservation objectives.

Furthermore, a policy in Section 2.6 of the 2020 Provincial Policy Statement, Policy 2.6.3, states "Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it had been demonstrated that the heritage attributes of the protected heritage property will be conserved."



## 2.2 Ontario Heritage Act

The *Ontario Heritage Act* enables municipalities and the province to designate individual properties and/or districts as being of cultural heritage value or interest. The province or municipality may also “list” a property or include a property on a municipal register that has not been designated but is believed to be of cultural heritage value or interest. Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest (O. Reg. 9/06) under the *Ontario Heritage Act* provides criteria for determining cultural heritage value or interest. If a property meets one or more of the following criteria it may be designated under Section 29 of the *Ontario Heritage Act*.

## 2.3 The London Plan

*The City of London Official Plan (The London Plan)* was adopted by London City Council and approved by the Province of Ontario in December 2016. While the majority of *The London Plan* is in effect, The London Plan has been the subject of several appeals to the Local Planning Appeal Tribunal (LPAT) and remains partially under appeal.<sup>1</sup> *The London Plan Policy 586\_* applies to the Development Area and Study Area:

“The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved.”

Although *The London Plan Policy 586\_* is in effect, the definition of “adjacent” is under appeal, so the PPS (2020) Definition is used (See **Section 2.2**).

Other policies relevant to this Heritage Impact Assessment include:

- The London Plan Policy 565\_
  - “New development, redevelopment, and all civic works and projects on and adjacent to heritage designated properties and properties listed on the Register will be designed to protect the heritage attributes and character of those resources, to minimize visual and physical impact on these resources. A heritage impact assessment will be required for new development on and adjacent to heritage designated properties and properties listed on the Register

---

<sup>1</sup> The London Plan is the new Official Plan for the City of London (Council adopted, approved by the Ministry with modifications, and the majority of which is in force and effect). The London Plan policies under appeal to the Local Planning Appeals Tribunal (Appeal PL170100) and not in force and effect are indicated with an asterisk throughout this report.

to assess potential impacts and explore alternative development approaches and mitigation measures to address any impact to the cultural heritage resource and its heritage attributes.”

- The London Plan Policy 566\_
  - “Relocation of cultural heritage resources is discouraged. All options for on-site retention must be exhausted before relocation may be considered.”
- The London Plan Policy 567\_
  - “In the event that demolition, salvage, dismantling, relocation or irrevocable damage to a cultural heritage resource is found necessary, as determined by City Council, archival documentation may be required to be undertaken by the proponent and made available for archival purposes.”
- The London Plan Policy 568\_
  - “Conservation of whole buildings on properties identified on the Register is encouraged and the retention of façades alone is discouraged. The portion of a cultural heritage resource to be conserved should reflect its significant attributes including its mass and volume.”
- The London Plan Policy 586\_
  - The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved.

## **3. Summary of Background Research and Analysis**

---

### **3.1 Historical Background**

This section provides a summary of historic research and a description of the Study Area at 1186 Fanshawe Park Road East that may be impacted by the proposed development at 1208 Fanshawe Park Road East, the Development Area. Historically, the Study Area is located in part of the south half of Lot 9, Concession V, in the Township of London, Middlesex County.

To gain a historical understanding of the Study Area, a review of, historical mapping, aerial photography, and the land registry data for Lot 9, Concession V, in the Township of London were consulted to provide an overview of the land-use history of the Study Area. The historical map set is included in **Appendix A**.

### **3.2 Overview of the Land Use History of the Study Area**

#### **3.2.1 London Township**

Working alongside Colonel Thomas Talbot, Colonel Mahlon Burwell initiated the first formal survey of London Township in 1810, one of the first townships in Middlesex County to be extensively settled. This survey initially focused on the first six concessions north to Sunningdale Road but was suspended when war erupted in 1812. The northern section of the township was surveyed following the war, with the first settlers arriving between 1817 and 1818. The first land patent, however, dates to 1812 and relates to lands that formed part of Burwell's initial survey. Among those individuals who received the earliest patents were Burwell and the honorable John Hale. These grants were given in lieu of payment for services and loyalty, as both gentlemen did not plan to homestead on these lots, but instead intended to sell them to arriving immigrants (LTHBC 2001:11-14; H.R. Page & Co. 1878:9).

In 1818, a group of Irish settlers arrived in London Township and established homesteads on lots in the 4<sup>th</sup>, 5<sup>th</sup>, and 6<sup>th</sup> concessions. Their emigration was organized by Richard Talbot of Tipperary, Ireland, who had spent a great deal of time working on behalf of the government to find families who were interested in relocating to Upper Canada. Richard Talbot took the advice of his kinsman Colonel Thomas Talbot and brought these families to London Township which was said to be one of the most productive agricultural areas in the Thames River Valley (LTHBC 2001:13-14). By 1851, much of London Township had been settled.

### 3.2.2 City of London

The Thames River had a profound impact on the growth of London. The city developed at the junction of the north and south branches of the river, and as a result bridge construction has been important in connecting London to the river. London underwent a number of population booms throughout its history beginning when the 32nd Regiment was stationed in London in 1838. Development of saw, cording and grist industries powered by the Thames River and Medway Creek assisted the city's growth in the mid-1800s, bolstered by the arrival of the railways in the 1850s, including the Great Western Railway in 1853, the London Port Stanley Railway in 1856, and the Grand Trunk Railway in 1858. The railway brought an influx of immigrants and promoted community commerce and travel. Records suggested London grew by 239 percent between 1840 and 1850 as the population increased from 2,078 to 7,035 due to the entry of British immigrants to Upper Canada (Whebell 1992). Steady growth in London continued as the city was established as a financial centre for the surrounding regions with large manufacturing industries taking root, including the Carling and Labatt's Brewery and the London Cigar Industry. London was incorporated as a village in 1840 and by 1855 the population had leapt to 10,000 at which time it officially became a city (Armstrong 1986).

In 1961, a major annexation of portions of the townships surrounding the City of London, including London Township, resulted in the addition of land and close to 60,000 people to the City. A portion of the study area was included in this annexation, including the Masonville area. As a result, the City grew from approximately 28 to 160 square kilometres. In the 1970s, Richmond Street (Highway 4)<sup>2</sup> and Fanshawe Park Road (Highway 22) began to serve as major arterial roads for urban London. In addition, another annexation in 1993 occurred which forms the current northern City Limit, just north of Sunningdale Road. The Study Area was annexed into the City of London in 1993.

### 3.2.3 Land Use History of the Study Area

Both the *1862 Tremaine's map of the County of Middlesex* and the *1878 Illustrated Historic Atlas of the County of Middlesex* were reviewed to determine the potential for the presence of historical features within the Study Area in the nineteenth century (**Figure 4** and **Figure 5**). It should be noted, however, that not all features of interest were mapped systematically in the Ontario series of historical atlases, given that they were financed by subscription, and subscribers were given preference with regard to the level of detail provided on the maps. Moreover, not every feature of interest would have been within the scope of the atlases.

---

<sup>2</sup> In 2017, Highway 4 was rerouted through London which shifted the route along Richmond Street, Sunningdale Road, and Wonderland Road. This new route maintains a connection with the north and south of the city.

The 1862 Tremaine Map shows that the Study Area and Development Area are located within the southwestern portion of Lot 9, Concession V. The lot was divided into two halves in the nineteenth century; the 100-acre south half (containing the Study Area and Development Area) and the 100-acre north half. In 1862, the Study Area and Development Area were owned by John O'Brien. No structures are illustrated within the Study Area. A structure of an unknown material was illustrated within the Development Area. A tributary of the Thames River, Stoney Creek, crosses through the south half of the lot in an east-west direction. The Siloam United Church<sup>3</sup> is illustrated at the northeast corner of Fanshawe Park Road East and Highbury Avenue North.

On March 9, 1857, Joseph O'Brien, father of John O'Brien deeded land on which the Siloam United Church was to be built (land was located at the southwest portion of Lot 8, Concession V). Previously, Joseph O'Brien also deeded land for a cemetery associated with the church. The church that was erected on Joseph O'Brien's land was a wooden structure, and it was said to be one of the largest and finest churches in the London Township at the time (Siloam United Church, 2007).

The *1878 Illustrated Historic Atlas of the County of Middlesex* shows that the Study Area is owned by S.B. Gorwill. Gorwill was listed as a farmer who settled the south half of Lot 9, Concession V, in 1876 (H. R. Page and Co., 1878). A farmhouse and orchard are illustrated, set back from Fanshawe Park Road East, but not in the Study Area or Development Area. Both the Study Area and Development Area are illustrated in 1878 without a structure. To the east of the Study Area, at the northeast corner of Fanshawe Park Road East and Highbury Avenue North, the Siloam Church with a spire is illustrated.

In February 1888, the Siloam United Church located at the corner of Fanshawe Park Road East and Highbury Avenue North, formed a council to investigate the acquisition of land for the construction of a parsonage (manse). S.B. Gorwill, a member of the church official board, continued to own the south half of Lot 9, Concession V, offered a half-acre of land either to the north of his farm, on the graded road (now Highbury Road North), or on the fifth concession (now Fanshawe Park Road East)<sup>4</sup> (Siloam United Church, 2007). Gorwill requested that a suitable building had to be erected and the finances had to be secured either in cash or by reliable subscription. The Church accepted the offer and approved \$1,800 for the cost of the parsonage. A Mr. Kerr was awarded the construction contract for \$1,785 which was to include the house, a barn, a well, a water closet and the fencing (Siloam United Church, 2007). The construction of the parsonage on the southern portion Lot 9, Concession V was completed on July 18, 1888 and Rev. James Kennedy received the keys on July 24, 1888 (Siloam United

---

<sup>3</sup> *Illustrated as Wesleyan Methodist Church on the 1862 Tremaine Map*

<sup>4</sup> *S.B. Gorwill's land was the ideal location for the parsonage as the Siloam Church was located on the parcel of land directly east of his own.*

Church, 2007). Following James Kennedy, Rev. Heber Crews resided at the parsonage during his time at the church (1890-1893) (Siloam United Church, 2007).

The 1891 Census of Canada shows that Rev. Heber Crews along with his wife Mary Crews and their daughter resided in a two-storey brick house with twelve rooms (**Image 1**). The description of the house found in the 1891 Census of Canada data matches the description of the house described in **Section 4**.

**Image 1: Rev. Hebert Crews and Family illustrated within the Census of Canada, 1891 (Census of Canada, 1891 for Image No.: 30953\_148154-00254)**

Ménages au chef de Famille.					Ménages sans l'Union des Vieux.					Ménages sans l'Union des Vieux.					Ménages sans l'Union des Vieux.									
Year of Birth	Household	Household	Household	Household	NAME.	Sex.	Age.	Married	Religion	Country or Province	French	Place of Birth	Place of Birth	RELIGION.	Profession, Occupation	Employed	Wage	Unemployed	Employed	Income	Income	Income	Income	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25
					1891/24																			
					Heber Crews	M	30	M	—	Ont	—	England	England	"	Parson	1	—	—	1	1	—	—	—	—
					Mary A	F	25	M	W	"	—	Ireland	Ont	"	Wife	—	—	—	—	1	1	—	—	—
					Child	F	1	—	—	"	—	Ont	"	"	Child	—	—	—	—	—	—	—	—	—

The 1915 NTS map (**Figure 6**) illustrates a brick house within the Study Area. The brick house is in close proximity to Fanshawe Park Road East and represents the current house within the Study Area. The Study Area continues to be located within a rural context. The lot also includes Gorwill's brick farmhouse set back from Fanshawe Park Road East. Given there are not other structures illustrated on the 1915 NTS map, and the above historical research, it is presumed that the brick structure within the Study Area is the parsonage built for the Siloam Church. The Siloam Church is still located in the northeast corner of Fanshawe Park Road East and Highbury Avenue North. In addition, the 1915 NTS map also shows a hotel and post office located at the cross-roads of Fanshawe Park Road East and Highbury Avenue North, labelled as *Fanshawe*.

The 1928 NTS (**Figure 7**) map and the 1936 NTS (**Figure 8**) map continue to illustrate the same configuration of structures to the 1915 NTS map, showing little development in the vicinity of the Study Area and Development Area. In 1936, the Siloam United Church and a garage are located at the cross-roads community of Fanshawe (Siloam United Church, 2007).

By 1938-39 the Missionary and Maintenance fund for Siloam United Church was “in dire straits” and a group of young men were recruited from the university to help increase the givings of the congregation to help maintain church activities though the financial crisis (Siloam United Church, 2007). In 1938, funds were made available to replace the barn at the parsonage with a garage (Siloam United Church, 2007).

The 1954 aerial photograph (**Figure 9**) illustrates a similar configuration of development to the earlier NTS maps. The Study Area and Development Area continue to be within a rural context with a number of rural residences located along Fanshawe Park Road East and Highbury

Avenue North. The tributary of the Thames River continues to meander through the lot, north of the Study Area. A treelined driveway to Gorwill's house is seen on the 1954 aerial photograph. The structure within the Study Area is difficult to see on the 1954 aerial photograph, as the house is surrounded by large trees.

The 1967 aerial photograph (**Figure 10**) illustrates a change in the configuration of the area. While the land north of Fanshawe Park Road East, including the Study Area and Development area continue to be within a rural context, a mid-twentieth century subdivision is illustrated south of Fanshawe Park Road East. In 1967, Siloam United Church is still located at the northeast corner of Fanshawe Park Road East and Highbury Avenue North.

The 1973 NTS (Figure 11) illustrates a similar configuration of development to the 1967 aerial photograph. The Study Area and Development Area continue to be within a rural context with the mid-twentieth century subdivision on the south side of Fanshawe Park Road East and the Siloam United Church located at the northeast corner of Fanshawe Park Road East and Highbury Avenue North.

In 1985, the future of the Siloam United Church building was a key focus. In this year, the Growth Fund and Church Development Committee were established to investigate the acquisition of land for a new church (Siloam United Church, 2007). In 1986, the Trustees of Siloam United Church sold the parsonage (the Study Area) to Barbra J. Motte for the price of \$109,700. Two years later in 1988, Siloam United Church built a new church building down the road at 1240 Fanshawe Park Road East, east of the Study Area. The old church building at the cross-roads was sold and demolished in 1989 (Siloam United Church, 2007).

### **3.2.4 Summary of Land Use History of the Study Area**

Historical research indicates S.B. Gorwill, a prominent farmer and member of the Siloam United Church official board, offered a half acre of his land in 1888 to build the parsonage. In this report that land is referred to as the Study Area (1186 Fanshawe Park Road East). The two-storey brick structure located in the Study Area was built in 1888 as the parsonage for the Siloam United Church. The property remained in ownership of Siloam United Church for 98 years, when it was sold in 1986. The context surrounding the Study Area changed very little throughout the 20<sup>th</sup> century as it remained in a largely rural context, until the area was annexed into the City of London in 1993.

## 4. Existing Conditions

---

### 4.1 Introduction

A field review was conducted by Tara Jenkins, Cultural Heritage Specialist, on November 11, 2021, to document the structures and landscape features of the Study Area in relation to the Development Area. The fieldwork was completed and photographed from the public right-of-way from Fanshawe Park Road East and within the Development Area where permission to enter was granted.

### 4.2 Development Area– 1208 Fanshawe Park Road East

The Development Area was historically located in the south half of Lot 9, Concession V, in the Township of London, Middlesex County. Today, the property is known municipally as 1208 Fanshawe Park Road East. The rectangular-shaped lot is approximately 0.36 hectares in size and consists of a one-storey dichromatic brick house with an attached two-car garage (Photograph 1, Photograph 2, and Photograph 3) and a grassed area (previously ploughed) (Photograph 4). In addition, two small wooden sheds are located on the east side of the property (Photograph 5). The property is generally bound by the Study Area to the west, 1240 Fanshawe Park Road East to the north, 1212 Fanshawe Road East to the east, and Fanshawe Park Road East to the south.

The landscape of the Development Area in 2021 can be interpreted as a rural residential property which consists of a house, mature trees and a grassed field (previously ploughed). With the exception of the rural residential properties on the north side of Fanshawe Park Road East between Stackhouse Avenue and Highbury Avenue, the Development Area is surrounded by suburban subdivisions built in the mid and late twentieth century.



**Photograph 1: View of the Development Area illustrating the house and unmanicured lawns, looking northeast (AECOM 2021)**





**Photograph 2: View of the Development Area illustrating the house and unmanicured lawns, looking northwest (AECOM 2021)**





**Photograph 3: View of the Development Area illustrating the one-storey dichromatic brick house with an attached two-car garage, looking north (AECOM 2021)**





**Photograph 4: View from the rear of the Development Area illustrating the unmanicured lawns, looking south (AECOM 2021)**





**Photograph 5: View of the Development Area illustrating one of the two sheds on the east side of the property, looking north (AECOM 2021)**



### **4.3 Study Area– 1186 Fanshawe Park Road East**

#### **4.3.1 Context and Landscape Features**

The Study Area includes a house that is historically located in part of the south half of Lot 9, Concession V, in the Township of London, Middlesex County. Today the property is known municipally as 1186 Fanshawe Park Road East. The small rectangular-shaped lot is approximately 0.18 hectares in size and consists of a two-storey buff brick house, a detached garage, and mature trees surrounding the house. The property is generally bound by 1170 Fanshawe Park Road East to the west, 1240 Fanshawe Park Road East to the north, the Development Area to the east, and Fanshawe Park Road East to the south.

The landscape of the Study Area in 2021 can be interpreted as a rural residential property which consists of a house, mature trees and a grassed field (previously ploughed). With the exception of the rural residential properties on the north side of Fanshawe Park Road East between Stackhouse Avenue and Highbury Avenue, the Development Area is surrounded by suburban



subdivisions built in the mid and late twentieth century and in the early twenty-first century. The rear of the property is largely obstructed by the mature tree line that encloses and protects the property (**Photograph 6**). A view from Fanshawe Park Road East shows that mature trees line the east (**Photograph 7**) and west (**Photograph 8**) side of the Study Area.

**Photograph 6: View of the mature treeline that encloses the Study Area, looking south towards Fanshawe Park Road East (AECOM 2021)**





**Photograph 7: View of the mature treeline located on the east side of the Study Area, looking north (AECOM 2021)**





**Photograph 8: View of the mature treeline located on the west side of the Study Area, looking east (AECOM 2021)**



#### **4.3.2 House: General Exterior Description**

The property consists of a late nineteenth-century two-storey buff brick detached house with some Italianate design influences (**Photograph 9**). The house sits on a fieldstone foundation. The house has an L-shaped plan and a low-hipped roof with wide overhanging eaves. The house has an asymmetrical façade that creates two distinct massings. A buff-brick kitchen tail is located at the rear of the house which also sits on a fieldstone foundation. The kitchen tail contains a twentieth-century addition, that is illustrated by a change in brick and sits on a concrete foundation (**Photograph 10**).



**Photograph 9: View of the two-storey buck brick detached house located within the Study Area, looking northwest (AECOM 2021)**





**Photograph 10: View of the two-storey buck brick detached house, including the kitchen tail and rear addition located within the Study Area, looking southwest (AECOM 2021)**



#### **4.3.3 House: South Elevation – Exterior**

The south elevation (front) of the house faces Fanshawe Park Road East and features a low-pitched roof (**Photograph 11**). The first floor of the south elevation contains a northern offset front entranceway and a bay window with a projecting eaves and a pair of one-over-one sash segmentally arched windows with brick voussoirs and stone sills (**Photograph 12**). The windows are twentieth-century aluminum sashes with vinyl frames. The paired bay windows also each contain a painted single wooden shutter. The cornice of the bay window has five paired scrolled wooden brackets, which indicate an Italianate design (**Photograph 12**).

The main entrance on the south elevation contains a single painted red doorway. There is a stained-glass transom light above the door and a sidelight on the east side of the door. Above the transom light is a segmentally arched brick voussoir.



The south elevation includes a small concrete porch. A single concrete step leads from the concrete front porch to the manicured lawn. The second floor of the southern elevation contains two one-over-one sash windows with brick voussoirs and stone sills.

The second storey of the south elevation consists to two segmentally arched windows with brick voussoirs. The windows are one-over-one sash aluminum windows with vinyl frames. The eastern window contains two painted wooden shutters, and the western window is missing one shutter.

Located on the east side of the southern elevation the house is set further back from the main façade and contains a first and second storey window. The window on the ground floor has a segmentally arched brick voussoir, a stone sill, and a pair of wooden shutters. This window has aluminum one-over-one sash and a wood frame. The small second-floor window is a later addition, with no brick voussoir and is vinyl.

**Photograph 11: View of southern elevation, looking north (AECOM 2021)**





**Photograph 12: View of the bay window and front entrance, looking north (AECOM 2021)**



#### **4.3.4 House: East Elevation – Exterior**

The east elevation of the house contains the original late nineteenth-century structure and kitchen tail, and a rear addition (**Photograph 13**). The two-storey late nineteenth-century structure contains a single one-over-one sash window on the first and second floor of the eastern elevation. These two windows are similar to the windows on the southern elevation as they both contain a segmentally arched brick voussoirs, stone sills, and a pair of painted wooden shutters. The windows are one-over-one sash aluminum windows with wood frames.

The late nineteenth-century kitchen tail contains an entrance with a transom and segmentally arched brick voussoirs above the door. The kitchen tail sits on a fieldstone foundation, thus illustrating it is contemporary with the main house. The entrance includes a small wooden porch. The transom light and side door are both modern replacements aluminum and/or vinyl.

The rear addition sits on a concrete foundation and is located north of the side entrance and is illustrated with a change in brick, although still buff in colour (**Photograph 14**). The rear addition



contains an aluminum two-panel sliding window with a decorative brick voussoir and concrete sill. A skylight can be found on the roof above the sliding window.

**Photograph 13: View of the eastern elevation, looking west (AECOM 2021)**





**Photograph 14: View of kitchen tail and rear addition, looking west (AECOM 2021)**



#### **4.3.5 House: West Elevation – Exterior**

The west elevation is partially obscured by trees (**Photograph 15**). The original late nineteenth-century structure contains three one-over-one sash windows. A single one-over-one sash window is located on the first floor of the west elevation which contains a segmentally arched brick voussoir, a stone sill, and a pair of painted wooden shutters. This ground floor window has aluminum one-over-one sash with a wood frame.

The second storey west elevation includes two one-over-one sash windows with segmentally arched brick voussoirs, stone sills, and a pair of wooden painted shutters. The windows are one-over-one sash aluminum windows with wood frames. Brick corbelling is located close to the most southern window on the second floor of the house (**Photograph 16**). The brick corbelling cuts off part of the shutter. This may indicate the presence of a former brick chimney and was later replaced by the concrete chimney, now on the rear of the house. This may also indicate the shutters on the west elevation were a later add-on.



The kitchen tail and rear addition are not visible from Fanshawe Park Road East due to the mature tree line along the west property boundary.

**Photograph 15: View of the western elevation looking northeast (AECOM 2021)**





**Photograph 16: View of the brick corbelling located on the western elevation, looking northeast (AECOM 2021)**



#### **4.3.6 House: North Elevation – Exterior**

The view of the north elevation of the house is largely obscured from the Development Area by the detached garage and the mature treeline. From what is observable, it appears the kitchen tail and rear addition is centred on the rear of the main house (**Photograph 17**). There is one segmentally arched window with a brick voussoir that is visible on the second storey of the main house, although its construction details cannot be determined. Adjacent to the window is a concrete block chimney, which was believed to have replaced a brick chimney on the west elevation. There is a rear door on the addition which also includes a segmental arch to compliment the original design of the house. Vinyl siding is located within the gable of the rear addition.



**Photograph 17: View of the northern elevation, looking south (AECOM 2021)**



#### **4.3.7 1186 Fanshawe Park Road East - Interior**

The interior of the house located within the Study Area was not documented, as permission to enter was not obtained for the property.

#### **4.3.8 Outbuildings**

A detached wood sided garage with a high gable roof and concrete foundation is located at the rear of the property (**Photograph 18**). This garage was likely built in 1938 when the barn was demolished on the property by Siloam United Church. In addition, a small red shed made of wood is located in close proximity to the garage.



**Photograph 18: View of the wood garage and shed, looking west (AECOM 2021)**



---

## 5. Comparative Analysis

---

The general scale and massing, and design of the house located at 1186 Fanshawe Park Road East displays influences of the Italianate style. The design features of the house in addition to its scale and massing include a low-hipped roof with wide overhanging eaves, and segmentally arched windows with brick voussoirs. A defining Italianate style element is the paired brackets beneath eaves of the bay window.

The Italianate design style is a popular nineteenth century between 1860 and 1890 architectural style for domestic architecture (Mikel, 2004:65). Italianate buildings are often tall and narrow (vertical emphasis), often feature founded and segmentally arched windows and door openings, hipped roofs (often shallow), strongly accented corners, and cornice brackets which are often paired.

One of the most common Italianate forms was the simple square hipped roof house (Mikel 2004, 66). However, Robert Mikel, in *Ontario House Styles: The distinctive architecture of the province's 18th and 19th century homes*, notes that ell-shaped, with big wings extending at the back, were also popular in Western Ontario (2004:72).

Based on the London's *Register of Cultural Heritage Resources*, a house located at 518 Fanshawe Park Road East and the house located within the Study Area are the only remaining examples of nineteenth century houses that display the Italianate architectural style on Fanshawe Park Road East (see **section 5.1** below).

While only two Italianate style houses appear to be extant on Fanshawe Park Road East, there are 347 Italianate style houses on the London's *Register of Cultural Heritage Resources*. Many of these Italianate houses are located closer to the city centre. Therefore, 1186 Fanshawe Park Road East is not a rare style of house in the City of London.

### 5.1 518 Fanshawe Park Road East

The house located at 518 Fanshawe Park Road East was historically located on the north half of Lot 13, Concession V, Township of London, Middlesex County (**Image 2**). It was built in 1870, represents a rural residential house built in the Italianate style, and is the closest house of this style to the Study Area.

518 Fanshawe Park Road East contains a two-storey buff brick house with a T-shaped plan and a low-hipped roof with overhanging eaves. The property includes a mature treeline that provides privacy for the interior of the property. The house reflects the Italianate style as it contains a low-hipped roof with overhanging eaves, a frontispiece, and paired round-arched windows. The windows are one-over-one sash with wood shutters. The house includes a kitchen tail.



**Image 2: Three-dimensional image of 518 Fanshawe Park Road East, London (Google Earth, 2021)**



## 6. Cultural Heritage Evaluation – 1186 Fanshawe Park Road East

---

### 6.1 Ontario Heritage Act

The *Ontario Heritage Act* enables municipalities and the province to designate individual properties and/or districts as being of cultural heritage value or interest. The province or municipality may also “list” a property or include a property on a municipal register that has not been designated but is believed to be of cultural heritage value or interest. Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest (O. Reg. 9/06) under the *Ontario Heritage Act* provides criteria for determining cultural heritage value or interest. If a property meets one or more of the following criteria it may be designated under Section 29 of the *Ontario Heritage Act*.

#### 6.1.1 Ontario Regulation 9/06

Ontario Regulation 9/06 provides the Criteria for Determining Cultural Heritage Value or Interest under the *Ontario Heritage Act*. This regulation was created to ensure a consistent approach to the designation of heritage properties under the *Ontario Heritage Act*. All designations under the *Ontario Heritage Act* after 2006 must meet at least one of the criteria outlined in the regulation.

A property may be designated under Section 29 of the *Ontario Heritage Act* if it meets one or more of the following criteria for determining whether the property is of cultural heritage value or interest:

1. The property has design value or physical value because it,
  - i. is a rare, unique, representative, or early example of a style, type, expression, material, or construction method;
  - ii. displays a high degree of craftsmanship or artistic merit;
  - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
  - i. has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community,
  - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture;

iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.

3. The property has contextual value because it,

i. is important in defining, maintaining, or supporting the character of an area;

ii. is physically, functionally, visually, or historically linked to its surroundings;

iii. is a landmark.

The following table (**Table 2**) uses Ontario Regulation 9/06 of the *Ontario Heritage Act* to determine if the property at 1186 Fanshawe Park Road East, has cultural heritage value or interest.

**Table 2: Ontario Regulation 9/06 Evaluation for 1186 Fanshawe Park Road East**

Criteria	Meets Criteria (Yes/No)	Rationale
<b>1) The property has <i>design or physical value</i> because it:</b>		
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method.	Yes	<ul style="list-style-type: none"> <li>■ The property located at 1186 Fanshawe Park Road East includes a two-storey buff brick house that is a representative example of the Italianate style in London. The house sits on a fieldstone foundation. Many elements commonly found on buildings in the Italianate style are found on the house. These elements include: paired wood brackets, segmentally arched windows with brick voussiors and shutters, and transom with stained glass over the main entrance. The main house includes a contemporary kitchen tail which also sits on a fieldstone foundation. A later rear addition was built on a concrete foundation.</li> </ul>
ii) Displays a high degree of craftsmanship or artistic merit.	No	<ul style="list-style-type: none"> <li>■ The house located on the 1186 Fanshawe Park Road East does not demonstrate a high degree of craftsmanship or artistic merit.</li> </ul>
iii) Demonstrates a high degree of technical or scientific achievement.	No	<ul style="list-style-type: none"> <li>■ The house located on the 1186 Fanshawe Park Road East does not demonstrate a high degree of technical or scientific achievement</li> </ul>
<b>2) The property has <i>historic value or associate value</i> because it:</b>		
i) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community.	Yes	<ul style="list-style-type: none"> <li>■ The house located at 1186 Fanshawe Park Road East was built in 1888 as the parsonage for the Siloam United Church. The parsonage began to house clergyman and their families in 1888 beginning with Rev. James Kennedy. The parsonage continued to be owned and associated with the church until 1986 when the Trustees of Siloam United Church sold the property. Therefore, the house communicates the history of Siloam United Church, a significant church which has been in the area since the mid-nineteenth century.</li> </ul>
ii) Yields or has the potential to yield information that contributes to an understanding of a community or culture.	No	<ul style="list-style-type: none"> <li>■ The property at 1186 Fanshawe Park Road East does not yield information that contributes to an understanding of a community or culture.</li> </ul>
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No	<ul style="list-style-type: none"> <li>■ The property at 1186 Fanshawe Park Road East does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.</li> </ul>

Criteria	Meets Criteria (Yes/No)	Rationale
<b>3) The property has <i>contextual value</i> because it:</b>		
<b>i) Is important in defining, maintaining or supporting the character of an area.</b>	Yes	<ul style="list-style-type: none"> <li>■ The property at 1186 Fanshawe Park Road East supports the former rural character of Fanshawe Park Road East and former London Township. The nineteenth century rural character was maintained until the later twentieth century when this portion of London Township was annexed in 1993 into the City of London. The property retains its rural character through the retention of the house and its mature treeline that provides privacy around the house.</li> </ul>
<b>ii) Is physically, functionally, visually or historically linked to its surroundings.</b>	No	<ul style="list-style-type: none"> <li>■ The house located on 1186 Fanshawe Park Road East is not physically, functionally, or historically linked to its surroundings.</li> </ul>
<b>iii) Is a landmark.</b>	No	<ul style="list-style-type: none"> <li>■ The house located on 1186 Fanshawe Park Road East shows no indication of being a landmark.</li> </ul>

The property located at 1186 Fanshawe Park Road East meets the criteria of Ontario Regulation 9/06 and therefore does retain cultural heritage value or interest at the local level.



## 7. Draft Statement of Significance

---

Based on the background research, including a historical overview of the property, the field review, and application of Ontario Regulation 9/06 as part of this Heritage Impact Assessment, the following Statement of Significance has been drafted:

### 7.1 Description of the Property

The property at 1186 Fanshawe Park Road East is approximately 0.18 hectares in size and consists of a two-storey buff brick house, a detached garage, and a mature treeline. The property is generally bound by 1170 Fanshawe Park Road East to the west, 1240 Fanshawe Park Road East to the north, the Development Area to the east, and Fanshawe Park Road East to the south. The property is historically located in part of the south half of Lot 9, Concession V, Township of London, Middlesex County.

### 7.2 Draft Statement of Significance

Constructed in 1888, the two-storey buff brick house located at 1186 Fanshawe Road East is a representative example of the Italianate style in London. The house sits on a fieldstone foundation. Many elements commonly found on buildings in the Italianate style are found on the house, including: paired wood brackets, segmentally arched windows with brick voussiors and shutters, and transom with stained glass over the main entrance. The main house includes a contemporary kitchen tail which also sits on a fieldstone foundation. A later rear addition was built on a concrete foundation.

The house located at 1186 Fanshawe Road East retains historical associations with the Siloam United Church, which has served London's Methodist community since 1857. Archival records demonstrate that the house was built in 1888 as the parsonage for the Siloam United Church. The parsonage began to house clergyman and their families in 1888, beginning with Rev. James Kennedy. The parsonage continued to be associated with Siloam United Church until 1986 when the Trustees of Siloam United Church sold the property.

The contextual value of the property is resulting from its retention of landscape elements that provide direct ties to the former rural character of the Fanshawe Park Road East and former London Township. The property retains its rural character through the retention of the house and its mature treeline that provides privacy around the house.

### 7.3 Heritage Attributes

Heritage attributes of the house include:

- Two-storey buff brick house
- Scale and massing with L-shaped plan
- Low hipped roof with wide overhanging eaves
- One storey buff brick kitchen tail
- Fieldstone foundation
- Wood window frames
- Segmentally arched windows and doors with brick voussoirs
- Five paired scrolled wood cornice brackets of the bay window
- Transom with stained glass

Heritage attributes of the landscape include:

- Mature treeline on the property boundary

## 8. Impact Assessment

---

### 8.1 Description of the Proposed Project

AECOM was retained by Masar Development Inc. to conduct a Heritage Impact Assessment of the property located at 1186 Fanshawe Park Road, in the City of London as part of a Zoning By-law Amendment application to develop a subdivision at 1208 Fanshawe Park Road East. The developer proposes to construct 28-unit stacked townhouses with a height of approximately 14 metres. The Conceptual Townhouse Layout (September 2, 2021) is presented in **Figure 3**, below. The proposed townhouses within the Development Area will be setback 4.3 metres from the east property boundary of 1186 Fanshawe Park Road East, the Study Area.

This Heritage Impact Assessment is structured to determine the impact of the proposed development on the cultural heritage value and heritage attributes of the property located at 1186 Fanshawe Park Road East, Listed Property on the City of London's *Register of Cultural Heritage Resources*, located adjacent to the proposed development.

### 8.2 Assessment of Impacts

#### 8.2.1 Screening for Potential Impacts

To assess the potential impacts of the undertaking, identified cultural heritage resources are considered against a range of possible impacts based on the *Ontario Heritage Tool Kit, Heritage Resources in the Land Use Planning Process, InfoSheet #5 Heritage Impact Assessments and Conservation Plans* (MHSTCI 2006:3) which include, but are not limited to:

- Destruction, removal, or relocation of any, or part of any, significant heritage attributes or features
- Alteration that is not sympathetic, or is incompatible, with the historic fabric or appearance
- Shadows created that alter the appearance of a heritage attribute or change the exposure or visibility of a natural feature or plantings, such as a garden
- Isolation of a heritage attribute from its surrounding environment, context, or a significant relationship
- Direct or indirect obstruction of significant views or vistas from, within, or to a built or natural heritage feature
- A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces

- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource
- Is a landmark.

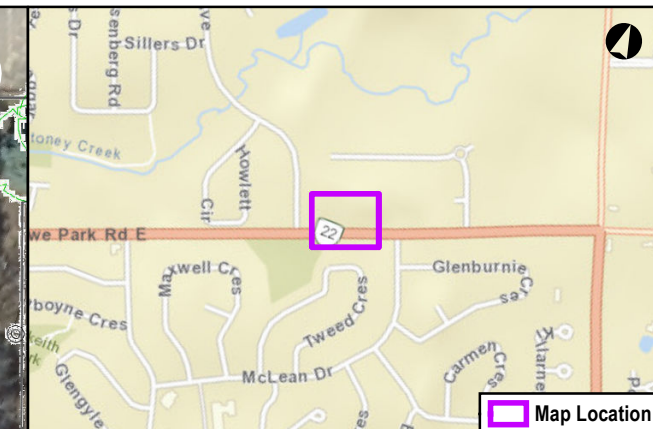
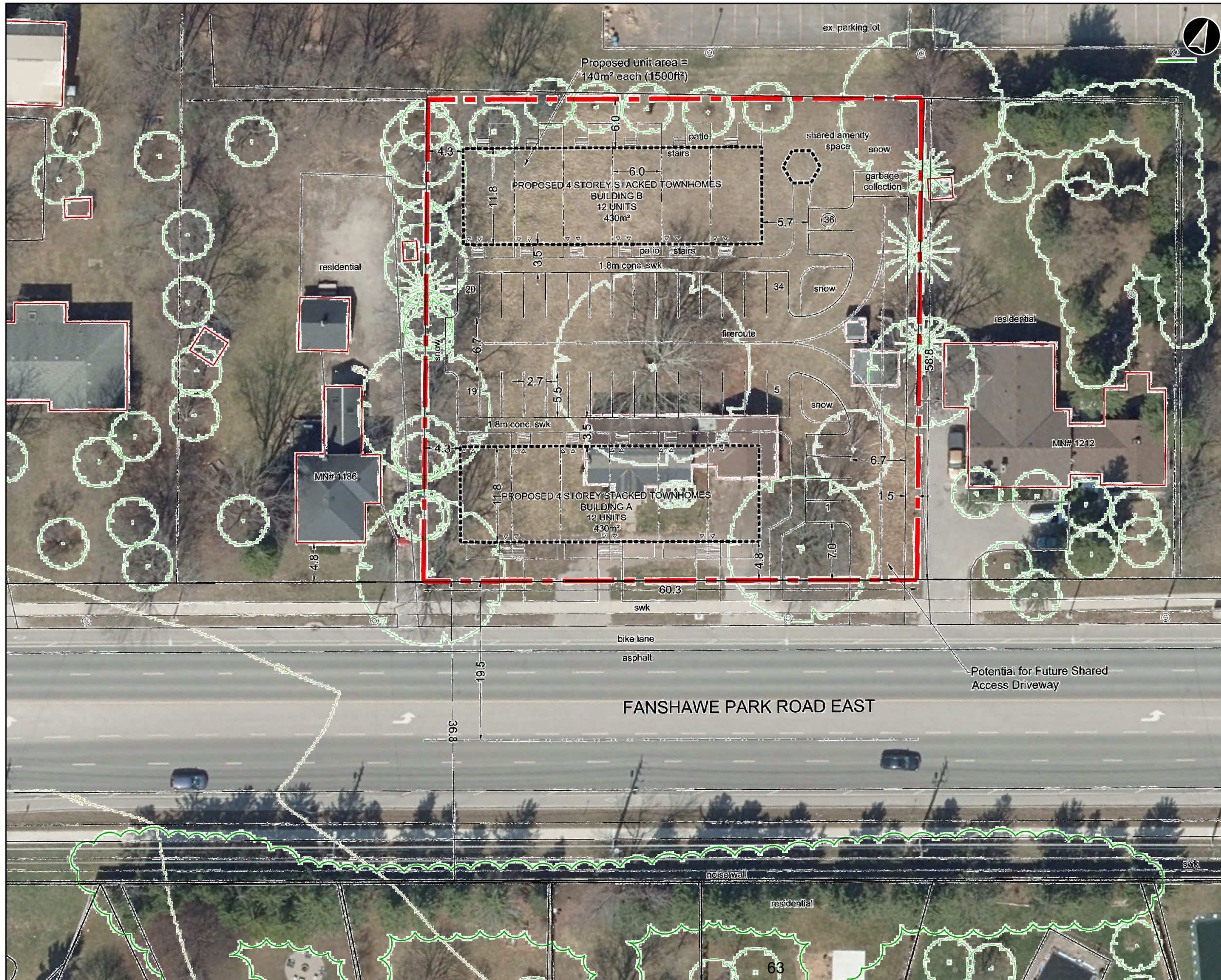
## 8.2.2 Assessment of Potential Impacts on the Study Area

The impact assessment of the proposed project in **Table 3** presents the possible impacts on the Study Area based on the Conceptual Townhouse Layout. The impact assessment utilizes the *Ontario Heritage Tool Kit, Heritage Resources in the Land Use Planning Process, InfoSheet #5 Heritage Impact Assessments and Conservation Plans* (MHSTCI 2006:3):

**Table 3: Impact Assessment – 1186 Fanshawe Park Road East**

Impact	Discussion of Impacts
<b>Destruction, Removal, or Relocation</b>	<ul style="list-style-type: none"> <li>■ No impact.</li> <li>■ The current Conceptual Townhouse Layout illustrates that the development of the adjacent property does not have the potential to directly impact the Study Area.</li> <li>■ The mature treeline, along the east boundary of the Study Area screens the Study Area from the Development Area at 1208 Fanshawe Park Road East. The treeline associated with the Study Area has been determined a heritage attribute of the property. Based on the Conceptual Townhouse Layout there should be no direct impacts to the treeline. However, it is anticipated that construction related activities (i.e. grading) will be in close proximity to the Study Area. Therefore, to avoid impacts to the treeline, protective measures should be developed prior to construction.</li> </ul>
<b>Alteration</b>	<ul style="list-style-type: none"> <li>■ No impact.</li> <li>■ The project will not result in the alteration of any heritage attributes of the property.</li> </ul>
<b>Shadows</b>	<ul style="list-style-type: none"> <li>■ No impact.</li> <li>■ The Conceptual Townhouse Layout shows the proposed townhouses have a height of 14 m with a setback of 4.3 m from the Study Area. Due to the height of the trees and the proposed orientation of the townhouses, it is anticipated that the development will not result in negative shadow impacts to the Study Area. To ensure the protection of the mature tree line along the east boundary of the Study Area the Planning Justification Report to be completed by Monteith Planning Consultants should confirm that the development will not cast shadows on the mature trees and cause damage.</li> </ul>
<b>Isolation</b>	<ul style="list-style-type: none"> <li>■ No impact.</li> <li>■ The project will not result isolate any heritage attributes from its surrounding environment within the property.</li> </ul>
<b>Direct or Indirect Obstruction of Significant Views</b>	<ul style="list-style-type: none"> <li>■ No impact.</li> <li>■ There are no significant views identified as heritage attributes of this property. Therefore, the project will not obstruct any significant views.</li> </ul>
<b>A Change in Land Use</b>	<ul style="list-style-type: none"> <li>■ No impact.</li> <li>■ The project will not result in a change in land use of the property.</li> </ul>
<b>Land Disturbance</b>	<ul style="list-style-type: none"> <li>■ No impact.</li> <li>■ The project will not cause any land disturbance on the property.</li> </ul>



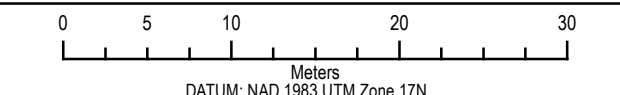


**Legend**

Development Area – 1208 Fanshawe Park Road East

**Heritage Impact Assessment**  
**1208 Fanshawe Park Road East**

Conceptual Townhouse Layout  
 over Aerial Photography



November 2021 1:450  
 \*when printed 11"x17"

P#: 60670915 V#:

Source: MNRF 2020, Montleith Brown 2021  
 Image: City of London 2021, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User

**AECOM** **Figure 3**

This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.

Map location: \\na.aecocom.com\share\AECOM\London\CALON\DCS\GIS\Projects\60670915\_HIA\_1208Fanshawe\Design\1\_Report\HIA\Fig3-ConceptualLayout\herald.mxd  
 Date saved: 11/22/2021 4:06:44 PM User: cshah



## 9. Mitigation Strategy and Recommendations

---

### 9.1 Mitigation Strategy

Based on the results of the heritage evaluation utilizing Ontario Regulation 9/06, 1186 Fanshawe Park Road East, the Study Area, meets the criteria of Ontario Regulation 9/06.

Based on the Conceptual Townhouse Layout and the impact assessment completed in **Table 3**, there will be no direct or indirect impacts to the Study Area. The impact assessment conducted in **Section 8** of this Heritage Impact Assessment, concluded that there are no potential indirect impacts to the Study Area. The treeline is a heritage attribute of the Study Area. Construction related activities may occur in close proximity to the Study Area. Therefore, a mitigation strategy for this report has been created that allows for the development of the proposed project while providing mitigation to protect 1186 Fanshawe Park Road East and its heritage attributes within its boundary during and after construction.

### 9.2 Recommendations

The proposed development at 1208 Fanshawe Park Road East in the City of London is adjacent to 1186 Fanshawe Park Road East, a Listed property on the City of London's *Register of Cultural Heritage Resources*. Based on the results of the Heritage Impact Assessment, the mitigation strategy of this report is to recommend protective measures of the Study Area while approving the current conceptual layout for the Development Area. The following recommendations should be considered as part of the approval of the proposed Conceptual Townhouse Layout for 1208 Fanshawe Park Road East:

- 1) Ensure that 1186 Fanshawe Park Road East is marked as a heritage Listed property on the Final Conceptual Townhouse Layout for 1208 Fanshawe Park Road East.
- 2) Complete the Tree Preservation Plan (TPP) for the Development Area to establish the ownership of trees growing along the property lines. The TPP should include a detailed tree protection methodology for the trees owned by 1186 Fanshawe Park Road East along its east boundary (i.e. protection with silt fence during construction).
- 3) The Planning Justification Report to be completed by Monteith Planning Consultants should confirm that the proposed development of townhouses at a height of 14 metres and a 4.3 metre setback will not cast shadows and cause adverse indirect impacts on the mature trees located along the east boundary of the 1208 Fanshawe Park Road East.

- 4) Due to the proximity of the proposed development, a permanent fence (i.e., chain link or wood) should be installed along that shared east boundary between 1186 Fanshawe Park Road East and 1208 Fanshawe Park Road East post-construction.



---

## 10. Sources

---

### Primary and Secondary Sources:

Department of Militia and Defence, 1915:

National Topographic Series. Lucan Sheet. 40 P/3. 1915.

Department of Militia and Defence, 1928:

National Topographic Series. Lucan Sheet. 40 P/3. 1928

Department of Militia and Defence, 1936:

National Topographic Series. Lucan Sheet. 40 P/3. 1936.

*Illustrated historical atlas of the county of Middlesex, Ont.*

Toronto: H.R. Page & Co., 1878.

London Township History Book Committee (LTHBC)

2001 *A Rich Heritage 1796-1997 Volume I. Families Past and Present Volume II.*

Aylmer: The Aylmer Express.

Siloam United Church, 2007:

*Our Roots and their Legacy: 150 Years of Siloam United Church 1857-2007*

Whebell, C.F.J.

1992 The London Stratagem: From Concept to Consummation, 1791-1855. In *Simcoe's Choice: Celebrating London's Bicentennial*. Guy St. Denis (ed.): Pp. 31-67. Toronto: Dundurn Press Limited.

### Provincial Standards and Resources:

Government of Ontario:

*O. Reg. 9/06: Criteria for Determining Cultural Heritage Value or Interest*; made under the Ontario Heritage Act. Available online at <https://www.ontario.ca/laws/regulation/060009>

Government of Ontario:

*Ontario Heritage Act, R.S.O. 1990, c.0.18*. Available online at <https://www.ontario.ca/laws/statute/90o18>

Government of Ontario:

*Planning Act, R.S.O. 1990, c. P.13*. Available online at <https://www.ontario.ca/laws/statute/90p13>

Government of Ontario, 2020:

Provincial Policy Statement. Available online at <https://www.ontario.ca/page/provincial-policy-statement-2020>

Ministry of Heritage, Sport, Tourism, and Culture Industries (MHSTCI), 2006:

*Ontario Heritage Tool Kit*. Available online at:  
[http://www.mtc.gov.on.ca/en/heritage/heritage\\_toolkit.shtml](http://www.mtc.gov.on.ca/en/heritage/heritage_toolkit.shtml)

Ministry of Heritage, Sport, Tourism, and Culture Industries (MHSTCI), 2007:

*Heritage Conservation Principles for Land Use Planning*. Available online at:  
[http://www.mtc.gov.on.ca/en/publications/InfoSheet\\_Principles\\_Land use\\_Planning.pdf](http://www.mtc.gov.on.ca/en/publications/InfoSheet_Principles_Land use_Planning.pdf)

Ministry of Heritage, Sport, Tourism, and Culture Industries (MHSTCI), 2010:

*Standards & Guidelines for the Conservation of Provincial Heritage Properties* Available online at: [http://www.mtc.gov.on.ca/en/heritage/MTCS\\_Heritage\\_IE\\_Process.pdf](http://www.mtc.gov.on.ca/en/heritage/MTCS_Heritage_IE_Process.pdf)

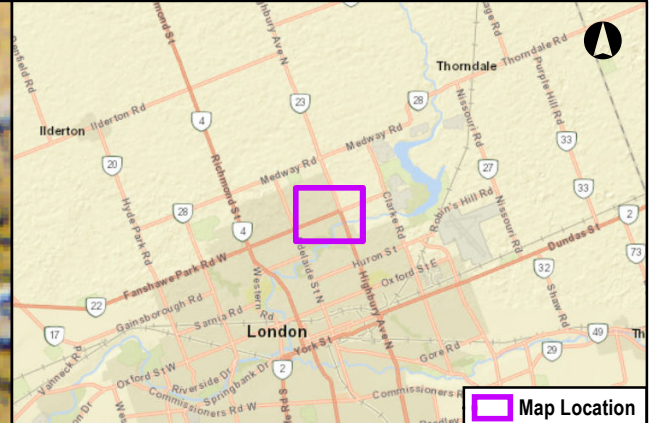
Parks Canada, 2010:

*Standards and Guidelines for the Conservation of Historic Places in Canada*. Available online at:  
<https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>

# Appendix A

## Historical Map Set



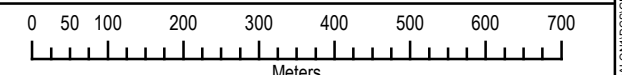


**Legend**

- Development Area – 1208 Fanshawe Park Road East
- Study Area – 1186 Fanshawe Park Road East

**Heritage Impact Assessment  
1208 Fanshawe Park Road East**

Development Area and Study Area  
Overlaid on the 1862 Tremaine Map



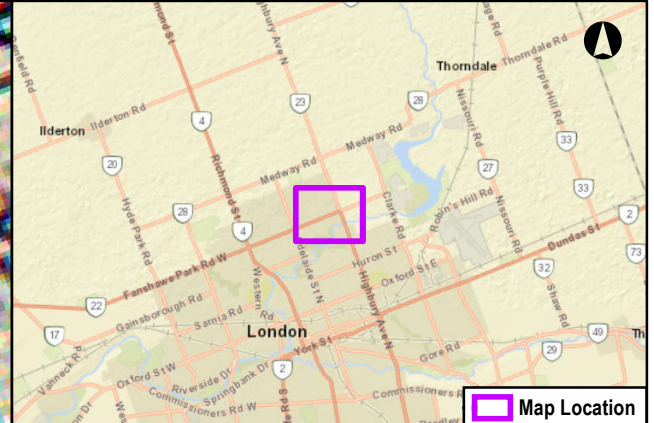
November 2021	1:10,000 * when printed 11"x17"	Source: MNRF 2020, City of London 2021 Image: City of London 2021, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User
P#: 60670915	V#:	

<b>AECOM</b>	<b>Figure 4</b>
--------------	-----------------



This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.

Map location: \\naa\m\London\CALON\DCS\GIS\Projects\60670915\_HIA\_1208F\analyse\Design\1\_Report\HIA\Fig4-StudyArea1862.mxd  
Date saved: 1/22/2021 4:17:31 PM User Name: dabb



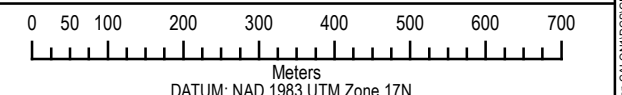


**Legend**

-  Development Area – 1208 Fanshawe Park Road East
-  Study Area – 1186 Fanshawe Park Road East

**Heritage Impact Assessment  
1208 Fanshawe Park Road East**

**Development Area and Study Area  
Overlaid on the 1878 Illustrated Historical Atlas Map**



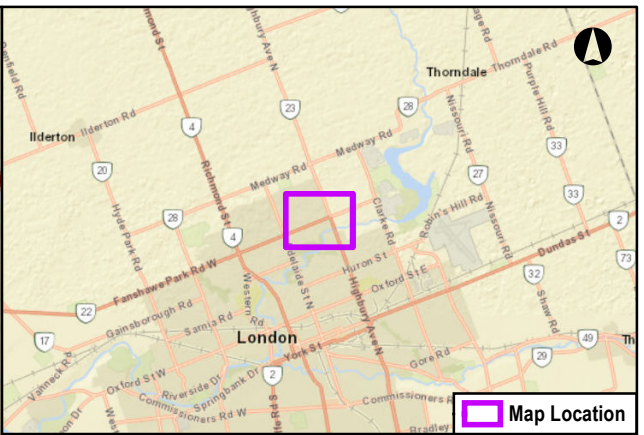
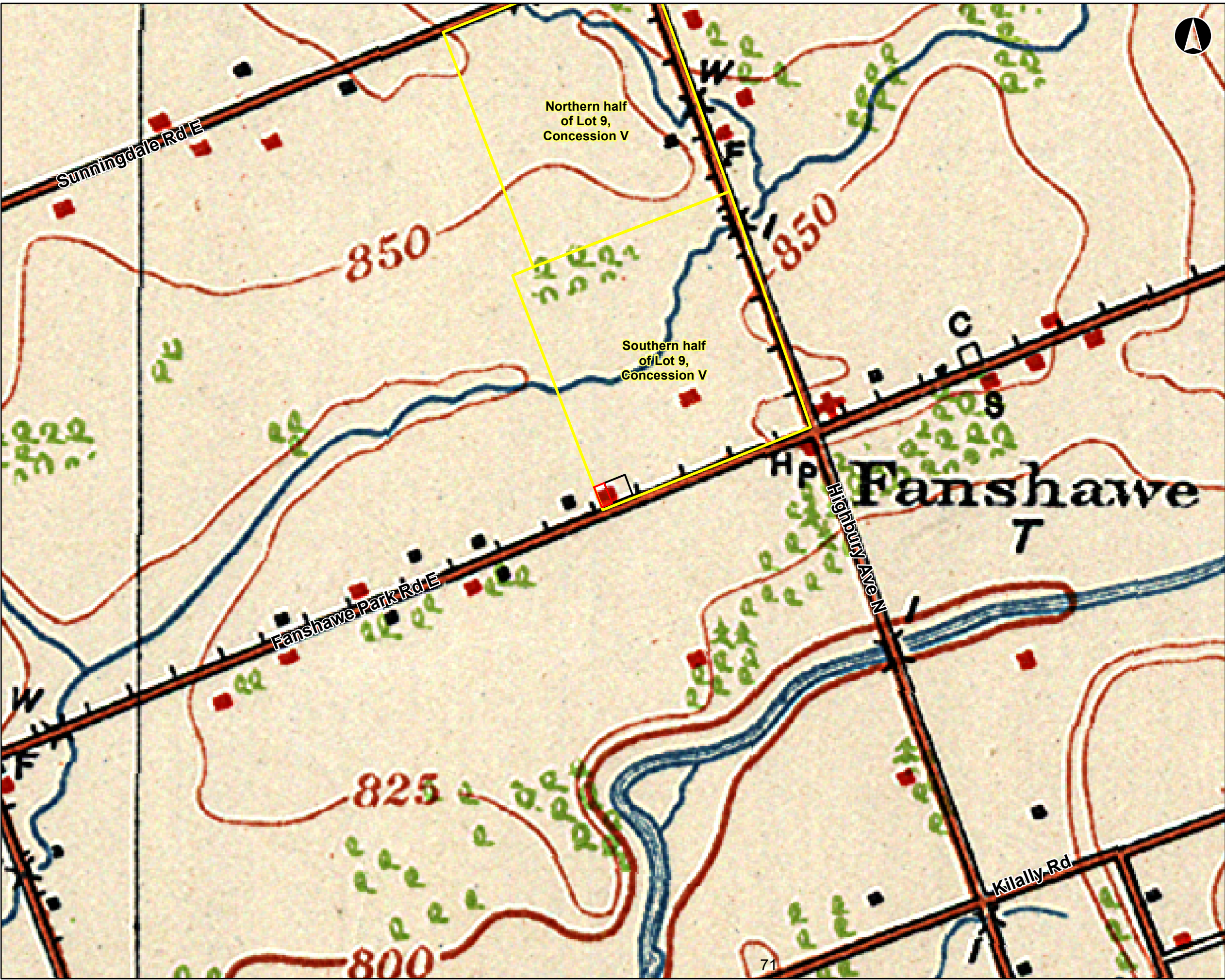
November 2021	1:10,000 * when printed 11"x17"	Source: MNRF 2020, City of London 2021 Image: City of London 2021, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User
P#: 60670915	V#:	

<b>AECOM</b>	<b>Figure 5</b>
--------------	-----------------

This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.

Map location: \\na.aecocom.com\NAAMER\London\CALON\DCS\GIS\Projects\60670915\_HIA\_1208F\analyse\Design\1\_Report\HIA\Figs-Study\_Area\1878.mxd  
Date saved: 1/22/2021 4:06:17 PM User: c.dale



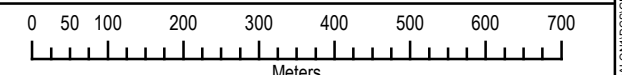


**Legend**

- Development Area – 1208 Fanshawe Park Road East
- Study Area – 1186 Fanshawe Park Road East
- Historical Lot Boundary

**Heritage Impact Assessment  
1208 Fanshawe Park Road East**

Development Area and Study Area  
Overlaid on the 1915 Topographic Map



DATUM: NAD 1983 UTM Zone 17N

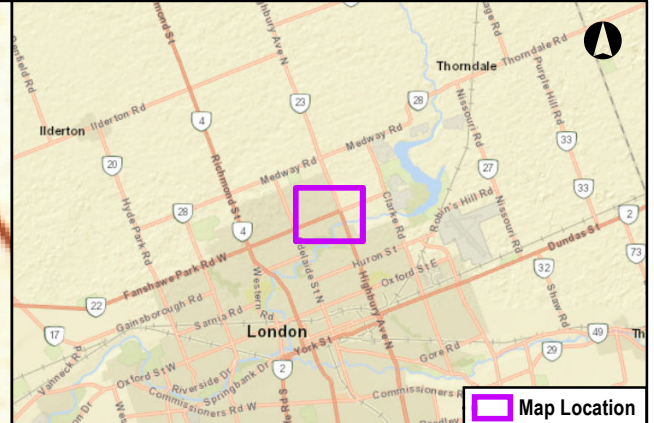
December 2021	1:10,000 * when printed 11"x17"	Source: MNRF 2020, City of London 2021 Image: City of London 2021, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User
P#: 60670915	V#:	

<b>AECOM</b>	<b>Figure 6</b>
--------------	-----------------

This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.

Map location: \\na.aecom.com\London\CALON\DCS\GIS\Projects\60670915\_HIA\_1208F\anahaw Design\1\_Report\HIA\Fig-Study\_Area\915.mxd  
Date saved: 12/22/2021 11:30:30 AM User: Name: cadis



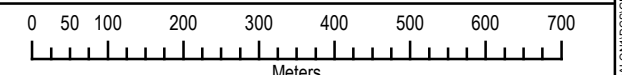


**Legend**

- Development Area – 1208 Fanshawe Park Road East
- Study Area – 1186 Fanshawe Park Road East

**Heritage Impact Assessment  
1208 Fanshawe Park Road East**

**Development Area and Study Area  
Overlaid on the 1928 Topographic Map**



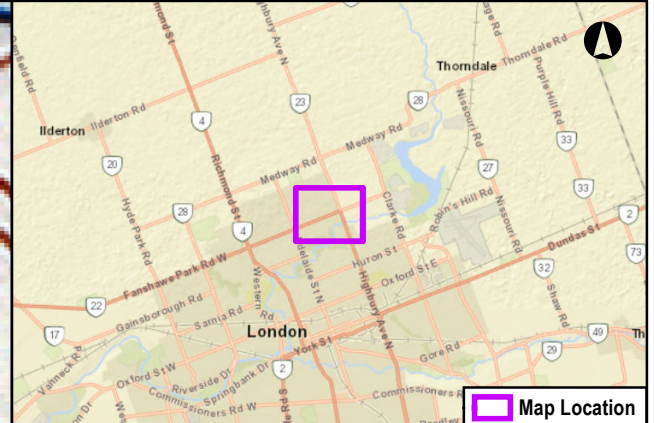
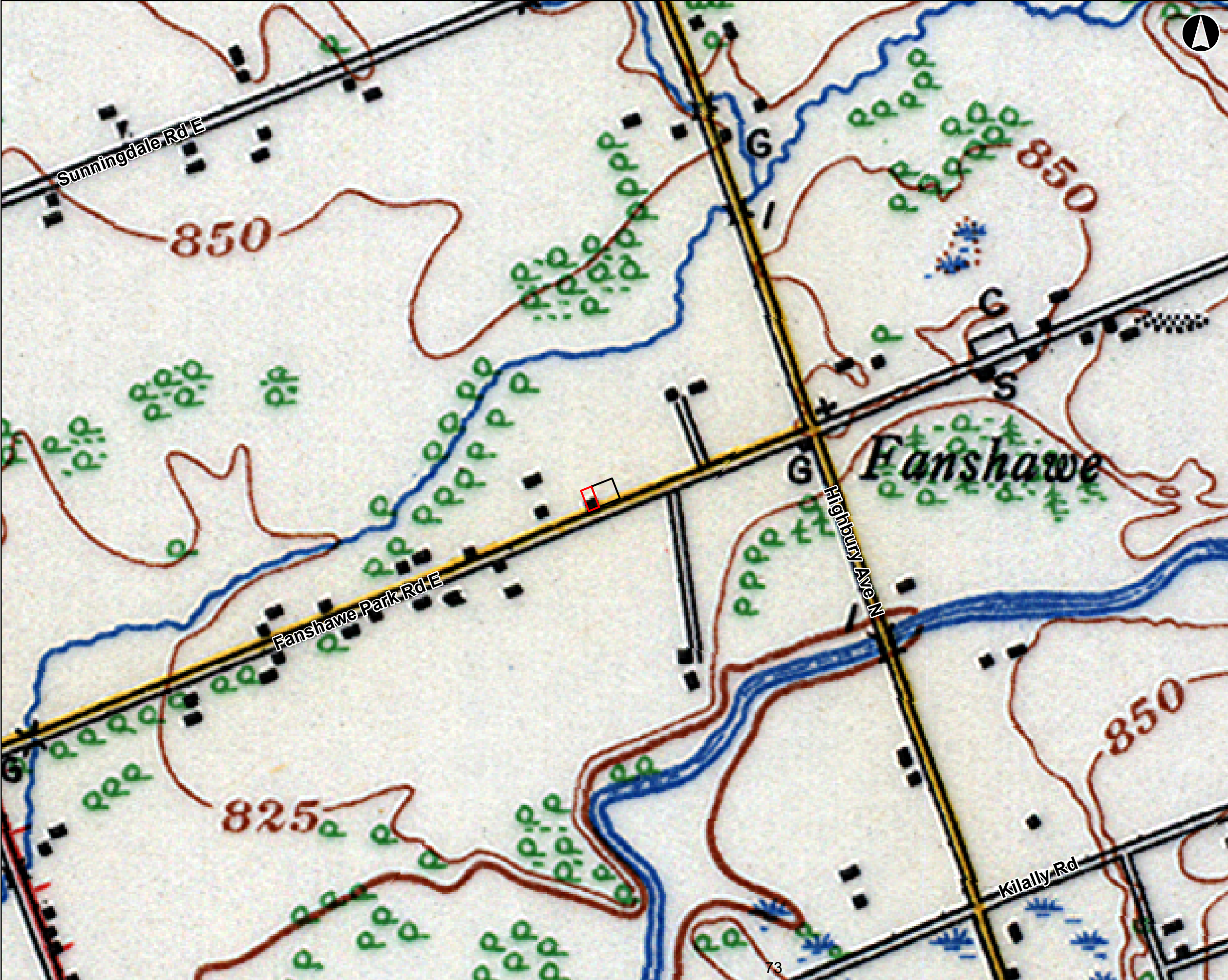
November 2021	1:10,000 * when printed 11"x17"	Source: MNRF 2020, City of London 2021 Image: City of London 2021, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User
P#: 60670915	V#:	

<b>AECOM</b>	<b>Figure 7</b>
--------------	-----------------



This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.

Map location: \\na.aecom.com\share\London\CALON\DCS\GIS\Projects\60670915\_HIA\_1208\_Fanshawe\_Design\1\_Report\HIA\Fig\_7\_Study\_Area\_1928.mxd Date saved: 1/25/2021 4:15:17 PM User: c.dale



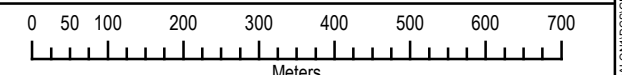


**Legend**

-  Development Area – 1208 Fanshawe Park Road East
-  Study Area – 1186 Fanshawe Park Road East

**Heritage Impact Assessment  
1208 Fanshawe Park Road East**

**Development Area and Study Area  
Overlaid on the 1936 Topographic Map**



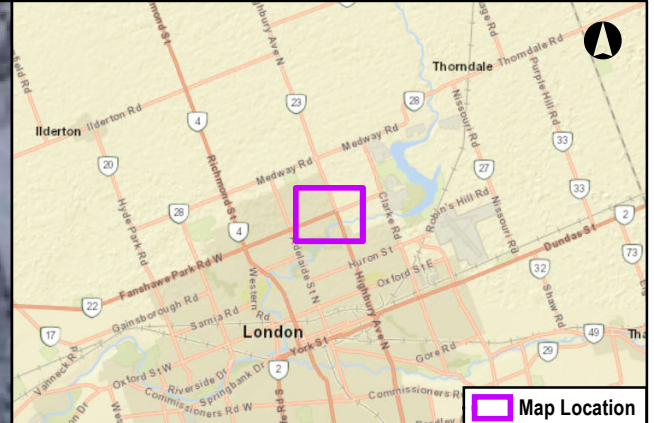
November 2021	1:10,000 * when printed 11"x17"	Source: MNRF 2020, City of London 2021 Image: City of London 2021, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User
P#: 60670915	V#:	

<b>AECOM</b>	<b>Figure 8</b>
--------------	-----------------



This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.

Map location: \\na.aecocom.com\NAAMER\London\CALON\DCS\GIS\Projects\60670915\_HIA\_1208F\analyse\Design\1\_Report\HIA\Figs-Study\_Area\1936.mxd  
Date saved: 1/25/2021 4:15:10 PM User: c.dale



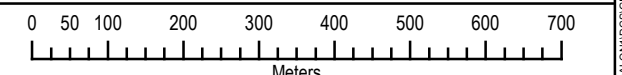


**Legend**

-  Development Area – 1208 Fanshawe Park Road East
-  Study Area – 1186 Fanshawe Park Road East

**Heritage Impact Assessment  
1208 Fanshawe Park Road East**

Development Area and Study Area  
Overlaid on the 1954 Aerial Photography



DATUM: NAD 1983 UTM Zone 17N

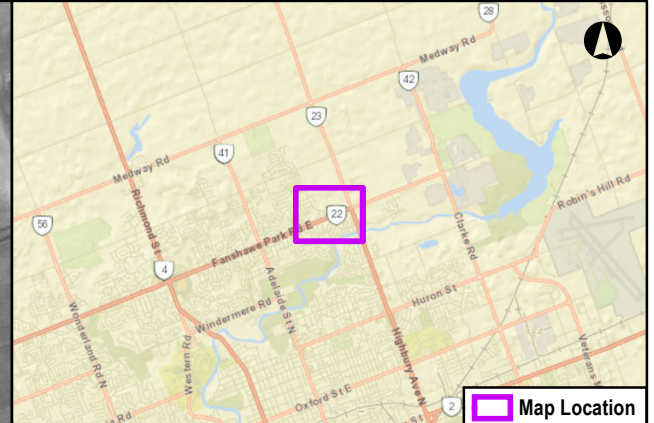
November 2021	1:10,000 * when printed 11"x17"	Source: MNRF 2020, City of London 2021 Image: City of London 2021, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User
P#: 60670915	V#:	

<b>AECOM</b>	<b>Figure 9</b>
--------------	-----------------

This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.

Map location: \\na.aecocom.com\share\AECOM\London\CALON\DCS\GIS\Projects\60670915\_HIA\_1208F\analyse\Design\1\_Report\HIA\Figs-Study\_Area\1954.mxd Date saved: 1/22/2021 4:16:24 PM User: c.dabo



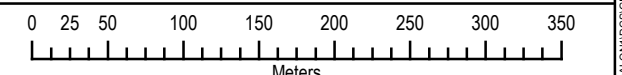


**Legend**

- Development Area – 1208 Fanshawe Park Road East
- Study Area – 1186 Fanshawe Park Road East

**Heritage Impact Assessment  
1208 Fanshawe Park Road East**

Development Area and Study Area  
Overlaid on the 1967 Aerial Photography



DATUM: NAD 1983 UTM Zone 17N

November 2021	1:5,000 * when printed 11"x17"	Source: MNRF 2020, City of London 2021 Image: City of London 2021, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User
P#: 60670915	V#:	

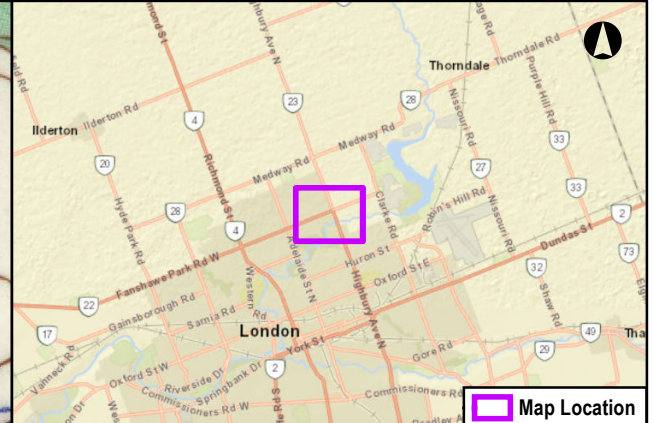
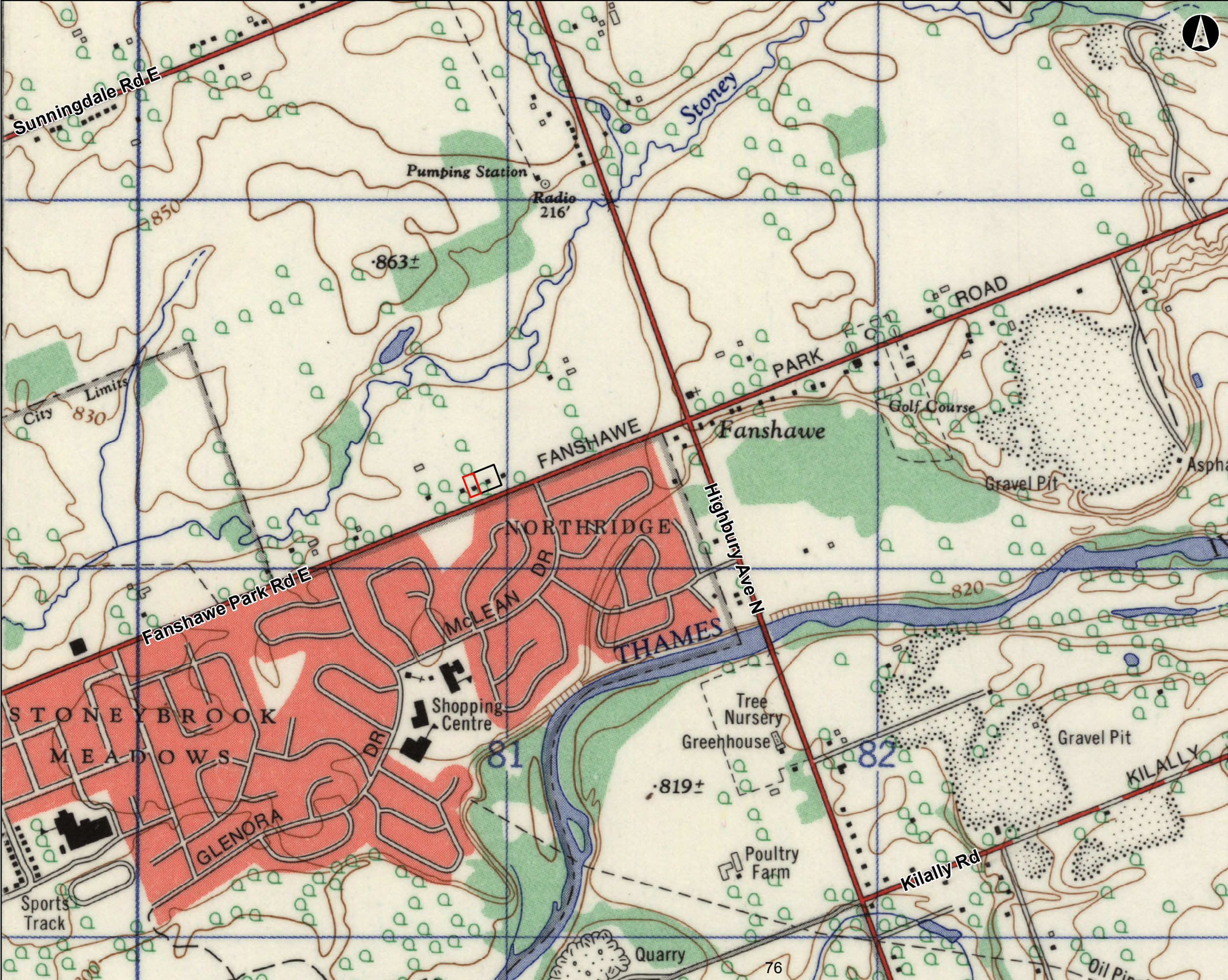


**Figure 10**

This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.

Map location: \\sra.aecom.com\ASIA\London-CALON\DCS\GIS\Projects\60670915\_HIA\_1208F\anatawe\Design\1\_Report\HIA\Fig 10-StudyArea 1967.mxd  
Date saved: 11/30/2021 12:46:04 PM User Name: chait



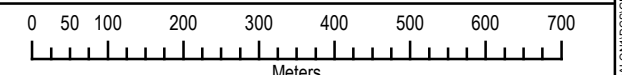


**Legend**

- Development Area – 1208 Fanshawe Park Road East
- Study Area – 1186 Fanshawe Park Road East

**Heritage Impact Assessment  
1208 Fanshawe Park Road East**

Development Area and Study Area  
Overlaid on the 1973 Topographic Map



DATUM: NAD 1983 UTM Zone 17N

November 2021  
P#: 60670915

1:10,000  
\*when printed 11"x17"

Source: MNRF 2020, City of London 2021  
Image: City of London 2021, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User



**Figure 11**

This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.

Map location: \\na.aecocom.com\BAM\London\CALON\DCS\GIS\Projects\60670915\_HIA\_1208\_Fanshawe\Design\1\_StudyArea\Fig 11\_StudyArea 1973.mxd Date saved: 11/20/2021 12:12:03 PM User Name: dcauld



# Appendix B

## Project Personnel – CVs

# Tara Jenkins, MA, GPCertCHS, CAHP

## Cultural Heritage Specialist

Education	Years of Experience	Licenses/Registrations	Professional Affiliations
Graduate Professional Certificate in Cultural Heritage Studies (GPCertCHS), University of Victoria, 2016	With AECOM: 1 With Other Firms: 20	Professional Archaeologist License (P357)	Voting Member of London's Advisory Committee on Heritage (LACH)
MA, Anthropology, McMaster University, 2011		Member of Canadian Association of Heritage Professionals (CAHP)	Chair of the Archaeology Subcommittee for LACH
BA (Hons), Anthropology, McMaster University, 1999, 2007			Member of Ontario Archaeological Society (OAS)

### Summary

Tara Jenkins holds a Master's Degree in Anthropology and a Graduate Professional Certificate in Cultural Heritage Studies-Heritage Planning Option. She has 20 years of experience working in cultural resource management (CRM) and is a member of the Canadian Association of Heritage Professionals (CAHP). She has gained practical experience as a Cultural Heritage Specialist and has been the acting Project Manager for various projects including Cultural Heritage Evaluation Reports, Heritage Impact Assessments, and Cultural Heritage Resource Assessments. In her role as a Project Manager, Tara provides specialized advice and expertise to clients and stakeholders on heritage matters.

She is also a voting member on London's Advisory Committee on Heritage. Tara has published articles and chapters in peer-reviewed and other recognized journals and books. She has taught at the university level in lecture and seminar environments and has been a guest speaker for academic conferences. Project work includes the application of legislation, policy framework, and tools such as the *Ontario Heritage Act*, Provincial Policy Statement, the *Ontario Heritage Tool Kit*, *The Standards and Guidelines for the Conservation of Historic Places* in Canada, various Class Environmental Assessment process and other policies and processes outlined by the Ontario Ministry of Heritage, Sport, Tourism, and Culture Industries.

### Project Experience- Cultural Heritage

*With AECOM*

**A.J. Clarke, Cultural Heritage Impact Assessment (CHIA): 16-20 Cannon Street East, City of Hamilton.** Prepared the revised draft of the CHIA in order to assess the impact of the proposed developed on the existing building within the site plan. The CHIA included a heritage evaluation using Ontario Regulation 9/06 of the property within the site plan. The CHIA also addresses impacts to adjacent heritage properties.

**A.J. Clarke, Cultural Heritage Impact Assessment (CHIA): 537-563 King Street East, City of Hamilton.** Prepared a CHIA to assess the impact of the proposed developed on the existing buildings within the site plan. The CHIA included a heritage evaluation using Ontario Regulation 9/06 for each property within the site plan.

**Ontario Northland Transportation Commission, Heritage Impact Assessment (HIA): Swastika ONR Station, Swastika, ON.** Prepared an HIA for the purposes of analysing and documenting impacts to the property resulting from demolition of the Swastika ONR Station, as well as identifying materials to be salvaged, and including an Interpretation Strategy, with recommended plaque text, to commemorate the location.

**United Counties of Leeds and Grenville, Heritage Impact Assessment (HIA): Kemptville Public Cemetery, Kemptville, ON.** Prepared an HIA to assess the impacts on the cemetery from the adjacent proposed road widening of County Road 43.

**Metrolinx and Infrastructure Ontario, Cultural Heritage Report (CHR): Ontario Line, Toronto, ON.** Project Manager/Cultural Heritage Specialist. Completed the CHR and review to ensure it follows the MHSTCI Sample Tables and Language for "Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment" and Environmental Project Reports (EPR) under Transit Project Assessment Process (TPAP) for Proponents and their Consultants for preparing cultural heritage existing conditions and preliminary impact assessment under TPAP.



**Metrolinx, Cultural Heritage Report (CHR): Scarborough Subway Extension Environmental Project Report, Toronto, ON.** Cultural Heritage Specialist. Completed a quality control review of the CHAR to ensure it follows the MHSTCI Sample Tables and Language for “Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment” and Environmental Project Reports (EPR) under Transit Project Assessment Process (TPAP) for Proponents and their Consultants for preparing cultural heritage existing conditions and preliminary impact assessment under TPAP.

**Metrolinx, Heritage Impact Assessment (HIA): Union Station Rail Corridor East, Lower Jarvis Street and Lower Sherbourne Street subways, Toronto, ON.** Cultural Heritage Specialist. Completed a quality control review of the HIA to ensure it follows the *Information Bulletin 3: Heritage Impact Assessments for Provincial Heritage Properties* (2017) and Environmental Project Reports (EPR) under Transit Project Assessment Process (TPAP) for Proponents and their Consultants for preparing cultural heritage existing conditions and preliminary impact assessment under TPAP (MHSTCI 2019).

**City of London, London Rapid Transit and Infrastructure Improvements – Downtown Loop, Heritage Impact Assessment (HIA): Downtown Loop Heritage Conservation District, London, ON.** Cultural Heritage Specialist for the preliminary and detailed design of a Bus Rapid Transit (BRT) system and infrastructure improvements in the Downtown Loop of the London BRT System. Prepared an HIA that was focused on the impacts to the HCD. Property-specific HIAs in progress.

**City of London, Cultural Heritage Assessment Report (CHAR): Arva Pumping Station to Huron St. Water Transmission Main Municipal Class Environmental Assessment, London, ON.** Cultural Heritage Specialist. Completed a CHAR which described the existing conditions of the study area, presented a built heritage and cultural landscape inventory of cultural heritage resources, and proposed appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts on identified cultural heritage resources.

**BM Ross, Cultural Heritage Evaluation Report (CHER) of Nine Bridges: Municipality of Arran-Elderslie, ON.** Project Manager/Cultural Heritage Specialist. Completing CHERs on nine bridges as a part of the Bridge Infrastructure Master Plan. The CHER includes an evaluation of each bridge under O. Reg. 9/06 of the *Ontario Heritage Act*. The CHER will identify key planning issues associated with the structures prior to taking site specific environmental assessments.

**City of London, Cultural Heritage Assessment Report (CHAR), Dingman Drive Road Widening, London, ON.** Cultural Heritage Specialist. The purpose of the CHAR was to describe the existing conditions of the study area, present an inventory of previously identified and potential cultural heritage resources, and propose appropriate mitigation measures and recommendations for minimizing and avoiding potential negative impacts on those resources

*With Other Companies*

**Metrolinx, Cultural Heritage Assessment Report (CHAR): OnCorr Due Diligence Project - Lake Shore East Non-Priority Properties, Toronto, ON.** Project Manager/Cultural Heritage Specialist. Completed the CHAR which focused on non-priority properties in the Lake Shore East (LSE) Corridor study area. The CHAR described the existing conditions and presented an inventory of known and potential above-ground cultural heritage resources. The report recommended appropriate mitigation measures for Metrolinx-owned properties with known or potential cultural heritage resources.

**City of London, Cultural Heritage Assessment Report (CHAR): Hamilton Road Corridor Planning Study, London, ON.** Project Manager/Cultural Heritage Specialist. Completed the CHAR as a support document to the Hamilton Road Corridor Planning Study. The purpose of the CHAR was to describe the existing conditions of the Hamilton Road Corridor study area, present an inventory of previously identified and potential cultural heritage resources, and propose appropriate mitigation measures and recommendations for minimizing and avoiding potential negative impacts on those resources.

**City of Brampton, Watermain and Sanitary Sewer Replacement/Relining Program (Phase 2 and 3), Cultural Heritage Assessment Report (CHRA), Brampton, ON.** Project Manager/Cultural Heritage Specialist. Completed a Desktop CHRA on the Phase 3 study area and an Existing Conditions report on the Phase 2 study area. The purpose of CHRA was to describe the existing conditions of the study areas, present an inventory of previously identified and potential cultural heritage resources, and propose appropriate mitigation measures and recommendations for minimizing and avoiding potential negative impacts on those resources.

**GM BluePlan, Cultural Heritage Evaluation Report (CHER): Greenhouse Road Bridge, Waterloo, ON.** Project Manager/Cultural Heritage Specialist. Completed a CHER which included an evaluation of the bridge under O. Reg. 9/06 of the *Ontario Heritage Act*. The CHER was conducted in order to determine if future work for the bridge falls under Schedule A, A+, or B definitions of the MCEA.

**Town of Saugeen Shores, Cultural Heritage Assessment Report (CHAR): Southampton Water Control Pollution Control Plant Upgrades, Town of Saugeen Shores, ON.** Project Manager/Cultural Heritage Specialist. Completed the CHAR which described the existing conditions of the study area, presented a built heritage and cultural landscape inventory of cultural heritage resources, and proposed appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts on identified cultural heritage resources.

**City of Hamilton, Cultural Heritage Resource Assessment (CHRA): Existing Conditions, Birch Avenue MCEA, Hamilton, ON.** Cultural Heritage Specialist. Completed the CHRA which described the existing conditions of the study area, presented a built heritage and cultural landscape inventory of cultural heritage resources, and proposed appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts on identified cultural heritage resources.

**BrookMcIlroy/, Cultural Heritage Resource Assessments (CHRA): Burlington Mobility Hubs, Burlington, ON.** Cultural Heritage Specialist. Completed the CHRA which described the existing conditions within each proposed hub study area, presented a built heritage and cultural landscape inventory of cultural heritage resources, and proposed appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts on identified cultural heritage resources. The mobility hub study was being undertaken to provide policy and land use direction, and to help understand opportunities and constraints to developing each proposed area.

**Stateview Home Ltd., Heritage Impact Assessment (HIA): King City, ON.** Project Manager/Cultural Heritage Specialist. Completed the HIA which determined the cultural heritage significance of the properties within the study area, addressed potential negative impacts of the development on these properties, and determined the impact of the proposed undertaking on an adjacent property listed on the King Township *Heritage Register*.

**City of Hamilton, Cultural Heritage Impact Assessment (CHIA): 553 Sanatorium Road (Mountain Sanatorium), City of Hamilton, ON.** Project Manager/Cultural Heritage Specialist. Completed the CHIA which included a description of the cultural heritage resource, a description of the site's cultural heritage value as based on archival research, site analysis, and municipally accepted criteria for establishing cultural heritage significance, an assessment of impacts of the proposed undertaking, and appropriate conservation measures and intervention strategies. Guidance on the preparation of this Cultural Heritage Impact Assessment report was provided in the City of Hamilton *Infosheet: Cultural Heritage Impact Assessments*.

**City of Brantford, City Brantford Heritage Register Project.** Cultural Heritage Specialist. The objective of the register project was to update/review the existing Heritage Register for the City of Brantford. Tasks included historical research, field assessment and documentation, co-author on thematic history.

**GM BluePlan, Cultural Heritage Evaluation Report (CHER) and Heritage Impact Assessment (HIA), Select Bridges for Woolwich Township 2017 Bridge and Culvert Program, Woolwich Township, ON.** Project Manager/Cultural Heritage Specialist. Completed CHERs which included an evaluation of each bridge under O. Reg. 9/06 of the *Ontario Heritage Act*. The CHERs were conducted in order to provide recommendations on heritage conservation for the bridge, examining both replacement and rehabilitation options.

**City of Brampton, Cultural Heritage Resource Assessment (CHRA): Existing Conditions, Main Street and Queen Street Streetscaping Improvements, Brampton, ON.** Cultural Heritage Specialist. Completed the CHRA which described the existing conditions of the study area, presented a built heritage and cultural landscape inventory of cultural heritage resources, and proposed appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts on identified cultural heritage resources. The study was being undertaken to investigate the feasible streetscape improvements in the study area to improve walkability and pedestrian capacity.

**Woodbine Entertainment Group, Heritage Impact Assessment (HIA): Woodbine Racetrack, Toronto, ON.** Project Manager/Cultural Heritage Specialist. Completed the HIA which was prepared in support of two applications for Zoning By-law Amendment and an application for Draft Plan of Subdivision approval. Woodbine Racetrack was listed on the City of Toronto's Heritage Register. The report evaluated the impact of the proposed development on the existing heritage resources, and in addition evaluated the property under O. Reg. 9/06 of the Ontario Heritage Act in order to determine if other elements of the property should be recognized for their heritage significance.

**Town of Caledon, Cultural Heritage Resource Assessment (CHRA)- Existing Conditions, Columbia Way Stormwater Management Facility Retrofit, Town of Caledon, ON.** Project Manager/Cultural Heritage Specialist. Completed the CHRA for the proposed servicing infrastructure. The CHRA described the existing conditions of the study area, presented a built heritage and cultural landscape inventory of cultural heritage resources, and proposed appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts on identified cultural heritage resources.

**City of Brampton, Heritage Heights Cultural Heritage Study- Existing Conditions Report.** Cultural Heritage Specialist. Completed the CHRA for the potential area for urban growth. The CHRA described the existing conditions of the study area, presented a built heritage and cultural landscape inventory of cultural heritage resources, and proposed appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts on identified cultural heritage resources.

**MMM Group Limited, Cultural Heritage Resource Assessment (CHRA)- Existing Conditions, Elfrida Secondary Plan, City of Hamilton, ON.** Cultural Heritage Specialist. Completed the CHRA for the potential area for urban growth. The CHRA described the existing conditions of the study area, presented a built heritage and cultural landscape inventory of cultural heritage resources, and proposed appropriate mitigation measures and recommendations for minimizing and avoiding negative



impacts on identified cultural heritage resources. The Elfrida study was being undertaken to provide detailed policy and land use direction, and to help understand opportunities and constraints to developing the greenfield area.

**Town of Tecumseth, Beeton Heritage Conservation District Study (HCD), Town of Tecumseth, ON.** Cultural Heritage Specialist. Provided support in the study. Conducted archival research to contribute to the thematic history section and aided in the public workshop.

### Select Presentations

- Guest speaker for the course AR336, Cultural Resource Management, Wilfred Laurier University, on November 12, 2020
- Presenter at the Fire Hall No. 4 plaque unveiling, June 3, 2017, City of London
- Guest motivational speaker, November 11, 2014, for the *Alternatives to Academe Forum*, to M.A. and Ph.D. students, McMaster University
- Presenter (2014) at the CAA Annual Meeting, London, ON: Session: *Recent Contributions to Woodland Archaeology in the Lower Great Lakes ("Woodland")*; Title: "Contexts, Needs and Social Messaging: "In Situating" Iroquoian Human Bone Objects"
- Guest speaker, March 18, 2012, for the Speaker Series at Eldon House in London, ON based on my M.A. archival based research paper: "Cholera in the 19<sup>th</sup> Century, London, Ontario: A Political and Economic Perspective"

### Select Publications/Exhibits

- Author (2015) in 'Changing Landscapes: Unearthing London's Past' exhibit at the Museum of Archaeology entitled: *The History of Springbank Park*
- T.D. Jenkins (2015) "Contexts, needs and social messaging: Situating Iroquoian human bone artifacts in southern Ontario, Canada" In: *Theoretical Approaches to Analysis and Interpretation of Commingled Human Remains*. Anna Osterholtz (Ed.). New York: Springer
- T.D. Jenkins (2008) "Cluster B: a sacrificial stone tool site in Queenston" In: Arch Notes, Ontario Archaeological Society
- T.D. Jenkins (2007) "Children and Tuberculosis in Hamilton" In: *Before 'The San': Tuberculosis in Hamilton at the Turn of the Twentieth Century*, Dr. Ann Herring, editor, Hamilton: Library and Archives Canada Cataloguing

# Liam Ryan, BA,

## Cultural Heritage Specialist, Intern

Education	Years of Experience	Professional Affiliations
MES, Environmental Studies: Planning, York University, 2020-2022.	With AECOM: <1 With Other Firms: 2-3	Student Member of Canadian Association of Heritage Professionals (CAHP)
BA (Hons), Anthropology, University of Waterloo, 2015-2019.		Student Member of Ontario Professional Planner Institute (OPPI) Student Member of Canadian Institute of Planners (CIP) Student Member of Architectural Conservancy Ontario (ACO)

---

### Summary

Liam Ryan holds a Bachelor of Arts Degree in Anthropology from the University of Waterloo and is currently pursuing a Master in Environmental Studies: Planning at York University. He has two years of experience in cultural resource management (CRM) as a Field Archaeologist for Archaeological and Cultural Heritage Services (ASI). He is now working at AECOM as a Cultural Heritage Specialist, Intern. In his role as a Cultural Heritage Specialist, Intern, Liam provides specialized advice and expertise to clients on cultural heritage matters.

### Project Experience- Cultural Heritage

*With AECOM*

**Port Royal Shores LP, Cultural Heritage Impact Assessment: Lots G and H, Concession South of Prince Edward Bay, Municipality of the County of Prince Edward, Ontario.** Cultural Heritage Specialist, Intern. This report, in progress, evaluates the former the heritage attributes within the Study Area. The report will assess the impact of future development on the Study Area and provide mitigation measures based on conservation.

**City of London, Cultural Heritage Impact Assessment: 1156 Dundas Street, London Ontario.** Cultural Heritage Specialist, Intern. This report, in progress, evaluates the former McCormick's Candy Factory. The report will assess the impact of future development on the historical factory and provide mitigation measures based on conservation.

**City of London, Cultural Heritage Impact Assessment: 850 Highbury Avenue North, London Ontario.** Cultural Heritage Specialist, Intern. This report, in progress, evaluates the former London Psychiatric Hospital. The report will assess the impact of future development on the historical hospital and provide mitigation measures based on conservation.

**City of Belleville, Desktop Cultural Heritage Screening Memorandum: Avonlough Road Sewage Pumping Station Environmental Assessment.** Cultural Heritage Specialist, Intern. This report, in progress, describes the existing conditions of the study area, presents a built heritage and cultural landscape inventory of cultural heritage resources, and proposes appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts on identified cultural heritage resources.

**City of London, Cultural Heritage Impact Assessment: 146 Exeter Road.** Cultural Heritage Specialist, Intern. This report, in progress, evaluates the 146 Exeter Road and 1352 Wharncliffe Road South. The report will assess the impact of future development on the property and provide mitigation measures based on conservation.

**City of Woodstock, Cultural Heritage Impact Assessment: 6857161 Highway 2, Woodstock, ON.** Cultural Heritage Specialist, Intern. This report, in progress, evaluates the 146 Exeter Road and 1352 Wharncliffe Road South. The report will assess the impact of future development on the property and provide mitigation measures based on conservation.

**City of Guelph, Cultural Heritage Resource Impact Assessment: 80 and 110 Dunlop Drive.** Cultural Heritage Specialist, Intern. This report, in progress, evaluates the Ontario Reformatory Quarry utilizing O. Reg. 9/06 and 10/06. The report will



assess the impact of future development on the historical limestone quarry and provide mitigation measures based on conservation.

**MTO Highway 401 Highway 16 Interchange to Maitland Rd Interchange, Preliminary Design and EA, Cultural Heritage Resource Assessment Report (CHRAR).** Cultural Heritage Specialist, Intern. The report, in progress, presents known and potential cultural heritage resources that may be impacted by the proposed interchange improvements. The preliminary impact assessment will propose mitigation measures to avoid or minimize impact to resources.

**MTO, Bradford Bypass Project. Cultural Heritage Evaluation Report (CHER): 2835-2879 Yonge Street.** Cultural Heritage Specialist, Intern. A CHAR was completed by AECOM and a CHER recommended for this property. This project is in progress.

**City of Hamilton. Glanaster Road Improvements, Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment.** Cultural Heritage Specialist, Intern. A CHR was completed to identify cultural heritage resources within the study area and to propose mitigation measures. The report was updated as the detailed design is completed.

**City of Hamilton, Cultural Heritage Assessment Report: Twenty Road East and Upper Red Hill Valley Parkway Extension Municipal Class Environmental Assessment Phase 3 and 4.** Cultural Heritage Specialist, Intern. Completed a CHAR which described the existing conditions of the study area, presented a built heritage and cultural landscape inventory of cultural heritage resources, and proposed appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts on identified cultural heritage resources, including the recommendation for preferred alternatives in relation to identified cultural heritage resources

**City of London, Cultural Heritage Assessment Report (CHAR): Arva Pumping Station to Huron St. Water Transmission Main Municipal Class Environmental Assessment, London, ON.** Cultural Heritage Specialist, Intern. Completed a CHAR which described the existing conditions of the study area, presented a built heritage and cultural landscape inventory of cultural heritage resources, and proposed appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts on identified cultural heritage resources, including the recommendation for preferred alternatives in relation to identified cultural heritage resources.

**Lambton Area Water Supply System (LAWSS): Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment: LAWS – 2011 Grid Reinforcement and Transmission Main Twinning MCEA Addendum.** Cultural Heritage Specialist, Intern. Completed a CHAR which described the existing conditions of the study area, presented a built heritage and cultural landscape inventory of cultural heritage resources, and proposed appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts on identified cultural heritage resources.

**City of Woodstock, Cultural Heritage Assessment Report: Pattullo Avenue at County Road 59, MCEA.** Cultural Heritage Specialist, Intern. Completed a CHAR which described the existing conditions of the study area, presented a built heritage and cultural landscape inventory of cultural heritage resources, and proposed appropriate mitigation measures and recommendations for minimizing and avoiding negative impacts on identified cultural heritage resources, including the recommendation for preferred alternatives in relation to identified cultural heritage resources.



# NOTICE OF PLANNING APPLICATION AND PUBLIC MEETING

## Official Plan and Zoning By-law Amendments

### City-Wide – Increasing the Number of Additional Residential Units to Permit Four Units as-of-right

**File: OZ-9651**

**Applicant: City of London**

#### **What is Proposed?**

The purpose of the proposed change to the Official Plan and Zoning By-law is to further support City of London objectives relating to housing supply and affordability. Council has directed City Staff to prepare these changes permit up to four (4) residential units wherever a zone permits single detached, semi-detached, or street townhouse dwelling. This directive requires that the Official Plan and Zoning By-law to permit three (3) additional residential units on a property containing any of the abovementioned housing types.

The proposed amendments would modify Official Plan Policy 942 and Zoning By-law Section 3.47.2 to allow for a maximum of three (3) additional residential units permitted.



## YOU ARE INVITED!

---

Further to this Notice of Application you are invited to a public meeting of the Planning and Environment Committee to be held:

**Meeting Date and Time:** Tuesday, October 3, 2023, no earlier than 4:00 p.m.

**Meeting Location:** The Planning and Environment Committee Meetings are hosted in City Hall, Council Chambers; virtual participation is also available, please see City of London website for details.

---

For more information contact:

Planner: Brandon Coveney  
bcoveney@london.ca  
519.661.2489 ext. 6345  
City Hall | 300 Dufferin St., London, ON  
N6A 4L9

**[london.ca/planapps](https://london.ca/planapps)**

To speak to your Ward Councillor:

Information can be found at  
[www.london.ca/city-hall/city-council](https://www.london.ca/city-hall/city-council) or by  
calling 519-661-5095

Date of Notice: September 5, 2023



# Application Details

## Requested Zoning By-law Amendment

Changes to the currently permitted land uses and development regulations are summarized below.

The Zoning By-law is available at [london.ca](http://london.ca).

### Current Zoning

**Section 4.37.2:** Number of Additional Residential Units per Lot

A maximum of two (2) additional residential units shall be permitted per lot; including a maximum of one (1) additional residential unit in an accessory or ancillary structure.

### Requested Zoning

**Section 4.37.2:** Number of Additional Residential Units per Lot

A maximum of three (3) additional residential units shall be permitted per lot; including a maximum of one (1) additional residential unit in an accessory or ancillary structure.

*The City may also consider additional special provisions as required.*

## Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London's long-range planning document. These lands are currently designated as NEIGHBOURHOODS PLACE TYPE.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the Official Plan designation and the zoning of land located within 120 metres of a property you own, or your landlord has posted the public meeting notice in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. If you previously provided written or verbal comments about this application, we have considered your comments as part of our review of the application and in the preparation of the planning report and recommendation to the Planning and Environment Committee. The additional ways you can participate in the City's planning review and decision making process are summarized below.

### See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at [london.ca/planapps](http://london.ca/planapps)
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

### Attend This Public Participation Meeting

The Planning and Environment Committee will consider the requested Official Plan and zoning changes at this meeting, which is required by the Planning Act. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the [Neighbourgood](http://Neighbourgood) website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

## What Are Your Legal Rights?

### Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed official plan amendment and/or zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Clerk of the Committee.

### Right to Appeal to the Ontario Land Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the

City of London before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

For more information go to <https://olt.gov.on.ca/appeals-process/forms/>.

### **Notice of Collection of Personal Information**

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Evelina Skalski, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

### **Accessibility**

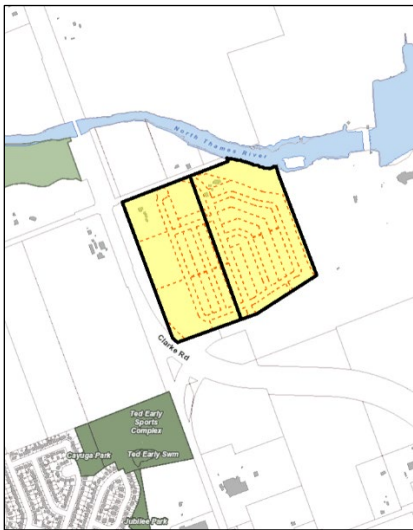
The City of London is committed to providing accessible programs and services for supportive and accessible meetings. We can provide you with American Sign Language (ASL) interpretation, live captioning, magnifiers and/or hearing assistive (t coil) technology. Please contact us at [plandev@london.ca](mailto:plandev@london.ca) by October 2, 2023 to request any of these services.



# NOTICE OF PLANNING APPLICATION

## Revisions to Application for Draft Plan of Subdivision, Official Plan and Zoning By-law Amendments

### 2331 Kilally Road and 1588 Clarke Road



**File: 39T-20502 / OZ-9244**

**Applicant: Sifton Properties Limited**

#### What is Proposed?

Draft Plan of Subdivision, Official Plan and Zoning amendments to allow:

- A residential subdivision consisting of low density single detached and semi-detached dwellings, medium density cluster dwellings, street townhouse dwellings, low-rise apartment buildings, parkland, multi-use pathways and a stormwater management facility; served by six (6) public streets.

## LEARN MORE & PROVIDE INPUT

Please provide any comments by **October 23, 2023**

Larry Mottram

lmottram@london.ca

519-661-CITY (2489) ext. 4866

Planning and Development, City of London, 300 Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO BOX 5035 N6A 4L9

File: 39T-20502 / OZ-9244

[london.ca/planapps](https://london.ca/planapps)

You may also discuss any concerns you have with your Ward Councillor:

Councillor Peter Cuddy

msalih@london.ca

519-661-2489 ext. 4003

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

# Application Details

Commonly Used Planning Terms are available at [london.ca/planapps](http://london.ca/planapps).

## Requested Revisions to Draft Plan of Subdivision

Previous notices were sent out by mail on August 18, 2020, July 6, 2021, and June 13, 2022, advising of the application for Draft Plan of Subdivision, Official Plan and Zoning By-law Amendments. Further revisions to the proposed subdivision design and requested zoning have been submitted by the applicant and are summarized as follows:

- Modifications to subdivision's road network including a re-aligned Street A neighbourhood connector road, and incorporation of a roundabout design for possible future access to the south;
- Modifications to Street B connection at Kilally Road now terminating in a cul-de-sac;
- Re-configured park/open space blocks and Stormwater Management (SWM) Pond block;
- Re-aligned Thames Valley Parkway (TVP) multi-use pathway;
- Revisions to the easterly and northeasterly limits of the proposed subdivision draft plan;
- Revisions to block sizing and numbering.

Consideration of a Draft Plan of Subdivision consisting of eleven (11) low density residential blocks (Blocks 1-11); nine (9) low-medium density residential street townhouse blocks (Blocks 12-20); three (3) medium density residential blocks (Blocks 21-23); two (2) park blocks (Blocks 26-27); one (1) block for Stormwater Management (SWM) Pond (Block 28); three (3) road widening and reserve blocks (Blocks 29-31), served by a neighbourhood connector and several neighbourhood streets (Streets A, B, C, D, E & F). (please refer to attached draft plan)

## Requested Official Plan Amendments

### Possible Amendments to The London Plan:

**Map 1** – Place Types to redesignate certain lands from “Neighbourhoods” to “Green Space”.

**Map 4** – Active Mobility Network to incorporate the proposed alignment for the Thames Valley Parkway.

**Map 5** – Natural Heritage to revise the limits of the ESA to reflect the findings of the Environmental Impact Study (EIS) completed in support of the proposed Draft Plan of Subdivision application.

**Map 6** – Hazards and Natural Resources to redesignate the Maximum Hazard Line.

## Requested Zoning By-law Amendment

Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at [london.ca/planapps](http://london.ca/planapps).

### Requested Zoning (Please refer to attached map)

Possible Amendment to Zoning By-law Z.-1 to change the zoning from an Urban Reserve UR4 Zone, an Urban Reserve UR4/Temporary (T-56) Zone, and a Holding Urban Reserve (h-2•UR4) Zone to:

- Residential R1 (R1-1) Zone – to permit single detached dwellings on lots with a minimum lot area of 250 square metres and minimum lot frontage of 9.0 metres;
- Residential R1 Special Provision (R1-1(\*)) Zone – to permit single detached dwellings on lots with a minimum lot area of 250 square metres and minimum lot frontage of 9.0 metres, together with a special provision for a dwelling setback from a high-pressure pipeline of 20 metres (minimum);
- Residential R1/Residential R3/Residential R4 Special Provision (R1-1/R3-1/R4-6(\*)) Zone – to permit a range of dwelling types such as single detached dwellings on lots with a minimum lot area of 250 square metres and minimum lot frontage of 9.0 metres; semi-detached dwellings with a minimum lot area of 430 square metres, minimum lot frontage of 18 metres, maximum lot coverage of 45%, and maximum height of 10.5 metres; and street townhouses with a minimum lot area of 145 square metres per unit and a minimum lot frontage of 5.5 metres per unit, together with a special provision for a lot coverage of 50 percent (maximum);
- Residential R5/Residential R6/Residential R7/Residential R8 (R5-7/R6-5/R7•H20•D75/R8-4•H20•D100) Zone – to permit such uses as townhouses and stacked townhouses up to a maximum density of 60 units per hectare and maximum height of 12 metres; various forms of cluster housing including single detached, semi-detached, duplex, triplex, fourplex, townhouse, stacked townhouse, and apartment



buildings up to a maximum density of 35 units per hectare and maximum height of 12 metres; senior citizen apartment buildings, handicapped persons apartment buildings, nursing homes, retirement lodges, continuum-of-care facilities, and emergency care establishments up to a maximum density of 75 units per hectare and maximum height of 20 metres; apartment buildings, stacked townhouses, and lodging house class 2 up to a maximum density of 100 units per hectare and maximum height of 20 metres;

- Open Space OS1 Zone – to permit such uses as conservation lands, conservation works, golf courses, public and private parks, recreational buildings associated with conservation lands and public parks, campgrounds, and managed forests;
- Open Space OS1(3) Special Provision Zone – to permit conservation lands, conservation works, golf courses, public and private parks, recreational buildings associated with conservation lands and public parks, campgrounds, and managed forests, together with a special provision for no minimum lot frontage or minimum lot area requirement.

An amendment to Subsection 4.21 of the Zoning By-law General Provisions is also requested to amend the street classification of Kilally Road, 200 metres east of Clarke Road, from a 'Proposed Arterial' to 'Local Road' and amend the road allowance limit as measured from the centre line from 18 metres to 10 metres.

The City may also consider applying holding provisions in the zoning to ensure adequate provision of municipal services, that a subdivision agreement or development agreement is entered into, and to ensure completion of noise assessment reports and implementation of mitigation measures for development in proximity to arterial roads.

An Environmental Impact Study (EIS) report prepared by AECOM, dated March 2020, and an Environmental Impact Study (EIS) Addendum, dated March 2021, were submitted with the application for draft plan of subdivision. The EIS reports are available by contacting the City's Planner listed on the first page of this notice.

## **Planning Policies**

Any change to the Zoning By-law must conform to the policies of The London Plan, London's long-range planning document. The subject lands are in the "Neighbourhoods" Place Type in The London Plan permitting a range of housing including single detached dwellings, townhouses and low rise apartments.

## **How Can You Participate in the Planning Process?**

You have received this Notice because someone has applied for a Draft Plan of Subdivision and to amend the Official Plan and zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. The ways you can participate in the City's planning review and decision-making process are summarized below. For more detailed information about the public process, go to the [Participating in the Planning Process](#) page at [london.ca](#).

### **See More Information**

You can review additional information and material about this application by:

- contacting the City's Planner listed on the first page of this Notice; or
- viewing the application-specific page at [london.ca/planapps](#).
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner

### **Reply to this Notice of Application**

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Planning and Development staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

### **Attend a Future Public Participation Meeting**

The Planning and Environment Committee will consider the requested Draft Plan of Subdivision, Official Plan and zoning changes on a date that has not yet been scheduled. The City will send you another notice inviting you to attend this meeting, which is required by the *Planning Act*. You will also be invited to provide your comments at this public participation meeting. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting. The Council Decision will inform the

decision of the Director, Planning and Development, who is the Approval Authority for Draft Plans of Subdivision.

## What Are Your Legal Rights?

### Notification of Council and Approval Authority's Decision

If you wish to be notified of the Approval Authority's decision in respect of the proposed draft plan of subdivision, you must make a written request to the Director, Planning and Development, City of London, 300 Dufferin Ave., P.O. Box 5035, London ON N6A 4L9, or at [plandev@london.ca](mailto:plandev@london.ca). You will also be notified if you provide written comments, or make a written request to the City of London for conditions of draft approval to be included in the Decision.

If you wish to be notified of the decision of the City of London on the proposed official plan amendment and zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at [docservices@london.ca](mailto:docservices@london.ca). You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Clerk of the Committee.

### Right to Appeal to the Local Planning Appeal Tribunal

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body is not entitled to appeal the decision of the Director, Planning and Development to the Ontario Land Tribunal.

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, or before the zoning by-law amendment is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, or before the zoning by-law amendment is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

For more information go to <https://olt.gov.on.ca/appeals-process/forms/>.

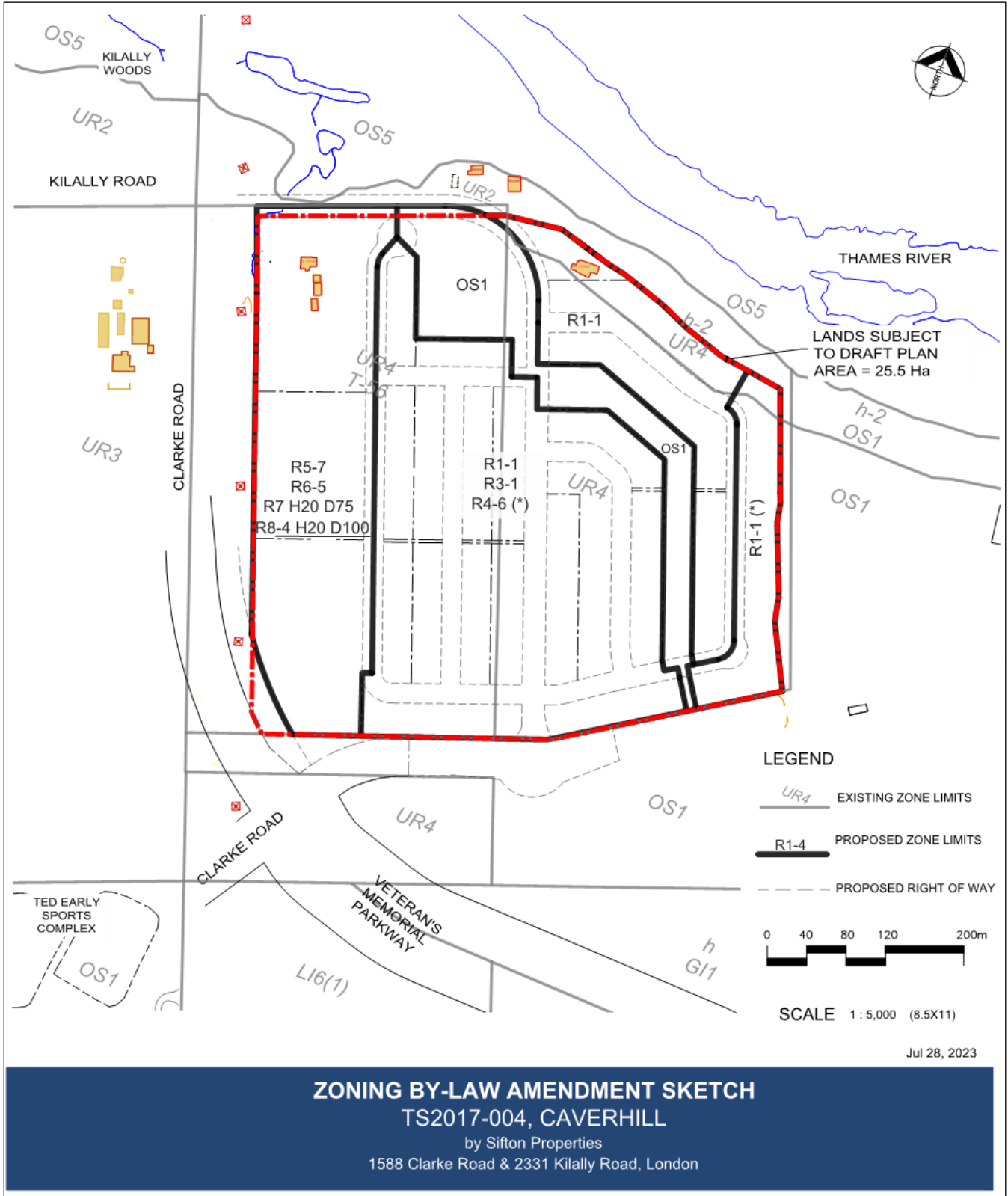
### Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Evelina Skalski, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

**Accessibility – Alternative accessible formats or communication supports are available upon request. Please contact [plandev@london.ca](mailto:plandev@london.ca) for more information.**



# Requested Zoning



The above image represents the applicant's proposal as submitted and may change.

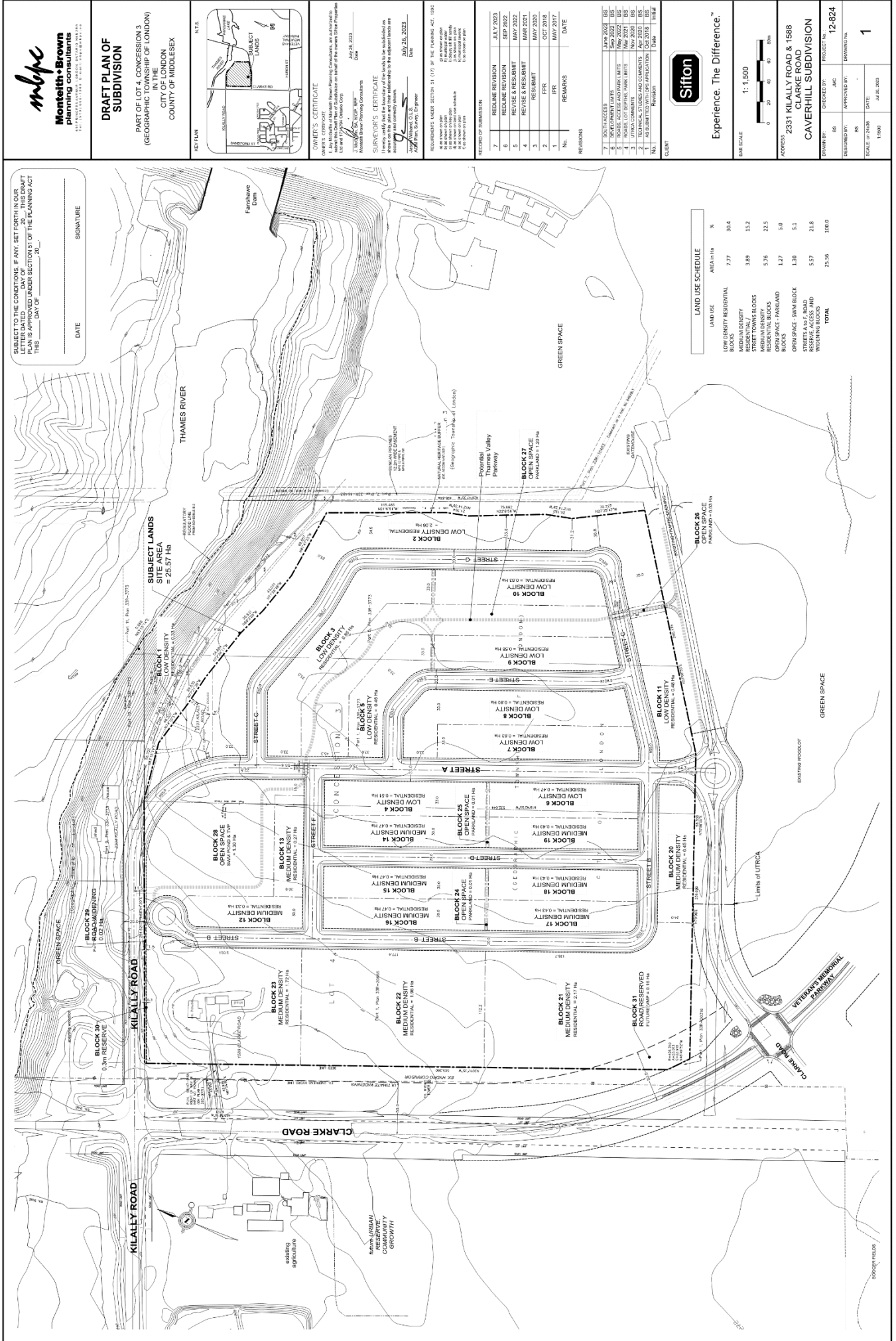
# Requested London Plan – Map 1 Amendment



The above image represents the applicant's proposal as submitted and may change.



# Requested Draft Plan of Subdivision



SUBJECT TO THE CONDITIONS, IF ANY, SET FORTH IN OUR LETTERS DATED \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_. THIS DRAFT PLAN IS PART OF THE PLANNING ACT \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

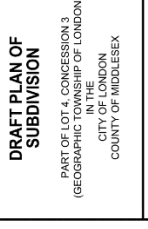
DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_

**Monteith + Brown**  
planning consultants  
111 UNIVERSITY AVENUE, SUITE 2000  
TORONTO, ONTARIO M5S 1A6  
TEL: 416-593-9100  
WWW.MONTEITH+BROWN.COM

**DRAFT PLAN OF SUBDIVISION**

PART OF LOT 4, CONCESSION 3  
(GEOGRAPHIC TOWNSHIP OF LONDON)  
CITY OF LONDON  
COUNTY OF MIDDLESEX



**OWNER'S CERTIFICATE**  
I, the Member of Parliament for the London Region, am authorized to issue this Certificate in respect of the subject lands referred to in this Act.  
DATE: JULY 25, 2023

**SURVEYOR'S CERTIFICATE**  
I hereby certify that the boundaries of the lands to be subdivided are shown and correctly shown according to the appropriate survey records and survey documents.  
DATE: JULY 25, 2023

**RECORD OF SUBMISSION**

No.	REVISIONS	No.	DATE
7	RELINE REVISION	JULY 2023	
6	RELINE REVISION	SEP 2022	
5	REVISE & RESUBMIT	MAY 2022	
4	REVISE & RESUBMIT	MAR 2021	
3	RESUBMIT	MAY 2020	
2	IFPR	OCT 2019	
1	IFPR	MAY 2017	

**CLIENT**

**Sifton**  
Experience. The Difference.™

BAR SCALE: 1:1,500

ADDRESS: 2331 KILALLY ROAD & 1588 CLARKE ROAD  
CAVERHILL SUBDIVISION

PROJECT No. 12-824

DRAWN BY: BS  
CHECKED BY: BS  
SCALE OF AMBS: 1:500  
DATE: JUL 25, 2023

APPROVED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

SCALE OF AMBS: 1:500  
DATE: JUL 25, 2023

**OWNER'S CERTIFICATE**  
I, the Member of Parliament for the London Region, am authorized to issue this Certificate in respect of the subject lands referred to in this Act.  
DATE: JULY 25, 2023

**SURVEYOR'S CERTIFICATE**  
I hereby certify that the boundaries of the lands to be subdivided are shown and correctly shown according to the appropriate survey records and survey documents.  
DATE: JULY 25, 2023

**RECORD OF SUBMISSION**

No.	REVISIONS	No.	DATE
7	SOUTH ACCESS	JUNE 2023	BS
6	ROADE ACCESS AND PAVEMENTS	MAY 2022	BS
5	ROADE ACCESS AND PAVEMENTS	MAY 2022	BS
4	ROADE ACCESS AND PAVEMENTS	MAY 2022	BS
3	TECHNICAL STUDIES AND COMMENTS	MAY 2020	BS
2	TECHNICAL STUDIES AND COMMENTS	MAY 2020	BS
1	AS SUBMITTED WITH IPR APPLICATION	OCT 2019	BS

DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_

**LAND USE SCHEDULE**

LAND USE	AREA IN Ha	%
LOW DENSITY RESIDENTIAL BLOCKS	7.77	30.4
STREET TOWNS BLOCKS	3.89	15.2
OPEN SPACE - PARKLAND BLOCKS	5.76	22.5
OPEN SPACE - SWAN BLOCKS	1.30	5.1
RESERVE ACCESS AND WORKING BLOCKS	5.57	21.8
<b>TOTAL</b>	<b>25.26</b>	<b>100.0</b>

DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_

**LAND USE SCHEDULE**

LAND USE	AREA IN Ha	%
LOW DENSITY RESIDENTIAL BLOCKS	7.77	30.4
STREET TOWNS BLOCKS	3.89	15.2
OPEN SPACE - PARKLAND BLOCKS	5.76	22.5
OPEN SPACE - SWAN BLOCKS	1.30	5.1
RESERVE ACCESS AND WORKING BLOCKS	5.57	21.8
<b>TOTAL</b>	<b>25.26</b>	<b>100.0</b>

DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_

**LAND USE SCHEDULE**

LAND USE	AREA IN Ha	%
LOW DENSITY RESIDENTIAL BLOCKS	7.77	30.4
STREET TOWNS BLOCKS	3.89	15.2
OPEN SPACE - PARKLAND BLOCKS	5.76	22.5
OPEN SPACE - SWAN BLOCKS	1.30	5.1
RESERVE ACCESS AND WORKING BLOCKS	5.57	21.8
<b>TOTAL</b>	<b>25.26</b>	<b>100.0</b>

The above image represents the applicant's proposal as submitted and may change.

**Stewardship Sub-Committee  
Report**

Wednesday August 30, 2023

Time: 6:30pm  
Location: Zoom

Attendance: M. Rice, B. Vasquez, M. Whalley, T. Regnier, M. Bloxam; L. Dent, K. Mitchener (Staff)  
Regrets: K. Waud

**Agenda Items**

**1. Request for Demolition of the Listed Property at 1588 Clarke Road**

The Stewardship Sub-Committee reviewed the Heritage Impact Assessment (AECOM, 2018) for the heritage listed property at 1588 Clarke Road. Staff provided a verbal report, detailing previous evaluations of the property dating from 2001-2021.

The Stewardship Sub-Committee discussed the significant contributions of the Tackabury Family to the area and the importance of commemoration of the property and family.

Motion: Based on the evaluation presented in the HIA, The Stewardship Sub-Committee does not oppose the demolition of the heritage listed property at 1588 Clarke Road, noting that the Education Sub-Committee should be consulted to work towards significant commemorative measures for the property and family.  
Moved: M. Whalley; Seconded: M. Bloxam; Passed.

**2. Request for Removal from the Register for 176 Piccadilly Street**

The Stewardship Sub-Committee reviews the Cultural Heritage Evaluation Report (Common Bond Collective, 2023) for the heritage listed property at 176 Piccadilly Street. Staff provided a verbal report, noting that a Property Standards Order was issued for the property in February 2022

The Stewardship Sub-Committee discussed concerns toward the condition of the property and its neglect over the past several years. M. Rice expressed interest in sharing historic photographs of the North Talbot Area with the Community Advisory Committee on Planning (CACP).

Motion: Based on the evaluation presented in the CHER, The Stewardship Sub-Committee does not oppose the removal of the heritage listed property at 176 Piccadilly Street from the Register of Cultural Heritage Resources, noting a strong deprecation for the neglect of the property over the past 4-5 years.  
Moved: M. Bloxam; Seconded: M. Whalley; Passed.



## Report to Community Advisory Committee on Planning

**To:** Chair and Members  
Community Advisory Committee on Planning  
**From:** Kyle Gonyou, RPP, MCIP, CAHP  
Manager, Heritage and Urban Design  
**Subject:** Demolition Request for the Heritage Listed Property at 1588  
Clarke Road, Ward 3  
**Date:** Wednesday, September 13, 2023

## Recommendation

Approval of the demolition request for the heritage listed property at 1588 Clarke Road is being recommended in response to a written request for demolition received by the City. Removal of the property from the *Register of Cultural Heritage Resources* is recommended. The property owner is encouraged to commemorate the historic contributions of the Tackabury family in the future development of this property.

## Executive Summary

The subject property at 1588 Clarke Road is listed on the *Register of Cultural Heritage Resources*. A demolition request has been received for the subject property, which triggers a formal review process pursuant to the requirements of the *Ontario Heritage Act* and the Council Policy Manual. A Heritage Impact Assessment was submitted with this request and determined that the property does not meet the criteria of *Ontario Regulation 9/06* and does not merit designation pursuant to the *Ontario Heritage Act*. Staff have undertaken additional research and comparative analysis and agree with the recommendation of the HIA. Staff encourage this opportunity to commemorate and celebrate the history of the property.

## Linkage to the Corporate Strategic Plan

This recommendation supports the following 2023-2027 Strategic Plan areas of focus:

- London has safe, vibrant, and healthy neighbourhoods and communities.
  - Londoners have a strong sense of belonging and sense of place.
    - Create cultural opportunities that reflects arts, heritage, and diversity of community.

## Analysis

### 1.0 Background Information

#### 1.1 Previous Reports Related to this Matter

March 18, 2019 – Report to Planning and Environment Committee – Demolition Request for Heritage listed Property at 1588 Clarke Road.

<https://pub-london.escribemeetings.com/filestream.ashx?DocumentId=59891>

#### 1.2 Property Location

The property at 1588 Clarke Road is located on the east side of Clarke Road, just south of Kilally Road, at the intersection of Clarke and Kilally Roads (Appendix A). The property is part of the former London Township that was annexed by the City of London in 1993. The property is near the north-east limits of the City of London, just west of the Fanshawe Dam and Fanshawe Conservation Area. The recent Veterans Memorial Parkway extension is to the south of the property.

#### 1.3 Cultural Heritage Status

The property at 1588 Clarke Road is a heritage listed property. The property was first listed in 1993 as being of potential cultural heritage value or interest and appeared in the City's *Inventory of Heritage Resources* (1998) which added properties to the

*Inventory* as part of the City's annexation of this area in 1993. The *Inventory of Heritage Resources* was adopted as the *Register* pursuant to Section 27, *Ontario Heritage Act*, in 2007.

There are several properties adjacent to 1588 Clarke Road that are listed on the *Register of Cultural Heritage Resources* as having potential cultural heritage value or interest:

- 1424 Clarke Road (c1860), Ontario Farmhouse
- 1511 Clarke Road (1865), Ontario Farmhouse
- 2304 Kilally Road (1910), Georgian Revival, known as Edgewood

#### **1.4 Description**

The 1588 Clarke Street is an agricultural property approximately 38 acres (15 hectares) in size and is historically known as the north half of Lot 4, Concession III, in the former London Township. Portions of the original 100-acre parcel were previously sold (Appendix A).

The current entrance to the property is from Clarke Road. The entrance driveway is bordered by a partial allée that crosses a small culvert leading up from a wooded ravine to a small hill and clearing. The property comprises several buildings clustered around a looped drive and includes a farmhouse, drive shed, and two ancillary modern metal sheds. The farmhouse is currently vacant. The drive shed is a timber frame outbuilding that was likely used to house agricultural equipment. It is clad in the same plank paneling that was used on the exterior of a granary barn that was located to the west of drive shed; the barn was demolished in 2019. The remainder of the property is agricultural fields that are fallow.

##### **1.4.1 Farmhouse**

The house at 1588 Clarke Road consists of a 1 ½ storey Ontario Farmhouse, side gable roof design constructed with buff brick and stone foundation. Typical of many similar farmhouses, the gabled roof ridge runs parallel with the façade. A chimney is positioned at the west gabled end of the farmhouse. A small dormer is located on the southern face to vent a bathroom that is located within the eave at the top of the staircase on the upper floor (Appendix B).

The construction of the original, main portion of the house is estimated to be circa 1865, with multiple references citing an approximate date of 1862 to 1863. Research conducted as part of the *Stage 1 Archaeological & Built Heritage Assessment, Kilally East Area Plan* (pp47-48) further elaborates that: "the only house on this property in the 1861 census is a log structure, however, the stylistic qualities and the quality of the brick suggest that the house was built soon after, in the 1860s" (Archaeologix, pp47-48). The footprint of the original portion of the farmhouse is approximately 8.5m x 11.5m (27.9ft x 37.7ft) with the principal elevation facing Kilally Road to the north.

Several one-storey additions – constructed in brick in a similar coloured "buff" brick – have been made at the rear to the south and at the east side of the house. The kitchen addition to the south dates from circa 1875, with the other smaller additions to the south and east being constructed more recently (Archaeologix, pp47-48). The additions to the east and south obscure the exterior elevations of the original farmhouse at the first-floor level.

The principal, north elevation is symmetrical and features three bays with a centre doorway opening with a small gable positioned above which contains a modern window. The centre doorway is flanked by two rectangular windows openings. The first and second-floor levels are visible on the gabled end on the west elevation with four window openings being symmetrically arranged. The additions to the east and south obscure the exterior elevations of the original farmhouse at the first-floor level. The first-floor level of the south elevation consists of several additions with an entrance door and windows openings of various sizes and types. The east façade of the farmhouse contains a second storey with two window openings. The east addition contains a picture window and 1/1 window. Flat arch brick lintels are located above all the window and door openings on the original portion of the house. Windows have been replaced with vinyl windows, along with the centre door on the north elevation, including the sidelight and transom window.



The basement is partially excavated, and the walls are constructed of the fieldstone foundation for the house. The floor of the basement consists of a mix of gravel/dirt floor and some brick that appear to have been laid to form a partial masonry floor.

The interior layout of the house has changed to accommodate multiple additions and the relocation of the primary entrance to a rear 'mud room'. The original center hall room layout is still discernable on both the first and second floors. The second storey would have historically been used for bedrooms, and the configuration suggests at one time the house included five bedrooms in the upper storey. Interior materials and finishes have been altered. Original flooring, baseboards and historic trim have been removed. The fireplace is one of the few historic interior features that remains in the house. The centre staircase remains in place, as well as parts of what appears to be the original stair rail.

## **1.5 History**

The Euro-Canadian history of this property begins with land records for Lot 4, Concession III, former London Township, which indicate that the whole 200 acres was granted to the Honorable John Hale in 1817 (Archaeologix, p17). In 1853, Edward Hale was listed as the owner of the property at N½ Lot 4 Con III, followed by John Tackabury. The Index to London Township Map (1878) illustrates the division of the property among J. Tackabury's male children after his death in 1877 (Jason, Robert and Samuel) noting that Nathan already held 50 acres at N½ Lot 3 Con III. Samuel Tackabury assumed ownership of the farmstead at 1588 Clarke Road which, based on the 1863 Samuel Peters map, was likely already established by his father J. Tackabury. The house at 1424 Clarke Road was built by Nathaniel Tackabury and he resided there for some time and the house at 1926 Huron Street was built by John Tackabury and he resided there as well (Appendix C).

The 1588 Clarke Road property is associated with the Tackabury family who are among the earliest settlers in this community commonly referred to as 'The Grove' (a hamlet south of the subject property). The Tackabury family originated from Ireland. They emigrated from upstate New York to London Township in 1819 and are associated with the Irish Methodist pioneer settlement in this area. Throughout the 19th century, the Tackabury family were active members in The Grove community. In 1862, they donated land on their property (Lot 4, Concession III – at the southwest corner) for the construction of a church and school. The church was erected in 1883 and stood until 1980 as The Grove United Church. The S.S. #27 Grove School was opened in 1865 with a new building being constructed on the same site; it operated until 1960. Into the 20th century, many descendants of John Tackabury remained in London Township on Lot 4, Concession III, including the property at 1588 Clarke Road (London Township History Book Committee 2001b: 487-488). At The Grove-Webster Cemetery (located at 1425 Huron St), 17 descendants of John Tackabury are buried (Find a Grave).

Oral tradition passed down through the Tackabury family notes associations of 1588 Clarke Road with the Underground Railroad, but no documented evidence has been uncovered.

For further details on the history of the property and Tackabury family, please see Appendix D.

## **2.0 Discussion and Considerations**

### **2.1 Legislative and Policy Framework**

Cultural heritage resources are to be conserved and impacts assessed as per the fundamental policies of the *Provincial Policy Statement (2020)*, the *Ontario Heritage Act*, and *The London Plan*.

#### **2.1.1 Provincial Policy Statement**

Heritage Conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (2020)* promotes the wise use and management of cultural heritage resources and directs that "significant built heritage resources and significant cultural heritage landscapes shall be conserved" (Policy 2.6.1, *Provincial Policy Statement 2020*).

“Significant” is defined in the *Provincial Policy Statement* (2020) as, “resources that have been determined to have cultural heritage value or interest.” Further, “processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*.”

Additionally, “conserved” means, “the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained.”

### **2.1.2 Ontario Heritage Act**

Section 27, *Ontario Heritage Act* requires that a register kept by the clerk shall list all property that have been designated under the *Ontario Heritage Act*. Section 27(1.2), *Ontario Heritage Act* also enables Municipal Council to add property that have not been designated, but that Municipal Council “believes to be of cultural heritage value or interest” on the Register.

The only cultural heritage protection afforded to heritage listed property is a 60-day delay in the issuance of a demolition permit. During this time, Council Policy directs that the Community Advisory Committee on Planning (CACCP) is consulted, and a public participation meeting is held at the Planning & Environment Committee. A Cultural Heritage Evaluation Report (CHER) or Heritage Impact Assessment (HIA) is required for a demolition request for a building or structure on a heritage listed property.

Section 29, *Ontario Heritage Act* enables municipalities to designate property to be of cultural heritage value or interest. Section 29, *Ontario Heritage Act* also establishes consultation, notification, and process requirements, as well as a process to appeal the designation of a property. Objections to a Notice of Intention to Designate are referred back to Municipal Council. Appeals to the passing of a by-law to designate a property pursuant to the *Ontario Heritage Act* are referred to the Ontario Land Tribunal (OLT).

#### **2.1.2.1 Criteria for Determining Cultural Heritage Value or Interest**

Ontario Regulation 9/06, as amended by Ontario Regulation 569/22, establishes criteria for determining the cultural heritage value or interest of individual property. These criteria are consistent with Policy 573\_ of *The London Plan*. These criteria are:

1. The property has design or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
6. The property has historical or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark.

A property is required to meet two or more of the abovementioned criteria to merit protection under Section 29 of the *Ontario Heritage Act*.

### **2.1.3 The London Plan**

The Cultural Heritage chapter of *The London Plan* recognizes that our cultural heritage resources define our City’s unique identity and contribute to its continuing prosperity. It notes, “The quality and diversity of these resources are important in distinguishing London from other cities and make London a place that is more attractive for people to



visit, live or invest in.” Policies 572\_ and 573\_ of *The London Plan* enable the designation of individual property under Part IV of the *Ontario Heritage Act*, as well as the criteria by which individual property will be evaluated.

#### **2.1.4 Register of Cultural Heritage Resources**

Municipal Council may include property on the Register of Cultural Heritage Resources that it “believes to be of cultural heritage value or interest.” The property is not designated but is considered to have potential cultural heritage value or interest.

The Register of Cultural Heritage Resources states that further research is required to determine the cultural heritage value or interest of heritage listed property. If a property is evaluated and found to not meet the criteria for designation, it should be removed from the Register of Cultural Heritage Resources.

The property at 1588 Clarke Road is included on the Register of Cultural Heritage Resources as a heritage listed property.

### **3.0 Financial Impact/Considerations**

None.

### **4.0 Key Issues and Considerations**

#### **4.1 Previous Reports**

Previous reports have evaluated the property at 1588 Clarke Road including its history, built resources and potential for cultural heritage value. There have been varying conclusions reached regarding the property’s potential for cultural heritage value or interest (CHVI). The following is a list of previous evaluations; extracts of the evaluations can be found in Appendix C:

- *Built Heritage Assessment, Killaly South (East) Area Plan* (Archaeologix, 2001)
  - The report included a history of the property and description of the built resources on the property. The assessment supported the inclusion of the property on the *Inventory of Heritage Resources* and that is Priority Ranking -#2 was appropriated assigned.
- *Kilally South Area Plan* (City of London, 2003)
  - The report supports previous assessments regarding the inclusion of the property on the *Inventory of Heritage Resources*.
- *Heritage Impact Assessment, 1588 Clarke Road* (AECOM, 2018)
  - The report was submitted as a requirement of a complete application for a Draft Plan of Subdivision, Official Plan and Zoning By-Law Amendments (39T-20502; OZ-9244). The assessment included a comprehensive review of the history and description of the built resources on the property and a cultural heritage evaluation of the property using 9/06 evaluation criteria. The evaluation concluded that the property does not meet the criteria for designation and does not retain cultural heritage value. As a result, designation of the property under the *Ontario Heritage Act* was not recommended by this Heritage Impact Assessment.
- *Cultural Heritage Assessment Report Clarke Road Improvements* (Stantec, 2019)
  - The report was prepared for the Clarke Road Improvements proposed between the Veterans Memorial Parkway Extension and Fanshawe Park Road East as part of an Environmental Assessment. The Cultural Heritage Assessment Report was completed to identify cultural heritage resources, including built heritage and cultural heritage landscapes present within the study area and to recommend mitigative measures to potential impacts of road improvements. The property at 1588 Clarke Road was evaluated according to O.Reg. 9/06 and found the property to have CHVI (meeting four of nine criteria).
- *Cultural Heritage Assessment Report, Kilally South East Basin-EA* (ARA, 2019)
  - The report evaluated resources with potential, or identified cultural heritage value in the study area, for the Kilally South, East Basin stormwater service strategy. The assessment referenced previous

conclusions of Stantec's Clarke Road Improvements-EA (2019) O.Reg. 9/06 evaluation for the property at 1588 Clarke Road. The report and reiterated findings that the property has CHVI (meeting four of nine criteria).

- Demolition Request for Heritage Listed Property at 1588 Clarke Road (City of London, 2019)
  - This was a staff report to the Planning and Environment Committee at its meeting on March 18, 2019, in response to a request by the property owner to demolish the granary barn on the property. The evaluation of the barn and associated farmstead property and structures on the property at 1588 Clarke Road found that the property did not meet the criteria for designation under Part IV of the *Ontario Heritage Act*. Municipal Council consented to the demolition of the barn on the heritage listed property at 1588 Clarke Road and requested that the property owner commemorate the historic contributions of the Tackabury family in the future development of this property (3.3/6/PEC-a, b).
- Memo to Monteith Brown Planning Consultants from AECOM Canada Ltd. (2021)
  - This memo reconfirms conclusions of the Heritage Impact Assessment (AECOM, 2018) and previous conclusions of the staff report (City of London, 2019) that the structures on the property at 1588 Clarke Road did not meet the criteria for designation pursuant to the *Ontario Heritage Act*. The memo further states that the property owner is encouraged to move forward with commemorative measures that acknowledge the historical contributions of the Tackabury family. Suggested commemoration measures mentioned include: 1) Dedicating a location in the open space, parkland for an interpretive sign; 2) Naming a street or a public walking trail after the family; and/or, 3) Naming the storm water management pond area after the family.

## **4.2 Demolition Request**

Written notice of intent to demolish the built resources at 1588 Clarke Road, along with a previously submitted Heritage Impact Assessment (AECOM, 2018), was received as a complete application by the City on August 22, 2023.

Municipal Council must respond to a notice of intention to demolish a building or structure on a heritage-listed property within 60 days, or the request is deemed permitted. During this 60-day period, the Community Advisory Committee on Planning (CACP) is consulted, and pursuant to Council Policy, a public participation meeting is held at the Planning and Environment Committee (PEC).

The 60-day period for the demolition request for the property at 1588 Clarke Road expires on October 21, 2023.

Staff undertook a recent site visit of the property on August 29, 2023, and had also previously inspected the property and buildings on February 14, 2019, and March 14, 2022. The interior of the farmhouse including the basement and the drive shed were viewed – accompanied by a representative of the property owner – on March 14, 2022.

### **4.2.1 Consultation**

Per Council Policy for the demolition of buildings or structures on heritage listed properties, notification of the demolition request was sent to property owners within 120m of the subject property, as well as community groups and interested parties including the Architectural Conservancy Ontario – London Region Branch, the London & Middlesex Historical Society, and the Urban League of London. Notice was also published in *The Londoner*.

In accordance with Section 27(4) and Section 27(9), *Ontario Heritage Act*, consultation with the Community Advisory Committee on Planning (CACP, the City's municipal heritage committee) is required.



### 4.3 Cultural Heritage Evaluation of 1588 Clarke Road

An HIA (AECOM, 2018) was submitted as a part of the demolition request for the heritage listed subject property at 1588 Clarke Road. The HIA was previously submitted as a requirement of a complete application for a Draft Plan of Subdivision, Official Plan and Zoning By-Law Amendments (39T-20502; OZ-9244). The assessment included the history and description of the built resources on the property and a cultural heritage evaluation of the property using *Ontario Regulation 9/06* evaluation criteria. The evaluation concluded that the property does not meet the criteria for designation and does not retain cultural heritage value. As a result, designation of the property under the *Ontario Heritage Act* was not recommended by the HIA.

Since 2019, staff have continued to undertake research to contribute to the evaluation of the property at 1588 Clarke Road. Staff's further evaluation of cultural heritage value or interest (CHVI) include the following analysis:

- Criteria 1 – The farmhouse on the property at 1588 Clarke Road is a typical representation of the Ontario farmhouse typology and not rare or unique within the City of London. The integrity of the farmhouse has been compromised due to multiple additions that impact the original portion of the farmhouse, and the alteration of the window opening in the gable above the entrance. The farmhouse is typical of its period with no outstanding or unusual details or ornamentation. There are other farmhouses within The Grove which are better conserved and are more representative of this style (e.g., the farmhouse at 1511 Clarke Road).
- Criteria 2 – There is no evidence of a high degree of craftsmanship or artistic merit in the subject property at 1588 Clarke Road.
- Criteria 3 – There is no evidence of a high degree of technical or scientific merit exhibited in the design of the farmhouse.
- Criteria 4 – The property is associated with the Tackabury family who are among the earliest settlers in this area. The family is identified with Irish Methodist pioneer settlement in the area and the establishment of The Grove.
- Criteria 5 – The farmhouse and property are not believed to yield, or have the potential to yield, additional information that contributes to an understanding of a community or culture.
- Criteria 6 – The farmhouse is built in a vernacular tradition and not attributed to a particular builder or architect who is significant to the community. Commemoration of the historic contributions of the family in the future development of this property is encouraged.
- Criteria 7 and 8 – The property is reflective of original survey road patterns and, though not actively farmed, it is linked to the rural, agricultural setting through its past function. The rural connection of this farmstead property, however, is no more unique or significant than any other agricultural property. As well, the surrounding area is transitioning from an agricultural area to an area that will likely be more residential in character. The widening of Clarke Road and extension of the Veteran's Memorial Parkway is likely to isolate the property at 1588 Clarke Rd and compromise the historic lot and development pattern of its surrounding agricultural area. Regrettably, if retained, the farmstead property risks becoming 'a contextual', isolated and devoid of the meaning once derived from its rural setting. This will irrevocably diminish the potential for this property to be recognized as a tangible link to the agricultural past of this area. Further, the property once comprised all the primary elements of a 19th-century farmstead but now is severely diminished with the demolition of the granary barn.
- Criteria 9 – The property at 1588 Clarke Road is not locally recognized as a landmark.

#### 4.3.1 Comparison

To better understand the potential cultural heritage value or interest of this property, staff completed additional comparative analysis of similar properties on the *Register of Cultural Heritage Resources*. While there are many farmhouses, or former farmhouses, identified on the *Register of Cultural Heritage Resources*, approximately 30 properties of comparable type/style and date of construction were identified. This demonstrates that the property at 1588 Clarke Road is not rare or unique. There are other Ontario Farmhouses located within The Grove noted in the *Archaeological & Built Heritage*

*Assessment* (Archaeologix, 2001) and *Cultural Heritage Assessment Report* (Stantec, 2019); including the properties at 1395 Sandford Street, 1424 Clarke Road, and 1511 Clarke Road. Specifically, the Ontario farmhouse 1511 Clarke Road was described as comparable in proportions and details yet exhibiting a higher degree of integrity than the farmhouse at 1588 Clarke Road.

#### 4.4 Summary

A property is required to meet two or more of the criteria to merit protection under Section 29, *Ontario Heritage Act*. Upon further analysis of the property’s evaluation, staff have identified that one criterion has been met (Criteria #4).

Table 1: Summary of Evaluation of the property at 1588 Clarke Road

Criteria	Evaluation
1. The property has design value or physical value because it is a rare, unique, representative, or early example of a style, type, expression, material or construction method.	No
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	No
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.	No
4. The property has historical value or associative value because it has direct association with a theme, event, belief, person, activity, organization, or institution that is significant to a community.	Yes
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	No
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No
7. The property has contextual value because it is important in defining, maintaining, or supporting the character of an area.	No
8. The property has contextual value because it is physically, functionally, visually, or historically linked to its surroundings.	No
9. The property has contextual value because it is a landmark.	No

Staff agree with the conclusions of the Heritage Impact Assessment (AECOM, 2018) that the property does not meet the criteria for designation. As a result, designation of the property under the *Ontario Heritage Act* is not recommended. Because the property is associated with the Tackabury family who were early settlers in the area and significant to the establishment of ‘The Grove’ community, the property owner is encouraged to commemorate the historic contributions of the family in the future development of this property.

## Conclusion

A request to demolish the heritage listed property at 1588 Clarke Road was received by the City. A Heritage Impact Assessment (HIA, AECOM 2018) was submitted with this request and determined that the property does not meet the criteria of *Ontario Regulation 9/06* and does not merit designation pursuant to the *Ontario Heritage Act*. Staff have undertaken additional research and comparative analysis in the evaluation of the property at 1588 Clarke Road. Staff agree with the conclusion of the HIA and further add that commemoration could celebrate the history of the property.

**Prepared by:** Laura E. Dent, M.Arch, PhD, MCIP, RPP  
Heritage Planner

**Reviewed by:** Kyle Gonyou, RPP, MCIP, CAHP  
Manager, Heritage and Urban Design

## Appendices

Appendix A Property Location

Appendix B Images

Appendix C Historic Maps

Appendix D 1588 Clarke Road – Extracts of Previous Cultural Heritage Evaluations

## Selected Sources

2019, March 18 – Report to Planning and Environment Committee: Public Participation Meeting - Demolition Request for Heritage Listed Property - 1588 Clarke Road. Agenda Item 3.3, pp232-252. Link: <https://pub-london.escribemeetings.com/filestream.ashx?DocumentId=59891>.

2019, March 26. Municipal Council Resolution. (3.3/6/PEC-a, b). London, ON: Corporation of the City of London.

2021, July 14 – Memo to Hannah Shirliff, Planner, Monteith Brown Planning Consultants Senior Planner, from Tara Jenkins, Cultural Heritage Specialist. AECOM Canada Ltd. re: 1588 Clarke Road. LACH Agenda Item 4.1. Link: <https://pub-london.escribemeetings.com/filestream.ashx?DocumentId=82438>.

2021, August 25 (rev. Feb 26) – Memo to Larry Mottram, Senior Planner, from Laura E. Dent, Heritage Planner. re: 2331 Kilally Road & 1588 Clarke Road (39T-20502/OZ-9244) Review of Heritage Impact Assessment and Related Document – Heritage Commenting.

AECOM Canada Ltd. (2018, September 21). Heritage Impact Assessment, 1588 Clarke Road, London Ontario.

Archaeologix Inc. (2001 *Stage 1 Archaeological & Built Heritage Assessment, Kilally East Area Plan, City of London, County of Middlesex, Ontario*. CIF #2001-002-006. Archaeologix.

Archaeological Research Associates Ltd. (2019, October 23). Cultural Heritage Assessment Report, Municipal Class EA for Kilally South, East Basin Stormwater Strategy, City of London.

Corporation of the City of London. n.d. City of London Strategic Plan 2023-2027. London, ON.

Corporation of the City of London. n.d. Property Files: 1588 Clarke Road.

Corporation of the City of London. (2003, June). Kilally South Area Plan, Update.

Corporation of the City of London. (2016, consolidated 2022, May 25). *The London Plan*. London, ON.

Corporation of the City of London. (2022, December 9). *Register of Cultural Heritage Resources*. London, ON.

Find a Grave. <https://www.findagrave.com/cemetery/2315575/Grove-Cemetery>, retrieved 2023-08-24.

Grainger, J. 2002. *Vanished Villages of Middlesex*. Toronto: Natural Heritage Books.

London Township History Book Committee. 2001a. *London Township A Rich Heritage 1796-1997 Volume 1*. Aylmer: London Township History Book Committee.

London Advisory Committee on Heritage and the Department of Planning and Development (1998). *Inventory of Heritage Resources*. London, ON: Corporation of the City of London.

London Advisory Committee on Heritage and the Department of Planning and Development (2006). *Inventory of Heritage Resources*. London, ON: Corporation of the City of London.

London Township History Book Committee. 2001b. *London Township Families Past and Present Volume 2*: Aylmer: London Township History Book Committee.

McIlwraith, T.F. 1997. *Looking for Old Ontario – Two Centuries of Landscape Change*. Toronto: University of Toronto Press.

Ministry of Municipal Affairs and Housing. (2020). *Provincial Policy Statement, 2020*. Ontario: Queen's Printer for Ontario.

*Ontario Heritage Act*, (last amendment 2022, c. 21, Sched. 6.). Retrieved from e-Laws website <https://www.ontario.ca/laws/statute/90o18>



Storey, L (indexed). 1992. Index to London Township Map by Concession and Lot from the Historical Atlas of Middlesex County, 1878. London, Ontario: Ontario Genealogical Society, London Branch.

Page, H.R. & Co. 1878. *Illustrated Historical Atlas of the County of Middlesex*: Toronto: Correll, Craig & Co. Lith. Toronto.

Peters, S. 1863. Map of the Township of London, Canada West.

Rosser, F.T. 1975. *London Township Pioneers*. Belleville, Ontario: Mika Publishing Co.

Stantec (2022, December 22). Heritage Impact Assessment – 1745, 1880, 2112 Kilally Road and 1511, 1588 Clarke Road, London (Draft Report).

Stantec (2019, January 8). Cultural Heritage Assessment Report Clarke Road Improvements (VMP Extension to Fanshawe Road East) Environmental Assessment.

Tremaine, G. 1862. Tremaines' Map of the County of Middlesex, Canada West. Compiled and Drawn from Actual Surveys by the Publishers.

# Appendix A – Property Location

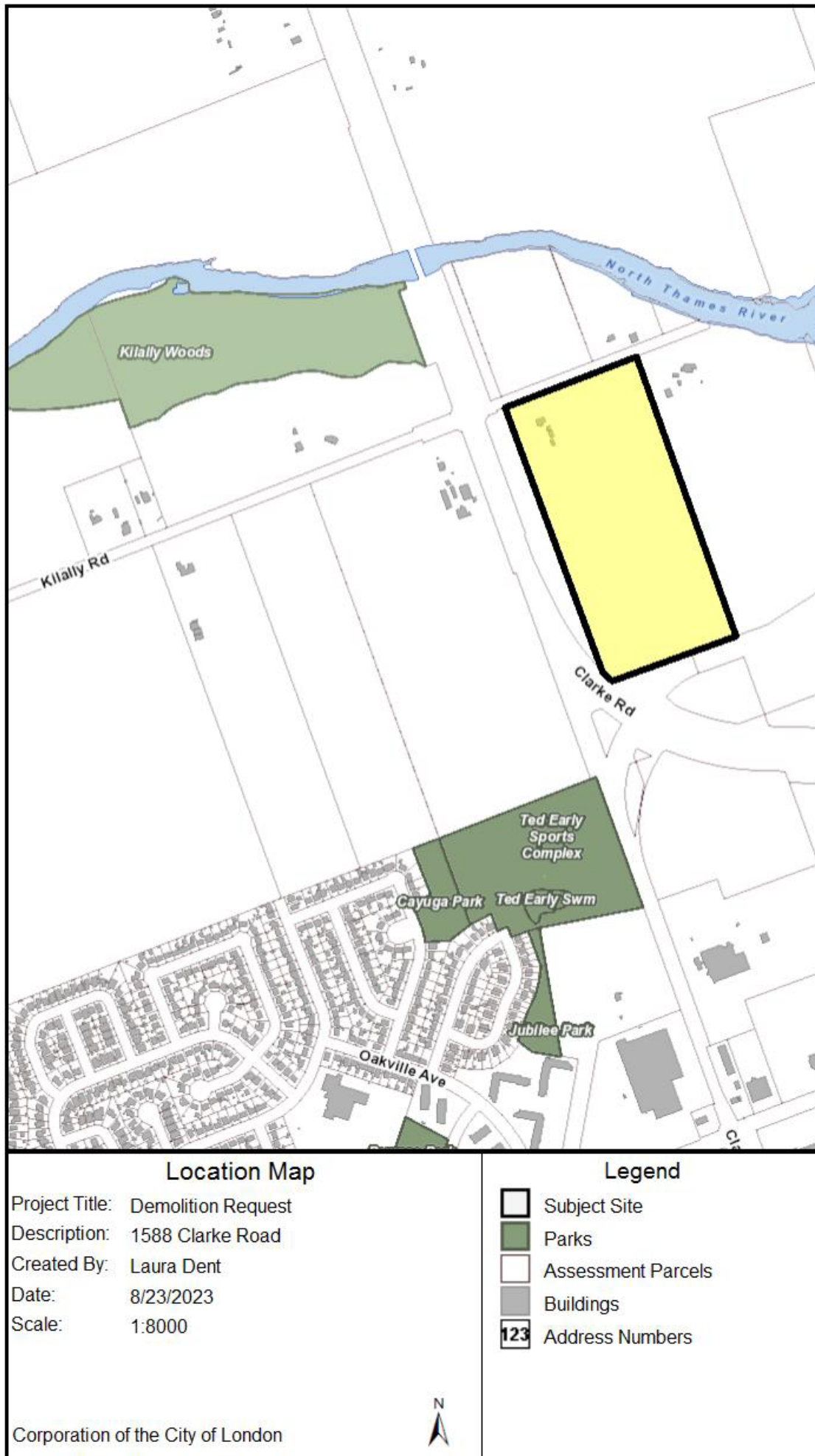
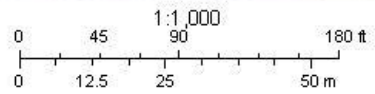


Figure 1: Property Location Map showing the location of the subject property at 1588 Clarke Road.

# Corporate City Map



8/26/2023, 11:38:39 AM



The Corporation of the City of London  
Corporation of the City of London | Produced For: Environmental & Engineering Services - Transportation Planning & Design | Produced by: Environmental & Engineering Services - Geomatics |

Figure 2: Property Map showing an aerial view of the built resources on the subject property at 1588 Clarke Road.



**Appendix B – Images**



*Image 1: Photograph facing east of entrance driveway bordered by a partial allée (L.Dent, August 29, 2023).*



*Image 2: Photograph of farmhouse set on a small hill and clearing – southwest elevation (L.Dent, August 29, 2023).*





Image 3: Photograph showing timber drive shed and two ancillary modern metal sheds (L.Dent, August 29, 2023).



Image 4: Photograph of south elevation of farmhouse showing multiple additions (L.Dent, August 29, 2023).





*Image 5: Photograph showing west elevation of farmhouse (L.Dent, August 29, 2023).*



*Image 6: Photograph showing north elevation of farmhouse (L.Dent, August 29, 2023).*





*Image 6: Photograph showing entrance door with sidelight and transom prior to being boarded up – north elevation (L.Dent, March 14, 2022).*



*Image 7: Photograph showing north elevation of farmhouse noting flat arch brick lintels located above the window and door opening as well as vinyl window in gable (L.Dent, August 29, 2023).*





Image 8: Photograph showing stone foundation – west elevation (L.Dent, March 14, 2022).



Image 9: Photograph showing addition at northeast corner of farmhouse (L.Dent, August 29, 2023).





*Image 10: Photograph of the southeast corner of farmhouse; upper level of original farmhouse can be seen behind additions (L.Dent, August 29, 2023).*



*Image 11: Photograph showing interior centre hall and stairway (L.Dent, March 14, 2022).*





Image 12: Photograph of upper level interior, central hall and stair with partial rail (L.Dent, March 14, 2022).



Image 13: Photograph of fireplace with insert and wooden mantel (L.Dent, March 14, 2022).





Image 14: Photograph of basement access showing stone foundation wall (L.Dent, March 14, 2022).



Image 15: Photograph of basement and stone foundation wall (L.Dent, March 14, 2022)



**Appendix C – Historic Maps**

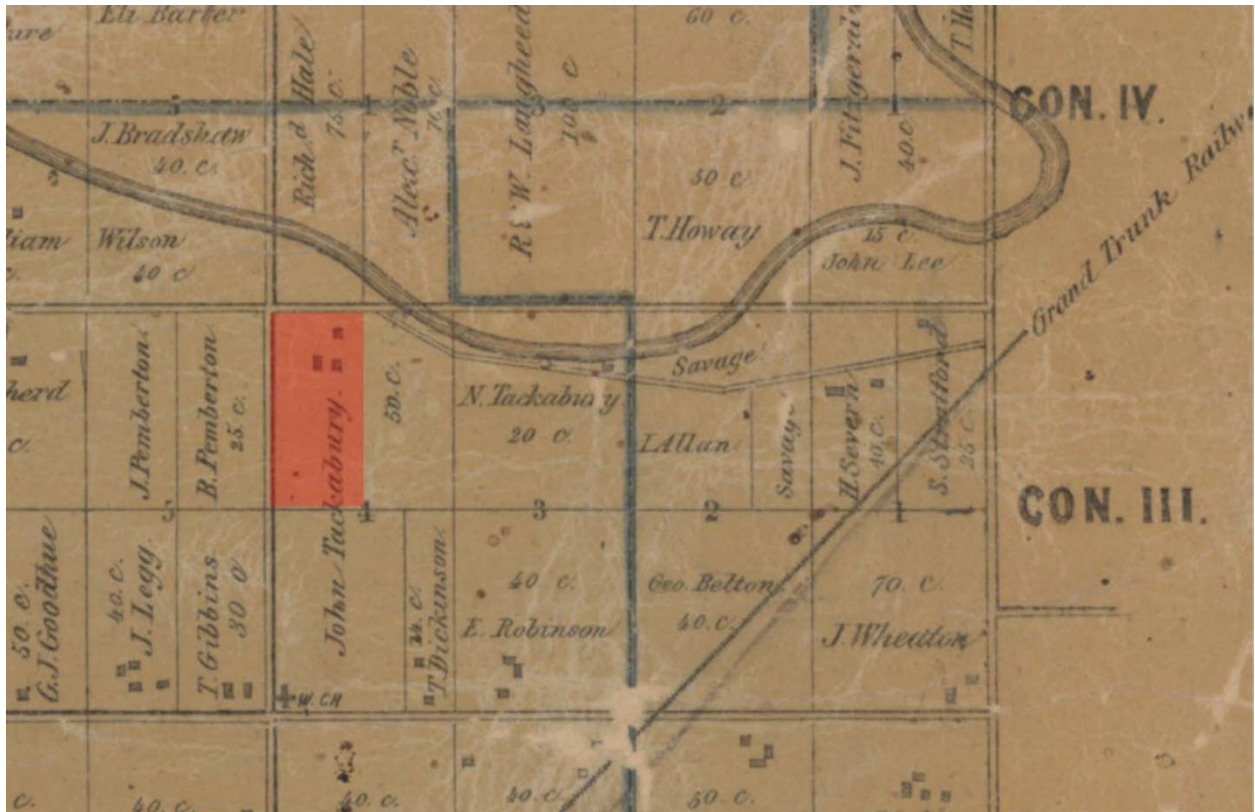


Figure 3: Detail of the Samuel Peters' Map of the Township of London (1863). The subject property at 1588 Clarke Road is highlighted.

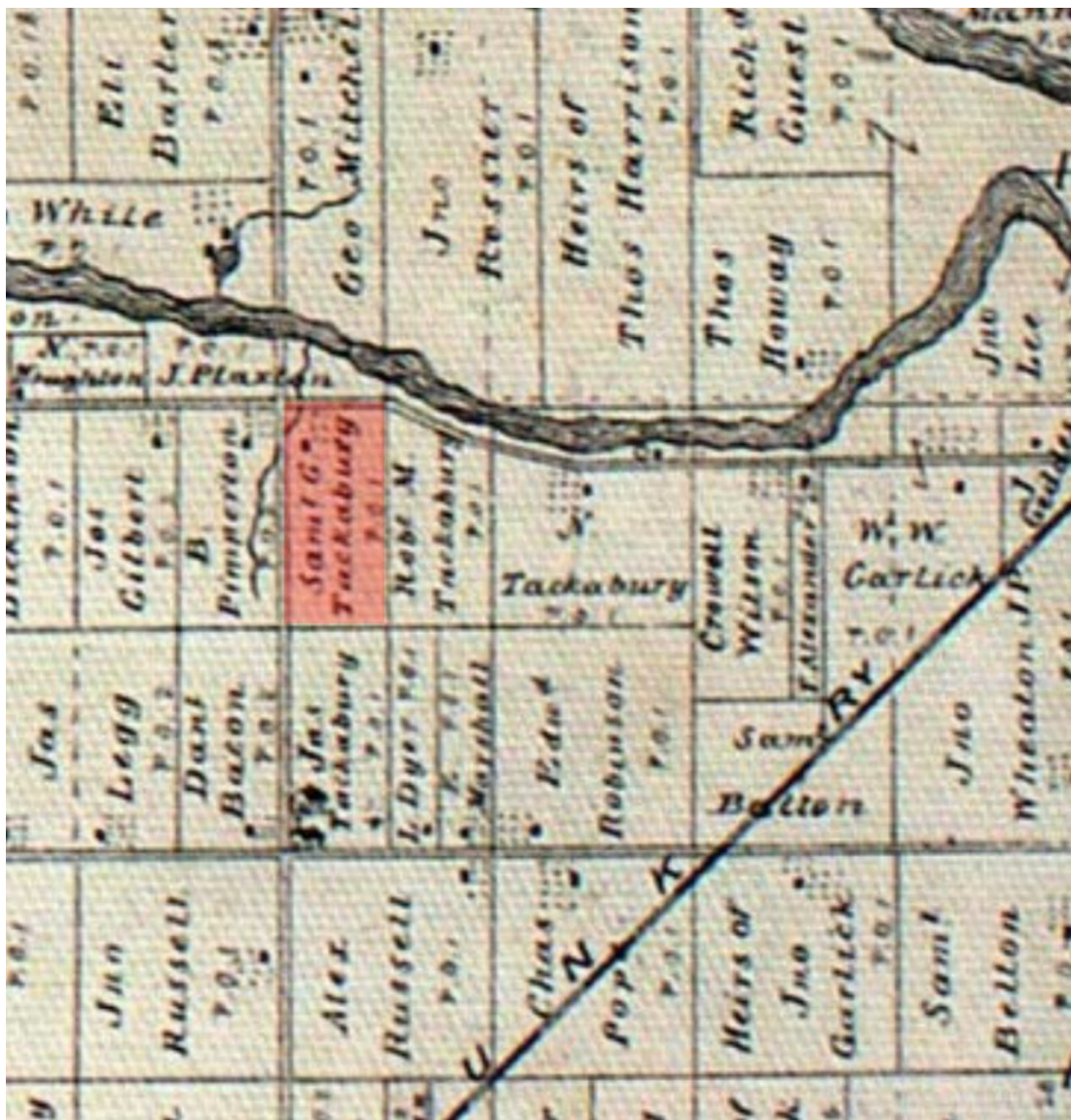


Figure 4: Detail of the Map of the Township of London in the Illustrated Historical Atlas of Middlesex County (1878) identifying the property at 1588 Clarke Road (highlighted).



## Appendix D – 1588 Clarke Road - Extracts of Previous Cultural Heritage Evaluations

### Extract 1

*Built Heritage Assessment, Killaly South (East) Area Plan* (Archaeologix, 2001) pp47-49.

### Extract 2

*Kilally South Area Plan* (City of London, June 2003) pp16-17.

### Extract 3

*Heritage Impact Assessment, 1588 Clarke Road* (AECOM, September 21, 2018) pp45-47.

### Extract 4

*Cultural Heritage Assessment Report Clarke Road Improvements* (Stantec, January 8, 2019) Appendix A, 7of10; 8of10.

### Extract 5

*Cultural Heritage Assessment Report, Kilally South East Basin-EA* (ARA, October 23, 2019) pp50-51.

### Extract 6

Demolition Request for Heritage Listed Property at 1588 Clarke Road (City of London, March 18, 2019) no pagination.

### Extract 7

Memo to Monteith Brown Planning Consultants from AECOM Canada Ltd. (2021) pp1-2.

**Site Intact/ Altered:** Largely intact. New barns have been added, including one in the past year, and a high chain-link fence serves to retain the cattle and to protect them against visitors who might carry disease.

**Condition of Building:** Very good. Some routine maintenance is needed.

**Cultural Landscape Value:** Significant

**E. Outbuildings and/or Significant Landscape Features:** The oldest barn on the property burned in 1918 (Johnson), and was rebuilt on its late Victorian foundations of rock-faced granite fieldstone.

**Priority Rating:** Currently unlisted in the *City of London Inventory of Heritage Resources*; merits listing with a priority rating of 2.

## **1588 Clarke Road (Figure 9)**

**Registr. Plan:** Concession 3

**Lot Number:** Part Lot 4

**Assessment Roll Number:** 09044032600

### **Building Assessment**

#### **A. Architecture**

**Building type:** House

**Style:** Ontario Farmhouse

**Construction:** Brick with wood trim. As in the house at 1511 Clarke Road described above, bricks with the surface unevenness of those produced through a soft mud manufacturing process are joined with beaded mortar. Occasional red colouration in the typically buff-coloured local brick also reflects quite a primitive method of selecting and mixing clays, and points to a relatively early construction date (see "History" below).

**Architect:** None. The house is built in a vernacular tradition.

**Significant Design Characteristics:** The house adopts the same typical farmhouse format found at 1395 Sandford Street and 1511 Clarke Road, the latter extremely similar in proportions and detail. Each of these houses has a gabled roof with the ridge running parallel with the facade; each is one and one-half storeys in height, features three bays within the facade, with a centre door surmounted by a small gable initially containing a small ornamental window. Regrettably, the ornamental window at 1588 Clarke Road had been replaced by a full-size rectangular window, but the fine front door with transom and sidelights makes a handsome focal point in the facade. In other design characteristics, the house is remarkably similar to that at 1511 Clarke Road: the gable is the same shape, the voussoirs, each consisting of a stretcher and a header, form a rectangular arch at the front of the building, while voussoirs of vertically positioned stretchers form a segmental arch over a kitchen wing added to the house at a somewhat later date. There are also several later additions here.

---

**Archaeologix Inc.**



**Interior:** Unable to view. According to the owners, largely original.

## B. History

**Date of Construction:** Main block, *circa* 1865; kitchen addition, *circa* 1875; additions to the south and east in the twentieth century. The only house on this property in the 1861 census is a log structure, but the stylistic qualities described above and the quality of the brick suggest that the house was built soon after, in the 1860s.

**Association with a Person/Group:** The property on which the house at 1588 Clarke Road stands has been occupied by the Tackabury family for a century and a half. Like the Webster and Dickinson families that settled along what is now Kilally Road, the Tackaburys who settled in London Township early in the nineteenth century were deeply religious Protestant Irish who had emigrated from County Wicklow, Ireland, to Madison County, N.Y., and then to London Township in Upper Canada. John Tackabury (or Tackabery), his wife Elizabeth (née Belton) and their infant daughter Sarah arrived in London Township in 1829, settling first on lot 1, concession 3, and later on lot 4, the site of the present homestead, on land that had been patented to John Hale in 1817. Although the deed recording Tackabury's purchase of lot 4, concession 3, was not completed and registered until 1853, family records indicate that John Tackabury moved to lot 4 in 1848; apparently some delay in the official transfer of the property occurred because Hale was then living in Boston (Land record abstracts; Brock, "Wicklow-Wexford," n. 28; Tackabury papers). The 1861 census shows John Tackabury resident on the property with his wife and eight of their 12 children, ranging in age from 8 to 31. (One child died in infancy; some daughters had already married and left the family home [Tackabury Family Tree].) The family is shown residing in a log house, though, as I have noted above, the brick house was probably built soon after, during the 1860s. John Tackabury was also one of the local farmers who agreed to allow explorations on his land by the Thames River Oil Company (Land records, instr. 8449). In 1862, John and Elizabeth Tackabury "sold" the southwest corner of their lot to the Grove Methodist Church for one shilling, to allow for the erection of a new and larger church building. When an even more commodious church was required in 1882, Samuel Tackabury, one of the sons of John and Elizabeth, was on the Trustee Board of the church overseeing the project (Lewis, 91).

**Thematic Context:** London Township Pioneers, The Tackabury Family, Wicklow-Wexford Settlers, Farming in London Township, The Methodist Church in London Township, The Grove, Ontario Farmhouses, Oil Explorations in London Township.

## C. Environment

**Context on Site:** Very good. The neighbourhood still gives the appearance of being largely agricultural, and the house faces a wooded ravine on a little used section of Kilally Road. Tentative plans for widening Clarke Road may pose a threat

**Landmark Status:** Recognized as historically significant within the immediate neighbourhood.

---

**Archaeologix Inc.**

#### D. Integrity

**State of Preservation:** Fair. While additions have been made to the back and to the east side of the building, these do not significantly detract from the historical character of the house. More unfortunate alterations are the recent window replacements, particular the substitution of a full-size window opening in the gable.

**Site Intact/ Altered:** Largely intact. An above-ground swimming pool recently installed in the front yard partially obliterates the view of the facade.

**Condition of Building:** Good.

**Cultural Landscape Value:** High.

**E. Outbuildings and/or Significant Landscape Features:** Among the barns from various periods that surround the farmyard is a granary dating, in part, from the middle of the nineteenth century. Corner posts and girts are roughly hewn; joints are fashioned with a mortise and tenon; most of the wall planks are over a foot wide.

**Priority Rating:** 2

### 2304 Kilally Road (Figure 10)

**Registr. Plan:** Concession 4

**Lot Number:** Part Lot 4

**Assessment Roll Number:** 09044028000

#### Building Assessment

##### A. Architecture

**Building type:** Summer cottage

**Style:** Georgian Revival and Stick Style influence

**Construction:** Wood, with a poured concrete foundation. This building is important partly because it is a rare example of a purpose-built summer residence along the Thames in nearly intact condition and partly because it exhibits its owners' innovative ideas about aspects of cottage construction. Like most summer cottages built in the late nineteenth and early twentieth centuries, its outer shell is a single layer thick. While most cottages consist of a structural frame exposed on the inside and a layer of cladding that covers the exterior wall, the walls of this cottage, composed of pine boards with tongue-and-groove joints, horizontally laid, present a highly finished appearance when viewed from the inside. In contrast to the usual practice, the structural frame is placed outside, using a technique adopted from the American Stick Style. Though the cottage is not intended for cold-weather use, the possible inconveniences of cool riverside evenings are overcome by the very effective, radiant, poured concrete fireplace that extends several feet into the main-floor living room. The plan exploits the hillside site of the cottage to create a turn-

**Archaeologix Inc.**



Community Centres	1 per 25,000 population	None because location requirements will likely provide this facility at Stronach Park.
Basketball Courts – indoor and outdoor	1 per 1500 population	7 required and can be put in the proposed central Neighbourhood Park – School campus

The recently completed Recreational Master Plan, prepared by Monteith Planning Consultants Ltd. for the City of London, may adjust these standards and principles.

#### 3.2.4 Open Space and Trail System

The Thames River Valley open space system has been described above. The existing Thames Valley Trail is already established, and is part of a long term City Park land acquisition program to have a major continuous multi-use trail and walkway system throughout the entire City (and region). It is expected that existing and future 'City Parks' improvement plans will conserve and enhance the natural ecology of the system. The dedication of River Valley lands and recognition of the ESA (with enlargement of the Open Space designation) is indicative of this plan's intent to preserve natural heritage. The Kilally South Area Plan Update also provides selective public access points (symbolized by arrows on the Recommended Area Plan) along the Valley for the future residents. The access connections into the Valley lands from Kilally Road may be by way of public roads and walkways and are to be planned as part of comprehensive subdivision design.

Additional connections and linkages of the overall park system can use the Chippewa collector street to join Ted Early Park to the proposed park-school campus in the centre of the Kilally South area. Sandford and Kilally Road can provide on-street connections to the Thames Valley lands.

#### 3.2.5 Library Facilities

The existing Beacock Branch Library, located west of the intersection of Huron Street and Highbury Ave. N., approximately 3 km away will serve future residents of Kilally South. The Northridge Branch Library located within the Northridge community at Glenora Drive and Killarney Road, some 2.5 km away to the west, could also assist in providing for the library needs of Kilally South residents. Alternatives also exist to create joint facilities with elementary schools in the two designated school sites within the Kilally South planning area. No specific library branch sites are being proposed for the area as the need has not been identified by the London Public Library Board.

#### 3.2.6 Police and Fire Protection

The nearest Fire Hall is Fire Station #7, located on Highbury Ave. N. mid-way between Huron Street and Cheapside Street, about 3 km to the south. No future fire stations are intended for the Kilally South planning area, although any of the land uses designations could permit it, according to the Official Plan.

The London Police patrol and coverage will operate out of their headquarters in downtown London at Adelaide Street and Dundas Street. This is the same for all other area plans to date, and therefore no site or lands have been set aside for such purpose. The same planning policy applies as for Fire Stations in that all of the land uses designations permit police station facilities should they wish to be accommodated in the future.

### 3.3 Archaeological Resources and Built Heritage

A Stage 1 "archaeological overview/background study" was conducted as part of this Plan between February and August 2001. Previous archaeological assessments and research surveys have demonstrated that the northeastern corner of the City of London was moderately utilized by Aboriginal peoples. The Stage 1 assessment indicated there are no registered archaeological resources located within the limits of the study area, although there are seven known sites within one kilometer. The Stage 1 process referred to the archaeological potential mapping of the City of London which identifies areas of moderate to high archaeological potential within the study area. As a result, additional archaeological assessment will be required and letters of clearance issued as a condition of future development approval.

Built heritage resources were also addressed under the "archaeological overview/background study". There are seven properties of substantial heritage significance within the limits of the study area. The recommendations of this assessment are:

- 1) 1745 Kilally Road – Currently listed in the City's Inventory of Heritage Resources under its former address, 1515 Kilally Road, with a Priority 2 rating; it should be upgraded to a Priority 1.
- 2) 1782 Kilally Road – Listed under its former address, 1516 Kilally Road, with a correctly designated Priority 1 rating.
- 3) 1395 Sandford Street – Listed, with a correctly designated Priority 2 rating.
- 4) "The Spinney, 1880 Kilally Road" – Unlisted; should be listed with a Priority 1 rating.
- 5) 1511 Clarke Road – Unlisted; should be listed with a Priority 2 rating.
- 6) 1588 Clarke Road – Listed, with a correctly designated Priority 2 rating.
- 7) 2304 Kilally Road – Unlisted; should be listed with Priority 1 rating.

The Archaeological and Built Heritage Assessment provides a detailed account of the architectural significance and history of each of these properties. In keeping with City policy regarding the Inventory of Heritage Resources, substantial efforts should be made to preserve buildings with a Priority rating of 1, and owners of buildings with a Priority rating of 2 should be strongly urged to retain the buildings. The Ministry of Tourism, Culture and Recreation – Heritage Operations Branch indicated in their response to the study that "All these built heritage features are recommended for protection from development impact, as is the retention and recovery of heritage street names. The consultant also reports that much of the area is determined by the City of London Master Plan to have archaeological potential. This Ministry concurs with the consultants recommendations."

### 3.4 Geotechnical and Hydrogeological

The geotechnical and hydrogeological study components included:

- 1) Desktop study to collect and summarize existing geotechnical and hydrogeological data.
- 2) Additional field work to supplement the existing geotechnical and hydrogeological data.
- 3) Final Report to provide recommendations on:
  - aggregate resources
  - slope stability concerns
  - hydrogeological evaluation of effects of development and input for Stormwater Management (SWM) strategies.

The updated data collection and borehole testing indicates there is limited aggregate resources available. Revised calculations of aggregate resources reveal that there is potential for aggregate resources present within a portion of the north half of the Lapcevic, Radoicic, and Johnson properties. A generous estimate of 12 hectares with an approximately 4 metre thick layer of extractable aggregate resources would mean a total of approximately 1 million tonnes of aggregate of variable quality. Part of the estimated quantity of remaining aggregate resources could be below the groundwater table or within the 1 metre depth buffer above the groundwater table. The geotechnical consultant's study concludes that there are significantly less aggregate resources present than reported in the 1990 Kilally Road Area Study report.

The Ministry of Natural Resources has reviewed the revised quantities of aggregate resources and advised the City of London that they agree with consultant's conclusion there is not a sufficient quantity of mineral aggregate in the Kilally South area to warrant continued protection and future extraction.

A preliminary slope stability evaluation was carried out on the study area to define the slope stability constraints for proposed residential development. Slope stability constraint lines are used to provide guidance on establishing lot lines adjacent to the top-of-bank of slopes. Reference should be made to the analysis and stable slope constraint mapping in Section 2.4.2 of the Geotechnical and Hydrogeological Report, Kilally Area Study Update prepared by LAW



## 5. Evaluation

### 5.1 Ontario Regulation 9/06

Ontario Regulation 9/06 provides criteria for determining cultural heritage value or interest. If a property meets one or more of the following criteria it may be designated under Section 29, Part IV of the Ontario Heritage Act. The criteria for determining cultural heritage value under Ontario Regulation 9/06 have been adopted by City of London and are outlined below:

- 1) The property has **design or physical value** because it:
  - Is a rare, unique, representative or early example of a style, type, expression, material or construction method;
  - Displays a high degree of craftsmanship or artistic merit; or
  - Demonstrates a high degree of technical or scientific achievement.
  
- 2) The property has **historic or associative value** because it:
  - Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;
  - Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or
  - Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.
  
- 3) The property has **contextual value** because it:
  - Is important in defining, maintaining, or supporting the character of an area;
  - Is physically, functionally, visually, or historically linked to its surroundings; or
  - Is a landmark.

The application of the criteria for the evaluation of 1588 Clarke Road is provided below in Table 1.

**Table 1: Ontario Regulation 9/06 Evaluation for 1588 Clarke Road**

Criteria	Meets Criteria (Yes/No)	Rationale
<b>1) The property has <i>design or physical value</i> because it:</b>		
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method.	No	The farmhouse on the property consists of a modest, vernacular dwelling built as an Ontario Farmhouse, a common farmhouse style found in London and other municipalities in Ontario. Comparatively, other farmhouses within the area are much more representative of vernacular Ontario Farmhouses including 1511 Clarke Road. Elsewhere in the City, 3544 Dingman Drive, and As a result, the property is not a rare, unique, representative, or early example of a style, type, expression, material, or construction method.

ii) Displays a high degree of craftsmanship or artistic merit.	No	The farmhouse, structures and property at 1588 Clarke Road are vernacular examples and do not display a high degree or craftsmanship or artistic merit.
iii) Demonstrates a high degree of technical or scientific achievement.	No	The farmhouse, structures and property at 1588 Clarke Road are vernacular agricultural structures and do not demonstrate a high degree of technical or scientific achievement.
<b>2) The property has <i>historic value or associate value</i> because it:</b>		
i) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community.	No	Although the property has associations with the Tackabury family who were one of the early families that settled in this area of London Township, the family's association with the community was located further south on their lot. The Tackaburys played a role in establishing a small community known as "The Grove" in what is now east London. The family occupied the subject property from the 1850s into the 21 <sup>st</sup> century, and donated portions of their parcels for the church and school usages in the community. Today, little remains of The Grove, aside from The Grove Cemetery located further south on Huron Street. Comparatively, the significant Tackabury associations with The Grove were located further south at what is now the intersection of Huron Street and Clarke Road. In addition, the residential structure at 1424 Clarke Road within the Fanshawe Conservation Area is noted as a Priority 1 property dated as being older than the farmhouse at 1588 Clarke Road, and is perhaps more historically associated with the Tackabury family than the subject property.
ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture.	No	The property does not yield or have the potential to yield information that contributes to an understanding of a community or culture.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No	No particular architects, artists, builders, designers or theorists could be associated with the property. As a result, the property does not demonstrate or reflect the work or ideas of such an individual.
<b>3) The property has <i>contextual value</i> because it:</b>		
i) Is important in defining, maintaining or supporting the character of an area.	No	Although the property includes a farmhouse, barn, and various outbuildings, its historic character and the surrounding environment has been gradually changing since the mid-20 <sup>th</sup> century. The construction of the Fanshawe Dam and Conservation Area drastically altered the agricultural landscape, and the changing industrial and residential uses nearby have resulted in a relatively isolated farmscape along this portion of Clarke Road. The property is not important

Extract 3b: Heritage Impact Assessment, 1588 Clarke Road (AECOM, September 21, 2018) p46.



		in defining, maintaining, or supporting the character of an area.
ii) Is physically, functionally, visually or historically linked to its surroundings.	No	Although the farmhouse was historically linked to the barns and farm fields on the property, the farmhouse is no longer linked to the working field south of the house, and the barn is no longer in use. In addition, the former link between the farmhouse, the barn, and the farm fields are typical of rural landscapes and do not demonstrate a significant or unique link to their surroundings.
iii) Is a landmark.	No	The property at 1588 Clarke Road is not a landmark.

The property at 1588 Clarke Road has been evaluated using the mandated criteria of *Ontario Heritage Act* Regulation 9/06. The property did not meet the criteria for designation, and as a result designation of the property under the *Ontario Heritage Act* is not recommended. The evaluation concluded that the property does not have cultural heritage value.

Filepath: \\cd1217-f01\work\_group\1609\active\1609\archaeology\internal\16001055 - clarke road widening ea\work\_program\report\final\app\_inventory\_16001055\_20190108.docx

**Municipal Address:** 1588 Clarke Road  
**Former Township or County:** London Township  
**Municipality:** City of London  
**Lot and Concession:** Lot 4, Concession 3  
**Resource Type:** Farmstead  
**Associated Dates:** 1862 to 1863  
**Relationship to Project:** Within study area



**Description:**  
 The property, although partially obscured by mature trees and vegetation, was determined to contain a residence and farm complex. The residence is a one and a half storey structure with a steep pitched side gable roof and gable peak containing a window. Similar to 1511 Clarke Road, the residence of an Ontario Farmhouse design and constructed with buff brick. Adjacent to the residence are three buildings, one of which is a timber frame barn with stone foundation (Photo Source: Krista Gowan, 2018).

**Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06:**

	Yes	No
<b>1. The property has design value or physical value because it,</b>		
i. Is a rare, unique, representative or early example of a style, type, expression, material or construction method,	✓	
ii. Displays a high degree of craftsmanship or artistic merit, or		✓
iii. Demonstrates a high degree of technical or scientific achievement.		✓
<b>2. The property has historical value or associative value because it,</b>		
i. Has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community,	✓	
ii. Yields, or has the potential to yield, information that contributes to an understanding of a community of culture, or		✓
iii. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
<b>3. The property has contextual value because it,</b>		
i. Is important in defining, maintaining or supporting the character of an area,	✓	
ii. Is physically, functionally, visually or historically linked to its surroundings, or	✓	
iii. Is a landmark.		✓

**Evaluation of Cultural Heritage Value or Interest According to O. Reg. 9/06:**

**Design or Physical Value:** The property contains a farmstead with a 19<sup>th</sup> century dwelling, barn, and outbuilding. The house is representative of a 19<sup>th</sup> century Ontario Farmhouse. The style was common in rural areas in the mid to late 19<sup>th</sup> century. The barn is a representative example of a gable roof barn typical to the 19<sup>th</sup> century. Gable roof barns with stone foundations were constructed throughout rural areas of Southern Ontario in the 19<sup>th</sup> century.

**Historical or Associative Value:** Property is associated with the Tackabury family. John and Elizabeth Tackabury arrived in London Township from Wicklow, Ireland in 1829. The Tackabury family were among the earliest settlers in the Study Area and prominent citizens of 'The Grove', a hamlet located to the south of the Study Area.



Client/Project	July 2018
City of London	16001055
Clarke Road Widening EA	
Appendix	Page
A	7 of 10
Title	
CULTURAL HERITAGE RESOURCE/LANDSCAPE RECORD FORM	



Filepath: \\cd1217-001\work\_group\01609\active\1609\_archaeology\internal\165001055 - clarke road widening ea\work\_program\report\final\app\_inventory\_165001055\_20190108.docx

Contextual Value: This farmstead maintains and supports the 19<sup>th</sup> century character of a small remaining stretch of Clarke Road between the Fanshawe Conservation Area and Kilally Road. The property is historically linked to its surroundings, including original survey roads (Kilally Road and Clarke Road). The farmstead originally fronted on Kilally Road, but by the at least the 1940s driveway access to the property has been from Clarke Road.

**Identified Heritage Attributes:** Residence: One and a half storey, side gable roof, buff brick exterior. Barn: side gable roof, timber construction, stone foundation.

**Identification of CHVI:** Yes

**Heritage Resource/Landscape Number:** CHL-3

**Completed by (name):** Frank Smith

**Date Completed:** August 18, 2017 (Photo added December 2018)



Client/Project	July 2018
City of London	165001055
Clarke Road Widening EA	
Appendix	Page
A	8 of 10
Title	
CULTURAL HERITAGE RESOURCE/LANDSCAPE RECORD FORM	

Extract 4b: Cultural Heritage Assessment Report Clarke Road Improvements (Stantec, January 8, 2019) Appendix A, 8 of 10.

**CULTURAL HERITAGE LANDSCAPE NO. 4 (STANTEC 2019)  
Previously Identified in *Cultural Heritage Assessment Report Clarke Road Improvements (Stantec 2019)***

**Municipal Address:** 1588 Clarke Road  
**Former Township or County:** London Township  
**Municipality:** City of London  
**Lot and Concession:** Lot 4, Concession 3  
**Resource Type:** Farmstead  
**Associated Dates:** 1862 to 1863  
**Relationship to Project:** Within study area



**Description:**

The property, although partially obscured by mature trees and vegetation, was determined to contain a residence and farm complex. The residence is a one and a half storey structure with a steep pitched side gable roof and gable peak containing a window. Similar to 1511 Clarke Road, the residence of an Ontario Farmhouse design and constructed with buff brick. Adjacent to the residence are three buildings, one of which is a timber frame barn with stone foundation (Photo Source: Krista Gowan, 2018).

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06:

	Yes	No
<b>1. The property has design value or physical value because it,</b>		
i. Is a rare, unique, representative or early example of a style, type, expression, material or construction method,	✓	
ii. Displays a high degree of craftsmanship or artistic merit, or		✓
iii. Demonstrates a high degree of technical or scientific achievement.		✓
<b>2. The property has historical value or associative value because it,</b>		
i. Has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community,	✓	
ii. Yields, or has the potential to yield, information that contributes to an understanding of a community of culture, or		✓
iii. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
<b>3. The property has contextual value because it,</b>		
i. Is important in defining, maintaining or supporting the character of an area,	✓	
ii. Is physically, functionally, visually or historically linked to its surroundings, or	✓	
iii. Is a landmark.		✓

**Evaluation of Cultural Heritage Value or Interest According to O. Reg. 9/06:**

**Design or Physical Value:** The property contains a farmstead with a 19<sup>th</sup> century dwelling, barn, and outbuilding. The house is representative of a 19<sup>th</sup> century Ontario Farmhouse. The style was common in rural areas in the mid to late 19<sup>th</sup> century. The barn is a representative example of a gable roof barn typical to

**October 2019  
HR-139-2018**

*Archaeological Research Associates Ltd.  
ARA File #2018-0262*



the 19<sup>th</sup> century. Gable rood barns with stone foundations were constructed throughout rural areas of Southern Ontario in the 19<sup>th</sup> century.

**Historical or Associative Value:** Property is associated with the Tackabury family. John and Elizabeth Tackabury arrived in London Township from Wicklow, Ireland in 1829. The Tackabury family were among the **earliest settlers in the Study Area and prominent citizens of 'The Grove', a hamlet located to the south of the Study Area.**

**Contextual Value:** This farmstead maintains and supports the 19<sup>th</sup> century character of a small remaining stretch of Clarke Road between the Fanshawe Conservation Area and Kilally Road. The property is historically linked to its surroundings, including original survey roads (Kilally Road and Clarke Road). The farmstead originally fronted on Kilally Road, but by the at least the 1940s driveway access to the property has been from Clarke Road.

**Identified Heritage Attributes:** Residence: One and a half storey, side gable roof, buff brick exterior. Barn: side gable roof, timber construction, stone foundation.

Identification of CHVI: Yes      Heritage Resource/Landscape Number: CHL-3

**Completed by (name):** Frank Smith      **Date Completed:** August 18, 2017 (Photo added December 2017)

4.3 Ontario Heritage Act – 9/06 Evaluation of 1588 Clarke Road

Criteria for Determining Cultural Heritage Value or Interest			
Criteria		Evaluation	Analysis - Response
<b>The property has design value or physical value because it,</b>	is a rare, unique, representative or early example of a style, type, expression, material, or construction method.	<ul style="list-style-type: none"> <li>• Mid-century Bank Barn with timber frame construction</li> <li>• Early constructed Ontario farmhouse (c1865)</li> </ul>	<ul style="list-style-type: none"> <li>• The barn on the property is a common type and not altogether rare in the City of London.</li> <li>• The farmhouse on the property is not unique or rare in the City of London (and other municipalities in ON).</li> <li>• There are other farmhouses within the Kilally-Clarke area better conserved and representative of this style (e.g. 1511 Clarke Road).</li> </ul>
	displays a high degree of craftsmanship or artistic merit.	The barn, farmhouse and drive shed are ordinary structures, typical of the period with no outstanding or unusual details or ornamentation. There is no evidence of a high degree of craftsmanship or artistic merit.	
	demonstrates a high degree of technical or scientific achievement	No evidence of a high degree of technical or scientific merit was found.	
<b>The property has historical value or associative value because it,</b>	has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	<ul style="list-style-type: none"> <li>• The property is associated with the Tackabury family who are among the earliest settlers in this area</li> <li>• The family is identified with Methodist Irish pioneer settlement in the area and the establishment of 'The Grove' community</li> </ul>	<ul style="list-style-type: none"> <li>• Long term retention through designation of the adjacent property at 1424 Clarke Road (likely constructed by Nathan Tackabury, John Tackabury's eldest son) should be considered.</li> <li>• It is an earlier and more exemplary example of an Ontario Farmhouse (than that at 1588 Clarke Rd).</li> <li>• It is better suited to reflect the contribution of the family in the area. See Appendix B, images 16 and 17.</li> </ul>
	yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	The barn and associated farmstead property and structures are not believed to yield, or have the potential to yield, information that contributes to an understanding of a community of culture.	
	demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	The barn, farmhouse and drive shed are built in a vernacular tradition and not attributed to a particular builder or architect.	
<b>The property has contextual value because it,</b>	is important in defining, maintaining, or supporting the character of an area.	<ul style="list-style-type: none"> <li>• The property comprises elements of a 19th century farmstead inclusive of a barn and farmhouse</li> <li>• The property is reflective of original survey road patterns</li> <li>• The property is not actively farmed but linked to the rural, agricultural setting through its past function</li> </ul>	<ul style="list-style-type: none"> <li>• The surrounding area is transitioning from an agricultural area to an area that will likely be more residential in character.</li> <li>• The proposed widening of Clarke Road and extension of the Veteran's Memorial Parkway to Fanshawe Road East will likely isolate the property at 1588 Clarke Rd and compromise the historic</li> </ul>
	is physically, functionally, visually, or historically linked to its surroundings.		

Extract 6a: Demolition Request for Heritage Listed Property at 1588 Clarke Road (City of London, March 18, 2019) no pagination.



			<p>lot and development pattern of its surrounding agricultural area.</p> <ul style="list-style-type: none"> <li>• Regrettably, if retained, the barn and farmstead property risk becoming 'a contextual', isolated and devoid of the meaning once derived from its rural setting.</li> <li>• This will irrevocably diminish the potential for this property to be recognized as a tangible link to the agricultural past of this area.</li> </ul>
	is a landmark.	While certainly recognizable, it is not conclusive if the barn and associated farmstead property and structures are a landmark in the context of the community.	

**5.0 Conclusion**

The evaluation of the barn and associated farmstead property and structures on the property at 1588 Clarke Road did not meet the criteria for designation under Part IV of the *Ontario Heritage Act*. Municipal Council should consent to the demolition of the barn on this property and advise the Chief Building Official accordingly.

<b>Recommended by:</b>	<b>Laura E. Dent, M.Arch, PhD, MCIP, RPP Heritage Planner</b>
<b>Reviewed by:</b>	<b>Michael Tomazincic, MCIP, RPP Manager, Current Planning</b>
<b>Concurred in by:</b>	<b>Paul Yeoman, RPP, PLE Director, Development Services</b>
<b>Submitted by:</b>	<b>George Kotsifas, P.ENG Managing Director, Development and Compliance Services and Chief Building Official</b>
<p>Note: The opinions contained herein are offered by a person or persons qualified to provide expert opinion. Further detail with respect to qualifications can be obtained from Development Services.</p>	

LED/

Appendix A Maps  
Appendix B Images

K:\Shared\ADMIN\1- PEC Reports\2019 PEC Reports\4- March 18\Draft\_2019-03-18 PEC Demo 1588 Clarke Road.docx

To: Monteith Brown Planning Consultants

Dear Hannah Shirtliff,

**Subject: 1588 Clarke Road**

AECOM's Heritage Impact Assessment (HIA) for 1588 Clarke Road was completed in 2018 and assessed the impacts of a subdivision development plan by Sifton that included the property. It is understood that after the HIA was completed, a demolition request was made by Sifton on March 18, 2019 for the demolition of the barn on the property. It was noted at the time of the demolition request that the Stewardship sub-committee of the London Advisory Committee on Heritage (LACH) should conduct more research on the property, specifically regarding its connection to the Underground Railroad. The demolition request from March 18, 2019 included a recommendation from Laura Dent, Heritage Planner with the City of London, stating that the demolition be taken, that the property should be removed from the Register, and the property owner commemorate the historic contributions of the Tackabury family. This commemoration should be incorporated into the future development of the property. Council approved the demolition request for the barn.

A comment on the HIA was received from Maggie Whalley, a member of LACH, who was speaking on behalf of the Tackabury family. The comment suggested the HIA did not sufficiently portray the history of the family associated with the property. It should be noted that it is not common practice to contact previous landowners when developing a property history as part of an HIA. The purpose of an HIA is to evaluate and assess impacts to a heritage property, this is the primary focus of the report.

Having reviewed the HIA, while I agree to the overall conclusion of the HIA that the buildings associated with the property do not need to be retained, we do encourage the property owner to move forward with the recommendation made in the HIA, and made by the Heritage Planner on March 18, 2019, that the design plans for that property need to include a commemorative feature noting the historical contributions of the Tackabury family.

Commemoration can include, but is not limited to:

- Dedicating a location in the Open Space, parkland for an interpretive sign - add to design plans
- Consider naming a street or a public walking trail after the family
- Consider naming the storm water management pond area after the family

At this time, a revision to the HIA is not required; however, the information provided by Ms. Whalley on the family can be utilized in the commemoration of the family and should be included in the planning application or subsequent design plans.



Sincerely,

Tara Jenkins, MA, CAHP, Cultural Heritage Specialist  
**AECOM Canada Ltd.**

## Report to Community Advisory Committee on Planning

**To:** Chair and Members  
Community Advisory Committee on Planning

**From:** Kyle Gonyou, RPP, MCIP, CAHP  
Manager, Heritage and Urban Design

**Subject:** Request to Remove the Property at 176 Piccadilly Street from the Register of Cultural Heritage Resources, Ward 13

**Date:** September 13, 2023

## Recommendation

Removal of the property located at 176 Piccadilly Street from the Register of Cultural Heritage Resources is being recommended, in response to a request received by the City.

## Executive Summary

The property at 176 Piccadilly Street was identified as a part of an inventory of the North Talbot Area in 2020. The property was identified as a potential cultural heritage resource and was added to the Register of Cultural Heritage Resources on October 27, 2020. The property is currently vacant, and a Property Standards Order was issued for the property in February 2022.

A Cultural Heritage Evaluation Report (CHER) for the property at 176 Piccadilly Street determined that it does not meet the threshold for designation of two (2) mandated criteria of Ontario Regulation 9/06, criteria for determining cultural heritage value or interest. Staff agree with the findings and conclusions of the CHER and recommend the property be removed from the Register of Cultural Heritage Resources.

## Analysis

### 1.0 Background Information

#### 1.1 Property Location

The subject property at 176 Piccadilly Street is located on the northeast corner of the intersection of Piccadilly Street and St George Street (Appendix A). The property is located within the North Talbot neighbourhood of London.

#### 1.2 Cultural Heritage Status

The property at 176 Piccadilly Street is a heritage listed property. The property was added to the Register of Cultural Heritage Resources by resolution of Municipal Council on October 27, 2020.

#### 1.3 Description

The subject property is located in a mixed-use area consisting of residential, commercial, and industrial uses with buildings ranging from one to three storeys in height. The building on the subject property at 176 Piccadilly Street is a small one-storey wooden house with its primary (south) elevation fronting Piccadilly Street (Appendix B). The house features a rectangular plan, hipped roof with asphalt shingles, and a small side addition extending from the north portion of the east elevation (Image 3). The house rests on a buff brick foundation featuring some remaining tooled mortar joints (Image 8). A small buff brick chimney exists on the east side of the hipped roof (Image 7). The house is clad in horizontal wood siding with a v-joint profile, painted white (Image 8).

The south elevation features a symmetrically arranged three-bay design with a central entryway covered by a small wood awning, and window openings on either side (Image



1). The house features an awning covering the front entryway, attached with wood brackets (Images 5 & 6).

The west elevation facing St George Street features a single, centrally located window opening (Image 2). The east elevation features a single window opening as well as a doorway on the east addition (Image 3). The north elevation also features a single centrally located window opening (Image 4). Currently, all window and door openings have been boarded up.

The window openings, despite being boarded up, show paint ghosting showing that the windows once had wooden surrounds with shallow pediments on the south elevation and flat tops on other elevations. These wooden surrounds are visible in photographs of the property taken in 2016 and 2019 (Images 9 & 10). Due to the present state of the building and the plywood boarding on all openings, few other details are visible on the exterior of the building.

#### **1.4 History**

The subject property is located in Lot 3 East of the Wharncliffe Highway (or Proof Line), surveyed in 1824. Deputy Provincial Surveyor Mahlon Burwell's 1824 survey of the Wharncliffe Highway created park lots of 100 acres or less on both sides of the road. Lot 3 East was patented to John Stiles in 1831. In the 1820s, the subject property was located north of a large mill pond just off the Thames River. The pond connected to the Thames River via a west-flowing creek, later known as Carling's Creek.

A large farm south of the mill pond was owned by John Kent. Throughout the 1830s, the southern portions of Kent's farm were subdivided into urban blocks. In 1840, the Town of London annexed a large section of land to the north and west of the original townsite survey, including the subject property. Throughout the 1850s, there was a period of intense land speculation in London in anticipation of the arrival of the Great Western Railway in 1853. This speculation cooled down following the Panic of 1857.

The area of the subject property developed an industrial character with the establishment of major industries such as the Hyman Tannery and Carling's Brewery along Carling's Creek. This industrial development led to workers housing being built in the same area. The industrial character of the area further evolved with the arrival of a new Ontario and Quebec Railway, now CPR, in the late 1880s, cutting east from Oxford Street and the Thames River and passing through the intersection of Richmond Street and Ann Street.

The subject property at 176 Piccadilly Street is located on Part Lots 6 & 7 E/S St George, on Plan 22. Plan 22 was prepared for Messrs. Renwick and Thompson, by surveyor Samuel Peters. This plan created three blocks with laneways bound by the Thames River to the west, Richmond Street to the east, Piccadilly Street to the south, and Oxford Street to the north. The first transaction associated with the new lots dates from 1857, when Martin Collison purchased Plan 22 Lots 4-7 from J.E. & J. S. Thompson and W.T. Renwick's wife. In 1868, Martin Morkin purchased Lot 7 from Martin Collison's wife, and in 1869 purchased a portion of Lot 6 from Alexander Macdonald's wife. Morkin is identified in an 1884 City Directory as working at the nearby C.S. Hyman & Co. tannery as a tanner.

City Directory listings from 1872 and 1875 confirm that Martin Morkin lived on the north side of Piccadilly Street between Richmond Street and Talbot Street. A Bird's Eye Map from 1872 also shows a small, one-storey dwelling on the corner of Piccadilly Street and St George Street. It is believed that Morkin acquired the vacant property in the late 1860s and had built the current extant structure by 1871. According to assessment rolls, Martin Morkin lived at the property at 176 Piccadilly Street until 1880, and it was later occupied by his mother by 1882. The property remained associated with the Morkin family into the 1880s. Martin Morkin died on September 26, 1894, in London, Ontario.

## 2.0 Discussion and Considerations

### 2.1 Legislative and Policy Framework

Cultural heritage resources are to be conserved and impacts assessed as per the fundamental policies of the *Provincial Policy Statement (2020)*, the *Ontario Heritage Act*, and *The London Plan*.

#### 2.1.1 *Provincial Policy Statement*

Heritage Conservation is a matter of provincial interest (Section 2.d, *Planning Act*). The *Provincial Policy Statement (2020)* promotes the wise use and management of cultural heritage resources and directs that “significant built heritage resources and significant cultural heritage landscapes shall be conserved” (Policy 2.6.1, *Provincial Policy Statement 2020*).

“Significant” is defined in the *Provincial Policy Statement (2020)* as, “resources that have been determined to have cultural heritage value or interest.” Further, “processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*.”

Additionally, “conserved” means, “the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained.”

#### 2.1.2 *Ontario Heritage Act*

Section 27, *Ontario Heritage Act* requires that a register kept by the clerk shall list all property that have been designated under the *Ontario Heritage Act*. Section 27(1.2), *Ontario Heritage Act* also enables Municipal Council to add property that have not been designated, but that Municipal Council “believes to be of cultural heritage value or interest” on the Register.

The only cultural heritage protection afforded to heritage listed property is a 60-day delay in the issuance of a demolition permit. During this time, Council Policy directs that the Community Advisory Committee on Planning (CACP) is consulted, and a public participation meeting is held at the Planning & Environment Committee. A Cultural Heritage Evaluation Report (CHER) is required for a demolition request for a building or structure on a heritage listed property.

Section 29, *Ontario Heritage Act* enables municipalities to designate property to be of cultural heritage value or interest. Section 29, *Ontario Heritage Act* also establishes consultation, notification, and process requirements, as well as a process to appeal the designation of a property. Objections to a Notice of Intention to Designate are referred back to Municipal Council. Appeals to the passing of a by-law to designate a property pursuant to the *Ontario Heritage Act* are referred to the Ontario Land Tribunal (OLT).

##### 2.1.2.1 **Criteria for Determining Cultural Heritage Value or Interest**

Ontario Regulation 9/06, as amended by Ontario Regulation 569/22, establishes criteria for determining the cultural heritage value or interest of individual property. These criteria are consistent with Policy 573\_ of *The London Plan*. These criteria are:

1. The property has design or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.



6. The property has historical or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark.

A property is required to meet two or more of the abovementioned criteria to merit protection under Section 29 of the *Ontario Heritage Act*.

### 2.1.3 The London Plan

The Cultural Heritage chapter of *The London Plan* recognizes that our cultural heritage resources define our City’s unique identity and contribute to its continuing prosperity. It notes, “The quality and diversity of these resources are important in distinguishing London from other cities and make London a place that is more attractive for people to visit, live or invest in.” Policies 572\_ and 573\_ of *The London Plan* enable the designation of individual property under Part IV of the *Ontario Heritage Act*, as well as the criteria by which individual property will be evaluated.

### 2.1.4 Register of Cultural Heritage Resources

Municipal Council may include property on the Register of Cultural Heritage Resources that it “believes to be of cultural heritage value or interest.” The property is not designated but is considered to have potential cultural heritage value or interest.

The Register of Cultural Heritage Resources states that further research is required to determine the cultural heritage value or interest of heritage listed property. If a property is evaluated and found to not meet the criteria for designation, it should be removed from the Register of Cultural Heritage Resources.

The property at 176 Piccadilly Street is included on the Register of Cultural Heritage Resources as a heritage listed property.

## 3.0 Financial Impact/Considerations

None

## 4.0 Key Issues and Considerations

The property was identified as a potential cultural heritage resource in the North Talbot Inventory (Appendix C) and was added to the Register of Cultural Heritage Resources on October 27, 2023. The existing building is currently vacant, and a Property Standards Order was issued for the property in February 2022.

A Cultural Heritage Evaluation Report (CHER) has been prepared for the heritage listed property at 176 Piccadilly Street for the City.

### 4.1 Cultural Heritage Evaluation Report (CHER)

A Cultural Heritage Evaluation Report (CHER; Common Bond Collective, dated August 14, 2023) was submitted (Appendix D). As required, the CHER included an evaluation of the property according to the criteria of *Ontario Regulation 9/06*, Criteria for Determining Cultural Heritage Value or Interest.

Table 1: Summary of Evaluation of the property at 176 Piccadilly Street

Criteria	Evaluation
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	No

2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	No
3. The property has historical value because it demonstrates a high degree of technical or scientific achievement.	No
4. The property has historical value or associative value because it has direct association with a theme, event, believe, person, activity, organization or institution that is significant to a community.	Yes
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	No
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	No
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	No
9. The property has contextual value because it is a landmark.	No

See Appendix D for the full evaluation of the property at 176 Piccadilly Street.

A property is required to meet two or more of the abovementioned criteria to merit designation under Section 29 of the *Ontario Heritage Act*. Through the evaluations, it was determined that the property at 176 Piccadilly Street meets one (1) of the criteria of *Ontario Regulation 9/06* and therefore does not merit designation pursuant to the *Ontario Heritage Act*. Staff have reviewed the CHER and agree with its conclusions and recommendations.

#### 4.2 Consultation

Pursuant to the Council Policy Manual, notification of the request to remove the subject property from the Register of Cultural Heritage Resources has been sent to property owners within 120m of the subject property on August 22, 2023, as well as community groups including the Architectural Conservancy Ontario – London Region Branch, the London & Middlesex Historical Society, the Urban League of London, and the North Talbot Community Association. Notice was published in *The Londoner* on August 31, 2023.

In accordance with Section 27(4), *Ontario Heritage Act*, consultation with the Community Advisory Committee on Planning (CACCP, the City's municipal heritage committee) is required before a property may be removed from the Register.

A Public Participation Meeting (PPM) will be held at the Planning and Environment Committee (PEC) at their meeting to be held on September 18, 2023.

## Conclusion

A request to remove the property located at 176 Piccadilly Street was received and a Cultural Heritage Evaluation Report (CHER) was prepared, including an evaluation of the property at 176 Piccadilly Street according to the criteria of *Ontario Regulation 9/06*, Criteria for Determining Cultural Heritage Value or Interest.

The CHER determined that the property at 176 Piccadilly Street only met one (1) of the criteria of *Ontario Regulation 9/06*, and therefore does not warrant designation pursuant



to the *Ontario Heritage Act*. Staff agree with the conclusions and recommendations of the CHER. The property should be removed from the Register of Cultural Heritage Resources.

**Prepared by:** Konner Mitchener, M.Arch, Intern CAHP  
Heritage Planner

**Submitted by:** Kyle Gonyou, RPP, MCIP, CAHP  
Manager, Heritage and Urban Design

### **Appendices**

Appendix A Property Location  
Appendix B Images  
Appendix C Excerpt from Cultural Heritage Inventory, North Talbot, London, Ontario (2020)  
Appendix D Cultural Heritage Evaluation Report (attached separately)

### **Selected Sources**

Corporation of the City of London. *2023-2027 Strategic Plan*.  
Corporation of the City of London. Property file.  
Corporation of the City of London. *Register of Cultural Heritage Resources*. 2022.  
Corporation of the City of London. *The London Plan*. 2022 (consolidated).  
Land Registry Records.  
Ministry of Culture. *Ontario Heritage Toolkit: Heritage Property Evaluation*. 2006.  
*Ontario Heritage Act*. 2023, c. 21. Sched. 6.  
Common Bond Collective. Cultural Heritage Evaluation Report: 176 Piccadilly Street, London, August 14, 2023.

# Appendix A – Property Location



Figure 1: Location of the subject property at 176 Piccadilly Street.



**Appendix B – Images**



*Image 1: South elevation of the building on the subject property at 176 Piccadilly Street, May 2, 2022.*



*Image 2: West elevation of the building on the subject property at 176 Piccadilly Street, May 2, 2022.*





*Image 3: East elevation of the building on the subject property at 176 Piccadilly Street, May 2, 2022.*



*Image 4: North elevation of the building on the subject property at 176 Piccadilly Street, May 2, 2022.*





*Image 5: Awning on the south elevation of the building on the subject property at 176 Piccadilly Street, August 23, 2023.*



*Image 6: Awning on the south elevation of the building on the subject property at 176 Piccadilly Street, August 23, 2023.*





*Image 7: Buff brick chimney on the east side of the building on the subject property at 176 Piccadilly Street, August 23, 2023.*



*Image 8: Buff brick foundation and peeling paint on wood siding on the east elevation of the building on the subject property at 176 Piccadilly Street, August 23, 2023.*





*Image 9: South elevation of the building on the subject property at 176 Piccadilly Street, March 22, 2019.*



*Image 10: South elevation of the building on the subject property at 176 Piccadilly Street, October 25, 2016.*



# Appendix C – Excerpt from Cultural Heritage Inventory, North Talbot, London, Ontario (2020)

Cultural Heritage Inventory North Talbot,  
London, ON

477

## 176 Piccadilly Street

**Cultural Heritage Status:** None

**Date of Construction:** Pre-1881

**Architect/Builder:** Unknown

**Sub-Area:** First Suburb



**Property Description:** This property consists of a one-storey wood cottage with a hipped roof, a symmetrical primary façade, and a small gable over the central, raised entry. It is located on the northeast corner of Piccadilly Street and St. George Street, immediately north of the Canadian Pacific Railway tracks.

**Property History:** Previous to the 1922 FIP this property appears to have also been referred to as 124 Talbot, however 176 Piccadilly does show up as early as 1881 in the City Directories. The 1881 City Directory lists carrier Martin Morkin followed by his widow, Margaret, between 1883-1889.

	Potential CHV	Rationale
<b>Design/Physical Value</b>	✓	The subject property is a representative example of an early-20th-century worker's cottage, including a central hall plan, a hipped roof, and a small gable over the central entry.
<b>Historical/Associative Value</b>		Further historical research may be required to determine significant or historic associations.
<b>Contextual Value</b>	✓	The property is a remnant of historic fabric, reflecting early residential development, on a portion of Piccadilly Street that has evolved to consist largely of parking areas and commercial properties.

**Sources:** FIPs (1881 Rev. 1888, Sheet 29; 1915 Rev. 1922, Sheet 29); City of London and County of Middlesex Directory, J. Harrison White, 1881; The London and Middlesex County Directory, R.L. Polk & Co., 188-1890; London City & Middlesex County Directory, Migh's Directory Co., 1891-1895; Vernon's City of London Directory, 1915.



Figure 2: Cultural heritage assessment of the subject property at 176 Piccadilly Street, Cultural Heritage Inventory, North Talbot, London, Ontario (2020).



## **Appendix D – Cultural Heritage Evaluation Report**

Cultural Heritage Evaluation Report (Common Bond Collective, dated August 14, 2023)  
– *attached separately*

# CULTURAL HERITAGE EVALUATION REPORT 176 PICCADILLY ST, LONDON

FINAL  
AUGUST 14, 2023



PREPARED FOR  
**ETHAN LING**  
MUNICIPAL COMPLIANCE, RESEARCH  
PLANNING & ECONOMIC DEVELOPMENT  
CITY OF LONDON

CONTACT  
**COMMON BOND COLLECTIVE**  
416-559-4540  
ELLEN@CBCOLLECTIVE.CA  
77 DIXON AVE - UNIT 3, TORONTO ON

COMMON  
BOND  
COLLECTIVE



# CULTURAL HERITAGE EVALUATION REPORT 176 PICCADILLY ST, LONDON

## FINAL

### TABLE OF CONTENTS

<b>Executive Summary</b>	<b>3</b>
<b>1.0 Introduction &amp; Methodology</b>	<b>4</b>
1.1 Background and Purpose	4
1.2 Project Methodology	4
<b>2.0 Study Area Overview</b>	<b>5</b>
2.1 Context	5
2.2 Built Elements	5
2.3 Landscape	6
<b>3.0 Policy Context and Existing Protections</b>	<b>7</b>
3.1 Planning Act	7
3.2 Ontario Heritage Act	8
3.3 The London Plan	9
3.4 Existing Protections	11
<b>4.0 Historical Summary</b>	<b>12</b>
4.1 Traditional Indigenous Territory	12
4.2 European Survey & Establishment of London	13
4.3 History of the Study Area	13
<b>5.0 Historical Associations</b>	<b>16</b>
5.1 Themes	16
5.2 Persons	16
<b>6.0 Design and Physical Analysis</b>	<b>18</b>
6.1 Site Evolution	18
6.2 Style / Building Type	19
<b>7.0 Analysis and Evaluation</b>	<b>24</b>
7.1 O. Reg. 9/06	24
<b>8.0 Draft Statement of Cultural Heritage Value or Interest</b>	<b>27</b>
<b>9.0 Conclusions and Recommendations</b>	<b>28</b>
<b>10.0 Figures</b>	<b>29</b>
<b>11.0 Bibliography</b>	<b>50</b>

Cover Image: CBCollective 2023

## EXECUTIVE SUMMARY

This Cultural Heritage Evaluation Report (CHER) for the property at 176 Piccadilly Street, London was commissioned by the City of London in May 2023 and completed by Common Bond Collective.

The subject property contains a one-storey, wood residential building constructed c.1871. Its primary (south) elevation has a symmetrical three-bay design, presenting on to Piccadilly Street. The house has a slightly rectangular plan, rising with simple massing to a hipped roof. The building is currently vacant.

The original owner and occupant of the property was Martin Morkin, a tanner and employee at the Hyman Tannery (1867-1970). Morkin lived at 176 Piccadilly Street between c. 1871 and c. 1881 when he moved to the property directly to the north.

The subject property is located on the northeast corner of Piccadilly and St. George streets. It is located in North Talbot in a former industrial area and is situated immediately north of the Canadian Pacific Railway (CPR) line.

The subject property is included on the City of London Register of Cultural Heritage Resources as a non-designated (listed) property. It was added to the Register under Part IV, subsection 27(3) of the Ontario Heritage Act in 2020.

The evaluation determined that 176 Piccadilly Street meets criteria 4 of O. Reg. 9/06 of the Ontario Heritage Act (OHA). The property does not meet the threshold for designation under Part IV, subsection 29(1) of the OHA. Accordingly, a Statement of Cultural Heritage Value or Interest identifying the heritage value(s) and attribute(s) was not drafted.

Common Bond gratefully acknowledges the staff at the London Room and Western Archives in providing historic documentation for this CHER.



## 1.0 INTRODUCTION & METHODOLOGY

The Cultural Heritage Evaluation Report (CHER) for the property at 176 Piccadilly Street was commissioned by the City of London in May 2023 and completed by Common Bond Collective.

### 1.1 BACKGROUND AND PURPOSE

The property at 176 Piccadilly Street is considered by the City of London to be of cultural heritage value or interest and is included on its Register of Cultural Heritage Resources under Part IV, subsection 27(3) of the Ontario Heritage Act. The property is currently vacant and was subject to a Property Standards Order which expired and registered on title.

The purpose of the CHER is to describe, analyse and evaluate the property in accordance with the criteria set out in O. Reg. 9/06 of the Ontario Heritage Act (OHA), in order to determine if it qualifies for designation under Part IV, subsection 29(1) by meeting two or more prescribed criteria in O. Reg. 9/06.

### 1.2 PROJECT METHODOLOGY

The CHER was completed by Common Bond Collective with a project team composed of David Deo (BA, Dipl. Heritage Conservation, CAHP) and Ellen Kowalchuk (MA, CAHP). The team conducted a site visit on May 15, 2023 during which the team reviewed and documented the building exterior, landscape and surrounding context. The interior of the building was not reviewed.

Primary and secondary research was completed online and in-person. Sources and institutions included, ONLand, London Room at the London Public Library and Western Archives. Primary sources included assessment rolls, aerial photography, building permits, city directories, fire insurance plans and maps. Secondary sources included local histories of London. A complete list of sources is contained in 11.0 Bibliography.

The London Branch of the Architectural Conservancy of Ontario (ACO), and the London & Middlesex Historical Society were contacted by email for records relating to the property and to inquire about their interest in the property. No response has been received from either organization. However, 176 Piccadilly Street was included on the ACO 2021 edition of *Building on the Brink*.

## 2.0 STUDY AREA OVERVIEW

The study area is the property at 176 Piccadilly Street. It is legally described as Plan 22 PT LOT 6 PT Lot 7 E/S ST GEORGE. The study area is a square property approximately 0.045 hectares (0.11 acres) in size and located in the North Talbot area of London (Figure 1). The study area is located on the northeast corner of Piccadilly and St. George streets (Figure 2) and bounded by Piccadilly Street (south), St. George Street (west), a residential property (north) and a commercial property (east).

### 2.1 CONTEXT

The study area is located in a mixed use area containing residential, commercial and industrial properties with buildings between one and three storey in height. The Canadian Pacific Railway (CPR) line runs just to the south of the property (Figure 3). Piccadilly Street is a narrow street which terminates to the west at the Thames River. The north side of Piccadilly Street between Richmond and St. George streets is characterized by commercial and light industrial use with a substantial property directly adjacent to the study area's east. It contains a large, one storey building which is set back from Piccadilly and currently functions as a garage with surface parking (Figure 4). The other buildings on the north side of the street are smaller commercial buildings, one of which appears to have a residential form. The south side of Piccadilly Street is a large, surface parking lot which was historically a coal shed and yard (Figure 5).

Directly across St. George Street from the study area is a former industrial building (cold storage) which has been converted to commercial offices (Figure 6). The properties to the north on St. George Street are residential (Figure 7). To the south of Piccadilly Street are light industrial and commercial properties (Figure 8).

The properties at 123, 130, 132, 134 and 135 St. George Street were added to the City's Register of Cultural Heritage Resources in 2020.

### 2.2 BUILT ELEMENTS

The study area contains a small one-storey wooden dwelling, presenting a primary (south) elevation to Piccadilly Street (Figure 9). The house has a slightly rectangular plan, rising with simple massing to a hipped roof. A small side addition extends from the north end of its east elevation, presenting a false facade to mask the continued roofline behind (Figure 10).

The primary elevation has a symmetrical three-bay design, with a central raised entry flanked by two window openings (see Figure 9). The entry is sheltered by a small gable porch. The west elevation has a single, centrally located window opening (Figure 11). A boarded up area to the north corresponds to what is shown to be a window opening on 2015 google imagery (see Section 6.1). The east elevation has a single window opening on the main house portion, and a doorway on the east addition (Figure 12). The rear



north elevation has a single central window opening (Figure 13).

The house rests on a buff brick foundation, with five to six courses above grade. Some of the foundation has been repointed, but original mortar joints tooled with a bead profile remain evident on the west elevation (Figure 14). The east addition has a lower, concrete foundation, suggesting it may have been built subsequent to the main dwelling.

The walls are clad with horizontal wood siding with a simple v-joint profile. The siding is painted white, which is cracking and falling throughout. The walls are detailed with plain corner, water table and cornice boards, mounted over the siding and painted black (Figure 15). The roof has asphalt shingles, resting on a simple fascia (painted black) and recessed soffit (painted white) (Figure 16). The house has a buff brick chimney inset from its east elevation, with a metal chimney beside (Figure 17). A cast concrete chimney cap has fallen and rests between the brick chimney and roof.

The gabled porch is a prominent feature of the primary elevation. It is partially framed into the roof and otherwise mounted to the main elevation through brackets (Figure 18). It features the same siding as on the main walls, and remnants of decorative trim below the shingles.

With the exception of the door on the east addition, all the house's openings have been boarded up, with many removed entirely. Paint scarring shows that window openings on the primary elevation had wooden surrounds rising to shallow pediments (Figure 19). Windows on other elevations had flat arches, from which a single cornice remains on the west elevation (Figure 20). The removed windows reveal the use of machined nails (Figure 21). Few other window and door details are discernable beyond the plywood boarding.

## 2.3 LANDSCAPE

The study area is a small parcel of land, 0.045 hectares in area. It is flat and entirely grassed with the exception of the concrete walkway leading to the building's main entrance. The study area has mature trees along its St. George Street edge including Silver and Norway maples (Figure 22).<sup>1</sup>

<sup>1</sup> Tree identification was made through the *Picture This* app.

## 3.0 POLICY CONTEXT AND EXISTING PROTECTIONS

### 3.1 PLANNING ACT

The *Planning Act* establishes the foundation for land use planning in Ontario, describing how land can be controlled and by whom. Section 2 of the *Planning Act* identifies heritage conservation as a matter of provincial interest and directs that municipalities shall have regard to the conservation of features of significant architectural, historical, archaeological or scientific interest. Heritage conservation contributes to other matters of provincial interest, including the promotion of built form that is well-designed and that encourages a sense of place.

The *Planning Act* requires that all decisions affecting land use planning matters shall be consistent with the Provincial Policy Statement (PPS), which positions heritage as a key component in supporting provincial principles and interests.

#### 3.1.1 PROVINCIAL POLICY STATEMENT (2020)

Conservation of cultural heritage resources is an integral component of good planning, contributing to a sense of place, economic prosperity, health and equitable communities. Heritage conservation in Ontario is identified as a provincial interest under the *Planning Act*. Cultural heritage resources are considered assets that should be wisely protected and managed as part of planning for future growth under the PPS.

Section 2.6 pertaining to Cultural Heritage and Archaeology states that “Significant built heritage resources and significant cultural heritage landscapes shall be conserved (Section 2.6.1).”

Significant means: “in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest.. Process and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.

Built heritage resource: means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage or that may be included on local, provincial, federal and/or international registers.

Conserved: means the identification, protection, management and use of *built heritage resources, cultural heritage landscapes and archaeological resources* in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological



assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

Protected heritage property: means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

### 3.2 ONTARIO HERITAGE ACT

The *Ontario Heritage Act* (OHA) is the key piece of legislation for the conservation of cultural heritage resources in the province. Among other things, it regulates how municipal councils can identify and protect heritage resources including archaeological sites within their boundaries.

The OHA permits municipal clerks to maintain a register of properties that are of cultural heritage value of interest. The City of London's Heritage Register includes: individual properties that have been designated under Part IV, subsection 29(1) of the OHA; properties in a heritage conservation district designated under Part V, subsection 41(1) of the OHA; and properties that have not been designated, but that City Council believes to be of cultural heritage value or interest under Part IV, subsection 27(3) of the OHA.

Subsection 27(9) requires a property owner to provide at least 60 days notice in writing of the owner's intention to demolish or remove a building or structure on a property that is included on a heritage register, but not designated.

The OHA includes nine criteria that are used for determining cultural heritage value or interest (O. Reg. 0/9):

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.

5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically lint surroundings.
9. The property has contextual value because it is a landmark.

Based on changes to the OHA (effective 1 January 2023), a property may be included on a heritage register under Part IV, subsection 27(3) if it meets one or more of these criteria. In order to be designated under Part IV, subsection 29(1) of the OHA, a property must meet two or more criteria.

### **3.3 THE LONDON PLAN (OFFICIAL PLAN, CONSOLIDATED MAY 25, 2020)**

The *London Plan* is the new policy framework for all planning in London. Among other objectives, it sets out ways to conserve cultural heritage (built resources, archaeological resources and cultural landscapes) and protect environmental areas, hazard lands, and natural resources. Policies 551 - 622 of *The London Plan* apply to the conservation of cultural heritage resources. The following policies are relevant to this CHER.

551\_ Cultural heritage is the legacy of both the tangible and the intangible attributes that our community has inherited from past generations. Our cultural heritage resources include tangible elements such as buildings, monuments, streetscapes, landscapes, books, artifacts and art, and intangible aspects such as folklore, traditions, language, and knowledge.

556\_ In accordance with the Ontario Heritage Act, City Council may, by by-law, establish a municipal heritage committee to advise and assist Council on cultural heritage matters. In London, the municipal heritage committee is known as the London Advisory Committee on Heritage (LACH).

557\_ In accordance with the Ontario Heritage Act, City Council, in consultation with the London Advisory Committee on Heritage (LACH), will prepare and maintain a Register listing properties of cultural heritage value or interest. The Register may also be known as The City of London Inventory of Heritage Resources. In addition to identifying properties designated under the Ontario Heritage Act, the Register may include



properties that are not designated but that Council believes to be of cultural heritage value or interest.

572\_ In accordance with the Ontario Heritage Act, City Council may designate individual properties of cultural heritage value or interest under Part IV of the Act.

573\_ City Council will consider one or more of the following criteria in the identification and designation of individual properties of cultural heritage value or interest:

1. The property has design or physical value because it:
  - a. Is a rare, unique, representative or early example of a style, type, expression, material, or construction method.
  - b. Displays a high degree of craftsmanship or artistic merit.
  - c. Demonstrates a high degree of technical or scientific achievement.
2. The property has historic value or associative value because it:
  - a. Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community.
  - b. Yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
  - c. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.
3. The property has contextual value because it:
  - a. Is important in defining, maintaining, or supporting the character of an area.
  - b. Is physically, functionally, visually, or historically linked to its surroundings.
  - c. Is a landmark.

### 3.3.1 CULTURAL HERITAGE INVENTORY FOR NORTH TALBOT STUDY AREA (2020)

In 2020, the City of London undertook a Cultural Heritage Inventory for the North Talbot Study Area which served as a preliminary study of known and potential cultural heritage resources within the area and to inform a potential Heritage Conservation District (HCD) study.

The Inventory evaluated properties against the categories of design/physical value, historic/associative value and contextual value to identify potential cultural heritage value or interest. The Inventory identified 169 properties as potential cultural heritage resources.

### 3.4 EXISTING PROTECTIONS

The Cultural Heritage Inventory for the North Talbot Study Area (2020) evaluated properties against the categories of design/physical value, historic/associative value and contextual value to identify potential cultural heritage value or interest, including the subject property. The Inventory recommended that the subject property has cultural heritage potential due to its:

- Design/Physical Value - “The subject property is a representative example of an early-20-century worker’s cottage, including a central hall plan, a hipped roof, and a small gable over the central entry.”
- Contextual Value - The property is a remnant of historic fabric, reflecting early residential development, on a portion of Piccadilly Street that has evolved to consist largely of parking areas and commercial properties.

As a result of this recommendation, the property at 176 Piccadilly Street was added to the City’s Register of Cultural Heritage Resources in 2020 as a non-designated (listed) property.

The study also reviewed the following properties in the vicinity of 176 Piccadilly Street for cultural heritage potential.

Address	Potential
206 Piccadilly Street, (p. 478)	No
208 Piccadilly Street, (p. 479)	No
117 St. George Street/149 Piccadilly Street, (p. 530)	No
123 St. George Street, (p. 531)	Yes - Historical/Associative values related to CPR.
130 St. George Street, (p. 533)	Yes - Contextual values.
131 St. George Street, (p. 535)	No
132 St. George Street, (p. 536)	Yes - Contextual value
134 St. George Street, (p. 537). Listed.	Yes - Design/Physical and Contextual values.
135 St. George Street, (p. 540)	Yes - Design/Physical and Contextual values.

As a result of these recommendations, the properties at 123, 130, 132, and 135 St. George Street were added to the City’s Register of Cultural Heritage Resources in 2020 as a non-designated (listed) property.



## 4.0 HISTORICAL SUMMARY

### 4.1 TRADITIONAL INDIGENOUS TERRITORY

The Deshkan Zibi (Antler River in Ojibwe) has been essential to the lives of Indigenous peoples since time immemorial. The river and its watershed provide a source of potable water as well as a habitat for fish, wildlife, edible and medicinal plants, making it a locale for hunting, fishing, short and long term settlement. Archaeological evidence demonstrates the ancient Indigenous use of riverside locales dating back at least 10,000 to 12,000 years.

The river has also been called Askunessippi/Escunnisepe (Antlered River) by the Neutrals, and La Tranché/La Tranche (Trench) by early French explorers, settlers and fur traders. In 1793, Lieutenant Governor John Graves Simcoe named the river the Thames River after the River Thames in England.

Eight First Nations have traditional territory that overlaps the Thames River watershed:

- the Lunaapew (or Leni Lenape) People:
  - Munsee Delaware Nation, and
  - Eelünaapéewi Lahkéewiit – Delaware Nation at Moraviantown;
- the Haudenosaunee People:
  - Oneida Nation of the Thames; and
- the Anishinaabek People:
  - Aamjiwnaang First Nation,
  - Bkejwanong Walpole Island First Nation,
  - Chippewas of the Thames First Nation,
  - Chippewas of Kettle and Stony Point First Nation, and
  - Caldwell First Nation.<sup>2</sup>

It was with the Chippewa that the British negotiated the purchase of the lands that now comprise the City of London. On September 7, 1796 the British and Chippewa signed London Township Treaty No. 6:

WHEREAS we the principal Chiefs, Warriors, and People of the Cheppewa Nation of Indians being desirous for a certain consideration hereinafter mentioned of selling and disposing of a certain parcel or tract of land situated and lying on the north side of the River Thames or River La Tranche and known in the Indian name by Escunnisepe unto His Britannic Majesty King George the Third our great Father.

<sup>2</sup> Upper Thames River Conservation Authority, “The Thames River Watershed and Traditional Territory,” <https://thamesriver.on.ca/about-us/thames-river-watershed-and-traditional-territory/>

The treaty encompassed lands on the north side of the Thames River in both Middlesex and Oxford counties and opened them up to European settlement. The Deshkan Ziibiing ('At the Antler River') now known as Chippewas of the Thames First Nation, is the closest signatory Descendant community. The Deshkan Ziibiing Anishinaabeg do not regard the treaty as a complete land surrender, giving up any claim to legitimate use of or say over their traditional territory (off-reserve).

## 4.2 EUROPEAN SURVEY & ESTABLISHMENT OF LONDON

The first survey of London Township began in 1810 under direction of Deputy Provincial Surveyor Mahlon Burwell. This survey initially focused on the first six concessions north of the Thames River to Sunningdale Road but was suspended in 1812 when war broke out between Great Britain and the United States. Following the war, the northern section of the township was surveyed with the first settlers arriving between 1817 and 1818.

Ontario's surveyors imposed a rigid road grid when creating townships, concessions and lots. In contrast, Indigenous trails respected local topography by working around natural features. Many of these trails became the foundation for roads in London Township. For instance, Lieutenant-Governor Simcoe travelled an Indigenous route known as the Indigenous Trail which connected Indigenous villages in the areas around London, Brantford, and Hamilton.

Two surveys important to the study area are the 1824 Wharncliffe Highway survey, and the 1826 Town of London Survey. Burwell's 1824 survey of the Wharncliffe Highway created park lots of 100 acres or less on both sides of the highway (Figure 23). Several lots were created east of the Thames River, including Lot 3 East of the Wharncliffe Highway (or Proof Line) which contains the study area. This lot was patented to John Stiles in 1831.<sup>3</sup>

Burwell's 1826 survey established the Town of London on Crown Reserve lands established earlier at the fork of the Thames River. This original townsite was bounded by the river, Queen's Avenue (then North Street) and Wellington Street. The study area was north of these limits, in the area surveyed by Burwell two years earlier.

## 4.3 HISTORY OF THE STUDY AREA

### *Talbot Neighbourhood*

The subject property is located in Lot 3 East of the Wharncliffe Highway (or Proof Line), which was north of London's original townsite upon its survey in 1826. In the 1820s it was located in a rural setting on the north side of a large mill pond just off the Thames River (Figure 24). The pond connected to the river via a creek flowing westward, eventually known as Carling's Creek. South of the pond was a large farm owned by John Kent, the patentee of Lots 1 & 2 East of the Wharncliffe Highway (or Proof Line) (Figures 25 & 26).

<sup>3</sup> Middlesex County (33), Middlesex, Book 1, "OLD CITY BOOK", folio 5.



Kent's farm pre-dated the 1826 London townsite survey, effectively limiting its northern limit west of Richmond Street. Throughout the 1830s the southern portions of Kent's farm were subdivided into urban blocks, encouraging development north of the original townsite. In 1840 the Town annexed a large section of adjacent lands to its north and west, including the study area. In 1852 a company of London businessmen purchased and surveyed 200 acres west of Richmond Street and north of John Street.<sup>4</sup> This coincided with the beginnings of a period of intense land speculation in London, which began in anticipation of the Great Western Railway's downtown arrival in 1853, and cooled down following the Panic of 1857.

The early 1850s also saw the mill pond formalized under the initiative of Colonel Horn of London's 20th Regiment. A new dam turned the mill pond into 'Lake Horn' east of Richmond Street, with a much neater and channelized Carling's Creek continuing west to the Thames River (Figure 27).<sup>5</sup>

The area north of the original townsite did not develop in earnest until the 1860s (Figure 28), with Mansions and larger dwellings built in the areas just beyond the original north limit. Further north the area around the study area developed an industrial character. Major industries like the Hyman Tannery and Carling's Brewery were established on Carling's Creek, leading to a wave of workers housing being built in the vicinity.<sup>6</sup> The industrial character evolved with the arrival of a new Ontario and Quebec Railway in the late 1880s (Figure 29). The line cut east from Oxford Street and the Thames River passing through the Richmond and Ann intersection. Completed as the Detroit extension in 1888, the line was leased to the CPR in perpetuity.<sup>7</sup>

#### *176 Piccadilly Street*

176 Piccadilly Street is located on part Lots 6 & 7 E/S St. George, on Plan 22. This plan created three blocks with laneways between the Thames River and Richmond Street, between Piccadilly and Oxford Streets (Figure 30). The plan was prepared for Messrs Renwick and Thompson, by surveyor Samuel Peters. Abstract books refer to Plan 22 as 'Renwick & Thompson's 1st Survey'. The first transaction associated with the new lots dates from July 1857, when Martin Collison purchased Plan 22 Lots 4 through 7 from J.E. & J.S. Thompson and W.T. Renwick's wife.<sup>8</sup>

In July 1868, Martin Morkin purchased all of Lot 7 from Martin Collison's wife,<sup>9</sup> and in August 1869 he purchased 7825 ft<sup>2</sup> of Lot 6 Alexander Macdonald's wife.<sup>10</sup> Alexander

<sup>4</sup> John H. Lutman, *The Historic Heart of London*, 1993, p. 13.

<sup>5</sup> "Thames Topics, Booklet 2: 1826 Onwards," p. 2.

<sup>6</sup> Lutman, pp. 16-17.

<sup>7</sup> R.L. Kennedy, *Old Time Trains*, "Ontario and Quebec," <http://www.trainweb.org/oldtimetrains/OandQ/history.htm>

<sup>8</sup> Middlesex County (33), Middlesex, Book 3, "OLD CITY BOOK", folio 219.

<sup>9</sup> Middlesex County (33), Middlesex, Book 6, "OLD CITY BOOK", folio 60.

<sup>10</sup> Middlesex County (33), Middlesex, Book 6, "OLD CITY BOOK", folio 131.

had purchased the same from The High Bailiff in November 1867, although the chain of title between Collison and the bailiff is unclear.

An 1872 directory lists Martin Morkin as living on the north side of Piccadilly Street (then Mount Pleasant) between Richmond and Talbot streets.<sup>11</sup> A bird's eye map from that same year shows a small, one-storey dwelling at the corner of Piccadilly and St. George streets (then Mount Pleasant and College streets) (Figure 31). Another directory from 1875 confirms that Morkin was living at the same corner.

This information suggests a chronology whereby Martin Morkin acquired vacant property in the late 1860s, and had built the current structure by 1871. The consolidation of property indicated by Morkin's purchase of Lots 6 & 7 at different dates suggests there was no building present prior to the purchases. According to assessment rolls, Martin Morkin was living at 176 Piccadilly Street in 1880. By 1882 he is listed as living in the property directly north on St. George Street, with his mother now occupying 176 Piccadilly.

<sup>11</sup> *Cherrier & Kirkwin's London Directory for 1872-73*, Montreal: Cherrier & Kirkwin, 1872, p. 39.



## 5.0 HISTORICAL ASSOCIATIONS

This section addresses the subject property's historical associations with themes and persons identified in the Section 4.0 Historical Summary. This supports the analysis and evaluation of the property against the criteria in O. Reg. 9/06.

### 5.1 THEMES

The subject property has associations with the theme of industrial activity in North Talbot, which included tanneries and breweries, and the housing that was constructed for workers in these industries.

In the mid-1800s, an industrial area developed along Carling's Creek in the vicinity of the subject property. In the 1830s, Ellis Walton Hyman began a tannery business in London with his first tannery located on the west side of Talbot Street. In 1867, Hyman built a second tannery on the west side of Richmond Street between Mill and Ann streets. The complex expanded in the early-20th century and operated as a family business until 1947, ceasing operations in 1970 (Figure 32). Arscott's Tannery was a smaller operation located at the southwest corner of St. George and Ann streets. It was founded in 1886, burned to the ground and rebuilt in 1869 and operated into the 1890s. Other notable industries were Carling Brewery (at the foot of Piccadilly Street) and the Kent Brewery (adjacent to the Hyman Tannery). The CPR line cut through the neighbourhood in 1887 which brought associated business such as warehouses, storage facilities, and coal yards and sheds - all furthering the industrial character of the area (Figure 33).

As a result of this industrial development, a working class area grew up in the vicinity of the railway tracks with many workers residing in the immediate area. Locating one's residence within walking distance of work was typical in the late-19th and early-20th centuries.

### 5.2 PERSONS

The subject property is associated with Martin Morkin, an early property owner. It is assumed that he was responsible for construction of the house. Morkin was born in Ireland in 1844. He married Elizabeth M. Kernohan and they had five children:

- Margaret Mary Morkin (1875 - 1940)
- Elizabeth Ann Morkin (1877 - Unknown)
- Edward "Edwin Campbell" Morkin (1878 - 1939)
- Ada Martha Morkin (1880 - Unknown)
- Emily Morkin (1892 - 1951)

The 1881 Census lists Morkin as being 33, putting his year of birth at 1848. Regardless,

he is listed along with his family - his wife Elizabeth (27) and children Margaret (6), E. Ann (4), Edward (2), Ada (1). Also listed is Margaret (76) and Julia (30). Margaret was Morkin's mother - Margaret O'meara. One source identifies Julia as Margaret's daughter which would make her Martin's sister. The property remained associated with the Morkin family in the 1880s. Margaret Morkin is identified as the tenant at 176 Piccalilly Street, while Martin moved to 130 St. George Street (directly adjacent) c.1881.

The 1880, 1882 and 1884 Assessment Rolls indicate Morkin's occupation as 'tanner'. An 1875 City Directory identifies Morkin as a foreman tanner, although no place of work is identified. At this time there were only two tanneries in London - Arscott and C.S. Hyman.<sup>12</sup> An 1884 City Directory lists Morkin as working at C.S. Hyman & Co.<sup>13</sup> Morkin died on September 26, 1894 in London, Ontario.<sup>14</sup>

No other historical associations (ie event, belief, organization, architect, builder) were identified during the research for this CHER.

<sup>12</sup> City of London annual, alphabetical, general, miscellaneous and subscribers' classified business directory for 1876-'77, W.H. Irwin & Co., Compilers and Publishers, 1876, p. 216.

<sup>13</sup> *The London City and Middlesex County Directory*, R.L. Polk & Co., 1884, p. 146.

<sup>14</sup> Ancestry.ca, "Martin Morkin 1844-1894." [https://www.ancestry.ca/genealogy/records/martin-morkin-24-21p2ns?geo\\_a=r&o\\_iid=41015&o\\_lid=41015&o\\_sch=Web+Property](https://www.ancestry.ca/genealogy/records/martin-morkin-24-21p2ns?geo_a=r&o_iid=41015&o_lid=41015&o_sch=Web+Property)



## 6.0 DESIGN AND PHYSICAL ANALYSIS

This section describes the physical evolution of the subject property, along with any styles, building types or material elements pertinent to the property's potential for cultural heritage value. Refer to Section 2.0 Study Area Overview for a detailed description of the building, landscape and related illustrations.

### 6.1 SITE EVOLUTION

#### *Maps & Bird's Eye Views*

The first materials showing built features in the north Talbot area are the 1855 Samuel Peters Map of the City of London and the inset map of London from Tremaine's 1862 map of Middlesex County (see Figures 27 & 28). Both maps show the property as vacant, with the former showing the lot lines established by the 1852 subdivision plan.

The first material to show the dwelling is the 1872 bird's eye view of London, which shows a small, one-storey dwelling at the corner of Piccadilly and St. George Streets (then Mount Pleasant Street and College Avenue) (see Figure 31). Subsequent materials include the 1881 revised 1888 fire insurance plan, and bird's eye views from 1890 and 1893 (Figures 34 and 35).

The bay configurations vary slightly between the drawings, but these are details that can be considered within the level of error for drawings of this nature. All three do show a diminutive one-storey structure on the corner property, suggesting the same building between 1872 and 1893.

#### *Fire Insurance Plans*

The 1881 revised 1888 fire insurance plan shows the site in greater detail, revealing a one-storey wooden structure with a slightly rectangular footprint (see Figure 32). The shape of the east addition is not rendered. The address for the dwelling is attributed to St. George Street (No. 124), but otherwise no indication is given as to the orientation of the dwelling. The addition is not discernable in the 1890 or 1893 bird's eye drawings either.

The next materials to show the subject property in detail are subsequent fire insurance plans, which were consulted for the following years (see Figure 33; Figures 36 through 40):

- 1892 revised 1907
- 1912 revised 1915
- 1912 revised 1922
- 1929
- 1935
- 1940
- 1958

The 1892 revised 1907 plan is the first to show the east addition, after which the building's footprint does not change. The 1912 revised 1915 plan shows two wooden garage structures north of the dwelling. By 1922 the address for the property is given on Piccadilly, rather than St. George. This sheet also shows a new, grey coloured garage outbuilding, which may be a wood shed, with the address 176A Piccadilly. In 1940 and 1958 this outbuilding is shown as iron-clad. Currently the garage structure is a pair of connected structures clad in sheet metal. According to London GIS data, they are part of the property directly north at 130 St. George Street. Fire insurance plans suggest the second outbuilding was constructed after 1958. However the timing of their respective associations with the subject property and 130 St. George Street is unclear based on available materials.

In summary, the form and materials of the subject property appear to have changed very little since the construction of the east addition in the early 20th century. Google Earth street view photography, as well as documentation from the 2020 North Talbot Inventory provide some indication of the evolution of the property's materials.

#### *Recent Imagery*

The earliest available Google Earth street view photography dates from July 2009. The imagery shows the property in an occupied state, with a tended lawn, and white picket fence toward the rear of the property (Figure 41). The previous front door is visible, being a contemporary pressed metal door with faux panelling. The classical revival details of the historic windows and framing are also evident (Figure 42). The front windows are framed with a shallow pediment supported by subtle ears, whereas the sides feature simplified surrounds with a plain frieze surmounted by single drip cornice (see Figure 20). All windows on the main house are protected by one-over-one storm windows. The windows themselves are wooden sash types, featuring a shorter top sash with five slender vertical lights, and a single piece of glass in the larger sash below. This suggests the original windows have been replaced, since the design was more commonly used in the early 20th century than the latter 19th. Windows from the early 1870s were likely six-over-six configuration due to the cost of large pieces of glazing, with both upper and lower sash being of equal size.<sup>15</sup> Google imagery also shows the chimney cap in place up until 2017, after which point it has fallen. In January 2021 the windows and doors are still exposed, but are boarded up by October 2022.

## **6.2 STYLE / BUILDING TYPE**

### 6.2.1 ONTARIO COTTAGE

The term 'Ontario cottage' refers to a vernacular type of house form that was common in Ontario during the 19th century. The type has several variants, with the names 'Classic Ontario' and 'Gothic cottage' sometimes used interchangeably. The type

<sup>15</sup> Virginia Savage McAlester, *A Field Guide to American Houses*, New York: Alfred A. Knopf, 2014, pp. 250, 252, 552 & 554.

became regularized in an Ontario context through strong influences from the British Isles, namely through the Royal Engineers, pattern books, and settler tastes (Figure 43).<sup>16</sup>

Lynne DiStefano provided a definition to the Ontario cottage in 2001, as an architectural historian then based in London, Ontario:

*The Ontario cottage, at its simplest, is a symmetrical, single-storey building with three bays. A door is placed squarely in the middle of the central bay, and windows arranged symmetrically on either side of the doorway, usually near the middle of the end bays. However, what most distinguishes the Ontario cottage is the shape of its roof – a hip roof.*<sup>17</sup>

DiStefano also notes the importance of proportion in symmetry, the variation of local materials used as cladding, and the use of Georgian, Neoclassical, Gothic and Italianate vocabularies for window, door and eave trim details. Another typical trait are rear additions or tails to dwellings, which often served as kitchens.<sup>18</sup>

DiStefano’s definition varies from others through identification of the hipped roof as a critical component, while attributing little to the importance of the central cross gable (Figure 44).

*The Ontario Cottage in London*

The City of London uses a specific and prescriptive definition for identifying the Ontario cottage building style within a heritage planning context. This definition is provided within the Concise Glossary of Architectural Styles section of the City’s Register of Cultural Heritage Resources:

*A specific term within the City of London, referring to a centre hall plan cottage with a hipped roof and characteristically has a central gable above the front entry, typically with only an attic (single storey building). Variants can include three or five bays across the front façade.*<sup>19</sup>

This definition is generally compatible with that used by Lynn DiStefano, with the exception of the central cross-gable being considered a requisite element of the style. The building at 176 Piccadilly Street lacks a central gable built into the front elevation, and as such does not conform to the City of London’s Ontario cottage style.

16 Lynne D. DiStefano, “The Ontario Cottage: The Globalization of a British Form in the Nineteenth Century,” *Traditional Dwellings and Settlements Review*, Vol. 12, No. 2 (SPRING 2001), p. 34.

17 Ibid.

18 Ibid, p. 42.

19 “City of London Register of Cultural Heritage Resources,” December 9, 2022, p. viii.



## 6.2.2 WORKERS' HOUSING

Workers' housing is not a strictly defined typology. The term refers to a broad range of structures related to housing workers, often in urban contexts. Workers' housing is usually modest in size, but can have a variety of forms, styles and materials. It can be built by developers as speculative housing, by business owners to provide employees with accommodation, or by individual workers.

### *Workers' Cottage*

A common type of workers' housing was the modest one-storey cottage, which was prevalent in multiple southern Ontario cities (Figure 45).<sup>20</sup> In London, such housing was located in late 19th / early 20th century industrial or working class neighbourhoods, and was unified by a number of shared characteristics:

- One-storey height
- Hipped roof (without a central gable)
- Modest plan
- Central or side hall plan
- 3 bay arrangement
- Various cladding materials

The North Talbot Cultural Heritage Inventory refers to this specific type of workers' housing as workers' cottages. The dwelling at 176 Piccadilly Street reflects these characteristics, and can be classified as a workers' cottage.

## 6.2.3 COMPARATIVE ANALYSIS

Despite workers' cottages not being a nominal style or type explicitly identified in the City of London's Cultural Heritage Register, 61 examples of workers' cottages were identified by Heritage Planning staff and the consultant team on the register. Of these, 37 are listed and three are designated under Part IV of the OHA. Another 21 are designated under Part V of the OHA, being located in the Blackfriars-Petersville, Old East Village, East Woodfield Heritage Conservation Districts. A cross section of ten examples is reflected in the table below with photographs.

The workers' cottages on the heritage register reflect a variety of dates, ranging from the mid-19th century through the 1930s. Fifteen examples have a date of construction of 1870 or earlier, equalling about 25% of those on the heritage register. Workers' cottages on the register include both centre and side hall plan types, and feature a variety of cladding materials, including brick, wood and stucco. Twenty examples are found south of 176 Piccadilly Street in the North Talbot area, representing the development of the neighbourhood as an industrial working class area in the late 19th century (see 175 & 145 Ann Street below).

<sup>20</sup> Don Loucks and Leslie Valpy, *Modest Hopes: Homes and Stories of Toronto's Workers from the 1820s to the 1920s* (Toronto: Dundurn Press, 2021), p. 28.

The integrity of workers’ cottages included on the heritage register varies, with typical modifications including cladding, window and door replacement. Some examples appear to retain a high degree of integrity however, which is especially apparent in windows and door openings. Several examples retain historic (presumably) door configurations, including sidelights and transom windows. Examples with wooden sash windows are also found, two of which being clad in wood also retain decorative wooden window trim (see 270 Cheapside Street and 8 Leslie Street below).

All three workers’ cottages designated under Part IV of the OHA contain historic transoms over the front door, while two of the three examples also boast wooden sash windows (see 43 Evergreen Avenue and 10 McClary Avenue below).



*(All images Google Street View)*





(All images Google Street View)



## 7.0 ANALYSIS AND EVALUATION

This section evaluates the property against the nine criteria in the OHA used for determining cultural heritage value or interest (O. Reg. 9/06). The evaluation results provide the basis for recommendations to designate the property under Part IV, subsection 29(1) of the OHA, and if applicable, a statement of cultural heritage value.

### 7.1 O. REG. 9/06

Criteria	Screening
<p>1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.</p>	<p>No - The Cultural Heritage Register contains over 60 examples of workers' cottage buildings, with several examples located within the vicinity of the subject property. This building type is not rare within a London-context.</p> <p>The register also shows that 15 of the workers' cottages date from 1870 or earlier, indicating that the subject property is not an early example of the type.</p> <p>The subject property does exhibit several traits of the workers' cottage building type, including its three bay facade with central doorway, modest rectangular massing, hipped roof, and use of vernacular materials. The dwelling's diminutive size and lack of embellishment reflects typical traits of workers' housing.</p> <p>Overall however any representational design value is challenged by the lack of original doors and windows, and the loss of the historic window trim, the latter of which was among the building's most important historic detailing. This loss of integrity makes it hard to consider the subject property an archetype of an Ontario cottage, and as such a representative example of the building</p>

Criteria	Screening
<p>2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.</p>	<p>No - As a modest, vernacular worker’s dwelling, the subject property is highly functional, lacking any obvious decorative elements or embellishments that would otherwise have the potential to display significant craftsmanship or artistic merit.</p>
<p>3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.</p>	<p>No - As a worker’s dwelling, the subject property served a straightforward, functional purpose and no evidence of notable technologies was found.</p>
<p>4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.</p>	<p>Yes - The subject property has direct associations with the theme of 19th century industrial activity in North Talbot, specifically the tannery industry which was significant to London as an employer.</p> <p>The subject property is located in a former industrial neighbourhood characterized by medium and large-scale industrial buildings, complexes and transportation corridors, alongside diminutive worker’s housing.</p> <p>Remaining evidence of industrial activity includes: CPR line; 100 St. George Street (former glass warehouse); 123 St. George Street (former CPR cold storage); 72 Ann Street (former barrel shed and cold storage of the Carling Brewery); 197 Ann Street (former Kent Brewery); 715-717 Richmond and 215 Piccadilly (former Fireproof Warehousing Company). Remaining evidence of worker’s housing includes: properties along Ann Street both east and west of St. George Street, notably the terrace at 146-154 Ann Street.</p> <p>The connection to the significant theme is through Martin Morkin who was the original owner and occupant of the subject property. Morkin was tanner and employee at the Hyman Tannery. He lived at the subject property between c.1871 and c.1881 when he moved to the property directly to the north.</p>

Criteria	Screening
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	No - Although its modest size and simple form are characteristic of worker’s housing, the subject property does not yield information that contributes to, or furthers an understanding of a historic working class community.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	No - No architect, artist, builder, designer or theorist was identified.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	No - Although the subject property is located in a former industrial neighbourhood, it is located to the north of the majority of the remaining industrial and residential properties and is separated from them by the CPR line. As a result, it has not been determined that the subject property is important to defining, maintaining or supporting the character of the area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	No - The subject property is no longer historically linked to its surroundings since the Hyman Tannery building has been demolished.
9. The property has contextual value because it is a landmark.	No - The subject property is not considered a landmark.



## 8.0 DRAFT STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The evaluation determined that 176 Piccadilly Street meets one criteria (criteria 4) of O. Reg. 9/06 of the Ontario Heritage Act (OHA). A property may be included on a municipal heritage register under Part IV, subsection 27(3) if it meets one or more of these criteria. In order to be designated under Part IV, subsection 29(1) of the OHA, a property must meet two or more criteria.

While the subject property meets the threshold for inclusion on the City of London Heritage Register, it does not meet the threshold for designation and therefore a Statement of Cultural Heritage Value or Interest was not created.

## 9.0 CONCLUSIONS AND RECOMMENDATIONS

The evaluation determined that 176 Piccadilly Street meets one criteria (criteria 4) of O. Reg. 9/06 of the Ontario Heritage Act (OHA). The property does not meet the threshold for designation under Part IV, subsection 29(1) of the OHA. Accordingly, a Statement of Cultural Heritage Value or Interest identifying the heritage value(s) and attribute(s) was not created.

As a property that meets the threshold for inclusion on the heritage register for its historic associations with the 19th-century industrial activity in the North Talbot area, it is recommended that the interior and exterior of the building be documented through photography and building measurements, and that this CHER as well as the site documentation be kept on file at the City of London, Heritage Planning Department. Documentation through the demolition process may provide additional information about the layout, chronology, and construction materials used for workers' housing in London in the late 19th century.



## 10.0 FIGURES



Figure 1: Satellite image showing the subject property outlined in red at the corner of St. George and Piccadilly Streets (Google; CBCollective, 2023).



Figure 2: View of the subject property from the south (CBCollective, 2023).





Figure 3: View of the CPR crossing directly south of the subject property (CBCollective, 2023).



Figure 4: View of the adjacent property to the east of the subject property (CBCollective, 2023).





Figure 5: View of the parking lot (former coal yard and shed) to the southeast of the subject property (CBCollective, 2023).



Figure 6: View of the property (former cold storage building) directly to the west of the subject property (CBCollective, 2023).





Figure 7: View of property directly adjacent to the north of the subject property (CBCollective, 2023).



Figure 8: View of the area to the southwest of the subject property (CBCollective, 2023).





Figure 9: View of the dwelling's south and west elevations (CBCollective, 2023).



Figure 10: View of the dwelling's east elevation and east addition (CBCollective, 2023).





Figure 11: Configuration of the west elevation (CBCollective, 2023).



Figure 12: Configuration of the east elevation, with east addition at right (CBCollective, 2023).





Figure 13: Configuration of the rear, north elevation (CBCollective, 2023).



Figure 14: Detail of brickwork on the west foundation, showing re-pointed joints alongside historic pointing with bead tool profile (CBCollective, 2023).





Figure 15: Upper west corner of the south elevation, showing wood siding, corner and cornice board detailing (CBCollective, 2023).



Figure 16: Detail of white soffit and black fascia boards as seen on the west elevation (CBCollective, 2023).





Figure 17: Detail of the chimneys, with former cast chimney cap dislodged and resting against the brick structure (CBCollective, 2023).



Figure 18: Closeup view of the front porch roof. No major evidence of previous detailing was observed (CBCollective, 2023).





Figure 19: View of the west window opening on the south elevation showing removed window and the former profile of the wood surrounds (CBCollective, 2023).



Figure 20: Remnant wooden cornice above the window opening on the west elevation (CBCollective, 2023).





Figure 21: Exposed window openings reveal the use of machine-made nails (CBCollective, 2023).



Figure 22: Trees and grass in the property's landscape (CBCollective, 2023).



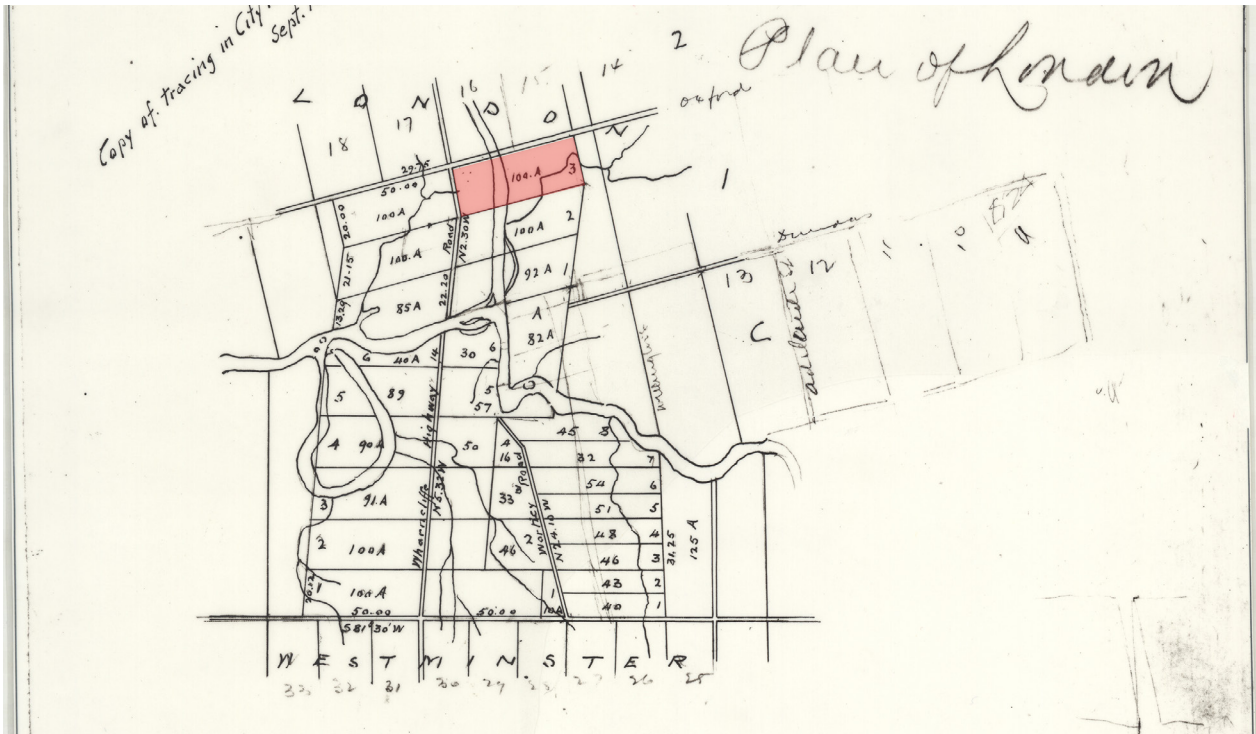


Figure 23: 1905 copy of a map showing the Wharnciffe Highway survey. Lot 3 is highlighted red at top right (UWO Archives: 2105601)



Figure 24: Detail of William Robinson's 1840 map of London. A red circle has been added showing the approximate location of the subject property, north of the mill pond (UWO Archives: CXX11).





Figure 25: A map overlaid with historic features of London as of the 1840s, with the subject property outlined in red. Note the mill pond (named Lake Horn on this plan), with John Kent's farm to the south and the original city townsite further south still (UWO Archives: 2104901)



Figure 26: Nathaniel Steevens' 1850 sketch of part of the London Township, showing the original townsite blocks outlined in pink, with agricultural lands and the mill watercourse further north. A red circle has been added to approximate the location of the subject property (UWO Archives: CX1007)



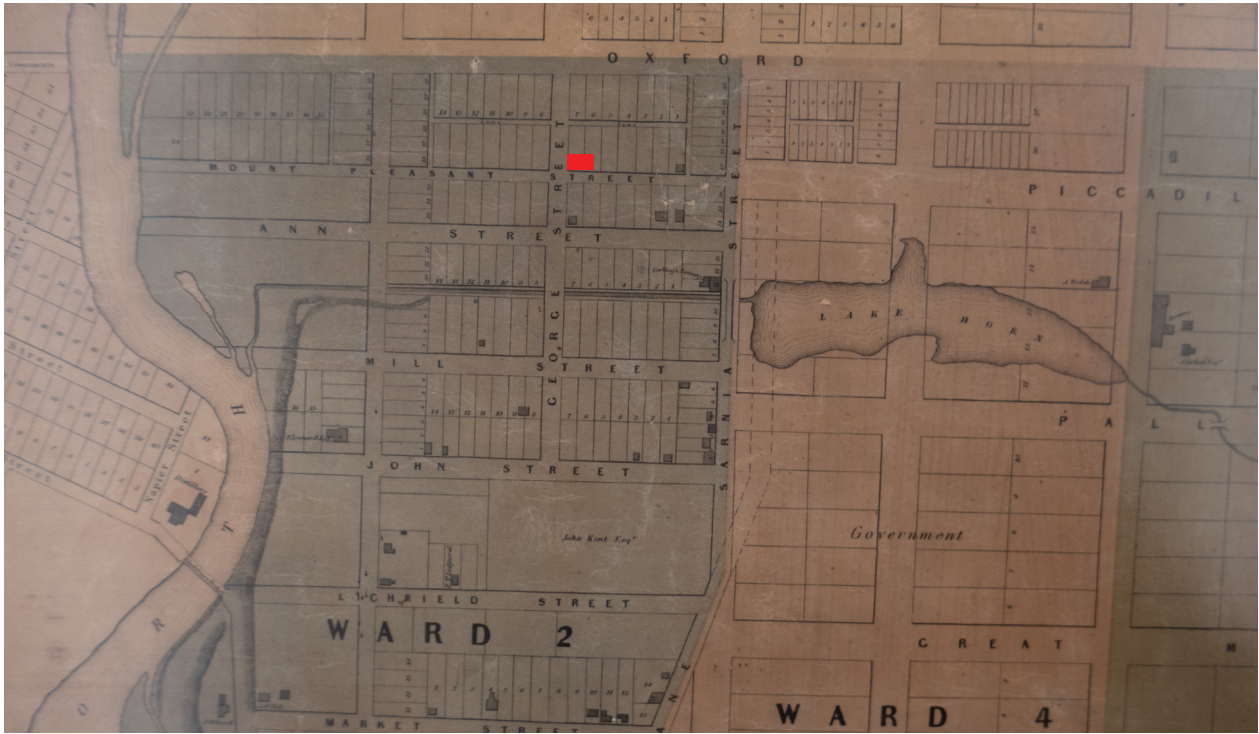


Figure 27: Detail of Samuel Peters' 1855 Map of the City of London, showing the street and block patterns established by surveys, the damned Lake Horn further east, and its straightened watercourse leading to the Thames River. Subject property is approximated in red (UWO Archives: CXX10).

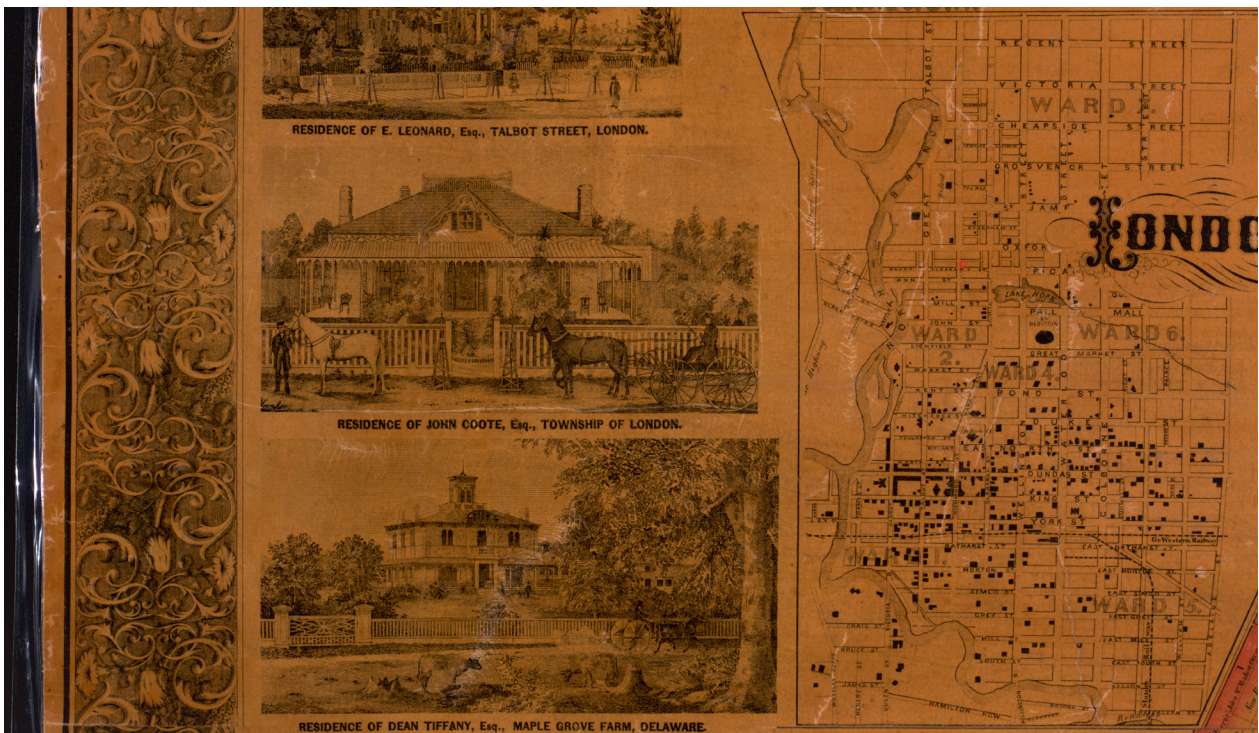


Figure 28: Detail of inset map of London the Tremaine's 1862 map of Middlesex County, showing sparse development around the subject property (red circle) at the time (UofT Map and Data Library).







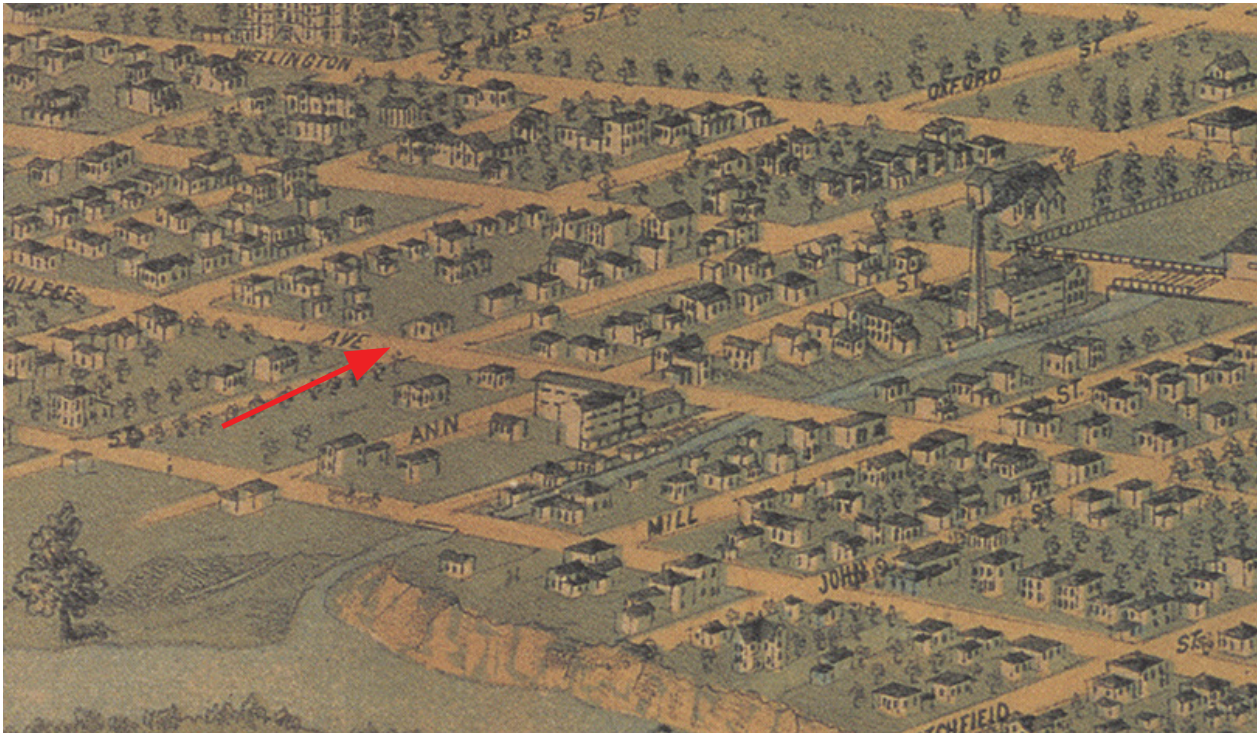


Figure 31: Detail from 1872 bird's eye drawing of London, showing the subject property (red arrow) north of the industries established on Carling's Creek leading to the Thames River (UWO Archives: 2103201).

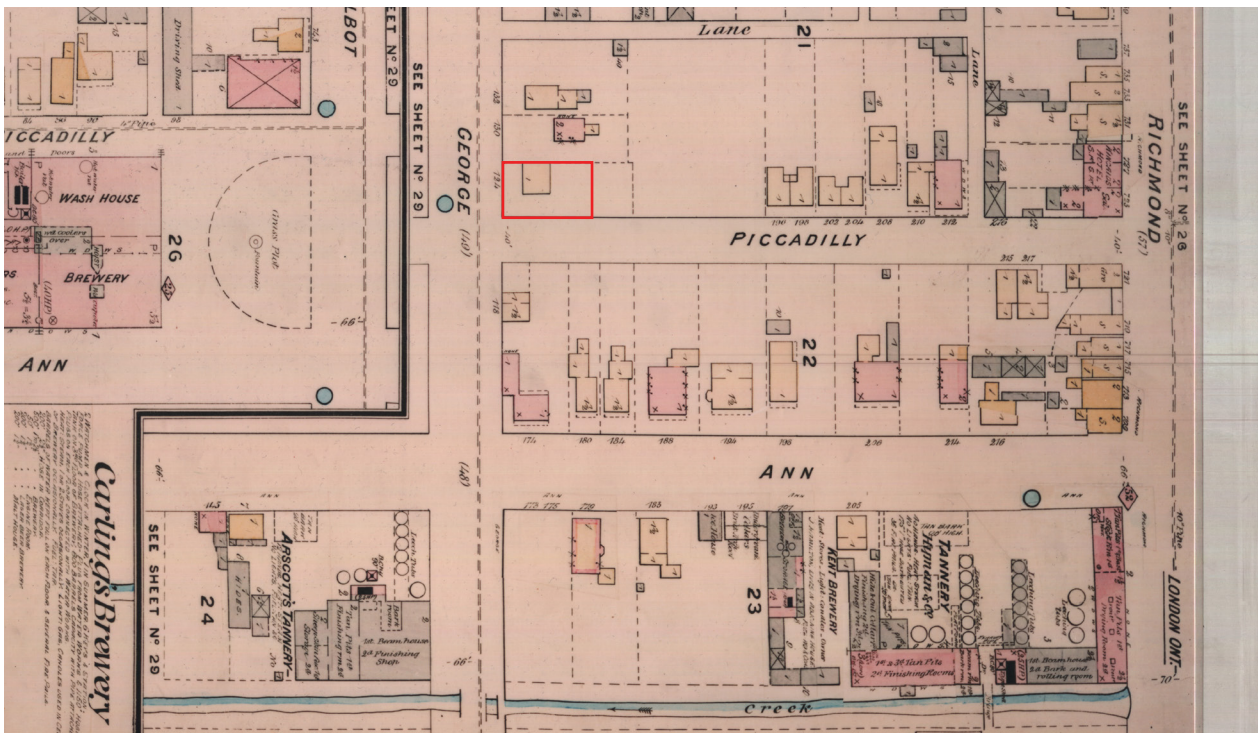


Figure 32: The 1881 revised 1888 FIP showing the Hyman Tannery at Ann and Richmond streets and Arcsott's Tannery at Ann and St. George streets. Subject property outlined in orange (UWO Archives).



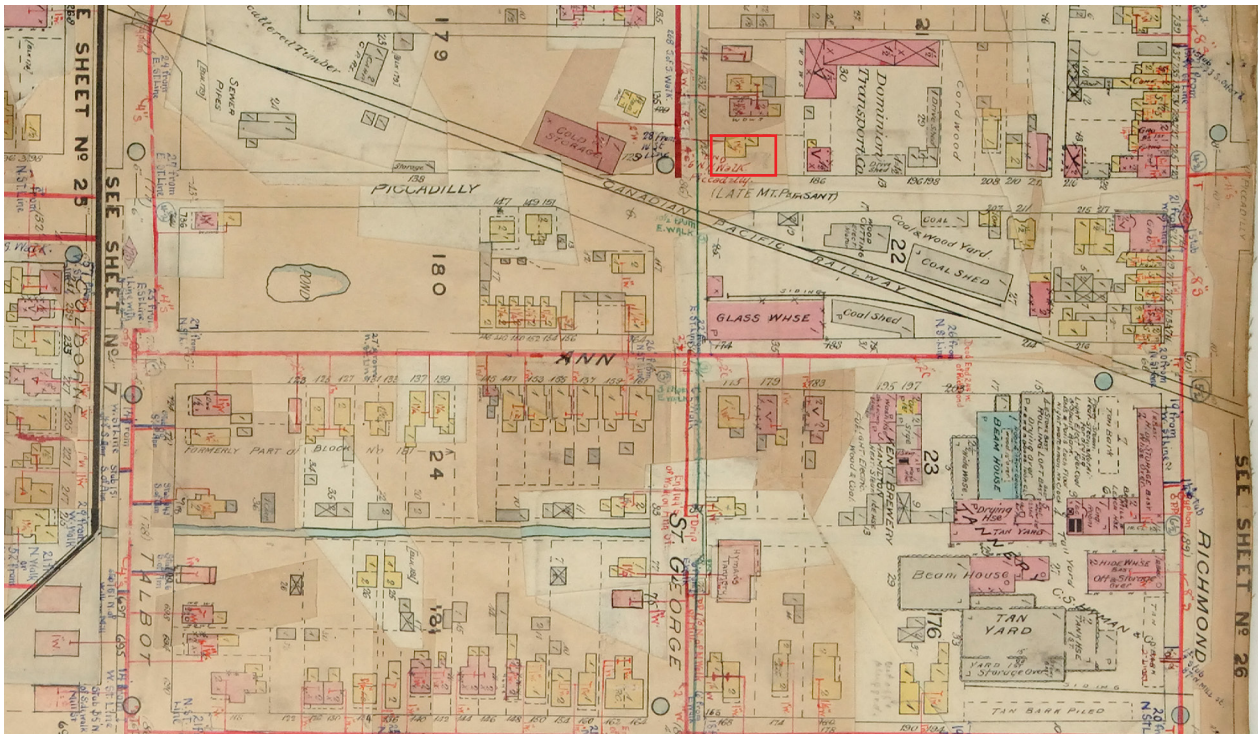


Figure 33: The 1892 revised 1907 FIP showing the CPR line, coal yard and shed on Piccadilly and the expanded Hyman Tannery. Subject property outlined in orange (UWO Archives).

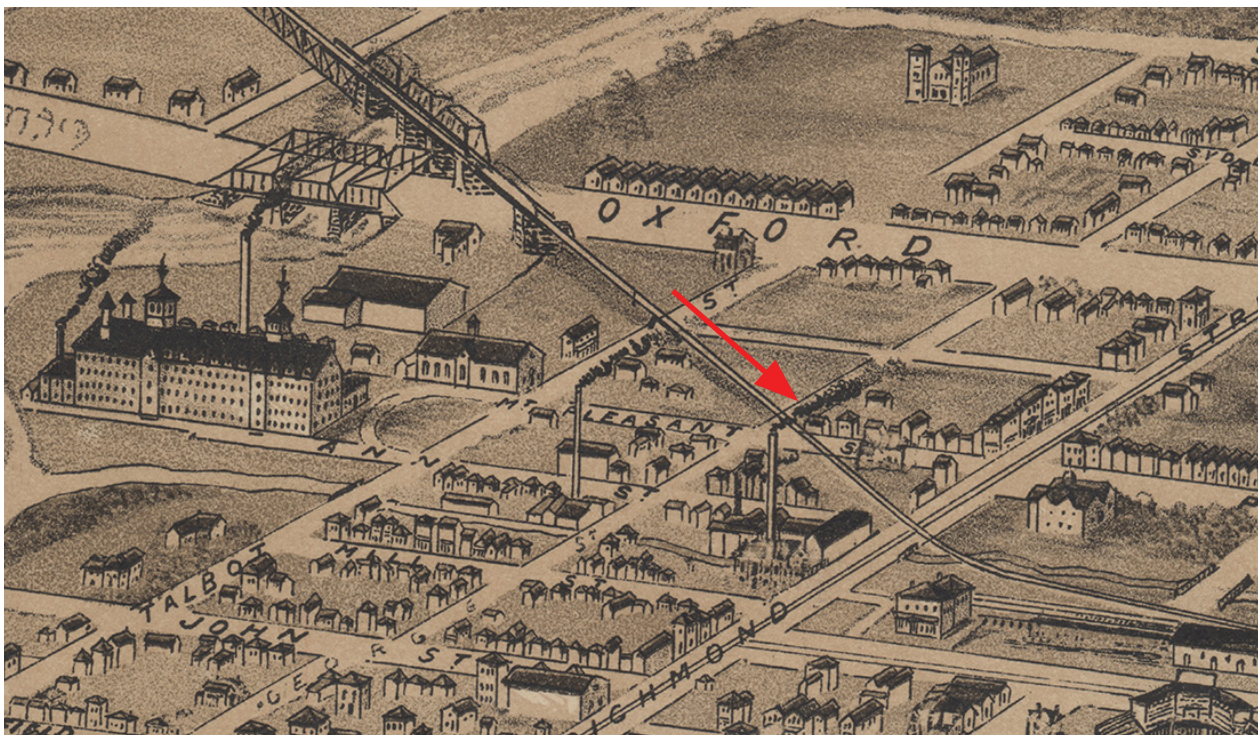


Figure 34: Detail from 1890 bird's eye, with the subject property indicated by red arrow (UWO Archives: CX124).



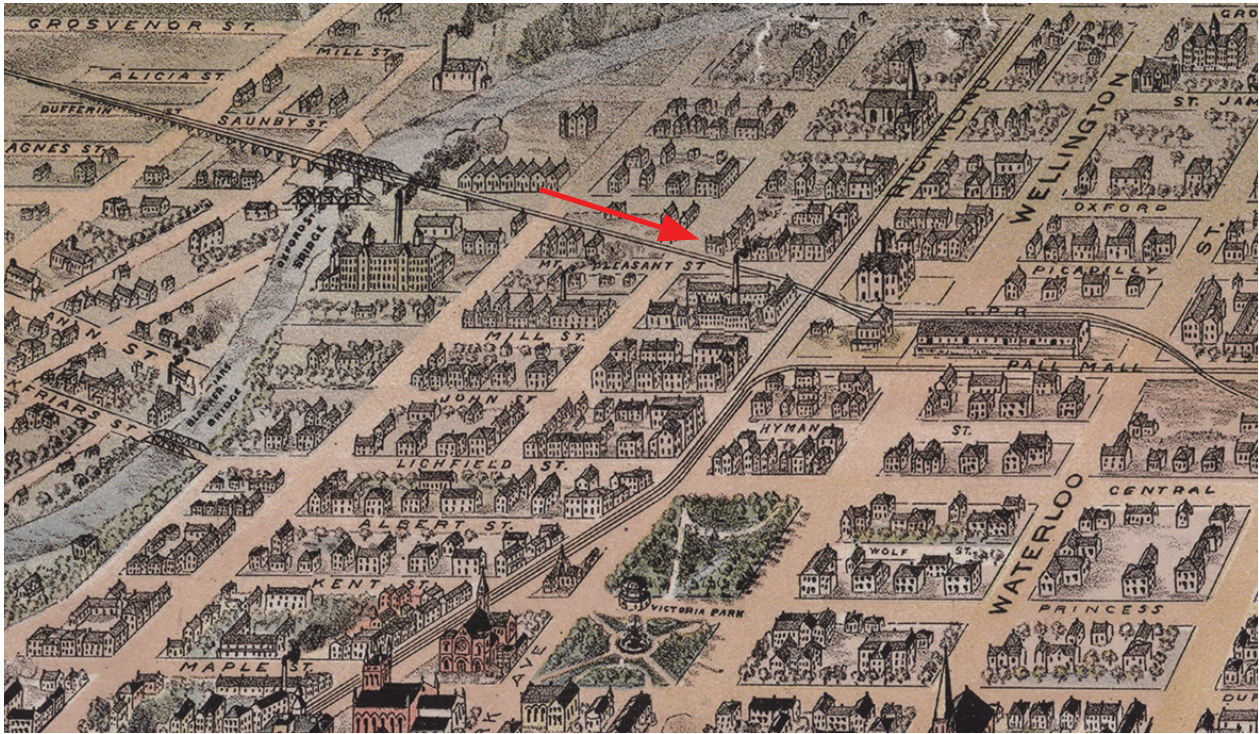


Figure 35: Detail from 1893 bird's eye, with the subject property indicated by red arrow (UWO Archives: 1346301).

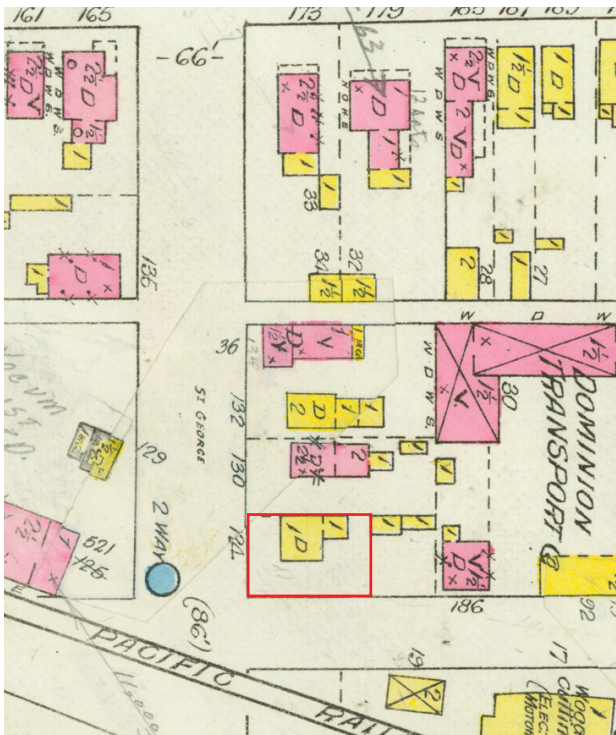


Figure 36: Detail from 1912 revised 1915 fire insurance plan, with subject property outlined in orange (UWO Archives).

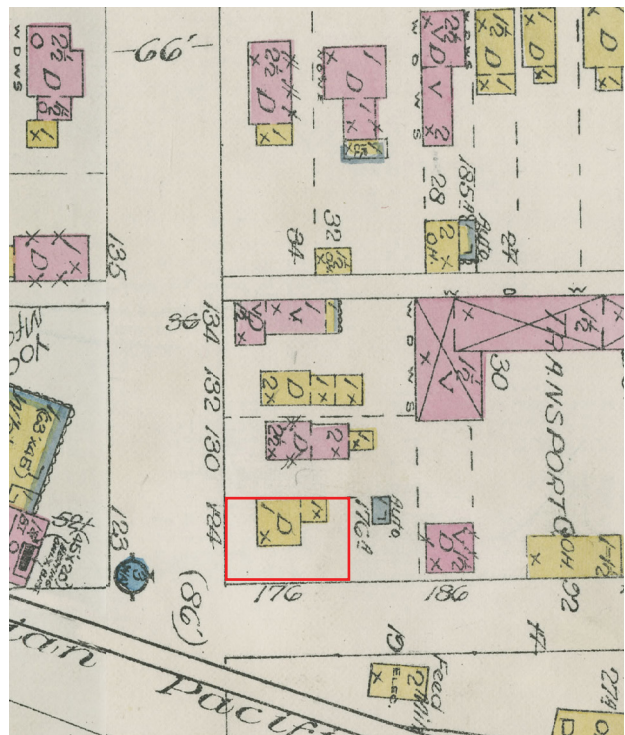


Figure 37: Detail from 1912 revised 1922 fire insurance plan, with subject property outlined in orange (UWO Archives).





Figure 38: Detail from 1929 fire insurance plan, with subject property outlined in orange (UWO Archives).

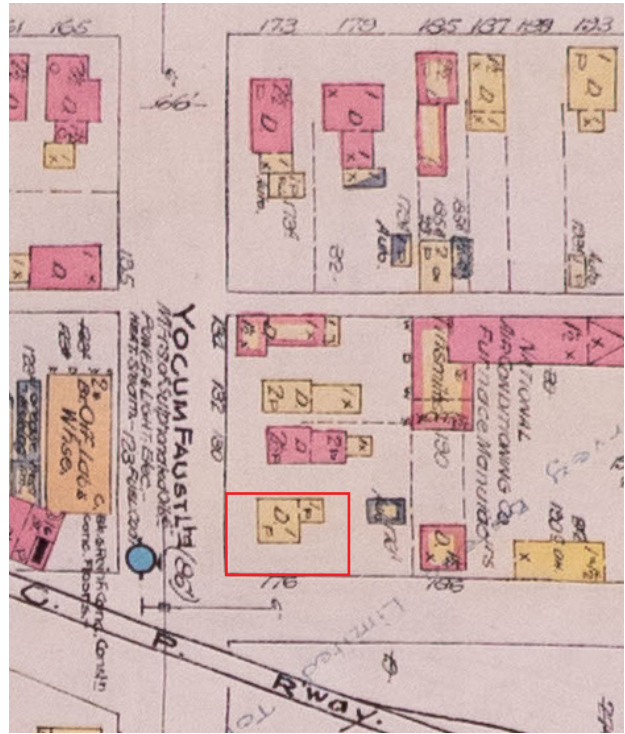


Figure 39: Detail from 1940 fire insurance plan, with subject property outlined in orange (UWO Archives).

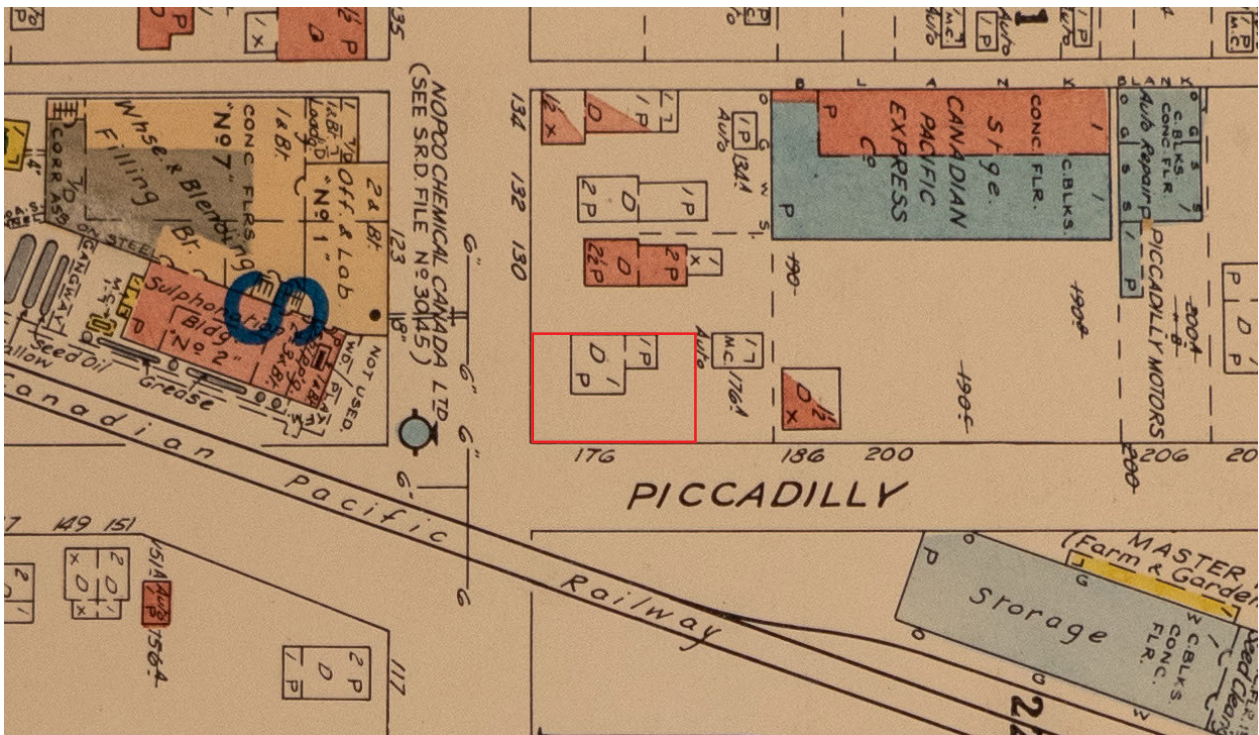


Figure 40: Detail from 1958 fire insurance plan, with subject property outlined in orange (UWO Archives).





Figure 41: Google Street View image showing the property in 2015, with similar conditions as in 2009 (Google).



Figure 42: Google Street View image showing the property in 2015, with similar conditions as in 2009 (Google).





Figure 43: Examples of housing patterns provided in the February 1864 edition of *The Canada Farmer* (as found in DiStefano, *The Ontario Cottage*, p. 41).

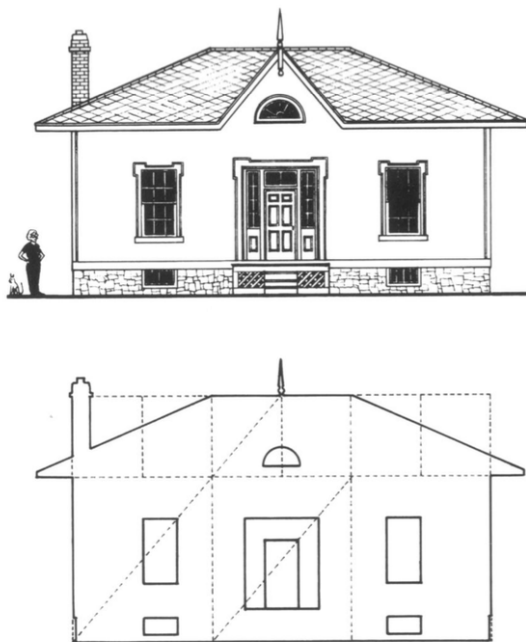


Figure 44: Drawing of a typical Ontario cottage made by Lee Ho Yin: Hoovey Cottage in Port Hope (DiStefano, *The Ontario Cottage*, p. 34).



Figure 45: Examples of one-storey workers' cottages in Toronto. Hipped roofs are more common on London examples (Modest Hopes, pp. 30 & 33).

## 11.0 BIBLIOGRAPHY

Ancestry.ca. "Martin Morkin 1844-1894." [https://www.ancestry.ca/genealogy/records/martin-morkin-24-21p2ns?geo\\_a=r&o\\_iid=41015&o\\_lid=41015&\\_sch=Web+Property](https://www.ancestry.ca/genealogy/records/martin-morkin-24-21p2ns?geo_a=r&o_iid=41015&o_lid=41015&_sch=Web+Property)

*Cherrier & Kirkwin's London Directory for 1872-73*. Montreal: Cherrier & Kirkwin, 1872.

*City of London annual, alphabetical, general, miscellaneous and subscribers' classified business directory for 1876-'77*. W.H. Irwin & Co., Compilers and Publishers, 1876.

"City of London Register of Cultural Heritage Resources." December 9, 2022.

DiStefano, Lynne D. "The Ontario Cottage: The Globalization of a British Form in the Nineteenth Century," *Traditional Dwellings and Settlements Review* 12, No. 2 (Spring 2001), pp. 33-43.

Kennedy, R.L. Old Time Trains. "Ontario and Quebec." <http://www.trainweb.org/oldtimetrains/OandQ/history.htm>

*The London City and Middlesex County Directory*. R.L. Polk & Co., 1884.

Loucks, Don and Leslie Valpy. *Modest Hopes: Homes and Stories of Toronto's Workers from the 1820s to the 1920s*. Toronto: Dundurn Press, 2021.

Lutman, John H. *The Historic Heart of London*. London: The Corporation of the City of London, 1993.

McAlester, Virginia Savage. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 2014.

Middlesex County Land Registry Office (33), Middlesex, Book 1, "OLD CITY BOOK"

Middlesex County Land Registry Office (33), Middlesex, Book 3, "OLD CITY BOOK"

Middlesex County Land Registry Office (33), Middlesex, Book 6, "OLD CITY BOOK"

"Thames Topics, Booklet 2: 1826 Onwards."

Upper Thames River Conservation Authority, "The Thames River Watershed and Traditional Territory," <https://thamesriver.on.ca/about-us/thames-river-watershed-and-traditional-territory/>





## Heritage Planners' Report to CACP: September 13, 2023

1. Heritage Alteration Permits processed under Delegated Authority By-law:
  - a) 8 Cherry Street (B/P HCD) – Rebuild of existing front porch
  - b) 338 St. James Street (L.S.P.-3124-275 & BH HCD) – Chimney repair and cap
  - c) 119 Elmwood Avenue East (WV-OS HCD) – Amendment – Side porch
  - d) 174-184 York Street – Granite Block (L.S.P.-3234-470 & DNTN HCD) – Storefront façade restoration at 182 York Street
  - e) 472 Elizabeth Street (OE HCD) – Removal and replacement of detached garage
  - f) 920 Dufferin Avenue (OE HCD) – Amendment – New front porch
  - g) 415-417 Richmond Street (DNTN HCD) – Security shutters on both storefronts and new signage above 415 Richmond Street storefront
  - h) 89 Elmwood Avenue East (WV-OS HCD) – Stained glass window repair and installation of vented storm glass

## Upcoming Heritage Events

- Doors Open in Ontario
  - In-person Doors Open events in London occurring September 16-17:
  - <https://www.doorsopenontario.on.ca/>
- Museum London Walking Tours
  - Walking tours now open for registration throughout July-September:
  - <https://museumlondon.ca/walking-tours>
- ACO Toronto's Heritage and Housing Symposium
  - Join ACO Toronto for the one-day 2023 Symposium, Heritage and Housing, on September 23 at Ontario Science Centre:
  - [https://acotoronto.ca/show\\_event.php?id=82](https://acotoronto.ca/show_event.php?id=82)